



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

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- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 714 Sherman St.

SUBDIVISION _____ LOT 9 BLOCK 111

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ryszard Waszczuk, Dagmara Plaza</u>	<input type="checkbox"/> APPLICANT	<u>R. Waszczuk, D. Plaza</u>
CONTACT PERSON	_____	CONTACT PERSON	<u>Ryszard Waszczuk</u>
ADDRESS	<u>820 E Heath St.</u>	ADDRESS	<u>820 E Heath St.</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>972-400-8047</u>	PHONE	<u>972-400-8047</u>
E-MAIL	<u>RichardExp@HOTMAIL.COM</u>	E-MAIL	<u>Richardexpo@hotmail.com</u>

NOTARY VERIFICATION [REQUIRED]

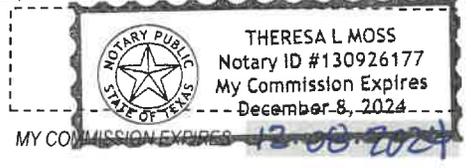
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryszard Waszczuk / Dagmara Plaza [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5/17/2024 DAY OF May 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF May 2024.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



ISSUED FOR REVIEW:
05-16-24

BUYER:
RICHARD EXPO

ADDRESS:
714 SHERMAN ST
BLK 111 / LOT 9
ROCKWALL, TX.



PLAN: 714 SHERMAN ST

ELEVATION: A

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A2	INTERIOR ELEVATION
A3	FRONT & RIGHT ELEVATION
A4	REAR & LEFT ELEVATION
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1	RES-CHECK SINGLE FAMILY HOUSE ENERGY REPORT
2	RES-CHECK PROJECT INFORMATION
3	RES-CHECK ESTIMATED ANNUAL ENERGY USAGE

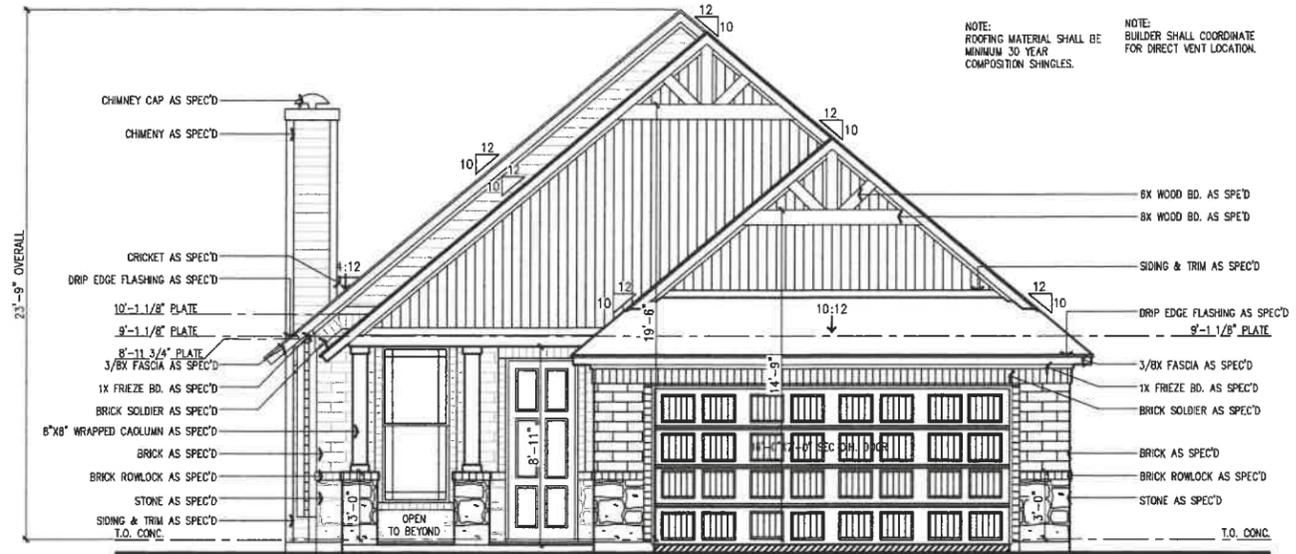
GENERAL NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
- CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.
- THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.
- ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NAHB BUILDING STANDARDS.

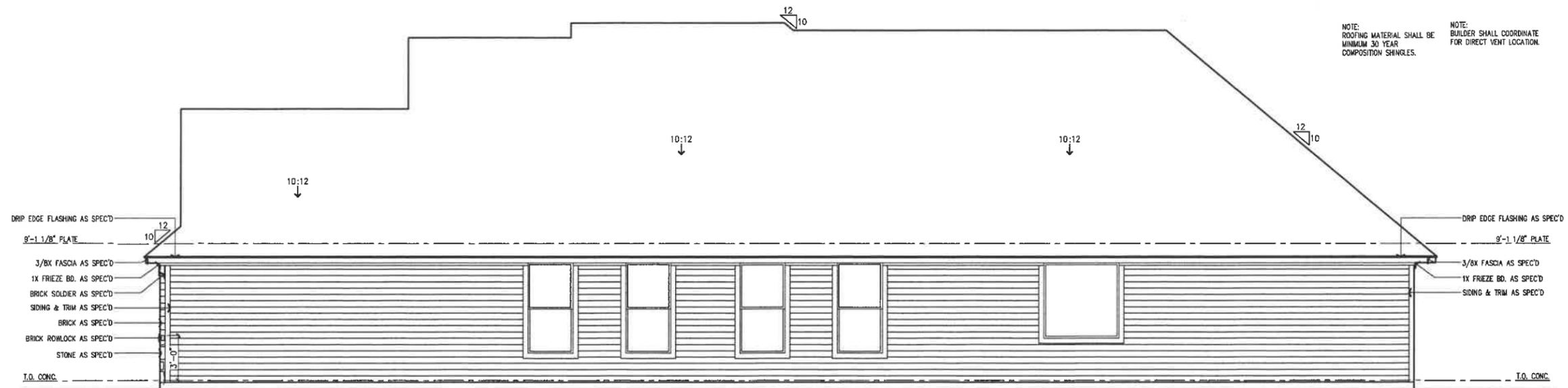
ABBREVIATIONS:

R & S	ROD & SHELF
X-SH	SHELF/SHELVES
ABV.	ABOVE
A.F.F.	FINISH FLOOR
APRX.	APPROXIMATE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
COV'D	COVERED
CPT	CARPET
DL	DIVIDED LITE
EXT'D	EXTENDED
FLUOR	FLUORESCENT
FX	FIXED
HB	HOSE BIB
HDR	HEADER
HZ	HORIZONTAL
ILO	IN LIEU OF
MTL	METAL
OBS.	OBSCURE
OPQ	OPAQUE
OPT.	OPTIONAL
PL	PLATE HEIGHT
PWDR	POWDER ROOM
RAD/R	RADIUS
REF.	REFERENCE
STD.	STANDARD
TEMP	TEMPERED
TRANS	TRANSOM
TYP.	TYPICAL
W.C.	WATER CLOSET
WD	WOOD
W.I.C.	WALKING CLOSET
WP	WATER PROOF

MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL	
Front Elevation	82	S.F.	25.00%	34	S.F.	10.37%	212	S.F.	64.63%	328	S.F.
Right Side Elevation	2	S.F.	0.36%	1	S.F.	0.18%	552	S.F.	99.46%	555	S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	207	S.F.	100.00%	207	S.F.
Left Side Elevation	130	S.F.	22.38%	77	S.F.	13.25%	374	S.F.	64.37%	581	S.F.
Total Area	214	S.F.		112	S.F.		1,345	S.F.		1,671	S.F.
Total Brick Area							214	S.F.		12.81%	
Total Stone Area							112	S.F.		6.70%	
Total Siding Area							1,345	S.F.		80.49%	
Overall Width = 34'-10"							Overall Depth = 83' 5 1/2"				



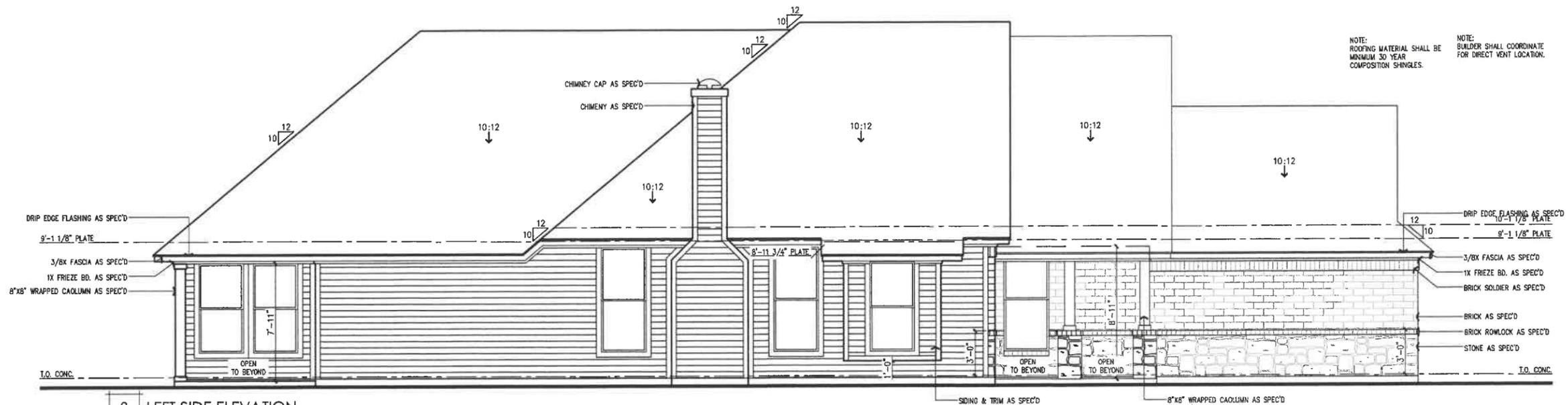
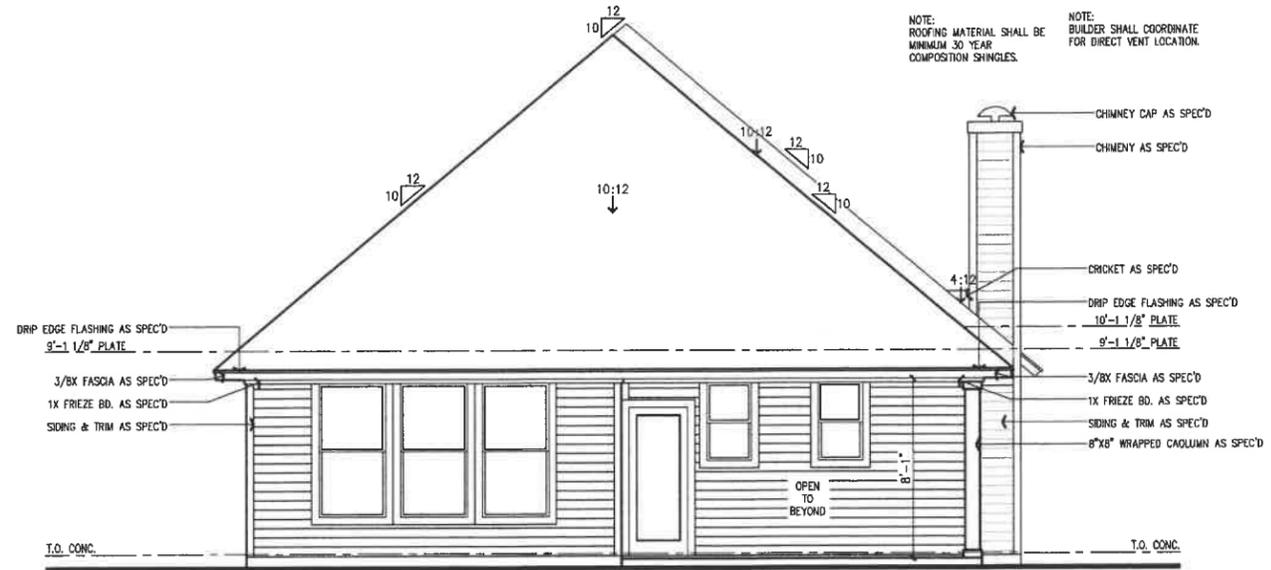
1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



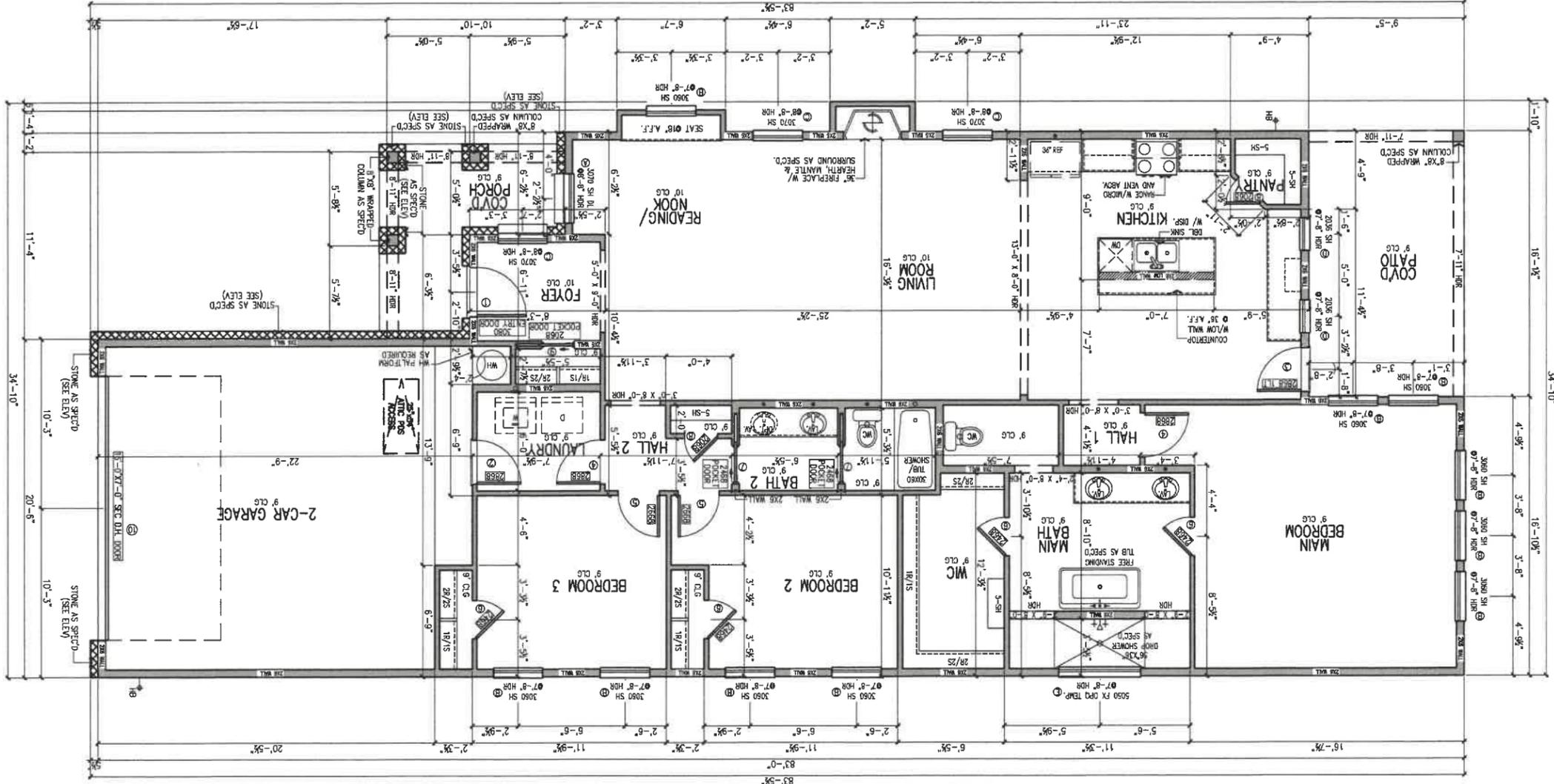
2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL				
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Overall Width = 34'-10"											Overall Depth = 83' 5 1/2"

1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"



WINDOW SCHEDULE

ID	QTY	TYPE	DESCRIP.
A 1	3070	VINYL 3 STAR ENERGY	SINGLE HUNG DL
B 10	3060	VINYL 3 STAR ENERGY	SINGLE HUNG
C 3	3070	VINYL 3 STAR ENERGY	SINGLE HUNG
D 2	2056	VINYL 3 STAR ENERGY	SINGLE HUNG
E 1	5050	VINYL 3 STAR ENERGY	FIXED OPO. TEMP.

DOOR SCHEDULE

ID	QTY	TYPE	DESCRIP.
1	1	3080	EXTERIOR INSULATED DOOR
2	1	2868	EXTERIOR INSULATED DOOR
3	1	2868	LT EXTERIOR DOOR W/GLASS
4	2	2868	INTERIOR
5	2	2668	INTERIOR
6	4	2468	INTERIOR
7	2	2468	INTERIOR
8	2	2068	INTERIOR
9	1	2068	INTERIOR
10	1	16070	GARAGE OVERHEAD

- GENERAL NOTES
- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
 - ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
 - SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
 - UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
 - DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
 - WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
 - U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
 - FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
 - ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
 - "CORNERS" AND "TS" SHALL BE TRUE, NOT CALIFORNIA STYLE. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
 - PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
 - ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
 - PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
 - WALLS AND CEILINGS FOR ADDITIONAL INFORMATION.
 - SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ OPENING AS REQUIRED BY CODE.

MASONRY LEGEND

	STONE
	BRICK

SQUARE FOOTAGE TABLE

AREA	1,839 SF
FIRST FLOOR	1,839 SF
TOTAL LIVING	476 SF
GARAGE	86 SF
FRONT PORCH	152 SF
COVERED PATIO	152 SF
TOTAL COMBINED	2,553 SF
TOTAL SLAB	2553 SF

ELEVATION: A
SHEET NUMBER: A1

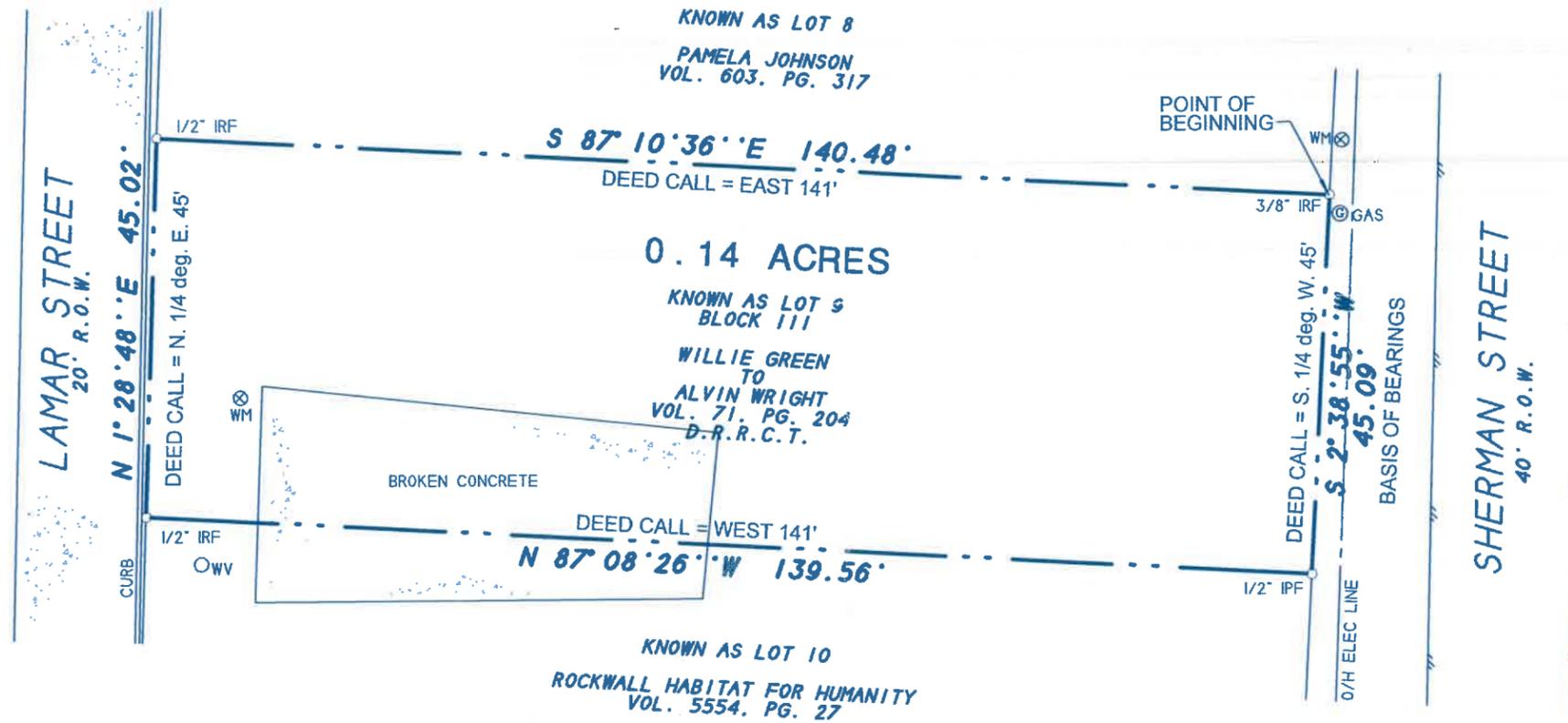
714 SHERMAN ST
ROCKWALL, TX.

DESIGNER: DDS GROUP
PROJECT #: 183858

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSGUS SERVICES-DDSGUS
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRE, TX 75050



PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being known as Lot 9, Block 111, and being the same tract of land as described in a Warranty deed from Willie Green, et al to Alvin Wright, dated November 25, 1964 and being recorded in Volume 71, Page 204 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 3/8" iron rod found for corner in the west right-of-way of Sherman Street, being the northeast corner of Wright tract and the southeast corner of Lot 8, Block 111 as described in a Deed to Pamela Johnson, as recorded in Volume 603, Page 317 of the Real Property Records of Rockwall County, Texas;

THENCE S. 02 deg. 38 min. 55 sec. W. along the west right-of-way of Sherman Street, a distance of 45.09 feet to a 1/2" iron pipe found for corner at the northeast corner of a tract of land as described in a Warranty deed to Rockwall Habitat for Humanity, as recorded in Volume 5554, Page 27 of the Official Public Records of Rockwall County, Texas;

THENCE N. 87 deg. 08 min. 26 sec. W. along the south boundary of said Wright tract, a distance of 139.56 feet to a 1/2" iron rod found for corner in the east right-of-way line of Lamar Street;

THENCE N. 01 deg. 28 min. 48 sec. E. along said right-of-way line, a distance of 45.02 feet to a 1/2" iron rod found for corner;

THENCE S. 87 deg. 10 min. 36 sec. E. along the south boundary of said Johnson tract, a distance of 140.48 feet to the POINT OF BEGINNING and containing 0.14 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company and Richard Expo at 711 Lamar Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 6th day of April, 2021.


Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
TV TELEVISION CABLE RISER	GAS METER	TEL PHONE RISER	FH FIRE HYDRANT
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WY WATER METER	LP LIGHT POLE
-X- FENCE	EASEMENT LINE	A/C AIR COND. UNIT	PP PROPANE TANK
	PROPERTY LINES		

H.D. Fetty Land Surveyor, LLC
Firm Registration no. 10150900
6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE APRIL 6, 2021
SCALE 1" = 20' FILE # 20210120
CLIENT EXPO GF # 21118784-10GH

SURVEY ACCEPTED BY:

DATE _____

DATE _____



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

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CITY ENGINEER: _____

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PROPERTY INFORMATION [PLEASE PRINT]

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SUBDIVISION _____ LOT 9 BLOCK 111

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ryszard Waszczuk, Dagmara Plaza</u>	<input type="checkbox"/> APPLICANT	<u>R. Waszczuk, D. Plaza</u>
CONTACT PERSON	_____	CONTACT PERSON	<u>Ryszard Waszczuk</u>
ADDRESS	<u>820 E Heath St.</u>	ADDRESS	<u>820 E Heath St.</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>972-400-8047</u>	PHONE	<u>972-400-8047</u>
E-MAIL	<u>RichardExp@HOTMAIL.COM</u>	E-MAIL	<u>Richardexpo@hotmail.com</u>

NOTARY VERIFICATION [REQUIRED]

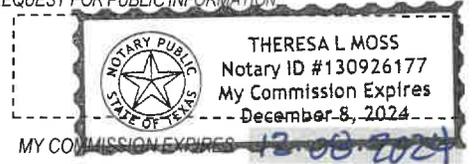
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryszard Waszczuk / Dagmara Plaza [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5/17/2024 DAY OF May 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF May 2024.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

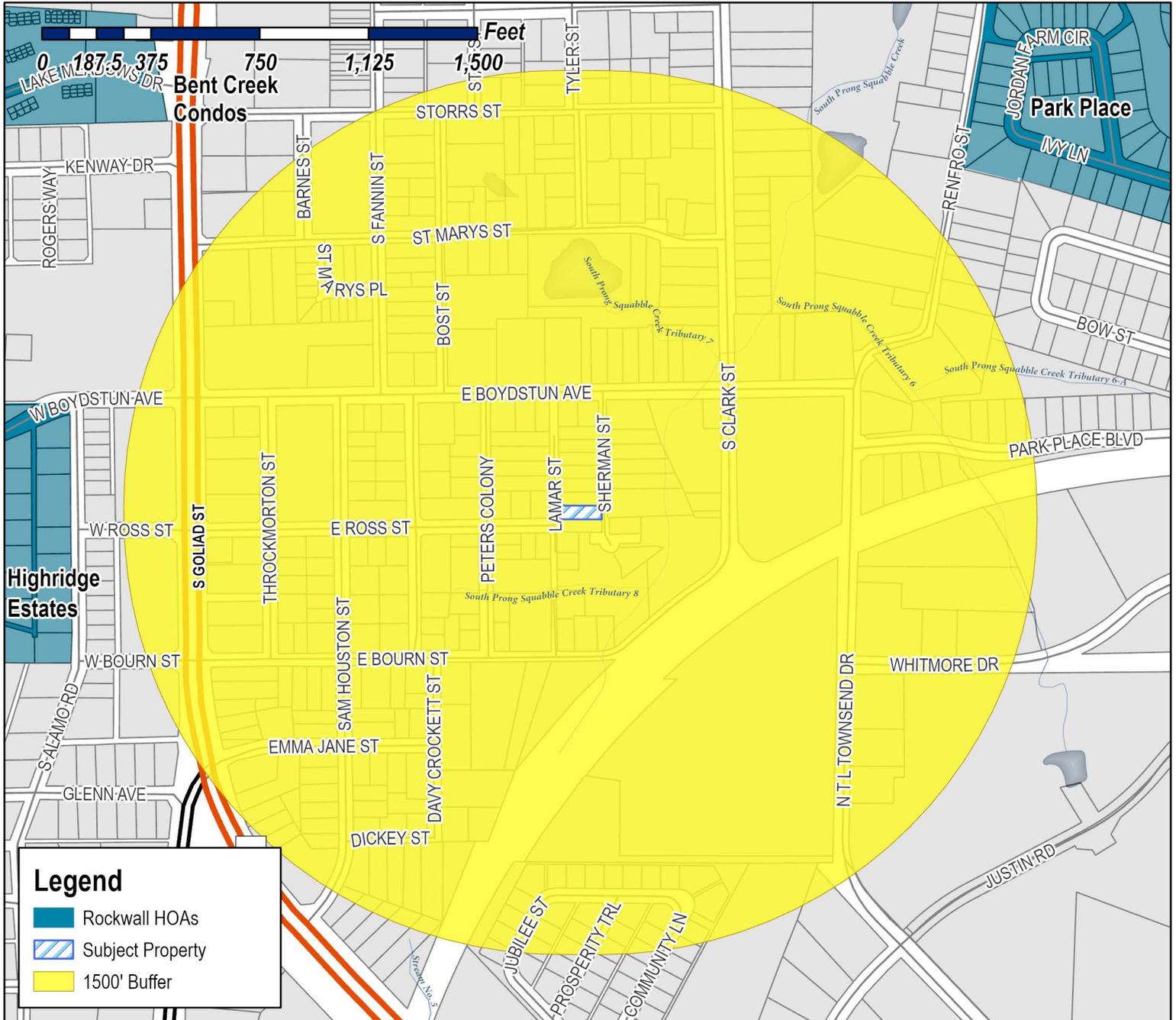




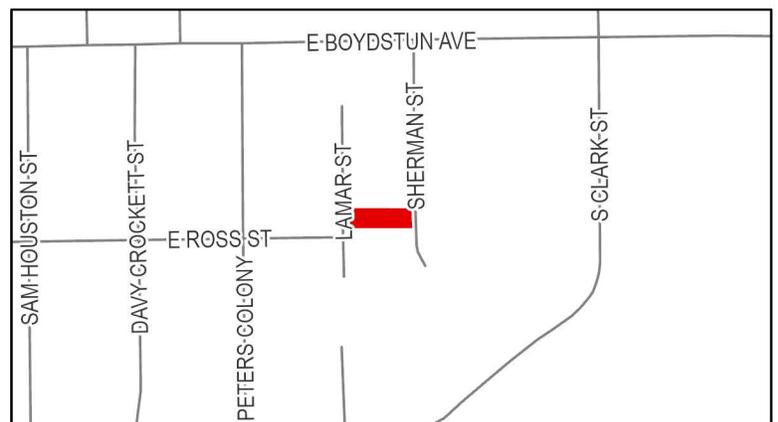
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-026
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 711 Lamar Street



Date Saved: 5/20/2024

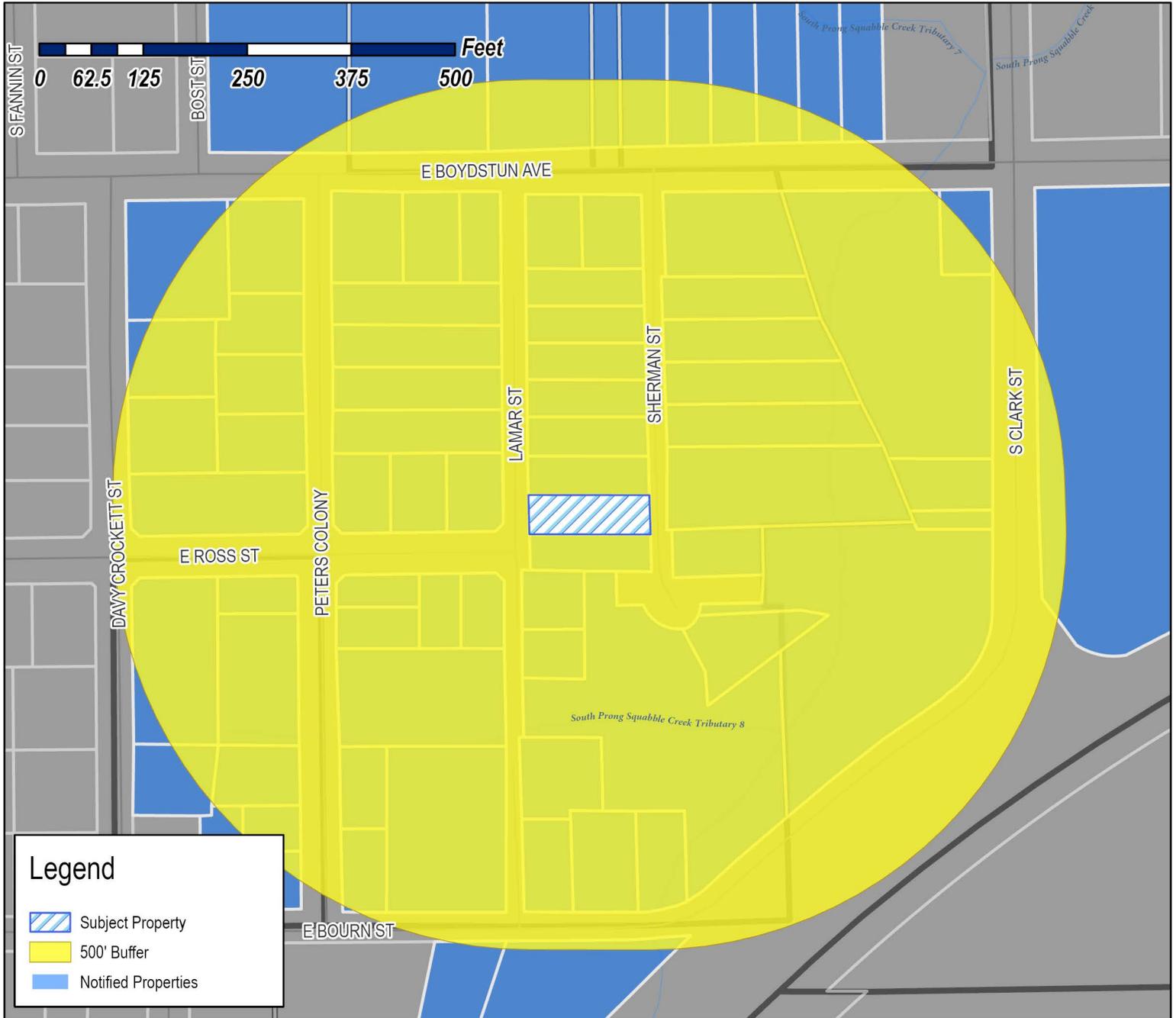
For Questions on this Case Call (972) 771-7745



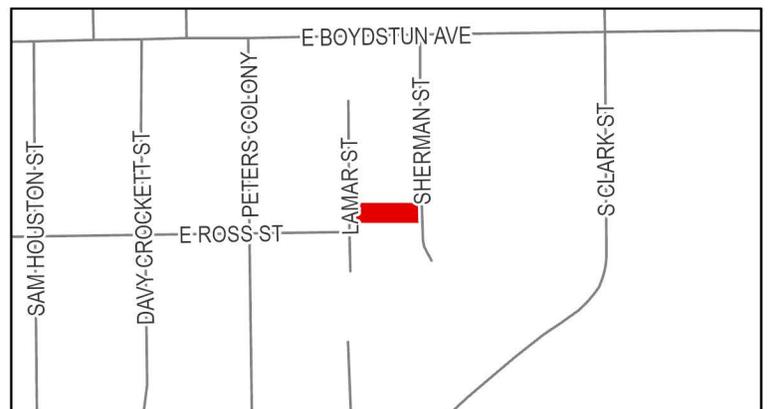
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For Questions on this Case Call: (972) 771-7745

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

WELCH CHRISTOPHER & HAZEL
1212 CLIFFTOP LN
DALLAS, TX 75208

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

OFF MARKET LLC
DBA BIG STATE HOME BUYERS
2800 N LOOP WEST #925
HOUSTON, TX 77092

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
403 E BOURN ST
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
504 ROSS
ROCKWALL, TX 75087

RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 S ROSS
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
607 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
611 E BOYDSTUN AVE
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

ESTATE OF DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

COCHRAN SANDRA AND JOE
708 SHERMAN ST
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

RESIDENT
801 DAVY CROCKETT
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
812 PETERS COLONY
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

ISSUED FOR REVIEW:
05-16-24

BUYER:
RICHARD EXPO

ADDRESS:
714 SHERMAN ST
BLK 111 / LOT 9
ROCKWALL, TX.



PLAN: 714 SHERMAN ST

ELEVATION: A

INDEX:

C1	COVER PAGE: INDEX, GENERAL NOTES & ABBRV.
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A1	FIRST FLOOR PLAN
A1.1	SECOND FLOOR
A2	INTERIOR ELEVATION
A3	FRONT & RIGHT ELEVATION
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A5	ROOF PLAN
A6	FIRST FLOOR ELECTRICAL PLAN
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F1	FOUNDATION PLAN
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MEP1	MECHANICAL ROOF PLAN
MEP2	MECHANICAL SPECIFICATIONS
MEP3	FIRST FLOOR MECHANICAL PLAN
1	RES-CHECK SINGLE FAMILY HOUSE ENERGY REPORT
2	RES-CHECK PROJECT INFORMATION
3	RES-CHECK ESTIMATED ANNUAL ENERGY USAGE

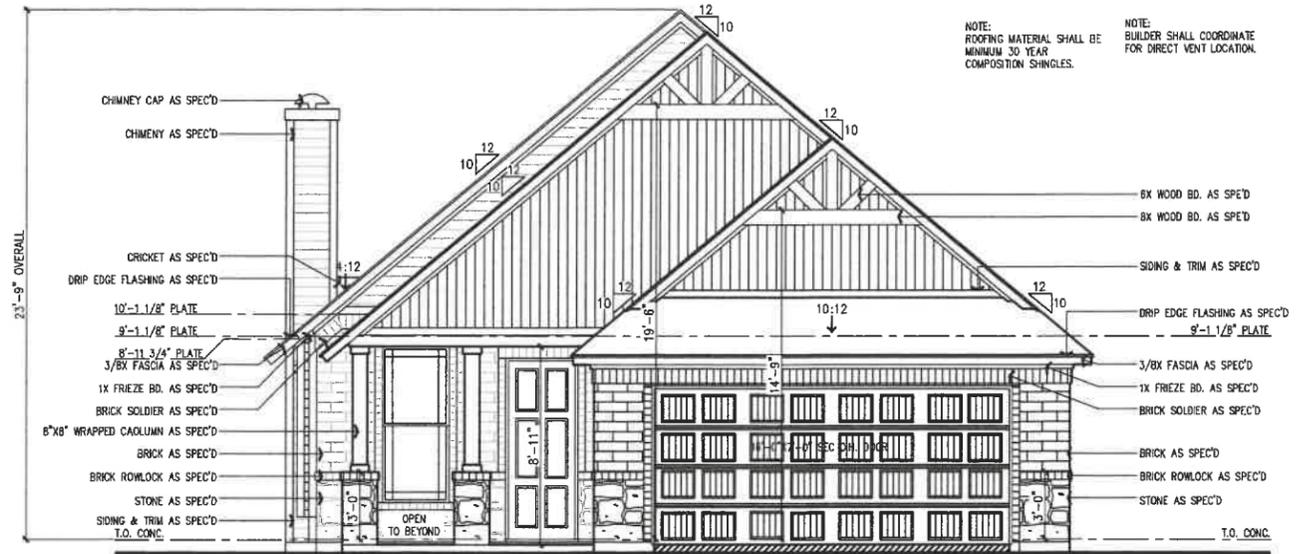
GENERAL NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
- CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.
- THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.
- ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NAHB BUILDING STANDARDS.

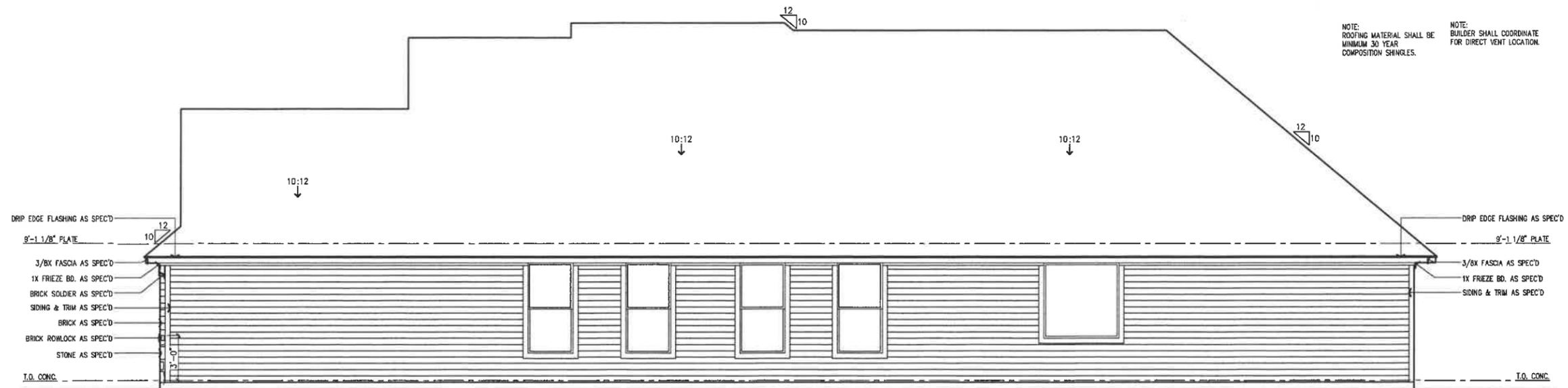
ABBREVIATIONS:

R & S	ROD & SHELF
X-SH	SHELF/SHELVES
ABV.	ABOVE
A.F.F.	FINISH FLOOR
APRX.	APPROXIMATE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
COV'D	COVERED
CPT	CARPET
DL	DIVIDED LITE
EXT'D	EXTENDED
FLUOR	FLUORESCENT
FX	FIXED
HB	HOSE BIB
HDR	HEADER
HZ	HORIZONTAL
ILO	IN LIEU OF
MTL	METAL
OBS.	OBSCURE
OPQ	OPAQUE
OPT.	OPTIONAL
PL	PLATE HEIGHT
PWDR	POWDER ROOM
RAD/R	RADIUS
REF.	REFERENCE
STD.	STANDARD
TEMP	TEMPERED
TRANS	TRANSOM
TYP.	TYPICAL
W.C.	WATER CLOSET
WD	WOOD
W.I.C.	WALKING CLOSET
WP	WATER PROOF

MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL	
Front Elevation	82	S.F.	25.00%	34	S.F.	10.37%	212	S.F.	64.63%	328	S.F.
Right Side Elevation	2	S.F.	0.36%	1	S.F.	0.18%	552	S.F.	99.46%	555	S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	207	S.F.	100.00%	207	S.F.
Left Side Elevation	130	S.F.	22.38%	77	S.F.	13.25%	374	S.F.	64.37%	581	S.F.
Total Area	214	S.F.		112	S.F.		1,345	S.F.		1,671	S.F.
Total Brick Area							214	S.F.		12.81%	
Total Stone Area							112	S.F.		6.70%	
Total Siding Area							1,345	S.F.		80.49%	
Overall Width = 34'-10"						Overall Depth = 83' 5 1/2"					



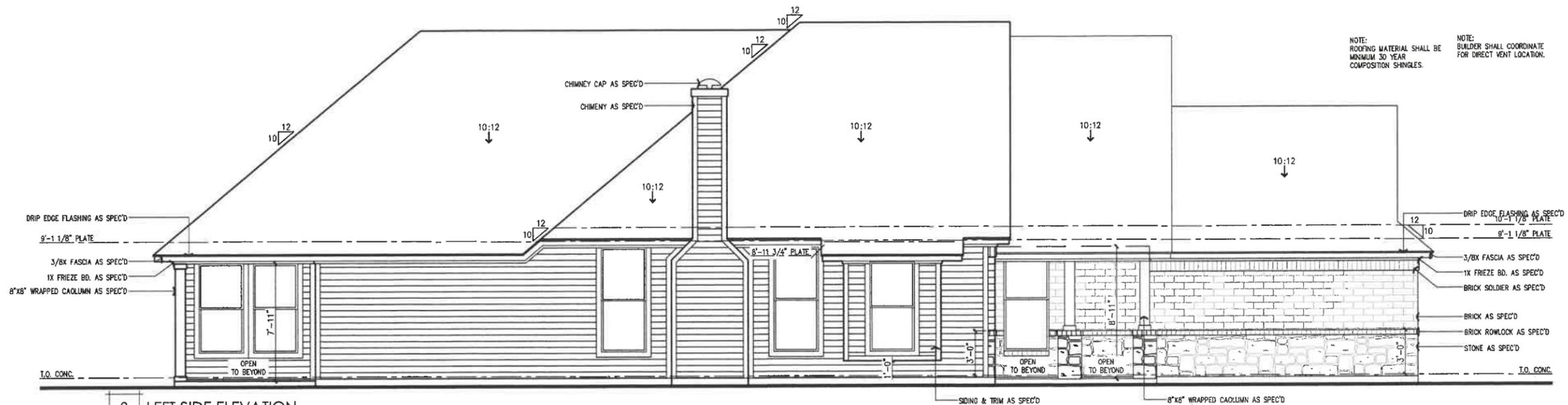
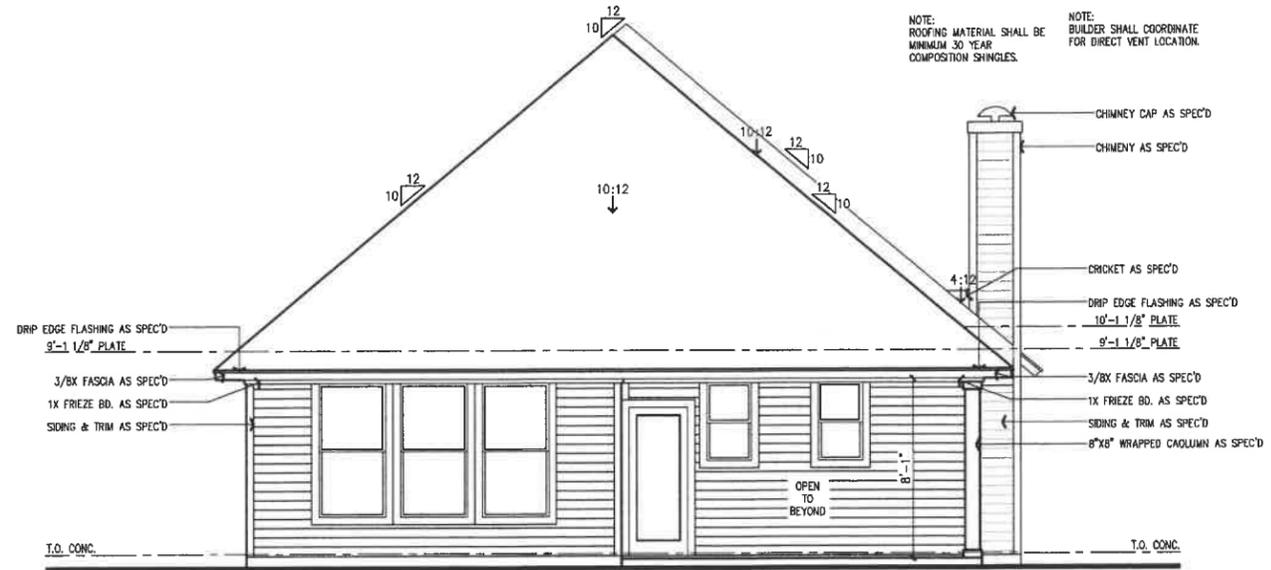
1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

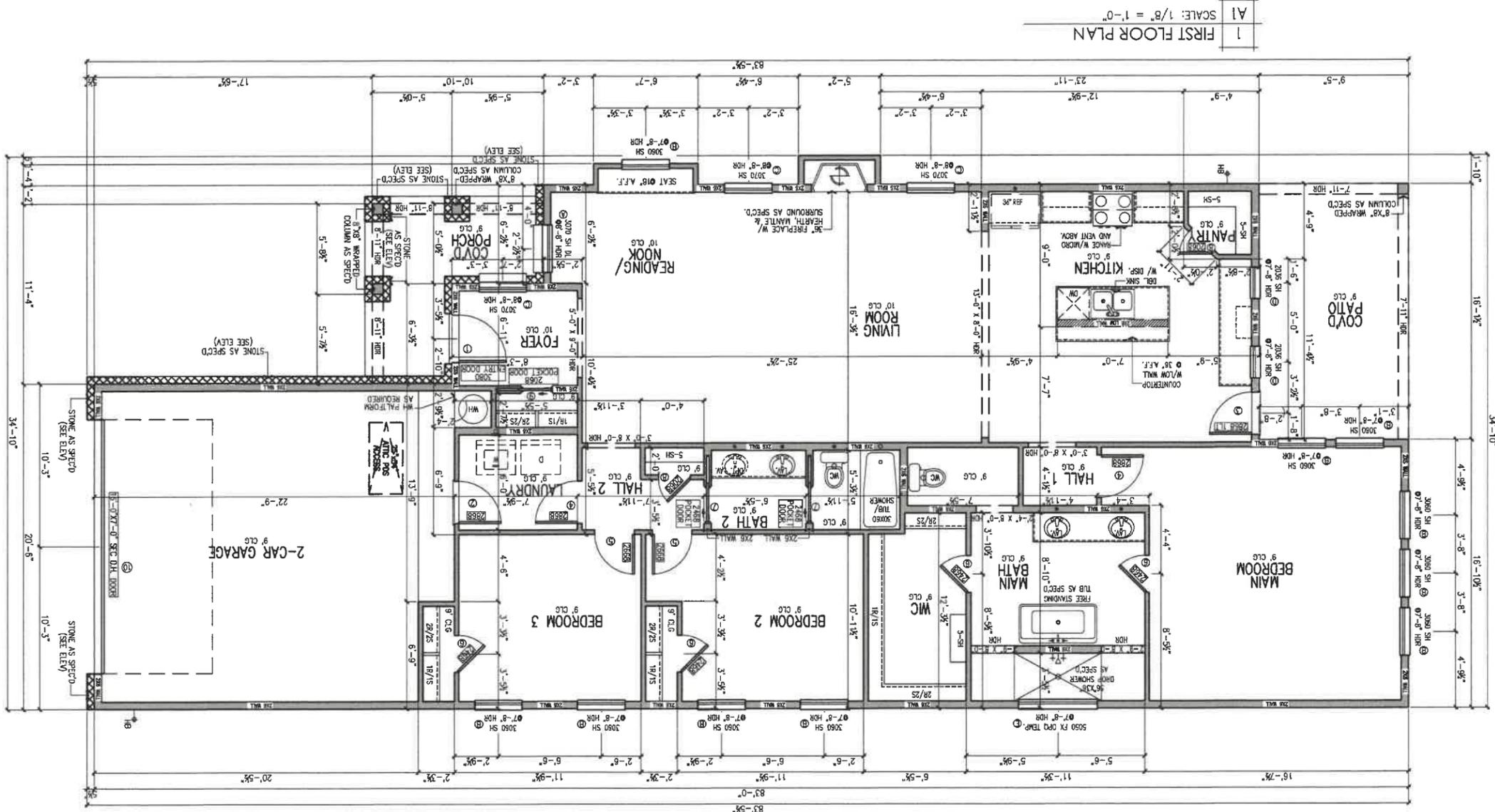
MATERIAL AREA TABULATIONS		714 SHERMAN ST									
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1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

Y:\RICHARD EXP\714 SHERMAN ST\CONSTRUCTION DOCUMENTS\714 SHERMAN ST ARCHITECTURAL 2024-05-15.DWG



WINDOW SCHEDULE

ID	QTY	TYPE	DESCRIP.
A 1	3070	VINYL 3 STAR ENERGY - SINGLE HUNG DL	
B 10	3060	VINYL 3 STAR ENERGY - SINGLE HUNG	
C 3	3070	VINYL 3 STAR ENERGY - SINGLE HUNG	
D 2	2056	VINYL 3 STAR ENERGY - SINGLE HUNG	
E 1	5050	VINYL 3 STAR ENERGY - FIXED OPO. TEMP	

DOOR SCHEDULE

ID	QTY	TYPE	DESCRIP.
1	1	3080	EXTERIOR INSULATED DOOR
2	1	2868	EXTERIOR INSULATED DOOR
3	1	2868	LT EXTERIOR DOOR W/GLASS
4	2	2868	INTERIOR
5	2	2668	INTERIOR
6	4	2468	INTERIOR
7	2	2468	INTERIOR
8	2	2068	INTERIOR
9	1	2068	INTERIOR
10	1	16070	GARAGE OVERHEAD

- GENERAL NOTES
- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
 - ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
 - SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
 - UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
 - DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
 - WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
 - U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
 - FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
 - ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
 - "CORNERS" AND "TS" SHALL BE TRUE, NOT CALIFORMA STYLE.
 - ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
 - PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
 - ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
 - PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
 - WALLS AND CEILINGS FOR ADDITIONAL INFORMATION.
 - SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ OPENING AS REQUIRED BY CODE.

