



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

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- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 329 HARBORVIEW DR, ROCKWALL, TX 75032

SUBDIVISION Harbor Landing Phase Two LOT 5 BLOCK B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DAVID BOHORQUEZ APPLICANT _____

CONTACT PERSON DAVID BOHORQUEZ CONTACT PERSON _____

ADDRESS 1397 GLENWICK DR ADDRESS _____

CITY, STATE & ZIP ROCKWALL, TX 75032 CITY, STATE & ZIP _____

PHONE 469-766-4127 PHONE _____

E-MAIL DAVID@B6GROUPSERVICES.COM E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Bohorquez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF JUNE, 2024

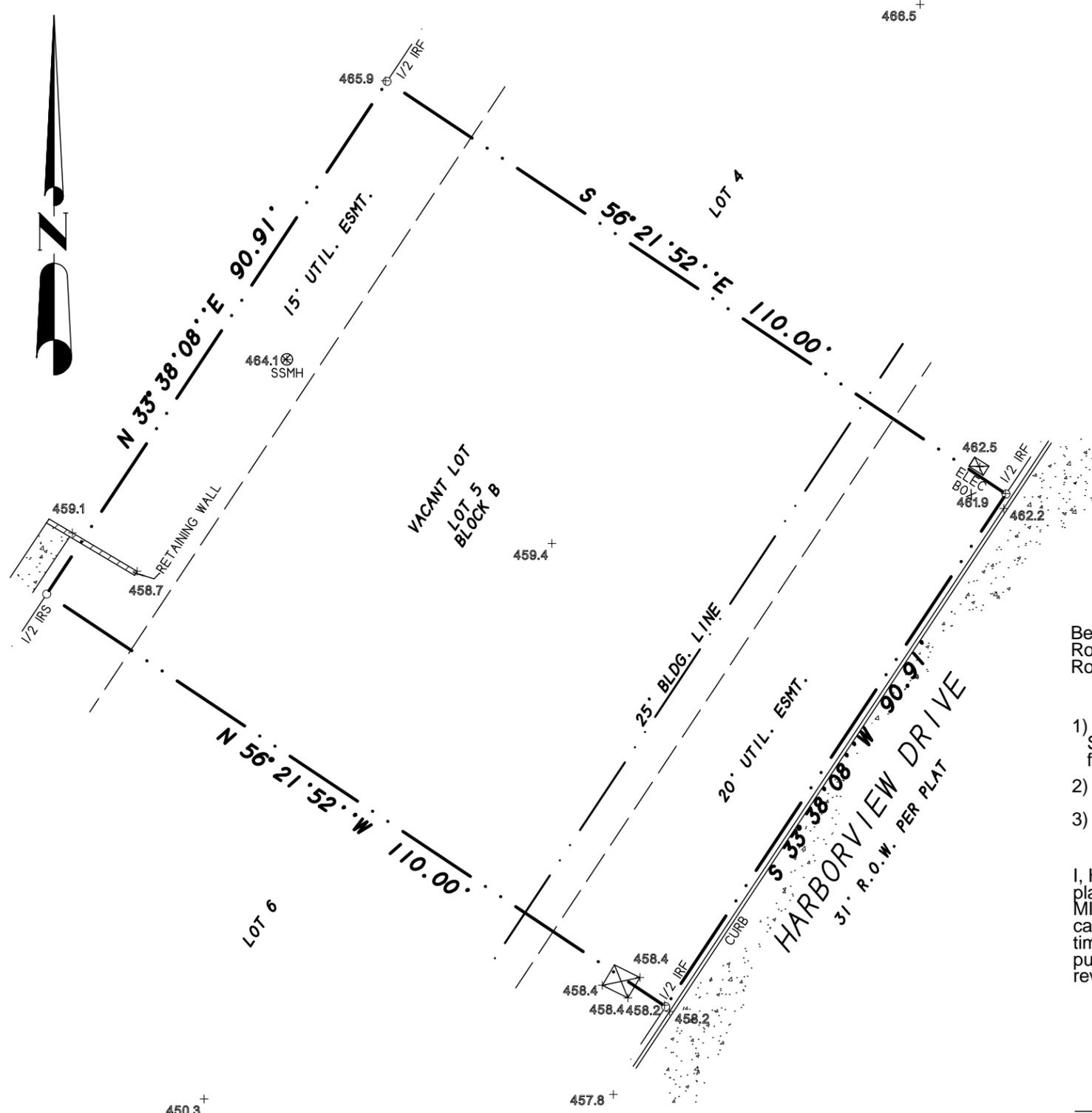
OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Cynthia C Kides