MASONRY LEGEND

	STONE
	BRICK

SQUARE FOOTAGE TABLE

AREA	1,839 SF
FIRST FLOOR	1,839 SF
TOTAL LIVING	476 SF
GARAGE	86 SF
FRONT PORCH	152 SF
COVERED PATIO	152 SF
TOTAL COMBINED	2,553 SF
TOTAL SLAB	2553 SF

ELEVATION: A
SHEET NUMBER: A1

714 SHERMAN ST
ROCKWALL, TX.

DESIGNER: DDS GROUP
PROJECT #: 183858

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSGUS SERVICES-DDSGUS
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRE, TX 75050



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/24/2024

PROJECT NUMBER: Z2024-026
PROJECT NAME: SUP for 711 Lamar Street
SITE ADDRESS/LOCATIONS: 711 LAMAR ST, ROCKWALL, 75087

CASE CAPTION: Hold a public hearing to discuss and consider a request by Ryszond Waszczvk for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Sherman Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	05/24/2024	Approved w/ Comments

05/24/2024: Z2024-026; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 711 Lamar Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, and addressed as 711 Lamar Street.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-026) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within the B. F. Boydston Addition and situated within 500-feet of the Ridgell and Robbins Additions. All of these subdivisions have been in existence for more than ten (10) years, consist of more than five (5) lots, and are considered to be more than 90% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.6 In this case, the proposed request appears to meet most of the requirements for Residential Infill in an Established Subdivision, and the zoning requirements for a property in a Single-Family 7 (SF-7) District, and the requirements for the Southside Residential Neighborhood Overlay (SRO) District.

I.7 Garage Requirements. According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In the current request, the garage is approximately 22-feet, 9-inches in front of the front façade of the home. While this is not

uncharacteristic of the surrounding area, this will be a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

M.8 Ordinances. Please review the attached draft ordinance prior to the June 11, 2024 Planning & Zoning Commission meeting, and provide staff with your markups by June 4, 2024.

I.9 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on June 4, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 11, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.10 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 28, 2024, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on June 11, 2024.

I.11 City Council Meeting Dates. The projected City Council meeting dates for this case will be June 17, 2024 (1st Reading) and July 1, 2024 (2nd Reading).

I.12 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2024	Approved w/ Comments

- 05/22/2024:
1. Sherman is not a curbed street.
 2. Driveway must be concrete.
 3. Culvert is required. Minimum 18", must be reinforced concrete, and sized by an engineer.
 4. Show a 10' utility easement along the site frontage.
 5. What are these?
 6. AC may not interfere with side yard swale.
 7. Verify these utility easements.
 8. No fences in utility easement.

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- Impact Fees (Water, Sewer, Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No structures or fences allowed within easements.
- Additional comments may be provided at the time of Building Permit.

Drainage Items:

- Property must drain to ROW.
- Maximum grading allowed is 4:1.

Water and Wastewater Items:

- There is an existing 8" sewer main located in the back of the property available for use.
- There is an existing 8" water main located in the back of the property available for use.
- Water to be 10' separated from storm and sewer lines.

Roadway Paving Items:

- Must meet City driveway spacing requirements.

- Driveways must be reinforced concrete. (No rock, gravel, or asphalt allowed).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/23/2024	Approved w/ Comments
05/23/2024: DRIVEWAY WIDTH WILL BE A MINIMUM OF 18 FEET WIDE - CURRENTLY SHOWS 16' 4"			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/22/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/20/2024	Approved w/ Comments
05/20/2024: Assigned address will be 714 SHERMAN ST. ROCKWALL, TX 75087			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/21/2024	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/20/2024	Approved
No Comments			



NORTH
SCALE: 1" = 20'-0"

General Items:

- Must meet City 2023 Standards of Design and Construction
- Impact Fees (Water, Sewer, Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock or stone face. No smooth concrete walls.
- No structures or fences allowed within easements.
- Additional comments may be provided at the time of Building Permit.

Drainage Items:

- Property must drain to ROW.
- Maximum grading allowed is 4:1.

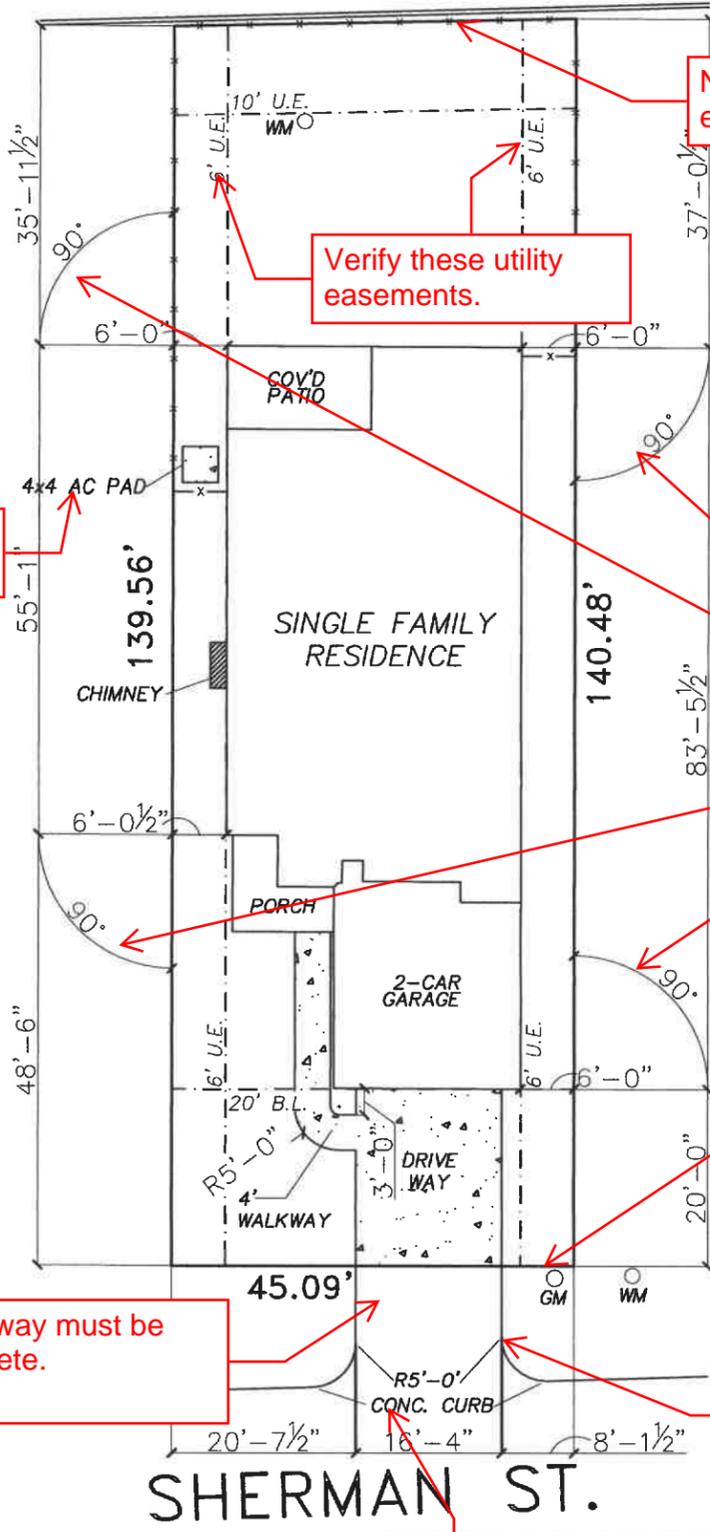
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- Water to be 10' separated from storm and sewer lines.

Roadway Paving Items:

- Must meet City driveway spacing requirements.
- Driveways must be reinforced concrete. (No rock, gravel, or asphalt allowed).

LAMAR ST
45.02'



No fences in utility easement.

Verify these utility easements.

AC may not interfere with side yard swale.

What are these?

Show a 10' utility easement along the site frontage.

Driveway must be concrete.

Culvert is required. Minimum 18", must be reinforced concrete, and sized by an engineer.

Sherman is not a curbed street.

CUSTOMER SIGNATURE: _____

DATE: _____

NOTES:

LEGEND		- DRAINAGE FLOW
		- PROPOSED FENCE
		- EXISTING FENCE
		- CURLEX
		- RETAINING WALL
		- REQUIRED TREE PLANTING
		- REQUIRED BUSH
	B.L. - BUILDING LINE	
	D.E. - DRAINAGE EASEMENT	
	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
S.S.E. - SANITARY SEWER EASEMENT		
T.E. - TRANSFORMER EASEMENT		
U.E. - UTILITY EASEMENT		
W.M.E. - WALL MAINT. EASEMENT		
M.E. - MAINTENANCE EASEMENT		
V.E. - VISIBILITY EASEMENT		
		- EXPOSED AGGREGATE CONCRETE

BUILDER: RICHARD EXPO

DATE: 05-14-2024

ADDITION: N/A

DRAWN BY: DDSG-HR

ADDRESS: 714 SHERMAN STREET

CITY: ROCKWALL

LOT: 9 BLOCK: 111

PLAN: N/A ELEVATION: A

PHASE: N/A

SWING: RIGHT

OPTION: N/A

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.



PLOT PLAN SP1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 714 Sherman St.

SUBDIVISION _____ LOT 9 BLOCK 111

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ryszard Waszczuk, Dagmara Plaza</u>	<input type="checkbox"/> APPLICANT	<u>R. Waszczuk, D. Plaza</u>
CONTACT PERSON	_____	CONTACT PERSON	<u>Ryszard Waszczuk</u>
ADDRESS	<u>820 E Heath St.</u>	ADDRESS	<u>820 E Heath St.</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>972-400-8047</u>	PHONE	<u>972-400-8047</u>
E-MAIL	<u>RichardExp@HOTMAIL.COM</u>	E-MAIL	<u>Richardexpo@hotmail.com</u>

NOTARY VERIFICATION [REQUIRED]

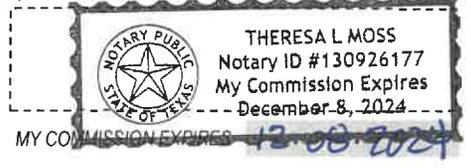
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryszard Waszczuk / Dagmara Plaza [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5/17/2024 DAY OF May, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF May, 2024.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

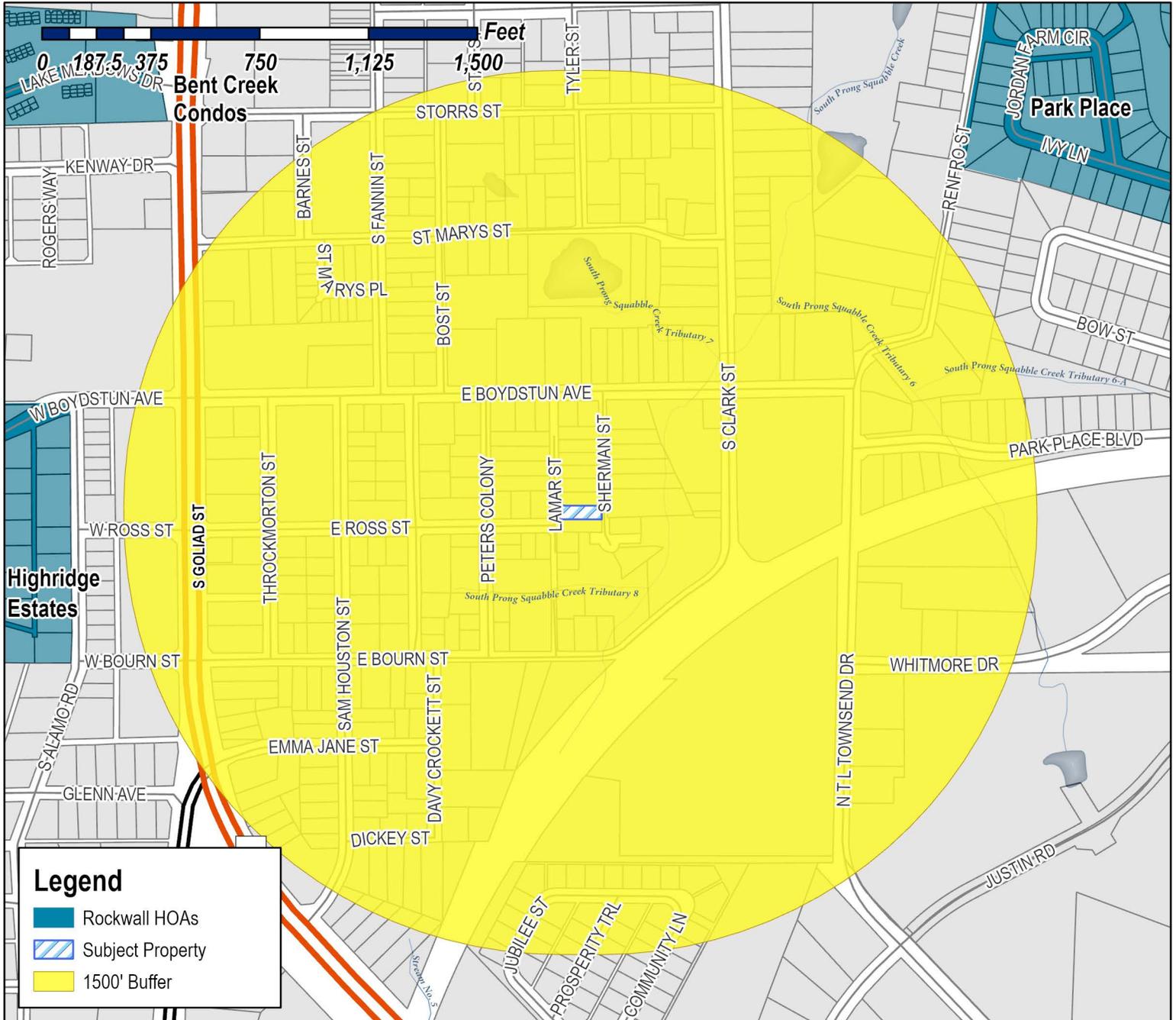




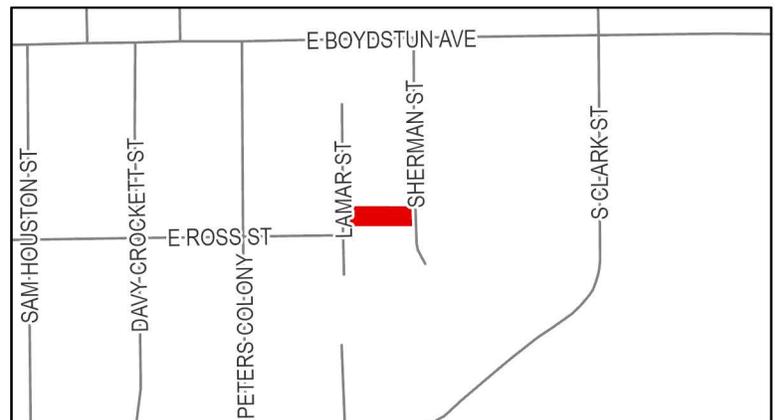
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2024-026
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 711 Lamar Street



Date Saved: 5/20/2024

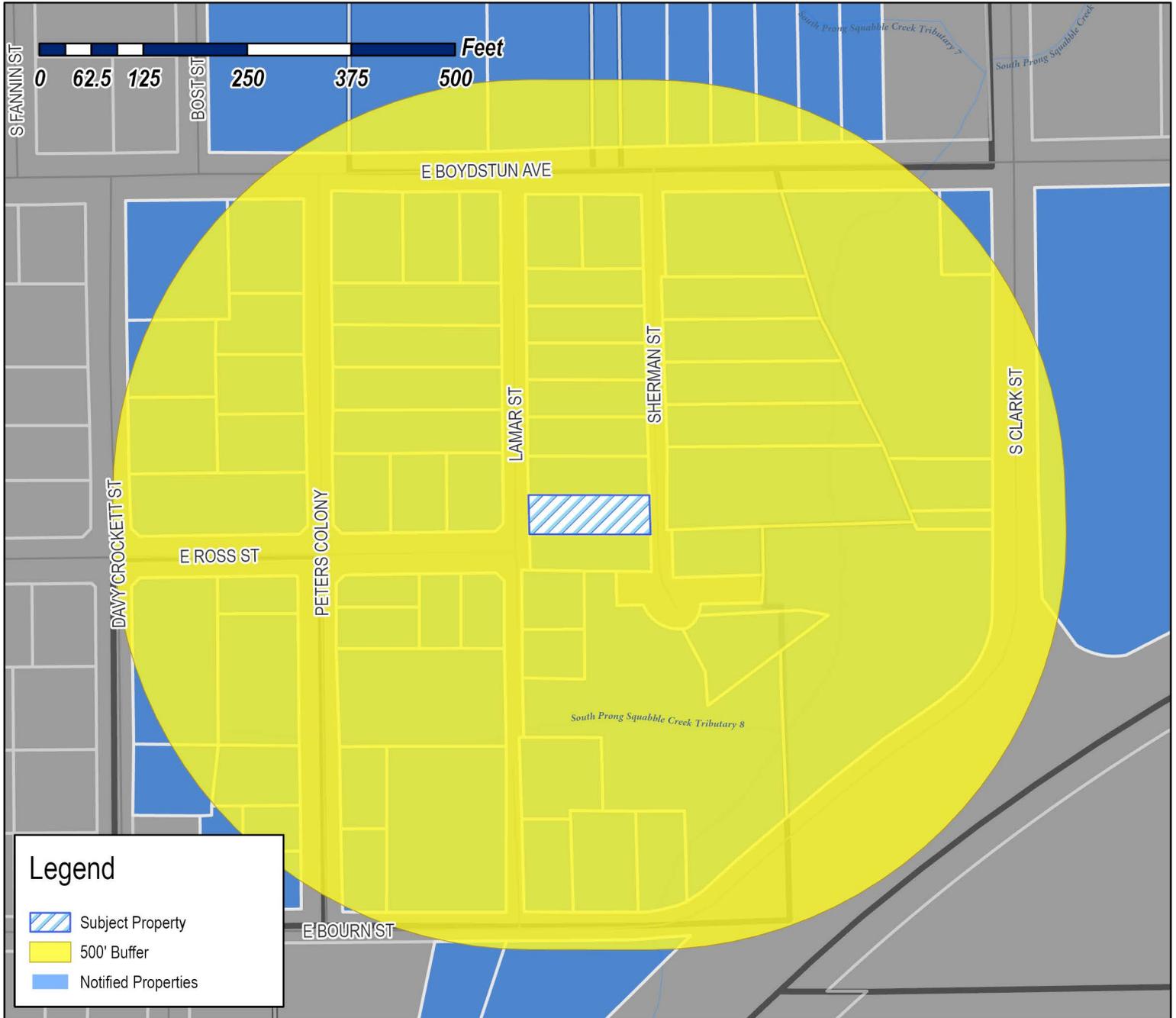
For Questions on this Case Call (972) 771-7745



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Case Number: Z2024-026
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 711 Lamar Street



Date Saved: 5/20/2024

For Questions on this Case Call: (972) 771-7745

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

WELCH CHRISTOPHER & HAZEL
1212 CLIFFTOP LN
DALLAS, TX 75208

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

OFF MARKET LLC
DBA BIG STATE HOME BUYERS
2800 N LOOP WEST #925
HOUSTON, TX 77092

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
403 E BOURN ST
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
504 ROSS
ROCKWALL, TX 75087

RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 S ROSS
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
607 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
611 E BOYDSTUN AVE
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

ESTATE OF DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

COCHRAN SANDRA AND JOE
708 SHERMAN ST
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

RESIDENT
801 DAVY CROCKETT
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
812 PETERS COLONY
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Hold a public hearing to discuss and consider a request by Ryszond Waszczvk for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 11, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 17, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 17, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

ISSUED FOR REVIEW:
05-16-24

BUYER:
RICHARD EXPO

ADDRESS:
714 SHERMAN ST
BLK 111 / LOT 9
ROCKWALL, TX.



PLAN: 714 SHERMAN ST

ELEVATION: A

INDEX:

C1	COVER PAGE: INDEX, GENERAL NOTES & ABBRV.
R1	REVISION LOG & WALL LEGEND
SP1	SITE PLAN
S1	SLAB FORM & PLUMBING PLAN
S1.1	SECOND FLOOR PLUMBING PLAN
A1	FIRST FLOOR PLAN
A1.1	SECOND FLOOR
A2	INTERIOR ELEVATION
A3	FRONT & RIGHT ELEVATION
A4	REAR & LEFT ELEVATION
A5	ROOF PLAN
A6	FIRST FLOOR ELECTRICAL PLAN
A6.1	SECOND FLOOR ELECTRICAL PLAN
F1	FOUNDATION PLAN
F2	FOUNDATION DETAILS
R1	FIRST FLOOR CEILING JOIST PLAN
R2	FIRST FLOOR RAFTER SUPPORT
R3	ROOF RAFTER PLAN
R4	FRAMING DETAILS
R5	FRAMING DETAILS
R6	FRAMING DETAILS
S1	FIRST FLOOR SHEAR WALL PLAN
S2	SHEAR WALL DETAILS
MEP1	MECHANICAL ROOF PLAN
MEP2	MECHANICAL SPECIFICATIONS
MEP3	FIRST FLOOR MECHANICAL PLAN
1	RES-CHECK SINGLE FAMILY HOUSE ENERGY REPORT
2	RES-CHECK PROJECT INFORMATION
3	RES-CHECK ESTIMATED ANNUAL ENERGY USAGE

GENERAL NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
2. CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
3. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.
4. THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.
6. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.
7. CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NAHB BUILDING STANDARDS.

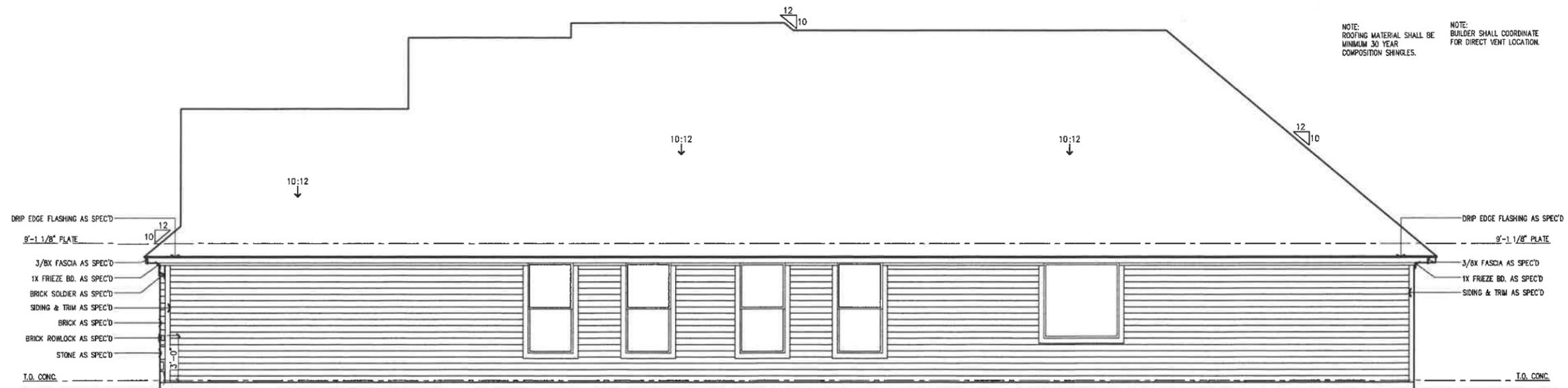
ABBREVIATIONS:

R & S	ROD & SHELF
X-SH	SHELF/SHELVES
ABV.	ABOVE
A.F.F.	FINISH FLOOR
APRX.	APPROXIMATE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
COV'D	COVERED
CPT	CARPET
DL	DIVIDED LITE
EXT'D	EXTENDED
FLUOR	FLUORESCENT
FX	FIXED
HB	HOSE BIB
HDR	HEADER
HZ	HORIZONTAL
ILO	IN LIEU OF
MTL	METAL
OBS.	OBSCURE
OPQ	OPAQUE
OPT.	OPTIONAL
PL	PLATE HEIGHT
PWDR	POWDER ROOM
RAD/R	RADIUS
REF.	REFERENCE
STD.	STANDARD
TEMP	TEMPERED
TRANS	TRANSOM
TYP.	TYPICAL
W.C.	WATER CLOSET
WD	WOOD
W.I.C.	WALKING CLOSET
WP	WATER PROOF

MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL	
Front Elevation	82	S.F.	25.00%	34	S.F.	10.37%	212	S.F.	64.63%	328	S.F.
Right Side Elevation	2	S.F.	0.36%	1	S.F.	0.18%	552	S.F.	99.46%	555	S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	207	S.F.	100.00%	207	S.F.
Left Side Elevation	130	S.F.	22.38%	77	S.F.	13.25%	374	S.F.	64.37%	581	S.F.
Total Area	214	S.F.		112	S.F.		1,345	S.F.		1,671	S.F.
Total Brick Area							214	S.F.		12.81%	
Total Stone Area							112	S.F.		6.70%	
Total Siding Area							1,345	S.F.		80.49%	
Overall Width = 34'-10"							Overall Depth = 83' 5 1/2"				



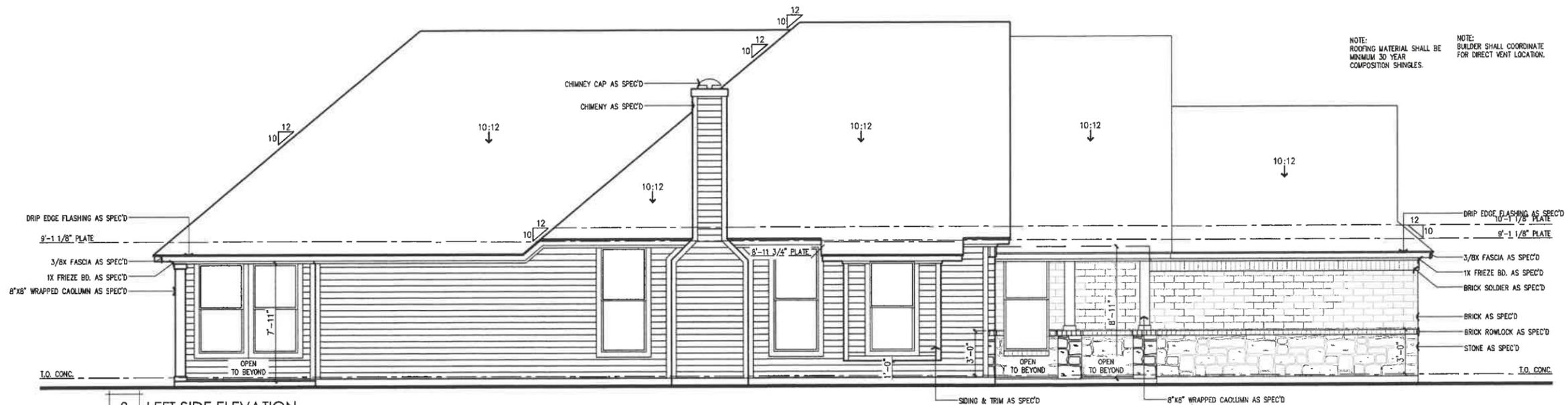
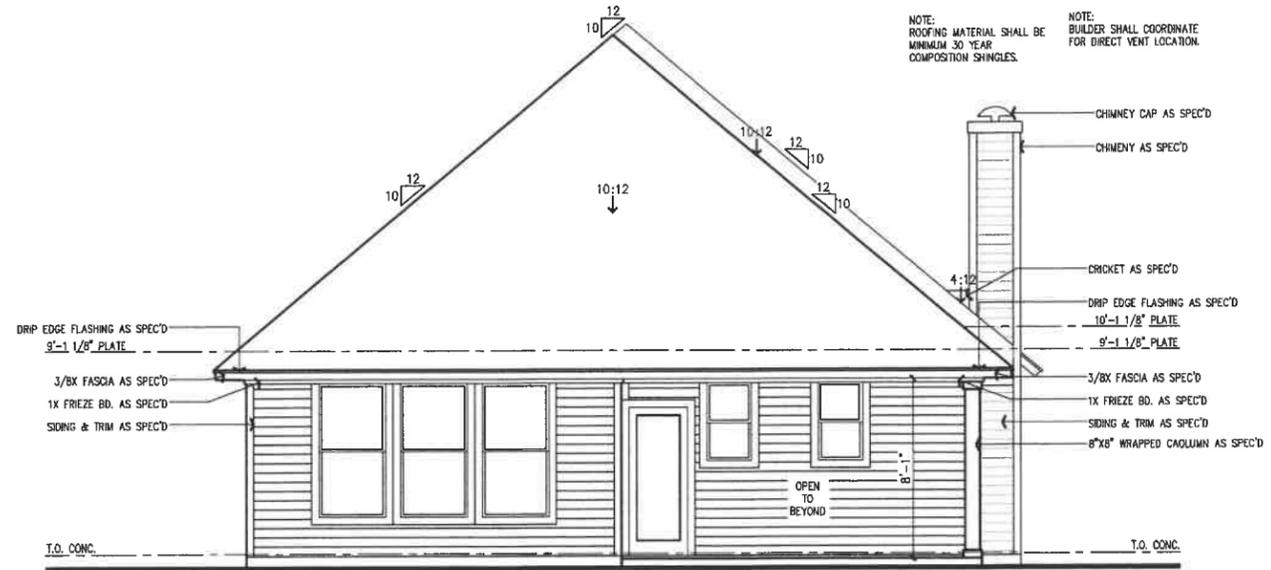
1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

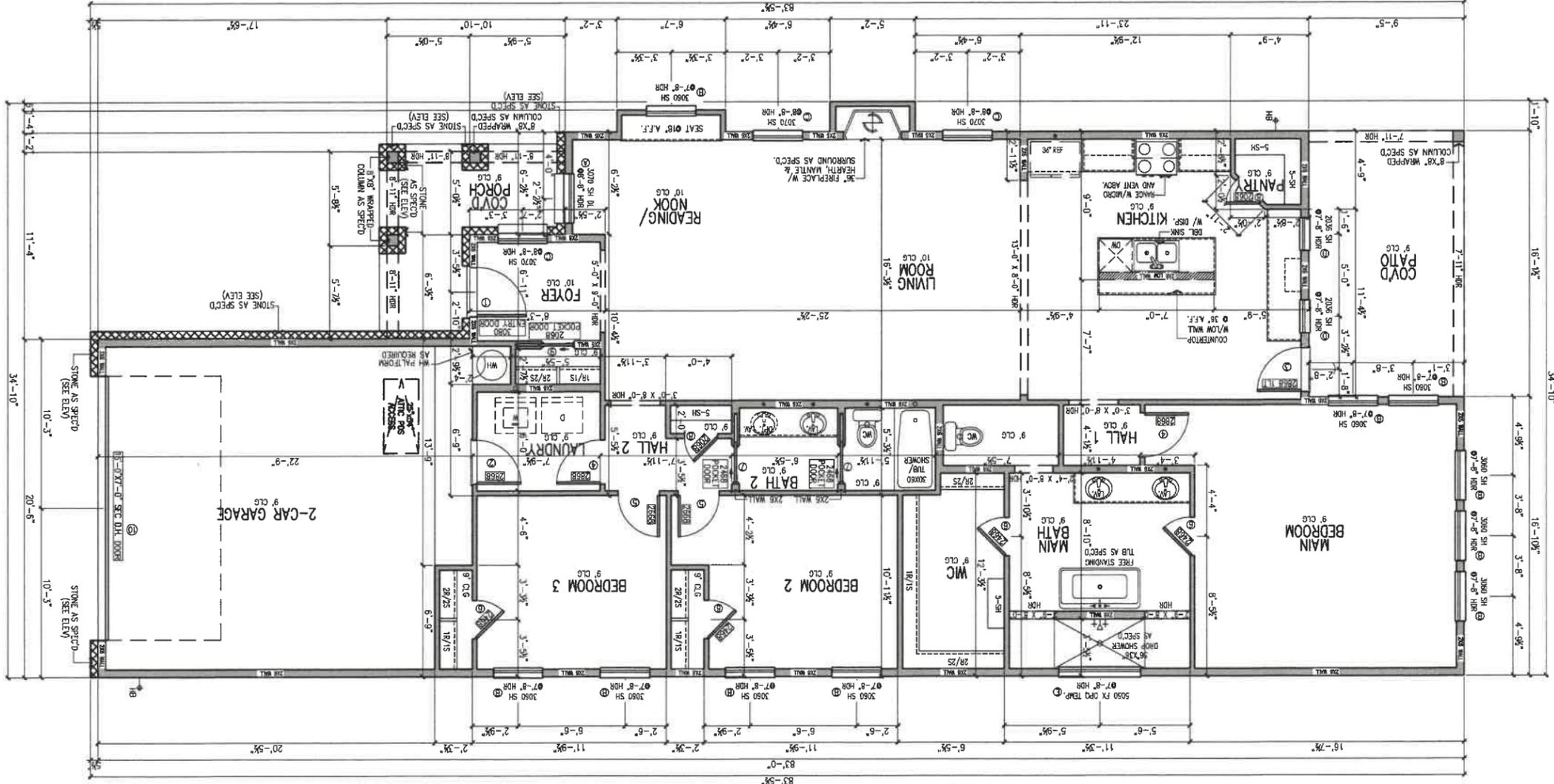
MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL	
Front Elevation	82	S.F.	25.00%	34	S.F.	10.37%	212	S.F.	64.63%	328	S.F.
Right Side Elevation	2	S.F.	0.36%	1	S.F.	0.18%	552	S.F.	99.46%	555	S.F.
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Total Area	214	S.F.		112	S.F.		1,345	S.F.		1,671	S.F.
Total Brick Area							214	S.F.		12.81%	
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Overall Width = 34'-10"											Overall Depth = 83' 5 1/2"

1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

Y:\RICHARD EXP\714 SHERMAN ST\CONSTRUCTION DOCUMENTS\714 SHERMAN ST ARCHITECTURAL 2024-05-15.DWG



WINDOW SCHEDULE

ID	QTY	TYPE	DESCRIP.
A 1	3070	VINYL 3 STAR ENERGY	SINGLE HUNG DL
B 10	3060	VINYL 3 STAR ENERGY	SINGLE HUNG
C 3	3070	VINYL 3 STAR ENERGY	SINGLE HUNG
D 2	2056	VINYL 3 STAR ENERGY	SINGLE HUNG
E 1	5050	VINYL 3 STAR ENERGY	FIXED OPO. TEMP.

DOOR SCHEDULE

ID	QTY	TYPE	DESCRIP.
1	1	3080	EXTERIOR INSULATED DOOR
2	1	2868	EXTERIOR INSULATED DOOR
3	1	2868	LT EXTERIOR DOOR W/GLASS
4	2	2868	INTERIOR
5	2	2668	INTERIOR
6	4	2468	INTERIOR
7	2	2468	INTERIOR
8	2	2068	INTERIOR
9	1	2068	INTERIOR
10	1	16070	GARAGE OVERHEAD

- GENERAL NOTES
- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
 - ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
 - SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
 - UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
 - DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
 - WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
 - U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
 - FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
 - ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
 - "CORNERS" AND "TS" SHALL BE TRUE, NOT CALIFORNIA STYLE. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
 - PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
 - ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
 - PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
 - WALLS AND CEILINGS FOR ADDITIONAL INFORMATION.
 - SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ OPENING AS REQUIRED BY CODE.

MASONRY LEGEND

	STONE
	BRICK

SQUARE FOOTAGE TABLE

AREA	1,839 SF
FIRST FLOOR	1,839 SF
TOTAL LIVING	476 SF
GARAGE	86 SF
FRONT PORCH	152 SF
COVERED PATIO	152 SF
TOTAL COMBINED	2,553 SF
TOTAL SLAB	2553 SF

ELEVATION: A
SHEET NUMBER: A1

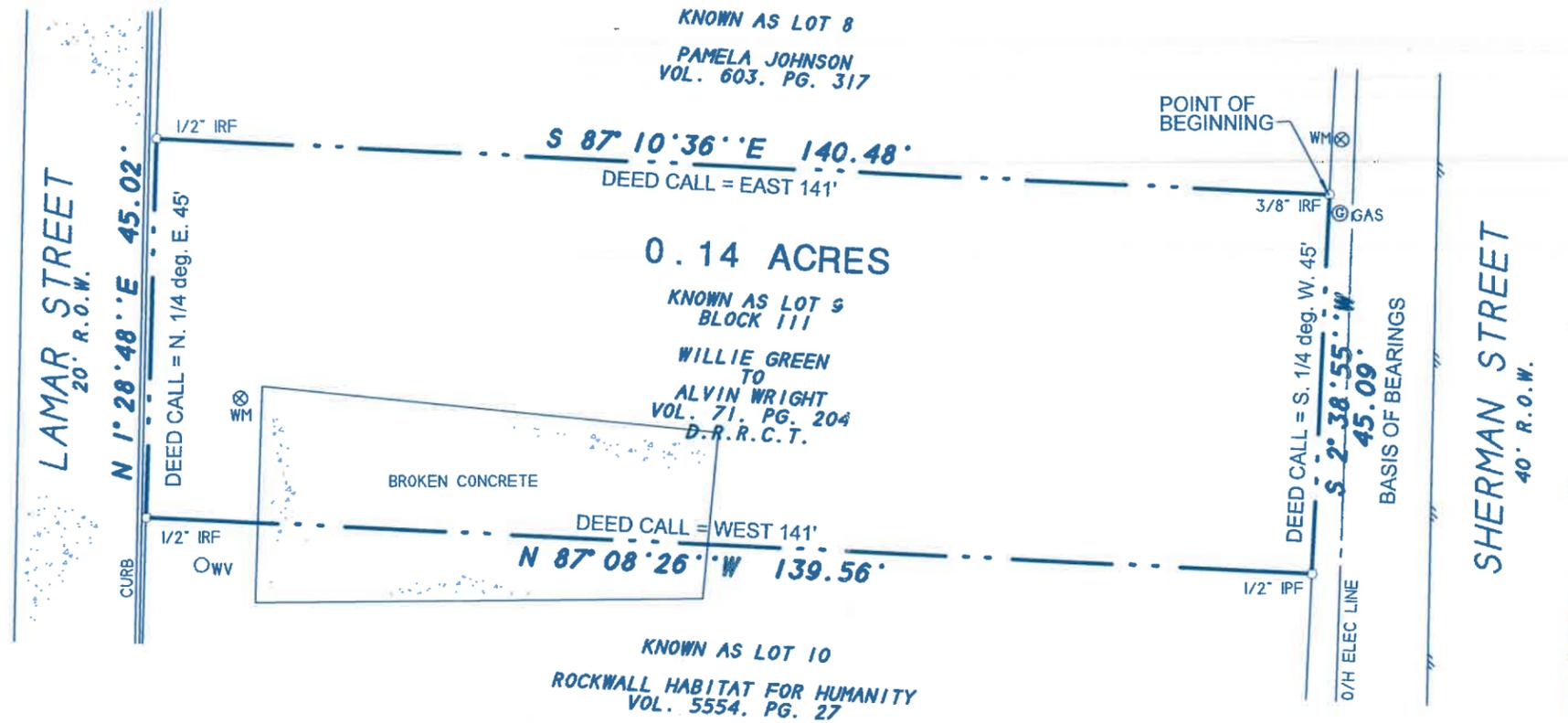
714 SHERMAN ST
ROCKWALL, TX.

DESIGNER: DDS GROUP
PROJECT #: 183858

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSGUS SERVICES-DDSGUS
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRE, TX 75050



PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being known as Lot 9, Block 111, and being the same tract of land as described in a Warranty deed from Willie Green, et al to Alvin Wright, dated November 25, 1964 and being recorded in Volume 71, Page 204 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 3/8" iron rod found for corner in the west right-of-way of Sherman Street, being the northeast corner of Wright tract and the southeast corner of Lot 8, Block 111 as described in a Deed to Pamela Johnson, as recorded in Volume 603, Page 317 of the Real Property Records of Rockwall County, Texas;

THENCE S. 02 deg. 38 min. 55 sec. W. along the west right-of-way of Sherman Street, a distance of 45.09 feet to a 1/2" iron pipe found for corner at the northeast corner of a tract of land as described in a Warranty deed to Rockwall Habitat for Humanity, as recorded in Volume 5554, Page 27 of the Official Public Records of Rockwall County, Texas;

THENCE N. 87 deg. 08 min. 26 sec. W. along the south boundary of said Wright tract, a distance of 139.56 feet to a 1/2" iron rod found for corner in the east right-of-way line of Lamar Street;

THENCE N. 01 deg. 28 min. 48 sec. E. along said right-of-way line, a distance of 45.02 feet to a 1/2" iron rod found for corner;

THENCE S. 87 deg. 10 min. 36 sec. E. along the south boundary of said Johnson tract, a distance of 140.48 feet to the POINT OF BEGINNING and containing 0.14 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company and Richard Expo at 711 Lamar Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 6th day of April, 2021.


 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT
ELECTRIC METER	ELEC. BOX SUBSURFACE JUNCTION BOX	WATER METER	LIGHT POLE
FENCE	EASEMENT LINE	A/C COND. UNIT	PROPANE TANK

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE APRIL 6, 2021
 SCALE 1" = 20' FILE # 20210120
 CLIENT EXPO GF # 21118784-10GH

SURVEY ACCEPTED BY:

 DATE _____

 DATE _____



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
707 Sherman Street	Single-Family Home	2007	1,494	N/A	Brick and Siding
708 Sherman Street	Single-Family Home	1974	1,400	480	Siding
709 Sherman Street	Single-Family Home	2007	1,494	40	Brick and Siding
710 Sherman Street	Single-Family Home	1994	1,200	N/A	Siding
711 Sherman Street	Single-Family Home	1982	2,942	N/A	Siding
712 Sherman Street	Vacant	N/A	N/A	N/A	N/A
713 Sherman Street	Single-Family Home	1990	1,896	N/A	Brick
715 Sherman Street	Vacant	N/A	N/A	N/A	N/A
716 Sherman Street	Vacant	N/A	N/A	N/A	N/A
711 Lamar Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1992	1,738	260	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

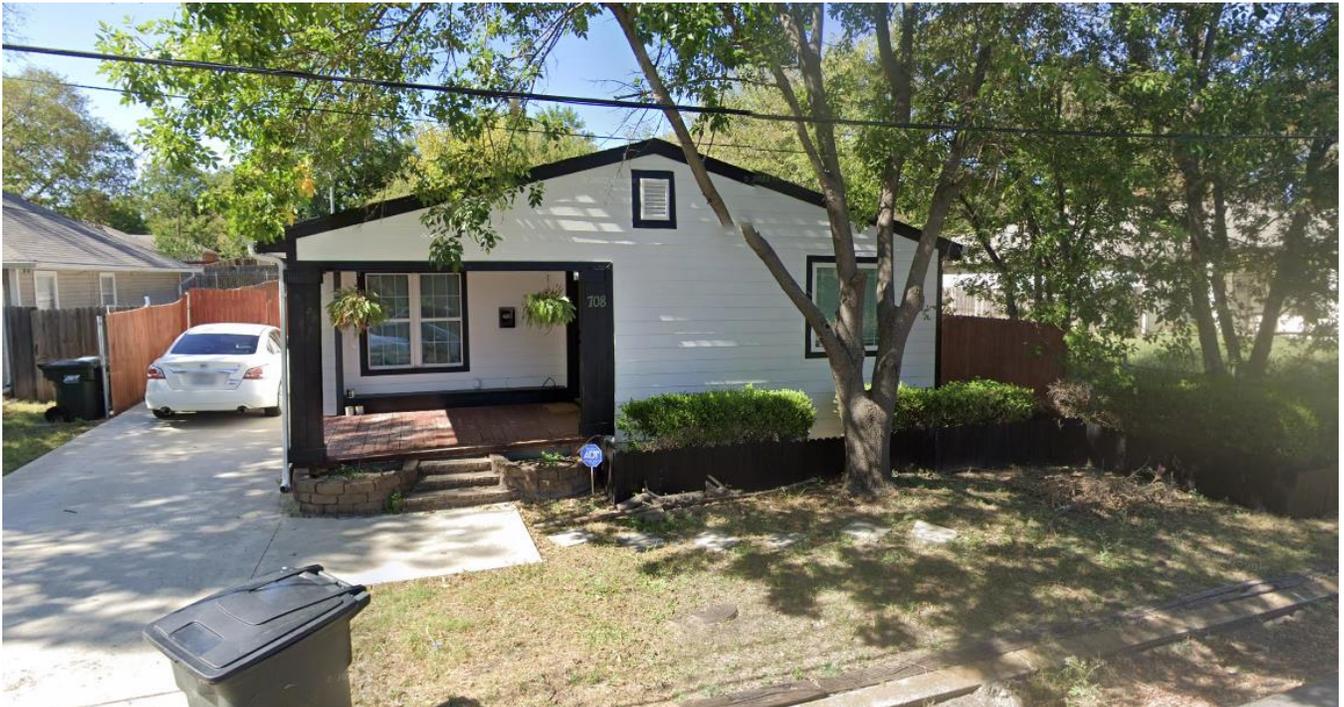
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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707 Sherman Street



708 Sherman Street



CITY OF ROCKWALL

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709 Sherman Street



710 Sherman Street



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711 Sherman Street



712 Sherman Street



CITY OF ROCKWALL

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713 Sherman Street



715 Sherman Street



CITY OF ROCKWALL

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716 Sherman Street



711 Lamar Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1450-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryszond Waszczvk for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7*

(SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF JULY, 2024.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 17, 2024

2nd Reading: July 1, 2024

**Exhibit 'A':
Location Map**

Address: 711 Lamar Street

Legal Description: Lot 9, Block 111, B. F. Boydston Addition



Exhibit 'B':
Residential Plot Plan

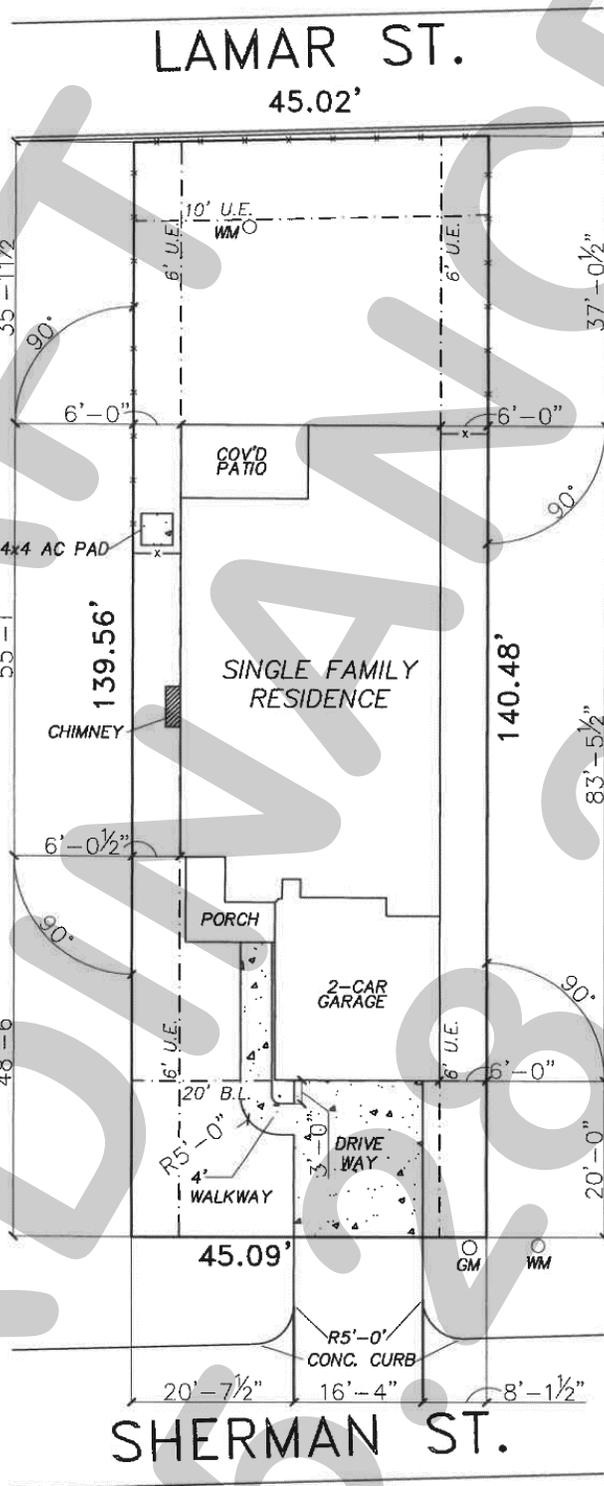
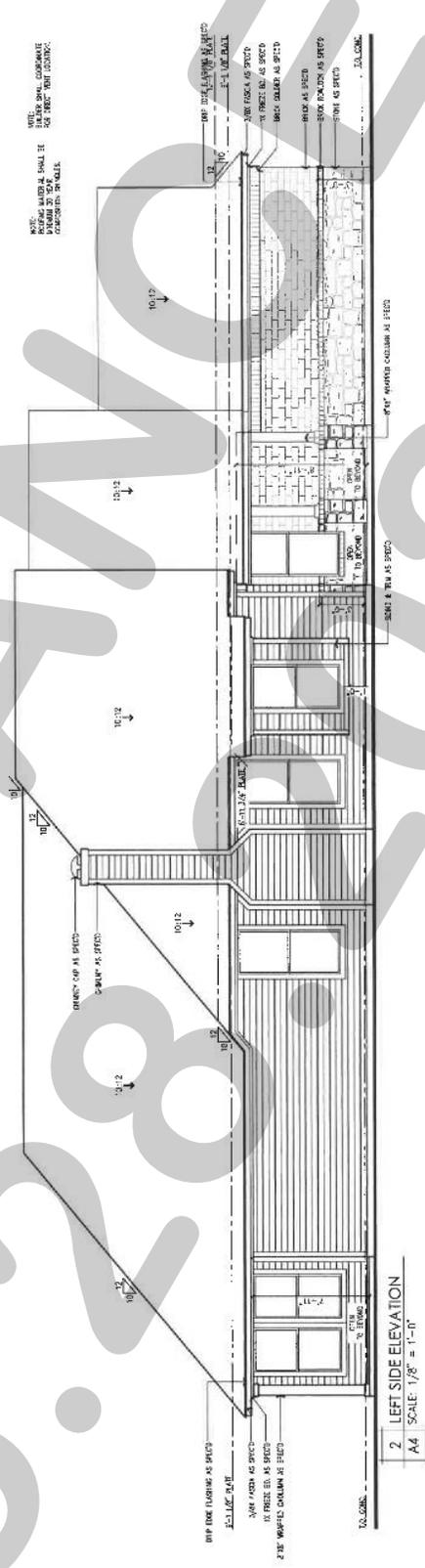
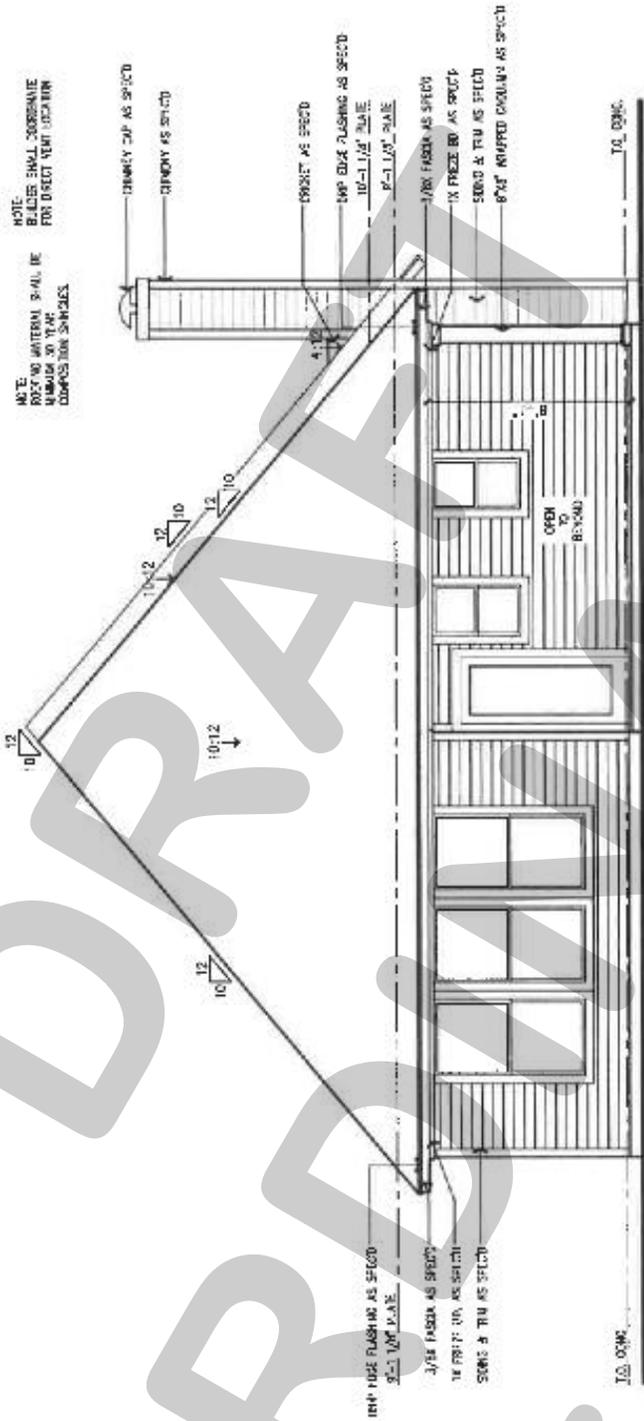


Exhibit 'C':
Building Elevations



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 25, 2024
APPLICANT: Ryszond Waszczvk
CASE NUMBER: Z2024-026; *Specific Use Permit (SUP) for a Residential Infill for 711 Lamar Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryszond Waszczvk for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and take any action necessary.