PLAT OF SURVEY



DESCRIPTION

Being Lot 5, Block B, of HARBOR LANDING PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY, ROCKWALL RENTAL PROPERTIES, and MIKE WHITTLE, at HARBORVIEW DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 29th day of June, 2009.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
⊕	⊗	⊙	⊚
TELEVISION CABLE RISER	GAS METER	TEL. PHONE RISER	FH FIRE HYDRANT
⊙	⊗	⊙	⊚
ELEC. ELECTRIC METER	ELEC. BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE
—	—	—	—
FENCE	EASEMENT LINE	A/C AIR COND. UNIT	PROPANE TANK
—	—	—	—
	PROPERTY LINES		

SURVEY DATE	JUNE 29, 2009
SCALE	1" = 20'
CLIENT	RRP
FILE #	20090418-5
GF #	NONE

SURVEY ACCEPTED BY:

_____ DATE _____

_____ DATE _____

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE 972-635-9979 FAX

SQUARE FOOTAGE CALCULATIONS:

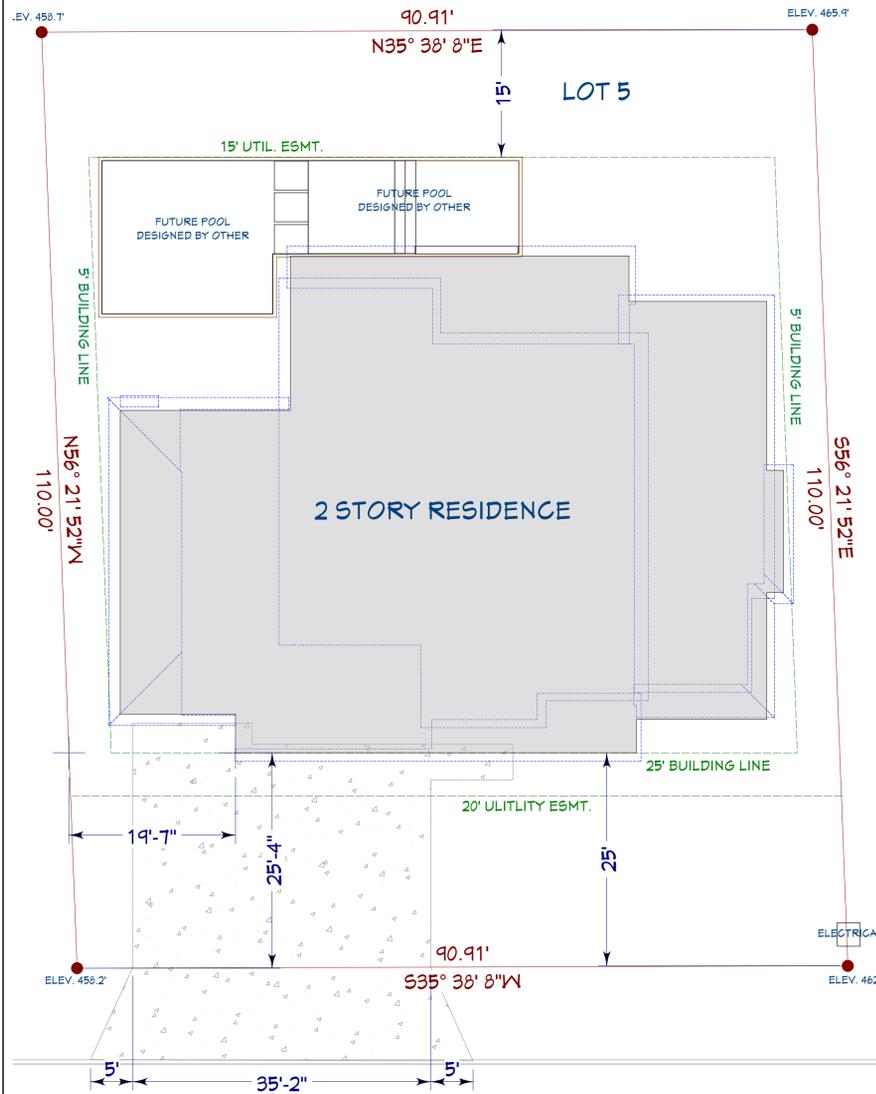
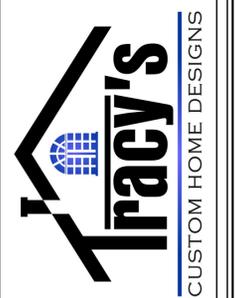
- I. GARAGE & PORCH SQFT INCLUDE BRICK LEDGE.
- II. SQFT LISTED BY ROOM ARE FOR INTERIOR AREA ONLY, SHEETROCK TO SHEETROCK. THIS TO AID IN CALCULATING HVAC LOADS & FLOORING TAKEOFFS.
- III. FLOORING MATERIAL SQFT IS CALCULATED BY SHEETROCK TO SHEETROCK AREA & INCLUDES THE AREA UNDER CABINETS.