BACKGROUND

According to the City's annexation ordinances and the 1934 Sanborn Maps, the subject property was platted as part of the B.F. Boydston Addition prior to 1959 and after 1934. Per the City's historic zoning maps, the subject property was originally zoned Commercial (C) District as of January 3, 1972. Between this date and July 11, 1985, the subject property was rezoned from a Commercial (C) District to a Single-Family 7 (SF-7) District. The subject property has been situated within the Southside Residential Neighborhood Overlay (SRO) District since its inception on June 3, 1996 by *Ordinance No. 96-12*. The subject property is currently vacant.

PURPOSE

The applicant -- *Ryszond Waszczvk* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 711 Lamar Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are eight (8) single-family residential lots (*i.e. 704, 706, 708, 710, 712, 714 Sherman Street & 608, 610 E. Boydston Avenue*) that are zoned Single-Family 7 (SF-7) District. Beyond this is E. Boydston Avenue, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a vacant 0.1460-acre parcel of land (*i.e. Lot 10, Block 111, B.F. Boydston Addition*) that is vacant and owned by Rockwall Habitat for Humanity. Beyond this is a 1.10-acre parcel of land (*i.e. Lot 1, Block 1, Lamar Street Habitat No. 1 Addition*) developed with a single-family home. South of this are two (2) vacant parcels of land (*i.e. Lot 2, Block 1, Lamar Street Habitat No. 1 Addition & Lot G, Block 112, B.F. Boydston Addition*) which are also owned by the Rockwall Habitat for Humanity. All of these properties are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property are two (2) residential lots (*i.e. 711 & 713 Sherman Street*) developed with single-family homes and zoned Single-Family 7 (SF-7) District. Beyond this are three (3) parcels of land (*i.e. Lots A & C, Block 110, B.F. Boydston Addition & Lot 110-B of the Ridgell Addition*), that are owned by Kaufmann

Properties, LLC, and are zoned Planned Development District 52 (PD-52). East of this is S. Clark Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Lamar Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) residential lots (*i.e. 605 & 609 E. Ross Street & 725 Peters Colony*) developed with single-family lots that are zoned Single-Family 7 (SF-7) District. West of this is Peters Colony, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the B. F. Boydston Subdivision, and situated within 500-feet of the Ridgell and Robbins Additions, which have been in existence more than ten (10) years, consist of more than five (5) residential lots, and are more than 90.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being adjacent to an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing within close proximity of Sherman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Sherman Street in a Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward Sherman Street.	The front elevation of the home will face Sherman Street.
Year Built	1974-2007	N/A
Building SF on Property	980 SF – 2,942 SF	2,553 SF
Building Architecture	Single Family Homes and Four (4) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	6- feet	6- Feet
Rear	10-Feet	35-Feet, 11 ½-inches
Building Materials	Brick and Siding	Siding, Brick, and Stone
Paint and Color	Red, Tan, White, Brown, Yellow	N/A
Roofs	Composite Shingles	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of front-facing garages or no garages.	The garage will be attached and located approximately 22-feet, 9-inches in front of the front façade.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant’s proposed garage is oriented approximately 22-feet, 9-inches in front of the front façade of the proposed single-family home; however, staff should point out that this is not atypical for this area or properties

located within the Southside Neighborhood Residential Overlay (SRO) District. A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If this Specific Use Permit (SUP) request is approved by the Planning and Zoning Commission and City Council, the garage setback requirement will be waived. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) for a property in a Single-Family 7 (SF-7) District and the Southside Residential Neighborhood Overlay (SRO) District.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Sherman Street and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 20, 2024, staff mailed 88 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowners Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 714 Sherman St.

SUBDIVISION _____ LOT 9 BLOCK 111

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ryszard Waszczuk, Dagmara Plaza</u>	<input type="checkbox"/> APPLICANT	<u>R. Waszczuk, D. Plaza</u>
CONTACT PERSON	_____	CONTACT PERSON	<u>Ryszard Waszczuk</u>
ADDRESS	<u>820 E Heath St.</u>	ADDRESS	<u>820 E Heath St.</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>972-400-8047</u>	PHONE	<u>972-400-8047</u>
E-MAIL	<u>RichardExp@HOTMAIL.COM</u>	E-MAIL	<u>Richardexpo@hotmail.com</u>

NOTARY VERIFICATION [REQUIRED]

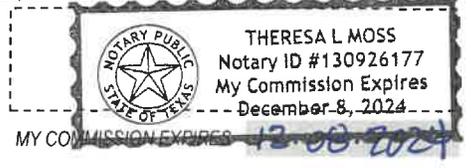
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryszard Waszczuk / Dagmara Plaza [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5/17/2024 DAY OF May 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF May 2024.

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

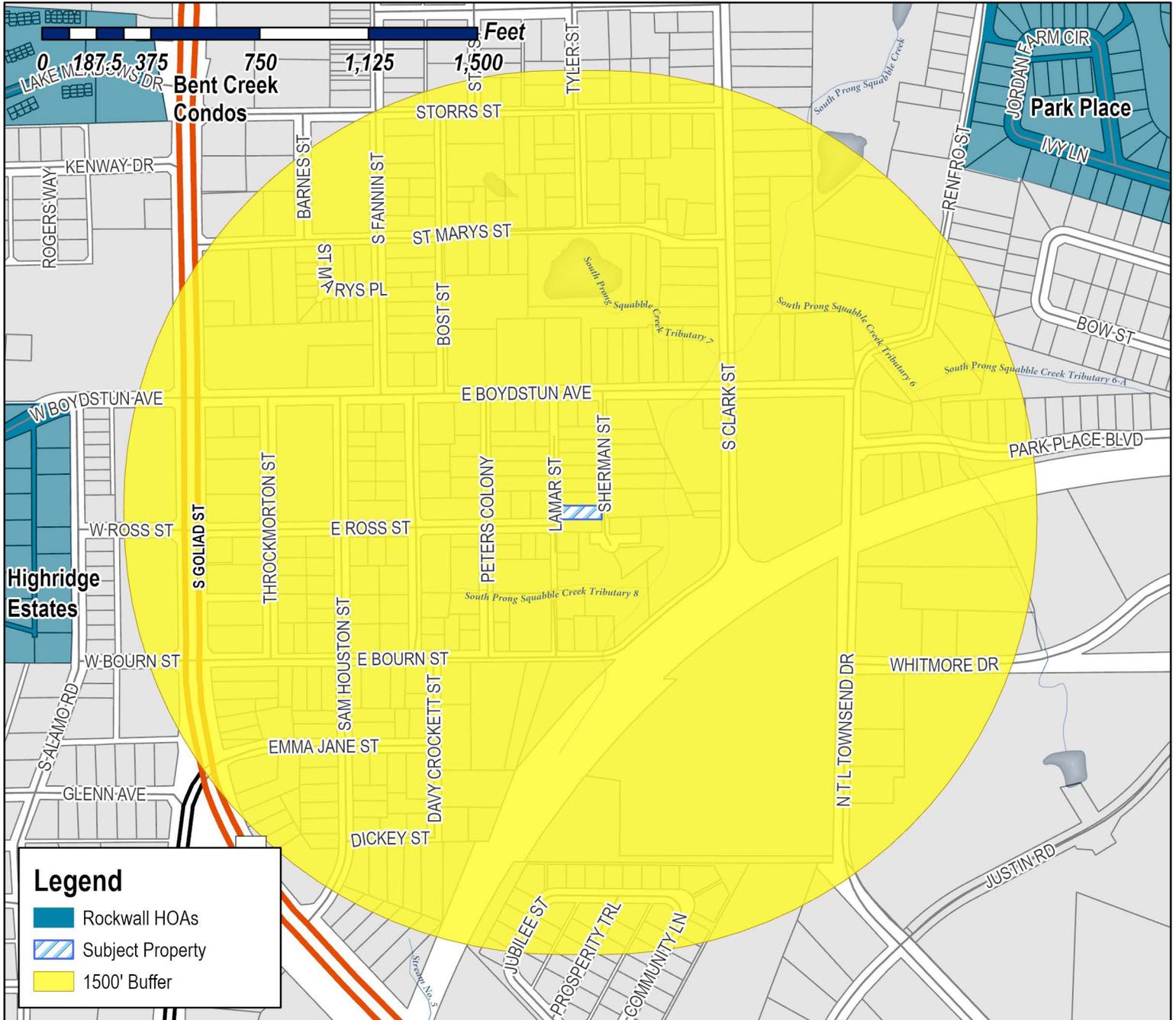




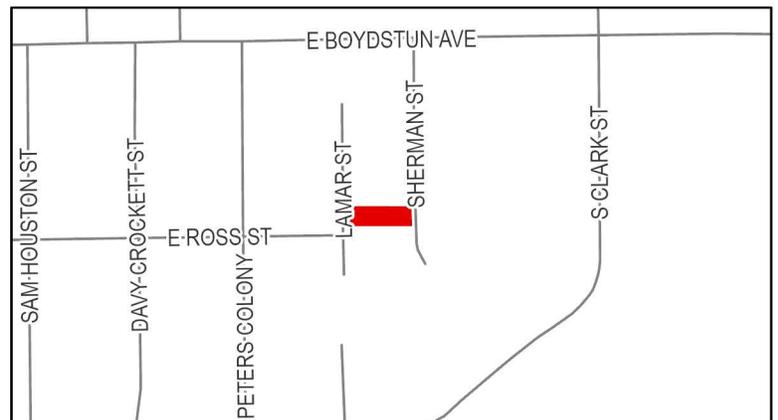
City of Rockwall

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Case Number: Z2024-026
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 711 Lamar Street



Date Saved: 5/20/2024

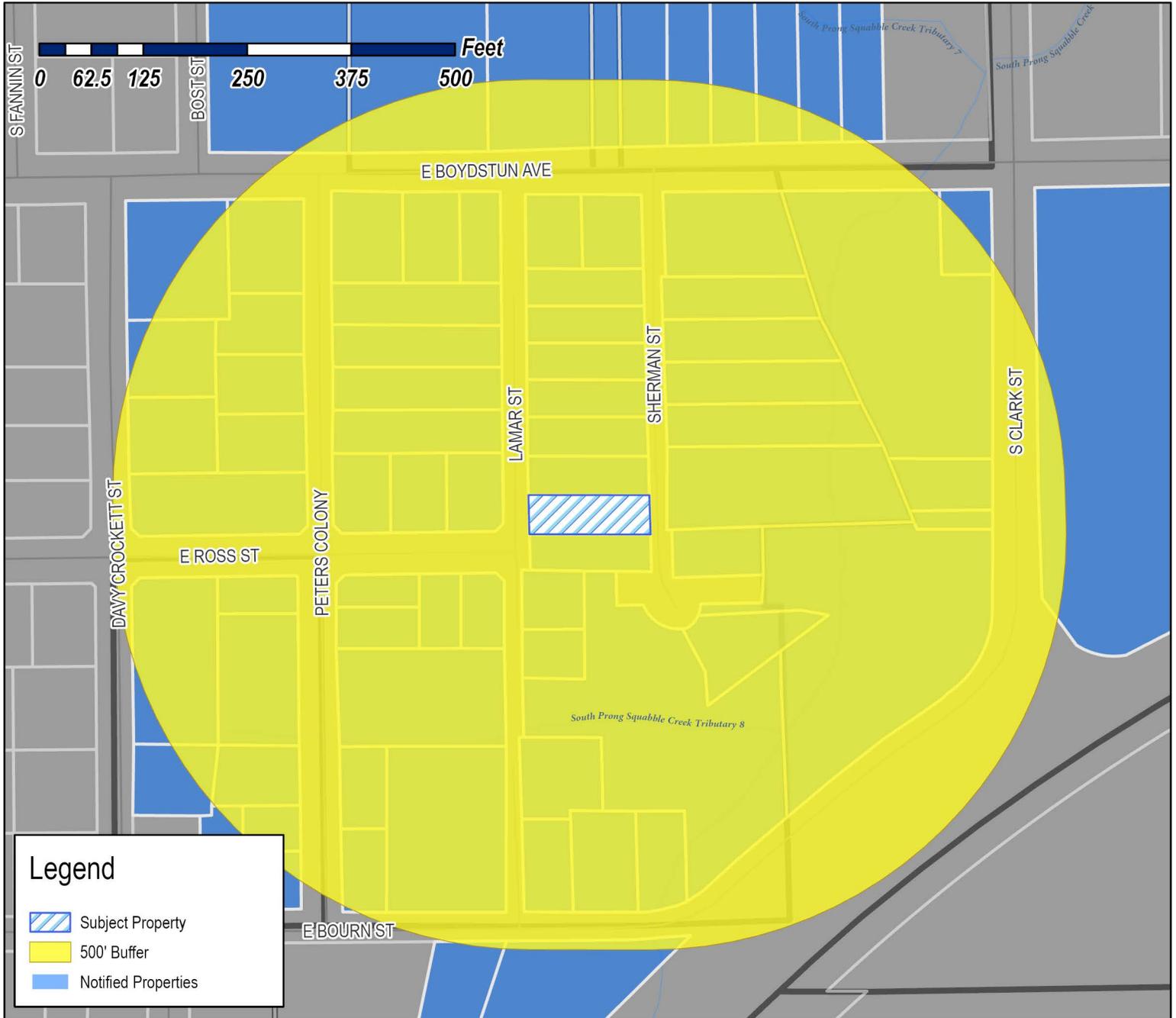
For Questions on this Case Call (972) 771-7745



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Date Saved: 5/20/2024

For Questions on this Case Call: (972) 771-7745

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

WELCH CHRISTOPHER & HAZEL
1212 CLIFFTOP LN
DALLAS, TX 75208

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

OFF MARKET LLC
DBA BIG STATE HOME BUYERS
2800 N LOOP WEST #925
HOUSTON, TX 77092

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
403 E BOURN ST
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
504 ROSS
ROCKWALL, TX 75087

RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 S ROSS
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
607 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
611 E BOYDSTUN AVE
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

ESTATE OF DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

COCHRAN SANDRA AND JOE
708 SHERMAN ST
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

RESIDENT
801 DAVY CROCKETT
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
812 PETERS COLONY
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Hold a public hearing to discuss and consider a request by Ryszond Waszczvk for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 11, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 17, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 17, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

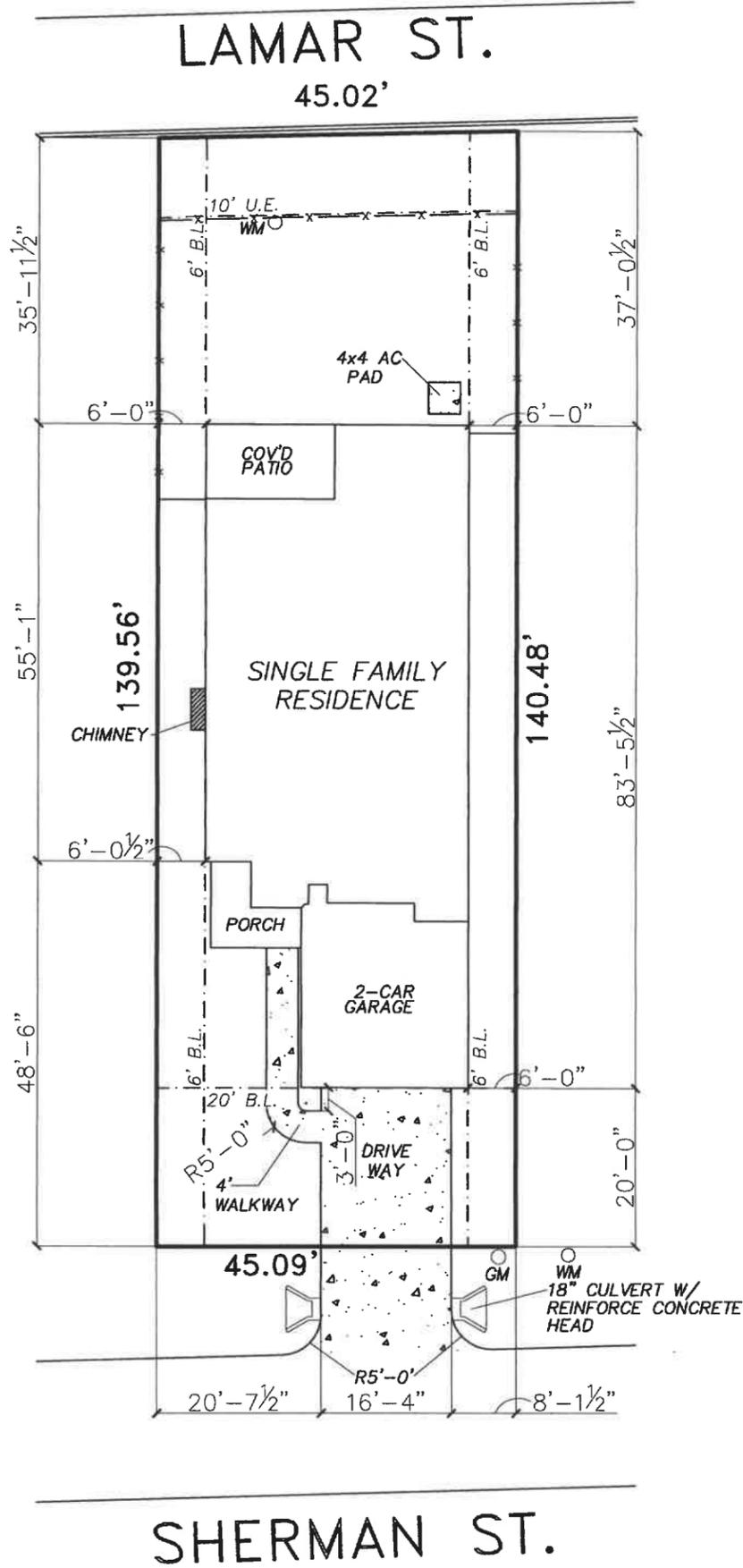
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NORTH
SCALE: 1" = 20'-0"

AREA CALCULATIONS	
LOT AREA	6307 SF
SLAB COVERAGE	2545 SF
% BUILDING COVERAGE	40.4 % COVERAGE
TOTAL IMP. COVERAGE	2993 SF
% TOTAL IMP. COVERAGE	47.5 % COVERAGE
DRIVEWAY COVERAGE	327 SF
% DRIVEWAY COVERAGE	5.2 % COVERAGE
WALKWAY COVERAGE	105 SF
% WALKWAY COVERAGE	1.7 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	377 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	228 SF
LOT FRONTAGE	305 SF
FENCE	148 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____

DATE: _____

NOTES: _____

LEGEND	LEGEND	
		- DRAINAGE FLOW
	- PROPOSED FENCE	
	- EXISTING FENCE	
	- CURLEX	
	- RETAINING WALL	
	- REQUIRED TREE PLANTING	
	- REQUIRED BUSH	
	B.L. - BUILDING LINE	
	D.E. - DRAINAGE EASEMENT	
	P.A.E. - PEDESTRIAN ACCESS EASEMENT	
	S.S.E. - SANITARY SEWER EASEMENT	
	T.E. - TRANSFORMER EASEMENT	
	U.E. - UTILITY EASEMENT	
	W.M.E. - WALL MAINT. EASEMENT	
	M.E. - MAINTENANCE EASEMENT	
	V.E. - VISIBILITY EASEMENT	
		- EXPOSED AGGREGATE CONCRETE

BUILDER: RICHARD EXPO

DATE: 05-25-2024

ADDITION: N/A

DRAWN BY: DDSG-HR

ADDRESS: 714 SHERMAN STREET

CITY: ROCKWALL

LOT: 9 BLOCK: 111

PLAN: N/A ELEVATION: A

PHASE: N/A

SWING: RIGHT

OPTION: N/A

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.



PLOT PLAN

SP1

ISSUED FOR REVIEW:
05-16-24

BUYER:
RICHARD EXPO

ADDRESS:
714 SHERMAN ST
BLK 111 / LOT 9
ROCKWALL, TX.



PLAN: 714 SHERMAN ST

ELEVATION: A

INDEX:

C1	COVER PAGE: INDEX, GENERAL NOTES & ABBRV.
R1	REVISION LOG & WALL LEGEND
SP1	SITE PLAN
S1	SLAB FORM & PLUMBING PLAN
S1.1	SECOND FLOOR PLUMBING PLAN
A1	FIRST FLOOR PLAN
A1.1	SECOND FLOOR
A2	INTERIOR ELEVATION
A3	FRONT & RIGHT ELEVATION
A4	REAR & LEFT ELEVATION
A5	ROOF PLAN
A6	FIRST FLOOR ELECTRICAL PLAN
A6.1	SECOND FLOOR ELECTRICAL PLAN
F1	FOUNDATION PLAN
F2	FOUNDATION DETAILS
R1	FIRST FLOOR CEILING JOIST PLAN
R2	FIRST FLOOR RAFTER SUPPORT
R3	ROOF RAFTER PLAN
R4	FRAMING DETAILS
R5	FRAMING DETAILS
R6	FRAMING DETAILS
S1	FIRST FLOOR SHEAR WALL PLAN
S2	SHEAR WALL DETAILS
MEP1	MECHANICAL ROOF PLAN
MEP2	MECHANICAL SPECIFICATIONS
MEP3	FIRST FLOOR MECHANICAL PLAN
1	RES-CHECK SINGLE FAMILY HOUSE ENERGY REPORT
2	RES-CHECK PROJECT INFORMATION
3	RES-CHECK ESTIMATED ANNUAL ENERGY USAGE

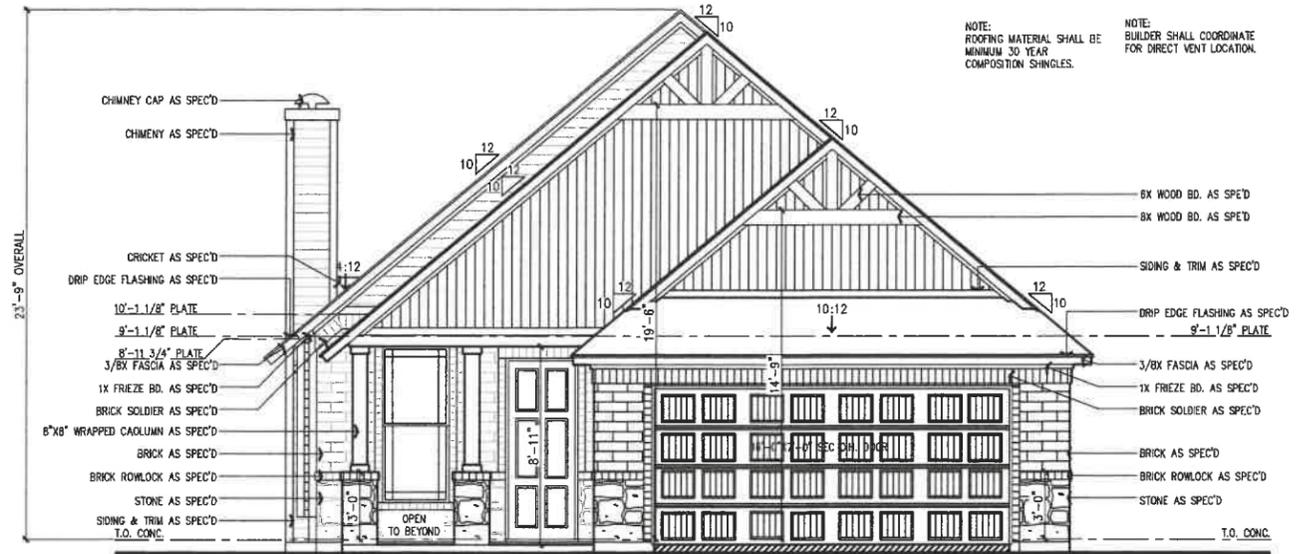
GENERAL NOTES

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
2. CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
3. CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.
4. THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.
6. ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.
7. CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NAHB BUILDING STANDARDS.

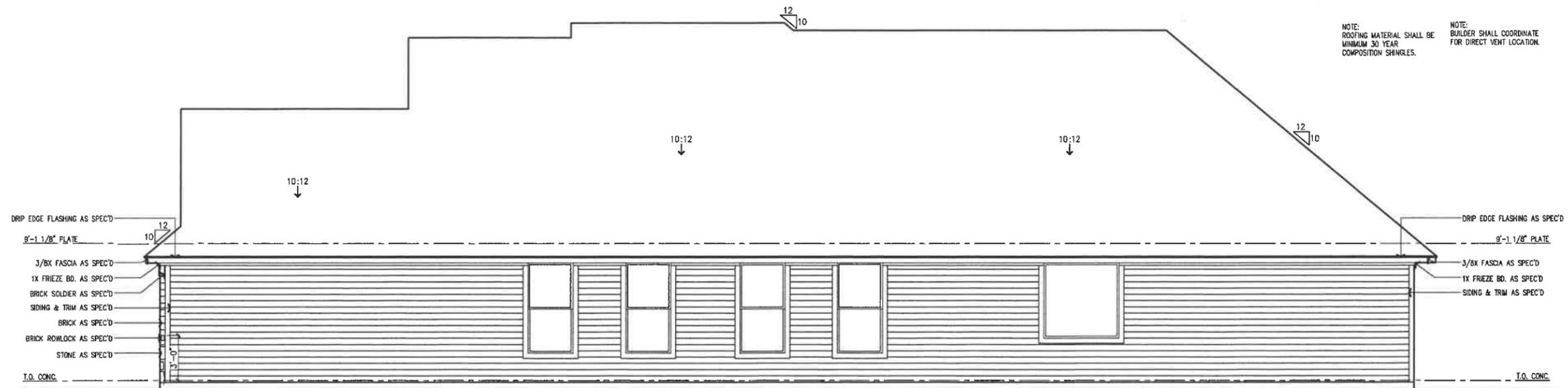
ABBREVIATIONS:

R & S	ROD & SHELF
X-SH	SHELF/SHELVES
ABV.	ABOVE
A.F.F.	FINISH FLOOR
APRX.	APPROXIMATE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
COV'D	COVERED
CPT	CARPET
DL	DIVIDED LITE
EXT'D	EXTENDED
FLUOR	FLUORESCENT
FX	FIXED
HB	HOSE BIB
HDR	HEADER
HZ	HORIZONTAL
ILO	IN LIEU OF
MTL	METAL
OBS.	OBSCURE
OPQ	OPAQUE
OPT.	OPTIONAL
PL	PLATE HEIGHT
PWDR	POWDER ROOM
RAD/R	RADIUS
REF.	REFERENCE
STD.	STANDARD
TEMP	TEMPERED
TRANS	TRANSOM
TYP.	TYPICAL
W.C.	WATER CLOSET
WD	WOOD
W.I.C.	WALKING CLOSET
WP	WATER PROOF

MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL	
Front Elevation	82	S.F.	25.00%	34	S.F.	10.37%	212	S.F.	64.63%	328	S.F.
Right Side Elevation	2	S.F.	0.36%	1	S.F.	0.18%	552	S.F.	99.46%	555	S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	207	S.F.	100.00%	207	S.F.
Left Side Elevation	130	S.F.	22.38%	77	S.F.	13.25%	374	S.F.	64.37%	581	S.F.
Total Area	214	S.F.		112	S.F.		1,345	S.F.		1,671	S.F.
Total Brick Area							214	S.F.		12.81%	
Total Stone Area							112	S.F.		6.70%	
Total Siding Area							1,345	S.F.		80.49%	
Overall Width = 34'-10"							Overall Depth = 83' 5 1/2"				



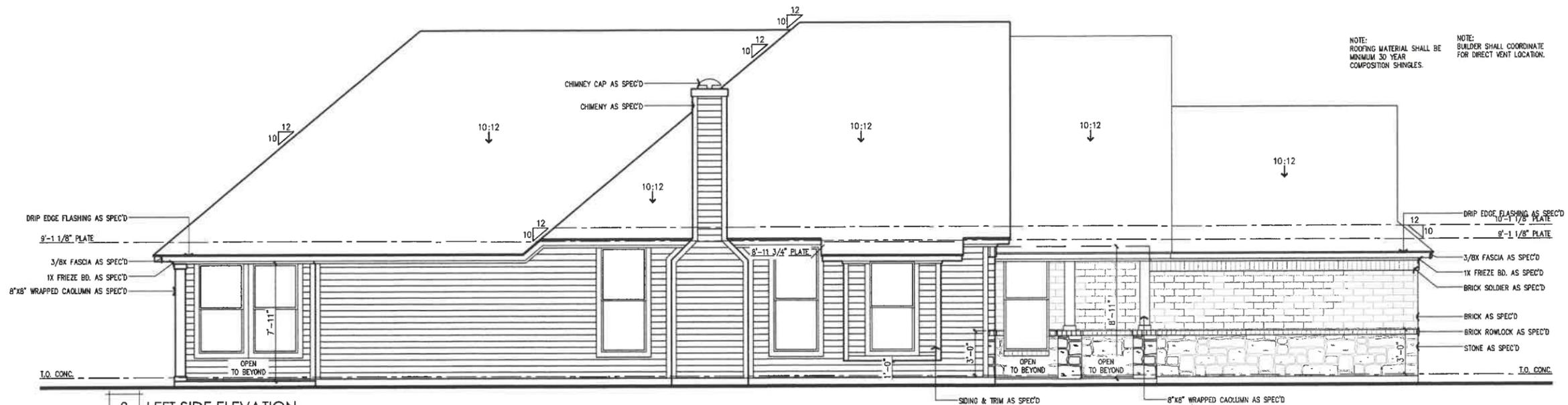
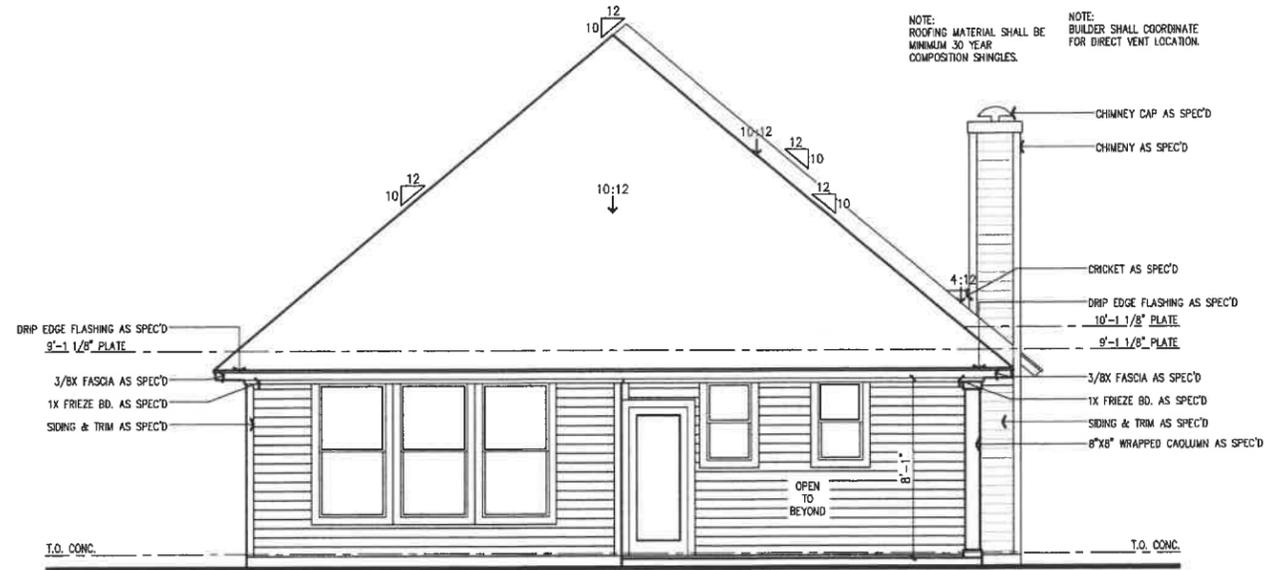
1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

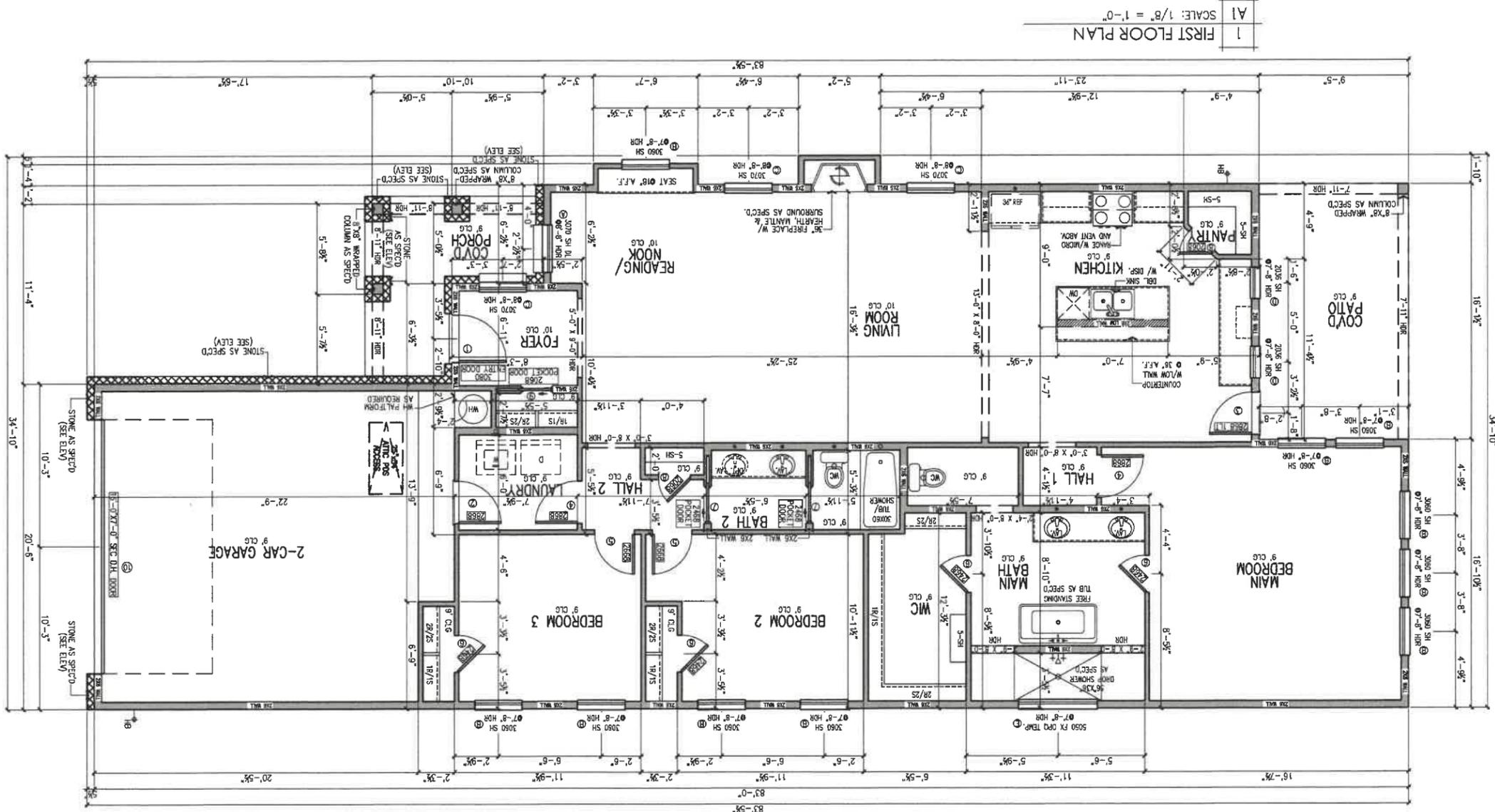
MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL				
Front Elevation	82	S.F.	25.00%	34	S.F.	10.37%	212	S.F.	64.63%	328	S.F.
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Overall Width = 34'-10"											Overall Depth = 83' 5 1/2"

1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

Y:\RICHARD EXP\714 SHERMAN ST\CONSTRUCTION DOCUMENTS\714 SHERMAN ST ARCHITECTURAL 2024-05-15.DWG



WINDOW SCHEDULE

ID	QTY	TYPE	DESCRIP.
A 1	3070	VINYL 3 STAR ENERGY - SINGLE HUNG DL	
B 10	3060	VINYL 3 STAR ENERGY - SINGLE HUNG	
C 3	3070	VINYL 3 STAR ENERGY - SINGLE HUNG	
D 2	2056	VINYL 3 STAR ENERGY - SINGLE HUNG	
E 1	5050	VINYL 3 STAR ENERGY - FIXED OPO. TEMP	

DOOR SCHEDULE

ID	QTY	TYPE	DESCRIP.
1	1	3080	EXTERIOR INSULATED DOOR
2	1	2868	EXTERIOR INSULATED DOOR
3	1	2868	LT EXTERIOR DOOR W/GLASS
4	2	2868	INTERIOR
5	2	2668	INTERIOR
6	4	2468	INTERIOR
7	2	2468	INTERIOR
8	2	2068	INTERIOR
9	1	2068	INTERIOR
10	1	16070	GARAGE OVERHEAD

- GENERAL NOTES
- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
 - ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
 - SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
 - UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
 - DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
 - WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
 - U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
 - FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
 - ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
 - "CORNERS" AND "TS" SHALL BE TRUE, NOT CALIFORNIA STYLE.
 - ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
 - PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
 - ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
 - PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
 - WALLS AND CEILINGS FOR ADDITIONAL INFORMATION.
 - SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ OPENING AS REQUIRED BY CODE.

MASONRY LEGEND

	STONE
	BRICK

SQUARE FOOTAGE TABLE

AREA	1,839 SF
FIRST FLOOR	1,839 SF
TOTAL LIVING	476 SF
GARAGE	86 SF
FRONT PORCH	152 SF
COVERED PATIO	152 SF
TOTAL COMBINED	2,553 SF
TOTAL SLAB	2553 SF

ELEVATION: A
SHEET NUMBER: A1

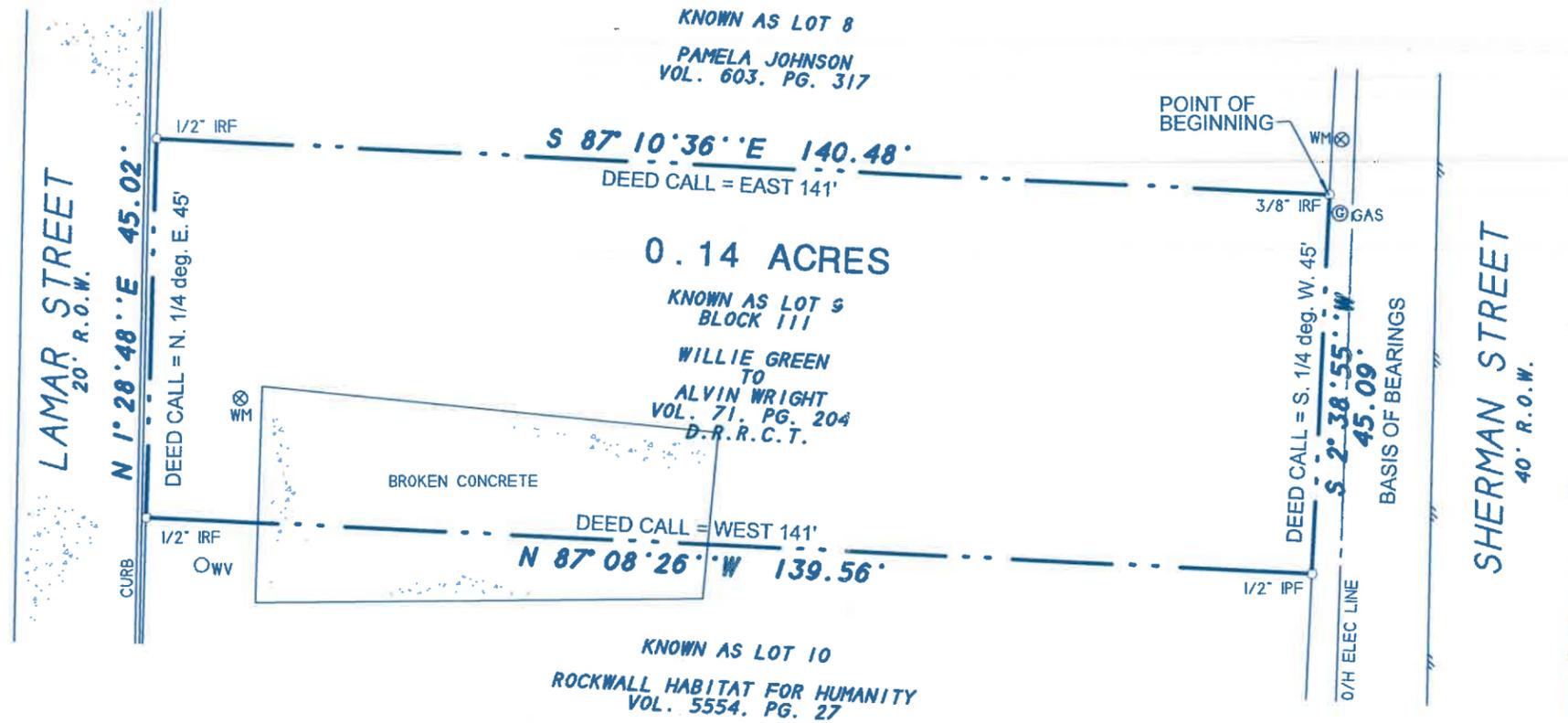
714 SHERMAN ST
ROCKWALL, TX.

DESIGNER: DDS GROUP
PROJECT #: 183858

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSGUS SERVICES-DDSGUS
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRE, TX 75050



PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being known as Lot 9, Block 111, and being the same tract of land as described in a Warranty deed from Willie Green, et al to Alvin Wright, dated November 25, 1964 and being recorded in Volume 71, Page 204 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 3/8" iron rod found for corner in the west right-of-way of Sherman Street, being the northeast corner of Wright tract and the southeast corner of Lot 8, Block 111 as described in a Deed to Pamela Johnson, as recorded in Volume 603, Page 317 of the Real Property Records of Rockwall County, Texas;

THENCE S. 02 deg. 38 min. 55 sec. W. along the west right-of-way of Sherman Street, a distance of 45.09 feet to a 1/2" iron pipe found for corner at the northeast corner of a tract of land as described in a Warranty deed to Rockwall Habitat for Humanity, as recorded in Volume 5554, Page 27 of the Official Public Records of Rockwall County, Texas;

THENCE N. 87 deg. 08 min. 26 sec. W. along the south boundary of said Wright tract, a distance of 139.56 feet to a 1/2" iron rod found for corner in the east right-of-way line of Lamar Street;

THENCE N. 01 deg. 28 min. 48 sec. E. along said right-of-way line, a distance of 45.02 feet to a 1/2" iron rod found for corner;

THENCE S. 87 deg. 10 min. 36 sec. E. along the south boundary of said Johnson tract, a distance of 140.48 feet to the POINT OF BEGINNING and containing 0.14 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company and Richard Expo at 711 Lamar Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 6th day of April, 2021.


 Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT
ELECTRIC METER	ELEC. BOX SUBSURFACE JUNCTION BOX	WATER METER	LIGHT POLE
FENCE	EASEMENT LINE	AIR COND. UNIT	PROPANE TANK

H.D. Fetty Land Surveyor, LLC
 Firm Registration no. 10150900
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SURVEY DATE APRIL 6, 2021
 SCALE 1" = 20' FILE # 20210120
 CLIENT EXPO GF # 21118784-10GH

SURVEY ACCEPTED BY:

 DATE _____

 DATE _____



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
707 Sherman Street	Single-Family Home	2007	1,494	N/A	Brick and Siding
708 Sherman Street	Single-Family Home	1974	1,400	480	Siding
709 Sherman Street	Single-Family Home	2007	1,494	40	Brick and Siding
710 Sherman Street	Single-Family Home	1994	1,200	N/A	Siding
711 Sherman Street	Single-Family Home	1982	2,942	N/A	Siding
712 Sherman Street	Vacant	N/A	N/A	N/A	N/A
713 Sherman Street	Single-Family Home	1990	1,896	N/A	Brick
715 Sherman Street	Vacant	N/A	N/A	N/A	N/A
716 Sherman Street	Vacant	N/A	N/A	N/A	N/A
711 Lamar Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1992	1,738	260	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

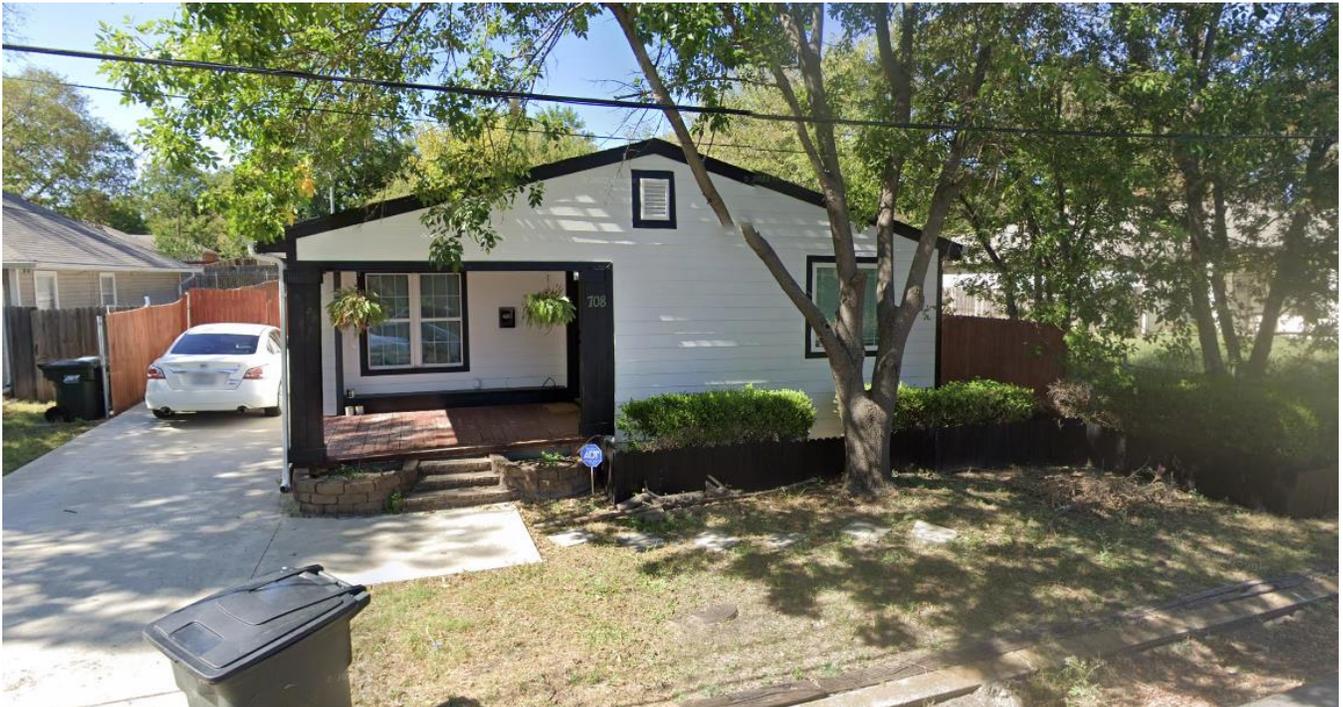
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



707 Sherman Street



708 Sherman Street



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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709 Sherman Street



710 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



711 Sherman Street



712 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



713 Sherman Street



715 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



716 Sherman Street



711 Lamar Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1450-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryszond Waszczvk for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7*

(SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 15th DAY OF JULY, 2024.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 1, 2024

2nd Reading: July 15, 2024

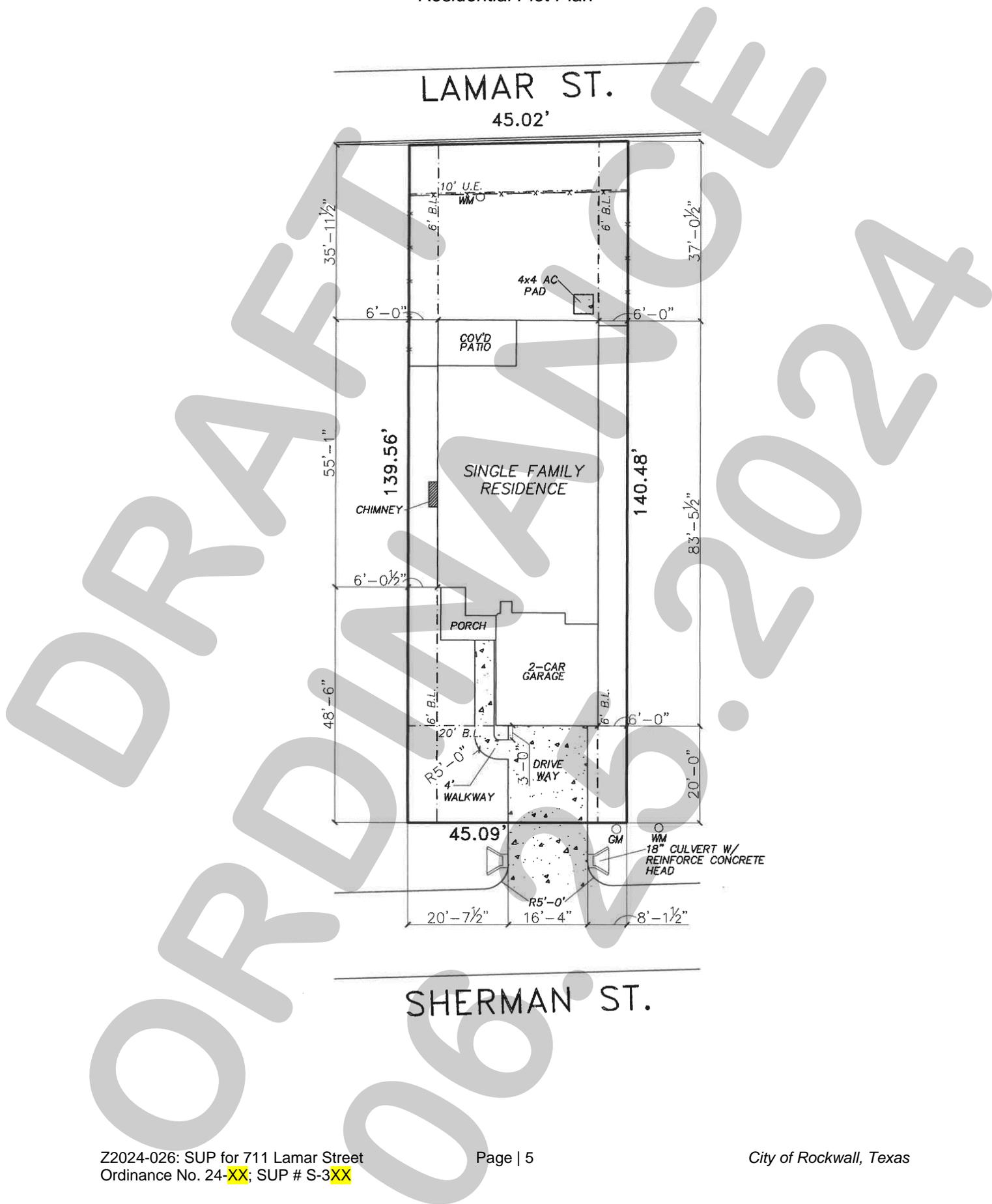
**Exhibit 'A':
Location Map**

Address: 711 Lamar Street

Legal Description: Lot 9, Block 111, B. F. Boydston Addition



Exhibit 'B':
Residential Plot Plan





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 1, 2024
APPLICANT: Ryszond Waszczvk
CASE NUMBER: Z2024-026; *Specific Use Permit (SUP) for a Residential Infill for 711 Lamar Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryszond Waszczvk for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and take any action necessary.

BACKGROUND

According to the City's annexation ordinances and the 1934 Sanborn Maps, the subject property was platted as part of the B.F. Boydston Addition prior to 1959 and after 1934. Per the City's historic zoning maps, the subject property was originally zoned Commercial (C) District as of January 3, 1972. Between this date and July 11, 1985, the subject property was rezoned from a Commercial (C) District to a Single-Family 7 (SF-7) District. The subject property has been situated within the Southside Residential Neighborhood Overlay (SRO) District since its inception on June 3, 1996 by *Ordinance No. 96-12*. The subject property is currently vacant.