NOTICE & DISCLAIMER

UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
GENERAL OVERVIEW

111 FARMERSVILLE PKWY STE. 300
 FARMERSVILLE, TX. 75442
 (972) 784-9044
 sales@tracyscustomhomes.com
 www.tracyscustomhomes.com



HARBORVIEW DRIVE

SITE PLAN

SCALE: 1" = 10'

LOT 5, BLOCK B
HARBOR LANDING PHASE 2
CITY OF ROCKWALL, TX

WATER LINE - 1-1/4"
ELECTRICAL - 200AMP SERVICE



THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT & PROPERTY OF TRACY'S CUSTOM HOMES. USE OF THESE DRAWINGS & CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF TRACY'S CUSTOM HOMES IS PROHIBITED & MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

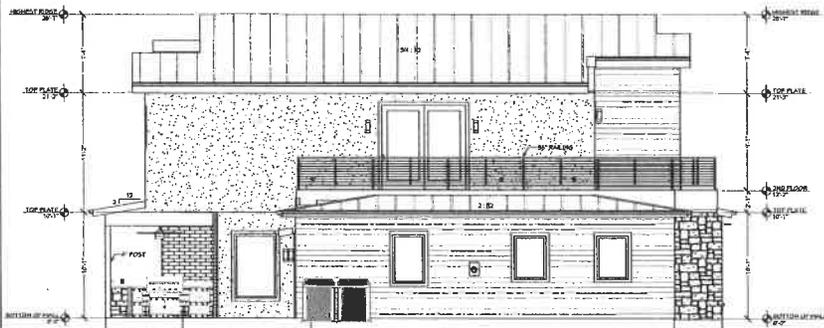
DRAWING PACKAGE		AREA (Sq. Ft.)	
PAGE #	TITLE		
1	GENERAL OVERVIEW	1st Floor Living	2630
2	MAIN FLOOR PLAN	Total Garages	833
3	UPSTAIRS & SCHEDULES	Total Porches	442
4	EXTERIOR ELEVATIONS	Total Foundation	3905
5	ROOF PLAN	2nd Floor Living	1181
6	ELECTRICAL	Total Living	3811
7	ELECTRICAL 2ND FLOOR	Total Under Roof	5086
8	ROUGH-IN	Total Sun Deck	671
9	CABINETS	Total Carpet	1196
		Total Tile	500
		Total Wood	2428

- 1. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, NOTES, & CONDITIONS PRIOR TO THE START OF ANY WORK.
- 2. ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS
- 3. THE AUTHOR OF THESE DOCUMENTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR ANY PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, & SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODES (UBC) & LOCAL BUILDING CODES, OR AS SPECIFICALLY NOTED ON THESE PLANS & CALCULATIONS, WITH THE MOST STRINGENT CONDITION GOVERNING.

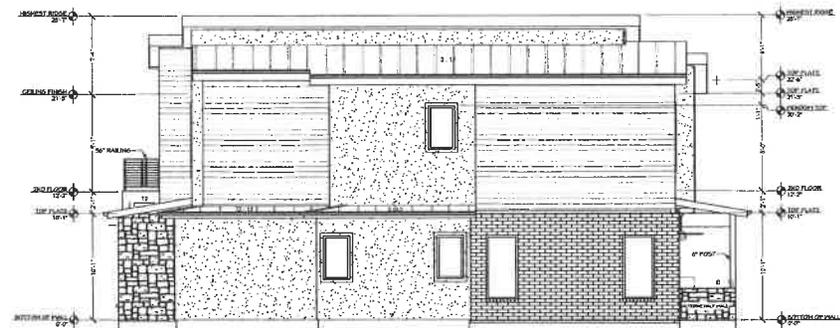
DRAWN BY: KENDALL NOTO
 CHECKED BY: ROY HOMFELD
 SHEET SIZE: ARCH D (24" x 36")



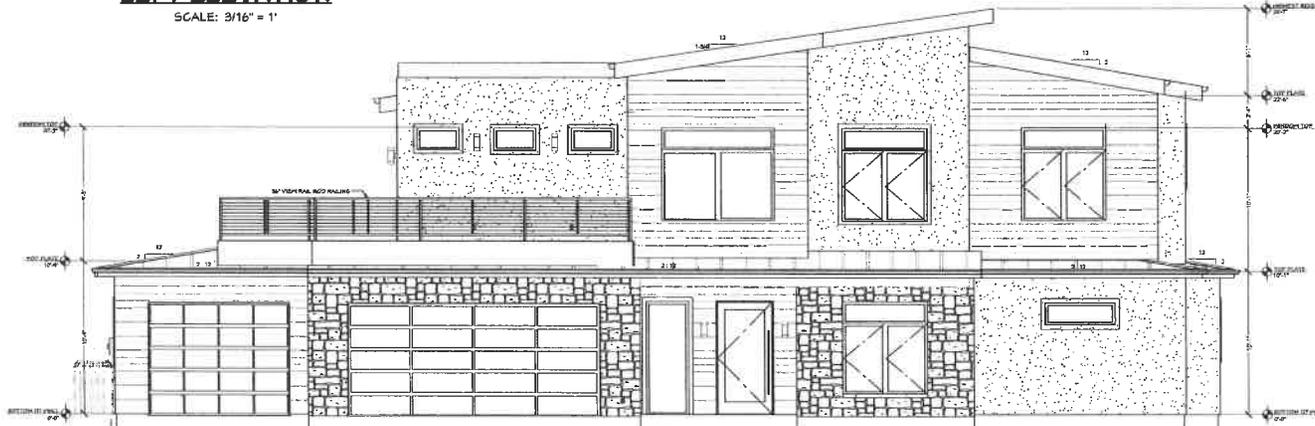
REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'



RIGHT ELEVATION
SCALE: 3/16" = 1'