PURPOSE

The applicant -- *Ryszond Waszczvk* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 711 Lamar Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are eight (8) single-family residential lots (*i.e. 704, 706, 708, 710, 712, 714 Sherman Street & 608, 610 E. Boydston Avenue*) that are zoned Single-Family 7 (SF-7) District. Beyond this is E. Boydston Avenue, which is classified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a vacant 0.1460-acre parcel of land (*i.e. Lot 10, Block 111, B.F. Boydston Addition*) that is vacant and owned by Rockwall Habitat for Humanity. Beyond this is a 1.10-acre parcel of land (*i.e. Lot 1, Block 1, Lamar Street Habitat No. 1 Addition*) developed with a single-family home. South of this are two (2) vacant parcels of land (*i.e. Lot 2, Block 1, Lamar Street Habitat No. 1 Addition & Lot G, Block 112, B.F. Boydston Addition*) which are also owned by the Rockwall Habitat for Humanity. All of these properties are zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property are two (2) residential lots (*i.e. 711 & 713 Sherman Street*) developed with single-family homes and zoned Single-Family 7 (SF-7) District. Beyond this are three (3) parcels of land (*i.e. Lots A & C, Block 110, B.F. Boydston Addition & Lot 110-B of the Ridgell Addition*), that are owned by Kaufmann

Properties, LLC, and are zoned Planned Development District 52 (PD-52). East of this is S. Clark Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Lamar Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) residential lots (*i.e. 605 & 609 E. Ross Street & 725 Peters Colony*) developed with single-family lots that are zoned Single-Family 7 (SF-7) District. West of this is Peters Colony, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is located within the B. F. Boydston Subdivision, and situated within 500-feet of the Ridgell and Robbins Additions, which have been in existence more than ten (10) years, consist of more than five (5) residential lots, and are more than 90.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being adjacent to an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing within close proximity of Sherman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Sherman Street in a Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes are oriented toward Sherman Street.	The front elevation of the home will face Sherman Street.
Year Built	1974-2007	N/A
Building SF on Property	980 SF – 2,942 SF	2,553 SF
Building Architecture	Single Family Homes and Four (4) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	6- feet	6- Feet
Rear	10-Feet	35-Feet, 11 ½-inches
Building Materials	Brick and Siding	Siding, Brick, and Stone
Paint and Color	Red, Tan, White, Brown, Yellow	N/A
Roofs	Composite Shingles	Composite Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of front-facing garages or no garages.	The garage will be attached and located approximately 22-feet, 9-inches in front of the front façade.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant's proposed garage is oriented approximately 22-feet, 9-inches in front of the front façade of the proposed single-family home; however, staff should point out that this is not atypical for this area or properties

located within the Southside Neighborhood Residential Overlay (SRO) District. A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If this Specific Use Permit (SUP) request is approved by the Planning and Zoning Commission and City Council, the garage setback requirement will be waived. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) for a property in a Single-Family 7 (SF-7) District and the Southside Residential Neighborhood Overlay (SRO) District.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along Sherman Street and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On May 20, 2024, staff mailed 88 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowners Associations (HOAs) within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On June 25, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0, with a vacant seat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 714 Sherman St.

SUBDIVISION _____ LOT 9 BLOCK 111

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Ryszard Waszczuk, Dagmara Plaza</u>	<input type="checkbox"/> APPLICANT	<u>R. Waszczuk, D. Plaza</u>
CONTACT PERSON	_____	CONTACT PERSON	<u>Ryszard Waszczuk</u>
ADDRESS	<u>820 E Heath St.</u>	ADDRESS	<u>820 E Heath St.</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>972-400-8047</u>	PHONE	<u>972-400-8047</u>
E-MAIL	<u>RichardExp@HOTMAIL.COM</u>	E-MAIL	<u>Richardexpo@hotmail.com</u>

NOTARY VERIFICATION [REQUIRED]

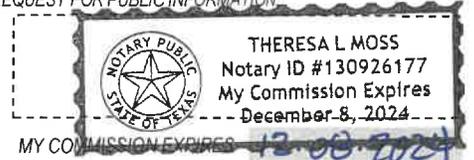
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryszard Waszczuk / Dagmara Plaza [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 5/17/2024 DAY OF May, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF May, 2024.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

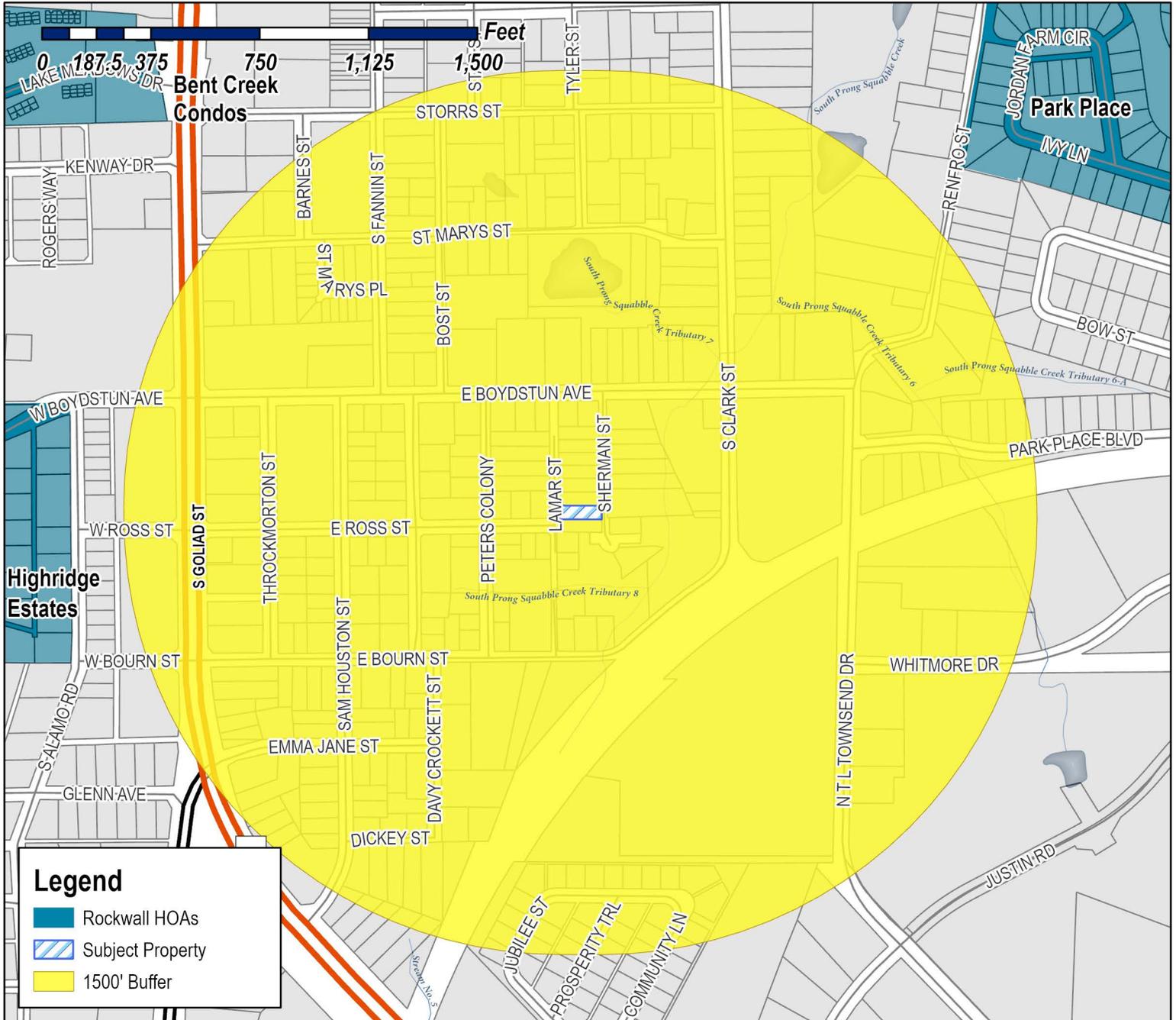




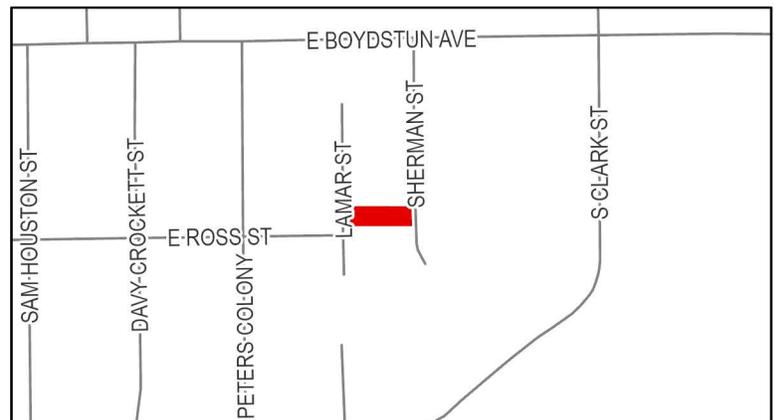
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Case Number: Z2024-026
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 711 Lamar Street



Date Saved: 5/20/2024

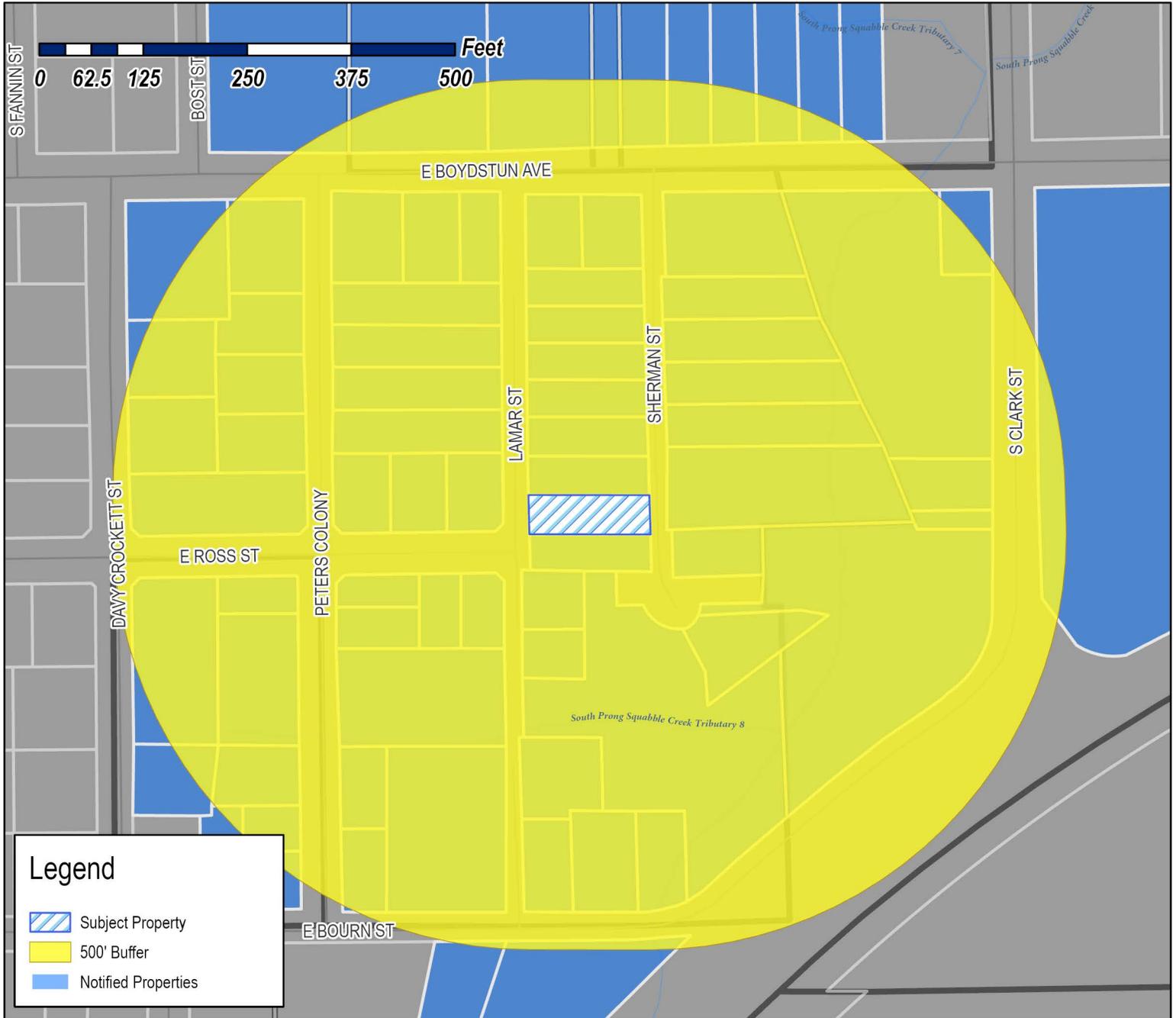
For Questions on this Case Call (972) 771-7745



City of Rockwall

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Case Address: 711 Lamar Street



Date Saved: 5/20/2024

For Questions on this Case Call: (972) 771-7745

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

WELCH CHRISTOPHER & HAZEL
1212 CLIFFTOP LN
DALLAS, TX 75208

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

RSR CAPITAL LLC
1321 CRESENT COVE DRIVE
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
2521 LOUDON ST W
ROCKWALL, TX 75032

OFF MARKET LLC
DBA BIG STATE HOME BUYERS
2800 N LOOP WEST #925
HOUSTON, TX 77092

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

CUMMINGS JOHN AND LORI
308 STONEBRIDGE DR
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
403 E BOURN ST
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA
414 E. COACHLIGHT TRAIL
ROCKWALL, TX 75087

PIEDRA ANGULAR AG A CORP
418 E BOURN ST
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

MARTIN HELEN
501 E BOURN ST
ROCKWALL, TX 75087

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
504 ROSS
ROCKWALL, TX 75087

RESIDENT
505 E BOURN ST
ROCKWALL, TX 75087

RESIDENT
507 E BOYDSTUN AVE
ROCKWALL, TX 75087

SHERWIN CAROLYN MARIE
509 E BOURN STREET
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
604 S ROSS
ROCKWALL, TX 75087

KRONLAGE HOLLIE
605 E ROSS STREET
ROCKWALL, TX 75087

RESIDENT
606 ROSS
ROCKWALL, TX 75087

RESIDENT
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
607 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
608 E BOYDSTUN AVE
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

RESIDENT
611 E BOYDSTUN AVE
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

RESIDENT
617 E BOYDSTUN AVE
ROCKWALL, TX 75087

KENNEDY BLAKE
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
621 E. BOYDSTUN AVE
ROCKWALL, TX 75087

KAUFMANN PROPERTIES LLC
627 SORITA CIR
HEATH, TX 75032

TALARICO CHRISTOPHER AND JUSTIN
633 STILLMEADOW DR
RICHARDSON, TX 75081

RESIDENT
702 S CLARK ST
ROCKWALL, TX 75087

EBY JENNIFER
703 PETERS COLONY
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

ANDUJAR AMY ELIZABETH MAYER
705 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 SHERMAN ST
ROCKWALL, TX 75087

ESTATE OF DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
706 S CLARK ST
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

RESIDENT
707 S CLARK
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

COCHRAN SANDRA AND JOE
708 SHERMAN ST
ROCKWALL, TX 75087

MURPHREE LYNDI LOUISE & CAMERON JUSTIN
LEE
709 PETERS COLONY
ROCKWALL, TX 75087

SMITH PAMELA K
709 SHERMAN STREET
ROCKWALL, TX 75087

RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
712 CLARK ST
ROCKWALL, TX 75087

RESIDENT
712 SHERMAN ST
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
713 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
715 SHERMAN ST
ROCKWALL, TX 75087

CABRERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

RESIDENT
716 SHERMAN ST
ROCKWALL, TX 75087

RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

RESIDENT
801 DAVY CROCKETT
ROCKWALL, TX 75087

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

JOHNSON MELDRIA
809 DAVY CROCKETT
ROCKWALL, TX 75087

RESIDENT
812 PETERS COLONY
ROCKWALL, TX 75087

HILLMAN HOUSING LLC
9706 HEARTSTONE LANE
ROCKWALL, TX 75087

JCK CONCRETE INC
PO BOX 311
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Hold a public hearing to discuss and consider a request by Ryszond Waszczvk for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 11, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 17, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 17, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

Case No. Z2024-026: Specific Use Permit (SUP) for Residential Infill at 711 Lamar Street

Please place a check mark on the appropriate line below:

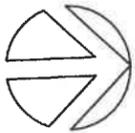
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: _____
Address: _____

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

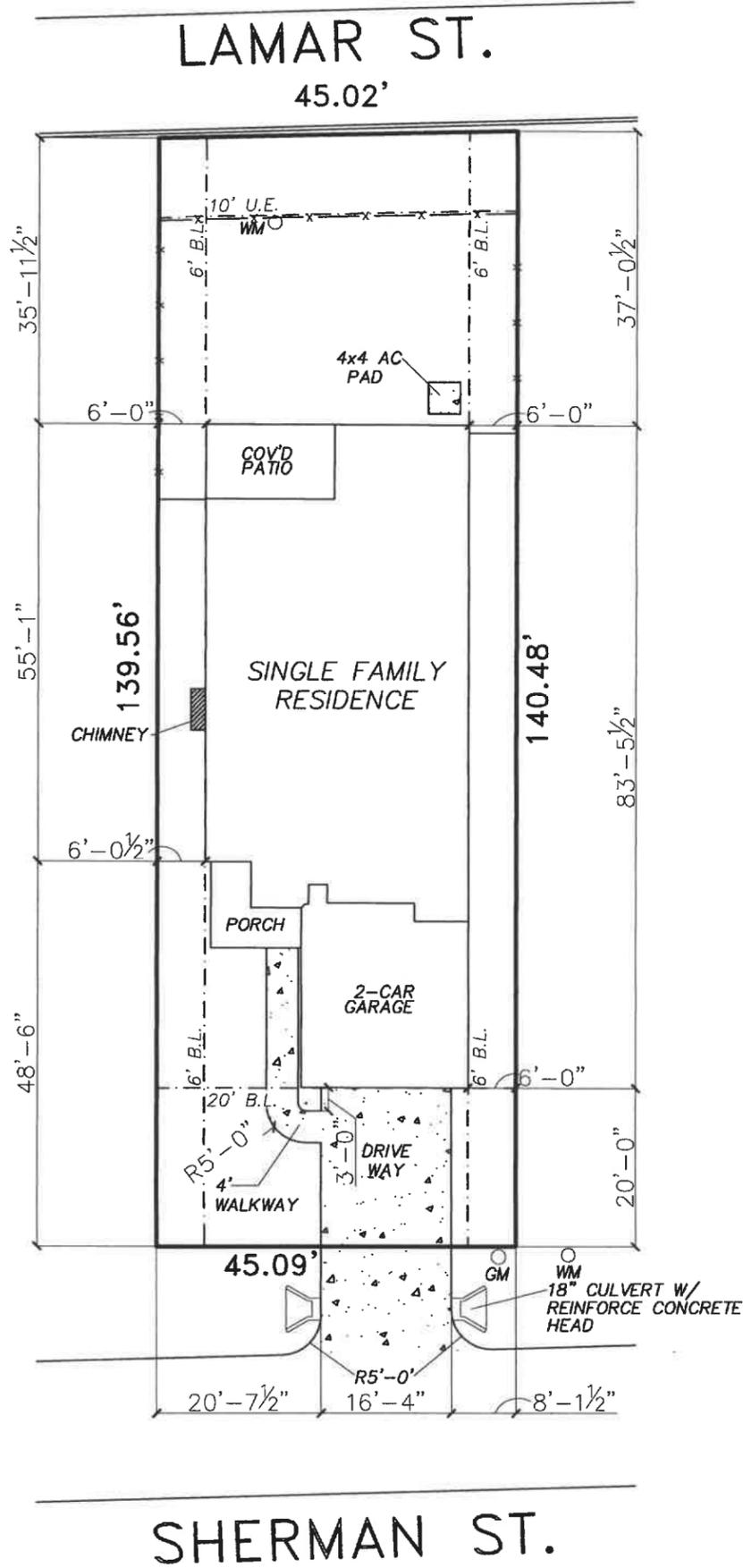
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NORTH
SCALE: 1" = 20'-0"

AREA CALCULATIONS	
LOT AREA	6307 SF
SLAB COVERAGE	2545 SF
% BUILDING COVERAGE	40.4 % COVERAGE
TOTAL IMP. COVERAGE	2993 SF
% TOTAL IMP. COVERAGE	47.5 % COVERAGE
DRIVEWAY COVERAGE	327 SF
% DRIVEWAY COVERAGE	5.2 % COVERAGE
WALKWAY COVERAGE	105 SF
% WALKWAY COVERAGE	1.7 % COVERAGE
4'X4' A.C. PAD COVERAGE	16 SF
% 4'X4' A.C. PAD COVERAGE	0.25 % COVERAGE
FLAT WORK	0 SF
SOD GRASS	377 SQ YARD
SIDEWALK COVERAGE	0 SF
APPROACH COVERAGE	228 SF
LOT FRONTAGE	305 SF
FENCE	148 LINEAR SF

* THE PERCENT CALCULATION IS A REFERENCE TO THE COVERAGE AS A PERCENT ESTIMATION OF THE SQ. FT. COVERAGE OF ANY GIVEN STRUCTURE FROM THE TOTAL SQ. FOOT OF THE LOT AREA.



CUSTOMER SIGNATURE: _____

DATE: _____

NOTES: _____

LEGEND	—>	- DRAINAGE FLOW
	-x-x-	PROPOSED FENCE
-o-o-	EXISTING FENCE	
	CURLEX	
	RETAINING WALL	
●	REQUIRED TREE PLANTING	
■	REQUIRED BUSH	
B.L. - BUILDING LINE D.E. - DRAINAGE EASEMENT P.A.E. - PEDESTRIAN ACCESS EASEMENT S.S.E. - SANITARY SEWER EASEMENT T.E. - TRANSFORMER EASEMENT U.E. - UTILITY EASEMENT W.M.E. - WALL MAINT. EASEMENT M.E. - MAINTENANCE EASEMENT V.E. - VISIBILITY EASEMENT ◻ ◻ ◻ - EXPOSED AGGREGATE CONCRETE		

BUILDER: RICHARD EXPO	DATE: 05-25-2024
ADDITION: N/A	DRAWN BY: DDSG-HR
ADDRESS: 714 SHERMAN STREET	CITY: ROCKWALL
LOT: 9 BLOCK: 111	PLAN: N/A ELEVATION: A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

<p>NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.</p>	
--	--

DDS GROUP

PLOT PLAN SP1

ISSUED FOR REVIEW:
05-16-24

BUYER:
RICHARD EXPO

ADDRESS:
714 SHERMAN ST
BLK 111 / LOT 9
ROCKWALL, TX.



PLAN: 714 SHERMAN ST

ELEVATION: A

INDEX:

C1	COVER PAGE: INDEX, GENERAL NOTES & ABBRV.
R1	REVISION LOG & WALL LEGEND
SP1	SITE PLAN
S1	SLAB FORM & PLUMBING PLAN
S1.1	SECOND FLOOR PLUMBING PLAN
A1	FIRST FLOOR PLAN
A1.1	SECOND FLOOR
A2	INTERIOR ELEVATION
A3	FRONT & RIGHT ELEVATION
A4	REAR & LEFT ELEVATION
A5	ROOF PLAN
A6	FIRST FLOOR ELECTRICAL PLAN
A6.1	SECOND FLOOR ELECTRICAL PLAN
F1	FOUNDATION PLAN
F2	FOUNDATION DETAILS
R1	FIRST FLOOR CEILING JOIST PLAN
R2	FIRST FLOOR RAFTER SUPPORT
R3	ROOF RAFTER PLAN
R4	FRAMING DETAILS
R5	FRAMING DETAILS
R6	FRAMING DETAILS
S1	FIRST FLOOR SHEAR WALL PLAN
S2	SHEAR WALL DETAILS
MEP1	MECHANICAL ROOF PLAN
MEP2	MECHANICAL SPECIFICATIONS
MEP3	FIRST FLOOR MECHANICAL PLAN
1	RES-CHECK SINGLE FAMILY HOUSE ENERGY REPORT
2	RES-CHECK PROJECT INFORMATION
3	RES-CHECK ESTIMATED ANNUAL ENERGY USAGE

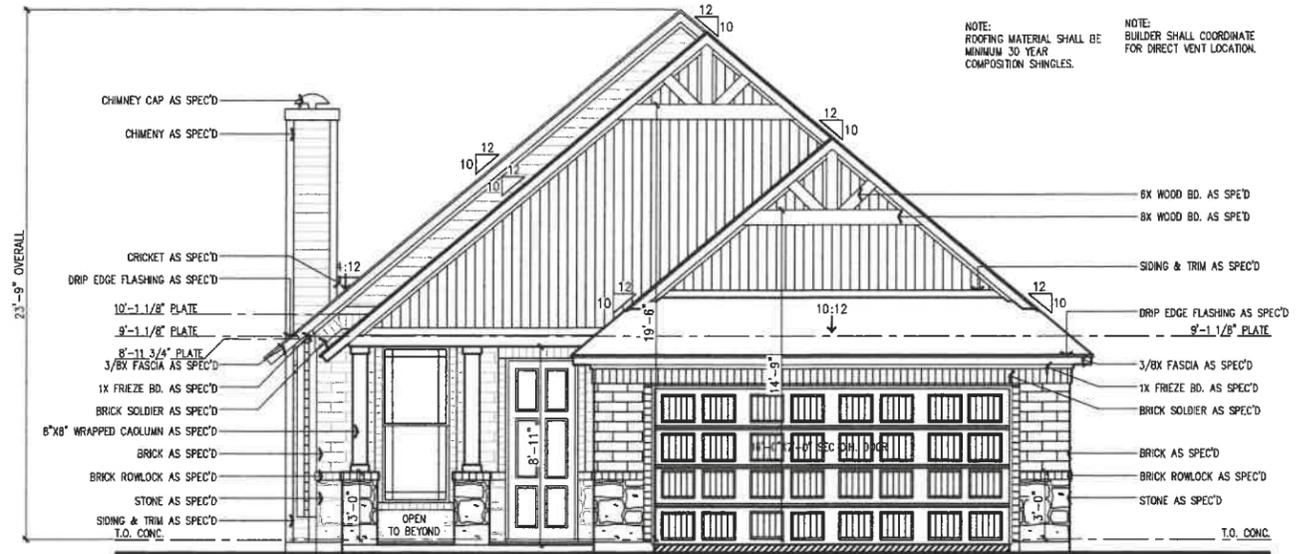
GENERAL NOTES

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, OTHER REGULATIONS AND ORDINANCES, AND ACCEPTED LOCAL PRACTICE, WHICHEVER IS MORE RESTRICTIVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH ALL REQUIREMENTS OF THE LOCAL JURISDICTION, INCLUDING, BUT NOT LIMITED TO, PERMITS PRIOR TO COMMENCING CONSTRUCTION, INSPECTIONS AT VARIOUS STAGES DURING CONSTRUCTION, AND CERTIFICATE OF OCCUPANCY AFTER COMPLETION.
- CONTRACTOR SHALL PROVIDE A COMPLETE AND FUNCTIONAL, WATERTIGHT, AND SOUND WORKMANLIKE PROJECT, PROVIDING ANY ITEMS OR WORK NEEDED TO ACHIEVE THE ABOVE, WHETHER OR NOT SPECIFICALLY CALLED OUT IN THESE DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, SEQUENCING, SAFETY PROCEDURES, AND MATERIALS.
- THE CONTRACTOR AND ALL SUBCONTRACTORS/TRADES ARE RESPONSIBLE FOR REVIEWING ENTIRE SET OF PLANS AND SPECIFICATIONS, TO INCLUDE DIMENSIONS AND SECTIONS. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND NOTIFY BUILDER OF ANY DISCREPANCIES OR VARIANCES PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS.
- ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS/RECOMMENDATIONS.
- ALL DIMENSIONS ARE TO FACE OF FRAMING OR FOUNDATION, UNLESS NOTED OTHERWISE. ARCHITECTURAL BUILDING AND WALL SECTIONS ARE DIAGRAMMATIC. CONSULT ENGINEER FOR ACTUAL FRAMING CONFIGURATIONS, SIZES, SPACING, ANCHORS, SHEATHING TYPE AND THICKNESS, ETC. FOUNDATION DESIGN SHALL BE PER ENGINEER.
- CONTRACTOR SHALL ENSURE COMPLIANCE WITH BEST PRACTICES FOR RESIDENTIAL CONSTRUCTION AS DEFINED BY THE CURRENT AND ADOPTED IRC AND NAHB BUILDING STANDARDS.