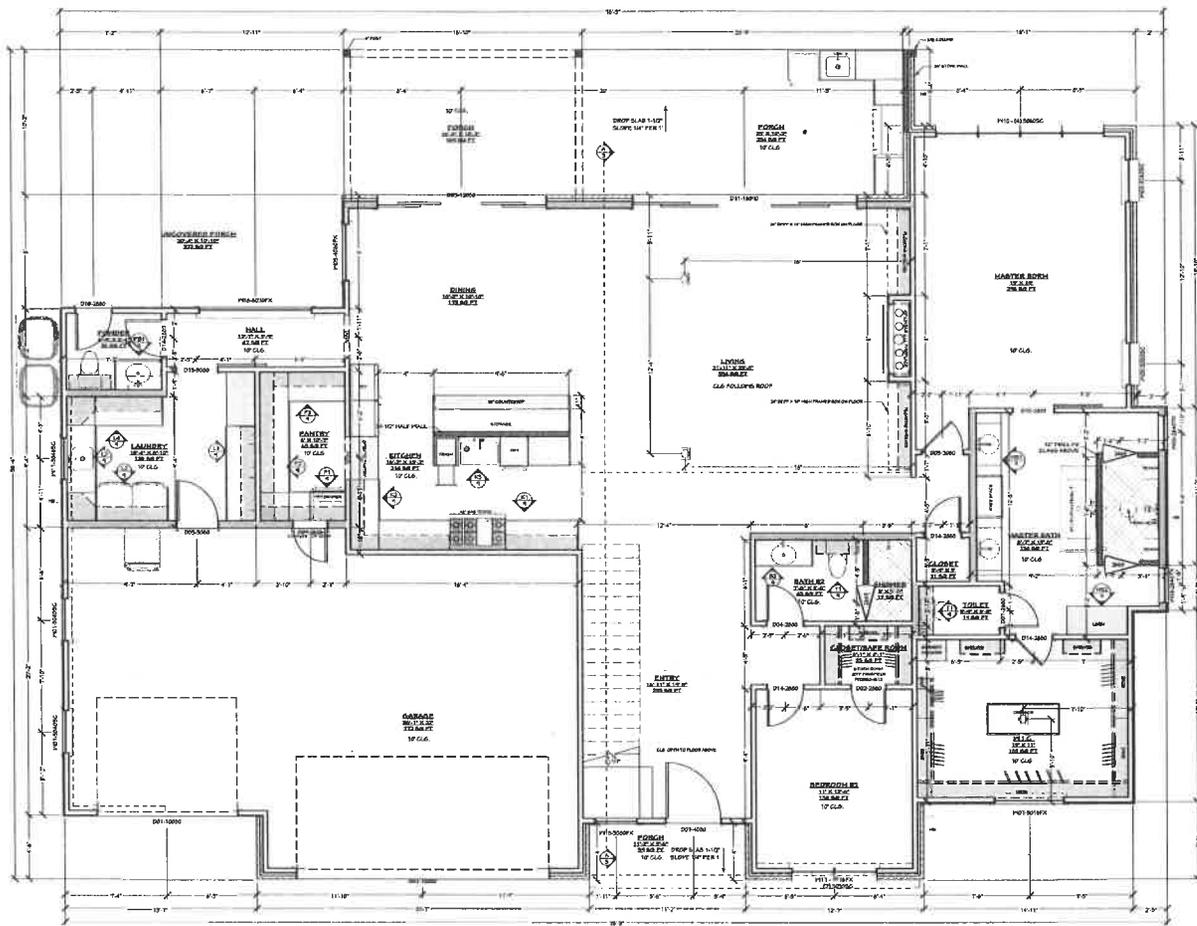
FRONT ELEVATION
SCALE: 1/4" = 1'

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BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75082
EXTERIOR ELEVATIONS

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX 75442
(972) 754-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





MAIN FLOOR PLAN
SCALE: 1/4" = 1'

ITEM	UNIT	AREA
Living	Sq. Ft.	2630
Garage	Sq. Ft.	833
Porch	Sq. Ft.	442
Foundation	Sq. Ft.	3905
2nd Floor Living	Sq. Ft.	1181
Total Living	Sq. Ft.	3811
Total Under Foot	Sq. Ft.	5288
Total Sun Deck	Sq. Ft.	671
Total Carpet	Sq. Ft.	1196
Total Tile	Sq. Ft.	500
Total Wood	Sq. Ft.	2428

AREA (Sq. Ft.)	Value
1st Floor Living	2630
Total Garages	833
Total Porches	442
Total Foundation	3905
2nd Floor Living	1181
Total Living	3811
Total Under Foot	5288
Total Sun Deck	671
Total Carpet	1196
Total Tile	500
Total Wood	2428

BUILDING CONTRACTOR/OWNER TO VERIFY ALL DIMENSIONS, SPECS. & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
PLANS DESIGNED BY WCL INC.

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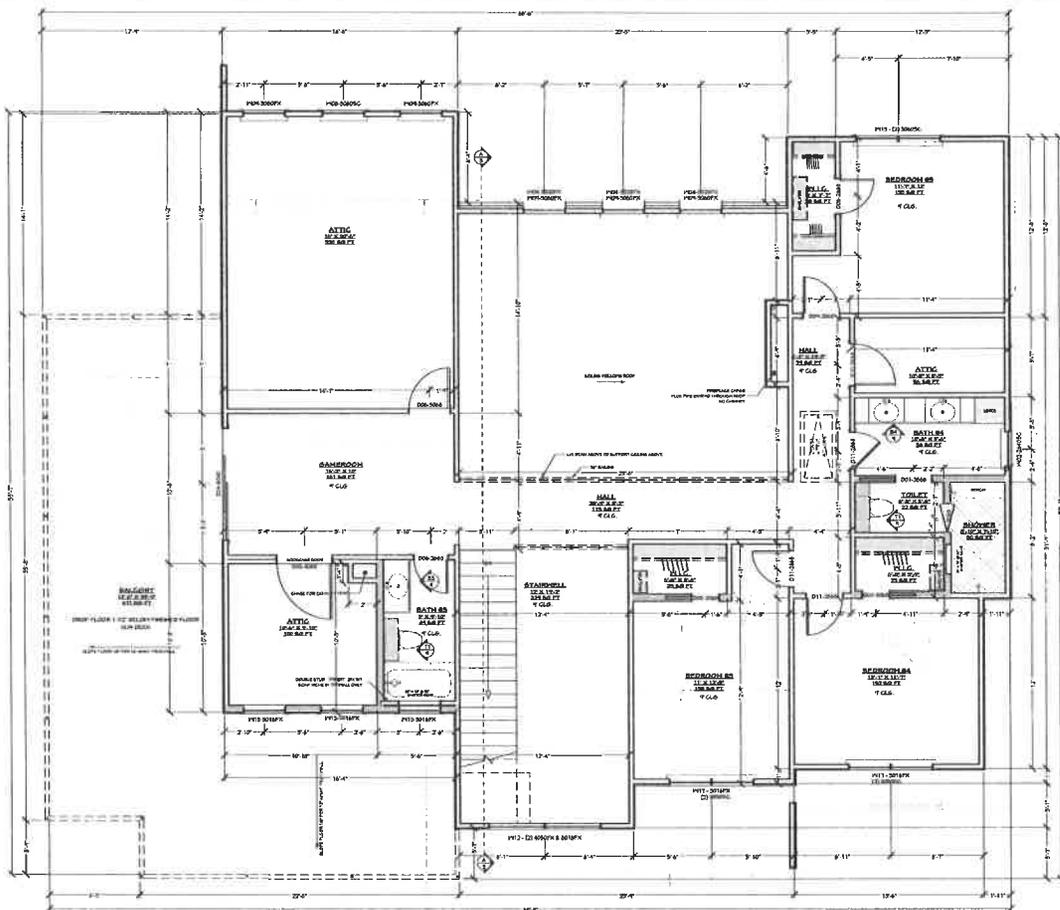
BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
MAIN FLOOR PLAN

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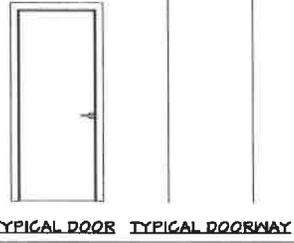


NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	1000	1 5/8"	34726 514"	Comp
D02	[Symbol]	1	1000	1 5/8"	34726 12"	Comp
D03	[Symbol]	1	1200 L R EX	1 5/8"	34726 112"	Quad Slab
D04	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Slab
D05	[Symbol]	1	2000 L EX	1 5/8"	34726 12"	Hinged
D06	[Symbol]	1	3000 R EX	1 5/8"	34726 12"	Hinged
D07	[Symbol]	1	4000 L EX	1 5/8"	34726 514"	Hinged
D08	[Symbol]	1	4000 R EX	1 5/8"	34726 12"	Hinged
D09	[Symbol]	1	3000 L EX	1 5/8"	34726 12"	Hinged
D10	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Hinged
D11	[Symbol]	1	1000 L R EX	1 5/8"	34726 112"	Quad Slab