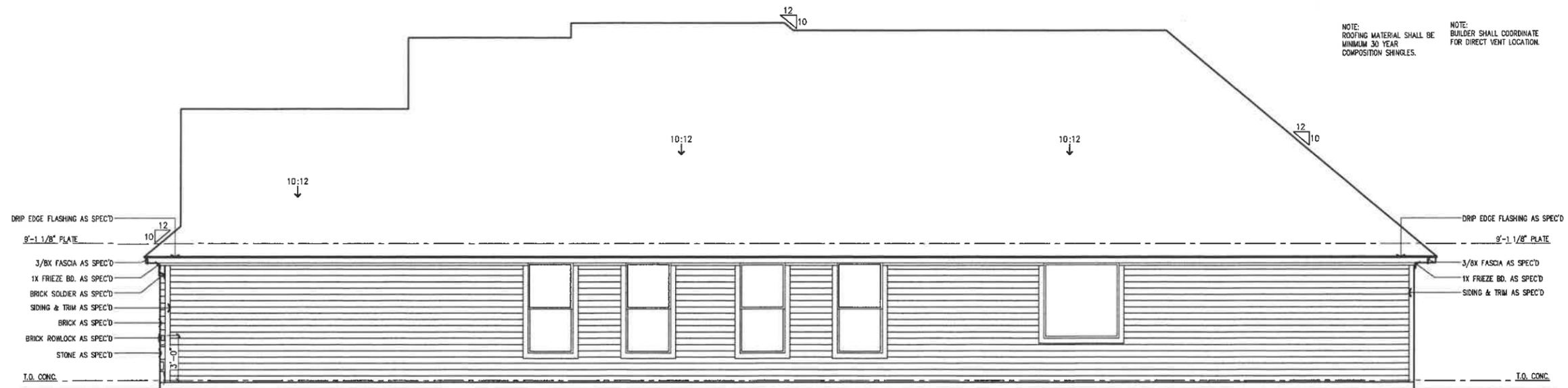
ABBREVIATIONS:

R & S	ROD & SHELF
X-SH	SHELF/SHELVES
ABV.	ABOVE
A.F.F.	FINISH FLOOR
APRX.	APPROXIMATE
CAB	CABINET
CL	CENTER LINE
CLG	CEILING
COV'D	COVERED
CPT	CARPET
DL	DIVIDED LITE
EXT'D	EXTENDED
FLUOR	FLUORESCENT
FX	FIXED
HB	HOSE BIB
HDR	HEADER
HZ	HORIZONTAL
ILO	IN LIEU OF
MTL	METAL
OBS.	OBSCURE
OPQ	OPAQUE
OPT.	OPTIONAL
PL	PLATE HEIGHT
PWDR	POWDER ROOM
RAD/R	RADIUS
REF.	REFERENCE
STD.	STANDARD
TEMP	TEMPERED
TRANS	TRANSOM
TYP.	TYPICAL
W.C.	WATER CLOSET
WD	WOOD
W.I.C.	WALKING CLOSET
WP	WATER PROOF

MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL	
Front Elevation	82	S.F.	25.00%	34	S.F.	10.37%	212	S.F.	64.63%	328	S.F.
Right Side Elevation	2	S.F.	0.36%	1	S.F.	0.18%	552	S.F.	99.46%	555	S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	207	S.F.	100.00%	207	S.F.
Left Side Elevation	130	S.F.	22.38%	77	S.F.	13.25%	374	S.F.	64.37%	581	S.F.
Total Area	214	S.F.		112	S.F.		1,345	S.F.		1,671	S.F.
Total Brick Area							214	S.F.		12.81%	
Total Stone Area							112	S.F.		6.70%	
Total Siding Area							1,345	S.F.		80.49%	
Overall Width = 34'-10"						Overall Depth = 83' 5 1/2"					



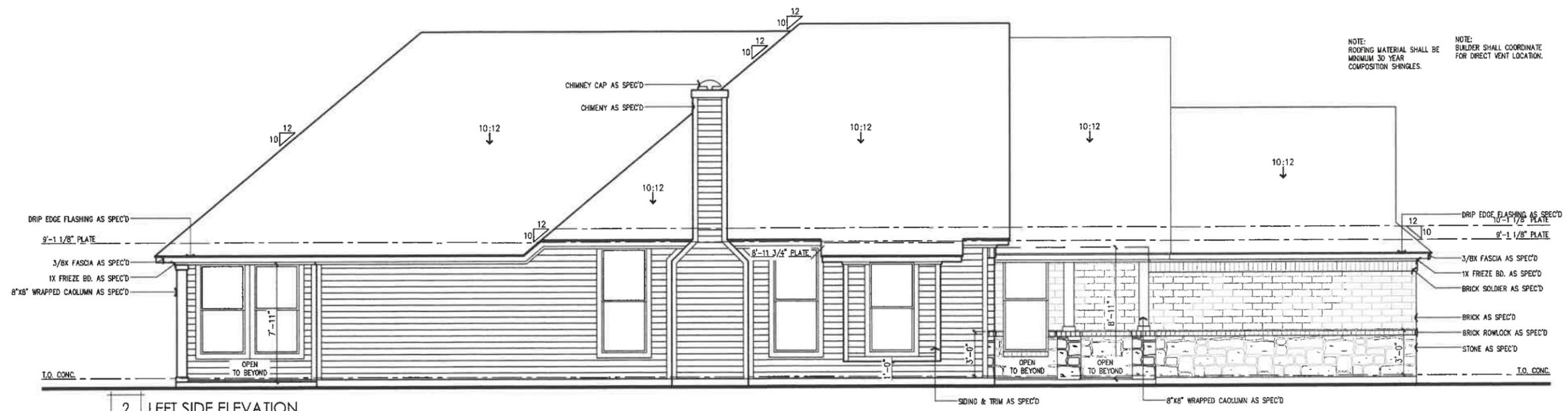
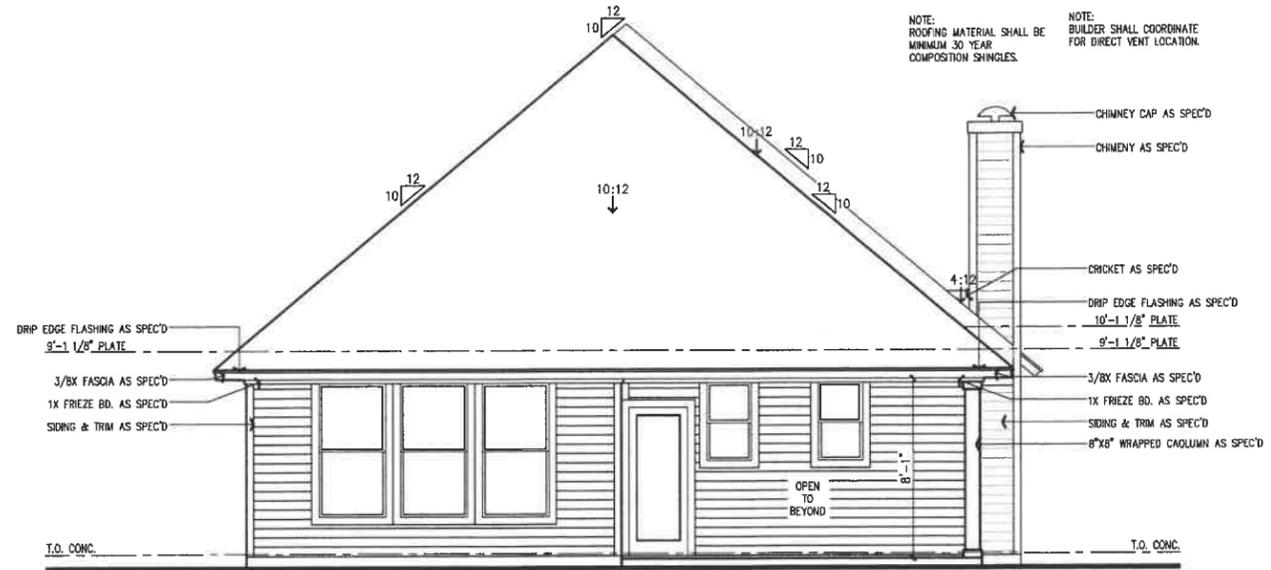
1 FRONT ELEVATION
A3 SCALE: 1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
A3 SCALE: 1/8" = 1'-0"

MATERIAL AREA TABULATIONS		714 SHERMAN ST									
	BRICK VENEER		STONE VENEER		SIDING/STUCCO		TOTAL				
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Overall Width = 34'-10"											Overall Depth = 83' 5 1/2"

1 REAR ELEVATION
A4 SCALE: 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
A4 SCALE: 1/8" = 1'-0"

Y:\RICHARD EXP\714 SHERMAN ST\CONSTRUCTION DOCUMENTS\714 SHERMAN ST ARCHITECTURAL 2024-05-15.DWG

WINDOW SCHEDULE

ID	QTY	TYPE	DESCRIP.
A 1	3070	VINYL 3 STAR ENERGY	SINGLE HUNG DL
B 10	3060	VINYL 3 STAR ENERGY	SINGLE HUNG
C 3	3070	VINYL 3 STAR ENERGY	SINGLE HUNG
D 2	2056	VINYL 3 STAR ENERGY	SINGLE HUNG
E 1	5050	VINYL 3 STAR ENERGY	FIXED OPO. TEMP.

DOOR SCHEDULE

ID	QTY	TYPE	DESCRIP.
1	1	3080	EXTERIOR INSULATED DOOR
2	1	2868	EXTERIOR INSULATED DOOR
3	1	2868	LT EXTERIOR DOOR W/GLASS
4	2	2868	INTERIOR
5	2	2668	INTERIOR
6	4	2468	INTERIOR
7	2	2468	INTERIOR
8	2	2068	INTERIOR
9	1	2068	INTERIOR
10	1	16070	GARAGE OVERHEAD

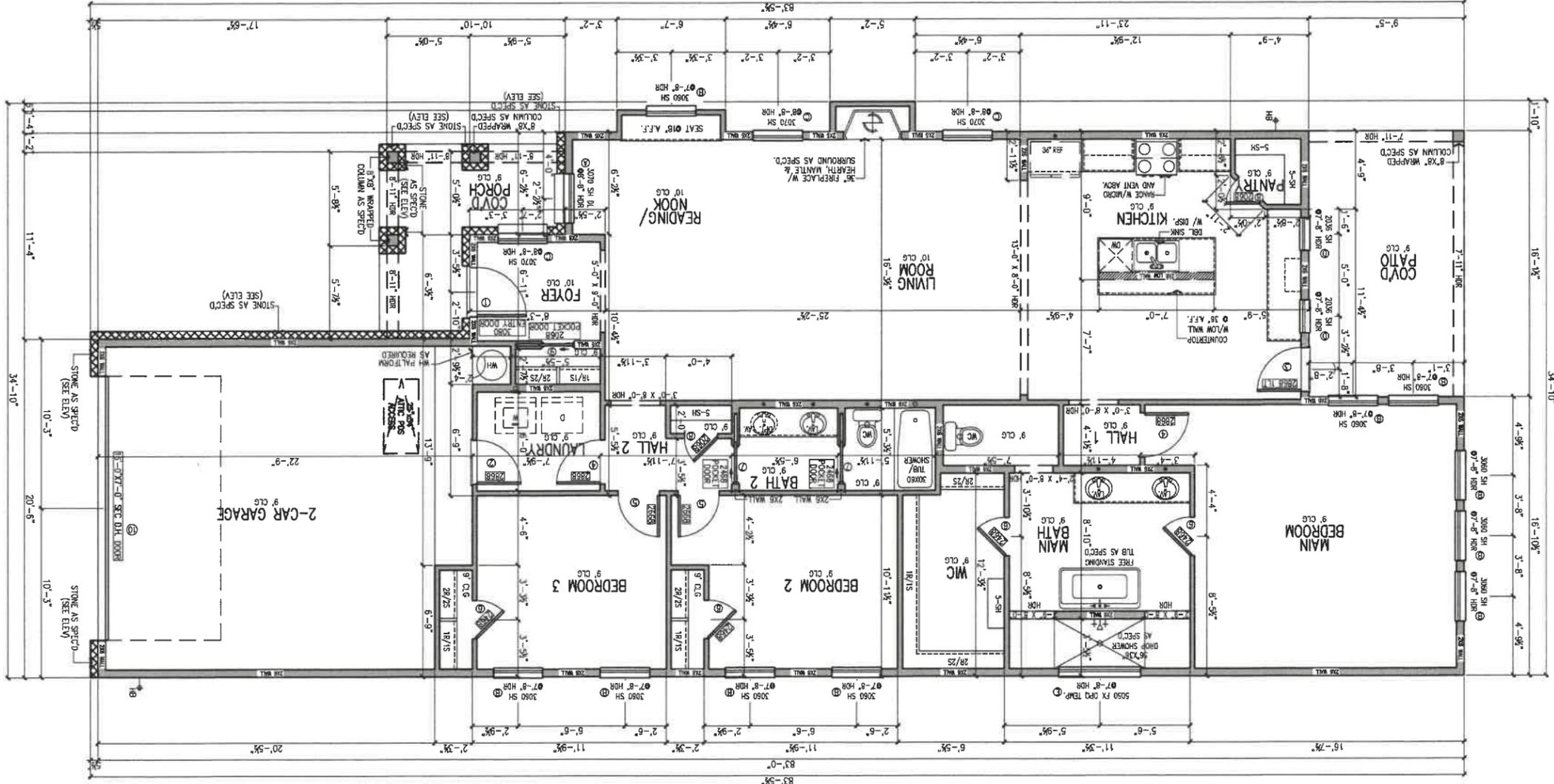
- GENERAL NOTES
- REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
 - ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
 - SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
 - UNDER NO CIRCUMSTANCES SHALL ANY DIMENSIONS BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
 - DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
 - WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
 - U.N.O. ALL ANGLED WALLS TO BE AT 45° DEGREES.
 - FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
 - ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
 - "CORNERS" AND "TS" SHALL BE TRUE, NOT CALIFORMA STYLE.
 - ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
 - PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
 - ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
 - PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
 15. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 16. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ OPENING AS REQUIRED BY CODE.

MASONRY LEGEND

	STONE
	BRICK

SQUARE FOOTAGE TABLE

AREA	1,839 SF
FIRST FLOOR	1,839 SF
TOTAL LIVING	476 SF
GARAGE	86 SF
FRONT PORCH	152 SF
COVERED PATIO	2,553 SF
TOTAL COMBINED	2,553 SF
TOTAL SLAB	2553 SF



1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

ELEVATION: A
SHEET NUMBER: A1

714 SHERMAN ST
ROCKWALL, TX.

DESIGNER: DDS GROUP
PROJECT #: 183858

DESIGN AND DRAFT SERVICES GROUP
WWW.DDSGUS SERVICES-DDSGUS
PH: 469-999-0800 PH: 214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRE, TX 75050





CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
707 Sherman Street	Single-Family Home	2007	1,494	N/A	Brick and Siding
708 Sherman Street	Single-Family Home	1974	1,400	480	Siding
709 Sherman Street	Single-Family Home	2007	1,494	40	Brick and Siding
710 Sherman Street	Single-Family Home	1994	1,200	N/A	Siding
711 Sherman Street	Single-Family Home	1982	2,942	N/A	Siding
712 Sherman Street	Vacant	N/A	N/A	N/A	N/A
713 Sherman Street	Single-Family Home	1990	1,896	N/A	Brick
715 Sherman Street	Vacant	N/A	N/A	N/A	N/A
716 Sherman Street	Vacant	N/A	N/A	N/A	N/A
711 Lamar Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1992	1,738	260	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

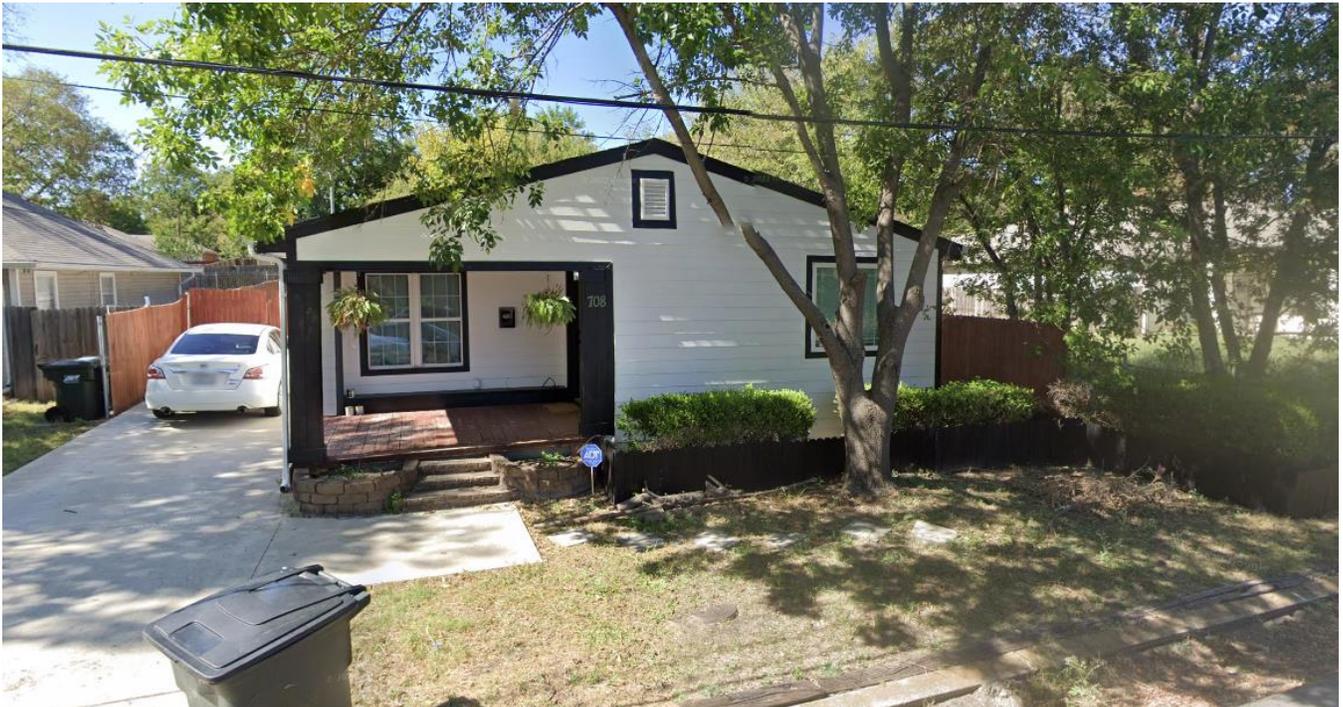
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



707 Sherman Street



708 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



709 Sherman Street



710 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



711 Sherman Street



712 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



713 Sherman Street



715 Sherman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-026

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



716 Sherman Street



711 Lamar Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1450-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryszond Waszczvk for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7*

(SF-7) District, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 15th DAY OF JULY, 2024.

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 1, 2024

2nd Reading: July 15, 2024

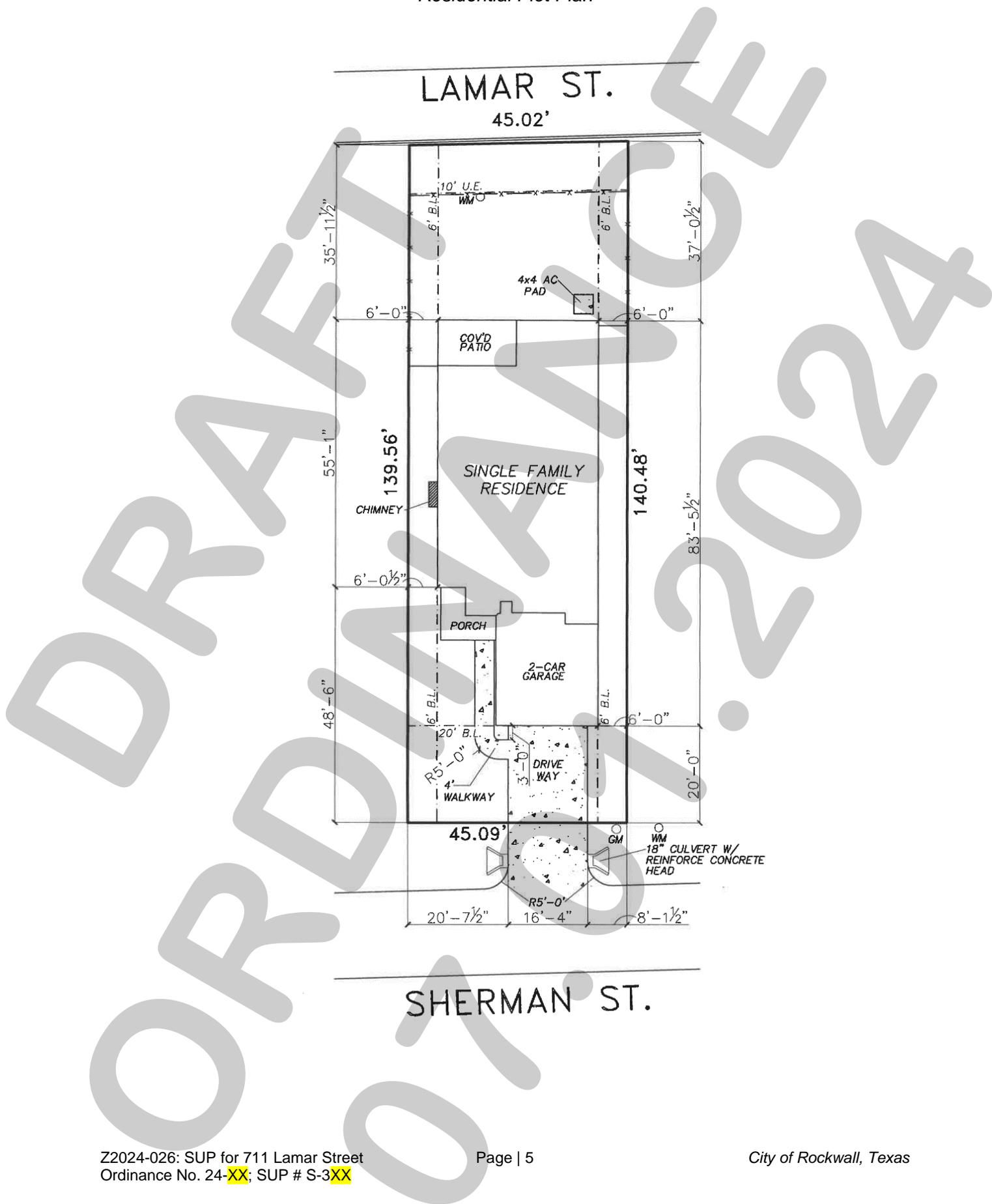
**Exhibit 'A':
Location Map**

Address: 711 Lamar Street

Legal Description: Lot 9, Block 111, B. F. Boydston Addition



Exhibit 'B':
Residential Plot Plan



SHERMAN ST.



July 17, 2024

TO: Ryszard Waszczvk
820 E. Heath Street
Rockwall, TX 75087

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2024-026; *Specific Use Permit (SUP) For Residential Infill Adjacent to an Established Subdivision at 714 Sherman Street*

Mr. Waszczvk:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 15, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

Planning and Zoning Commission

On June 25, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0, with one (1) vacant seat.

City Council

On July 1, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 6-0, with Council Member Campbell absent.

On July 15, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 6-0, with Council Member Thompson absent.

Included with this letter is a copy of *Ordinance No. 24-29, S-338*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,



Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 24-29

SPECIFIC USE PERMIT NO. S-338

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1450-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 9, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Ryszond Waszczvk for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.1450-acre parcel of land identified as Lot 9, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Neighborhood Residential Overlay (SRO) District, addressed as 711 Lamar Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7*

(SF-7) District, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 15th DAY OF JULY, 2024.



Trace Johannesen, Mayor

ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: July 1, 2024

2nd Reading: July 15, 2024

**Exhibit 'A':
Location Map**

Address: 711 Lamar Street

Legal Description: Lot 9, Block 111, B. F. Boydston Addition