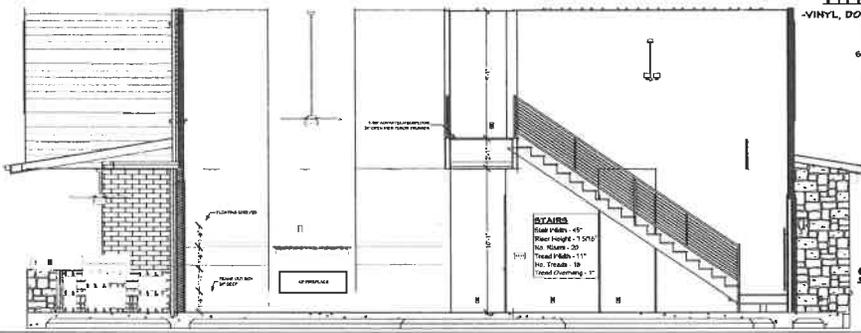
NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	3360 R	1 5/8"	34726 12"	Fixed
D02	[Symbol]	1	2400 L R	1 5/8"	34726 12"	Hinged
D03	[Symbol]	1	2000 L	1 5/8"	34726 12"	Fixed
D04	[Symbol]	1	2000 L R	1 5/8"	34726 12"	Hinged
D05	[Symbol]	1	1000 L R	1 5/8"	34726 12"	Hinged
D06	[Symbol]	3	2400 L R	1 5/8"	34726 12"	Hinged
D07	[Symbol]	1	2400 R H	1 5/8"	34726 12"	Hinged
D08	[Symbol]	1	2000 R	1 5/8"	34726 12"	Fixed
D09	[Symbol]	1	2000 L R	1 5/8"	34726 12"	Hinged
D10	[Symbol]	1	2000 R H	1 5/8"	34726 12"	Hinged
D11	[Symbol]	3	2400 R H	1 5/8"	34726 12"	Hinged
D12	[Symbol]	4	2400 R H	1 5/8"	34726 12"	Hinged
D13	[Symbol]	1	1000 L	1 5/8"	34726 12"	Run



2ND FLOOR PLAN
SCALE: 1/4" = 1'



TYPICAL DOOR TYPICAL DOORWAY



TYPICAL WINDOW
-VINYL, DOUBLE PANE, LOW E 566-
DH - Double Hung
SH - Single Hung
DH - Double Hung
SH - Single Hung
GC - Single Casement
LB - Left Sliding
RB - Right Sliding

SECTION A-A
SCALE: 1/4" = 1'

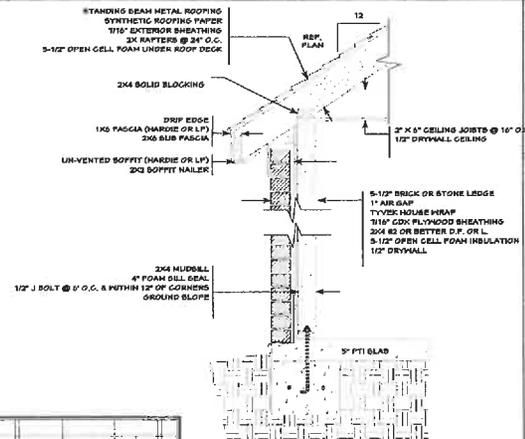
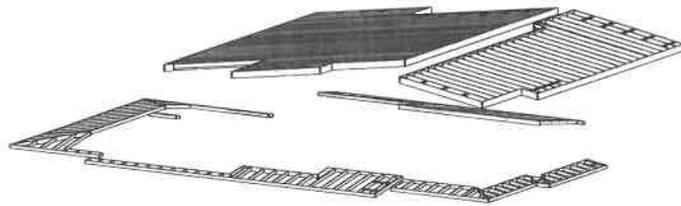
Window No.	Symbol	Qty	Typ	Temp	Unit
W10-01	[Symbol]	2	4"		1
W10-02	[Symbol]	1	4"		1
W10-03	[Symbol]	1	4"		1
W10-04	[Symbol]	3	10 1/2"		1
W10-05	[Symbol]	2	4"		1
W10-06	[Symbol]	1	4"		1
W10-07	[Symbol]	3	4"		1
W10-08	[Symbol]	2	4"		1
W10-09	[Symbol]	1	4"		1
W10-10	[Symbol]	1	10 1/2"		1
W10-11	[Symbol]	3	4"		1
W10-12	[Symbol]	1	4"		1
W10-13	[Symbol]	2	4"		1
W10-14	[Symbol]	1	4"		1

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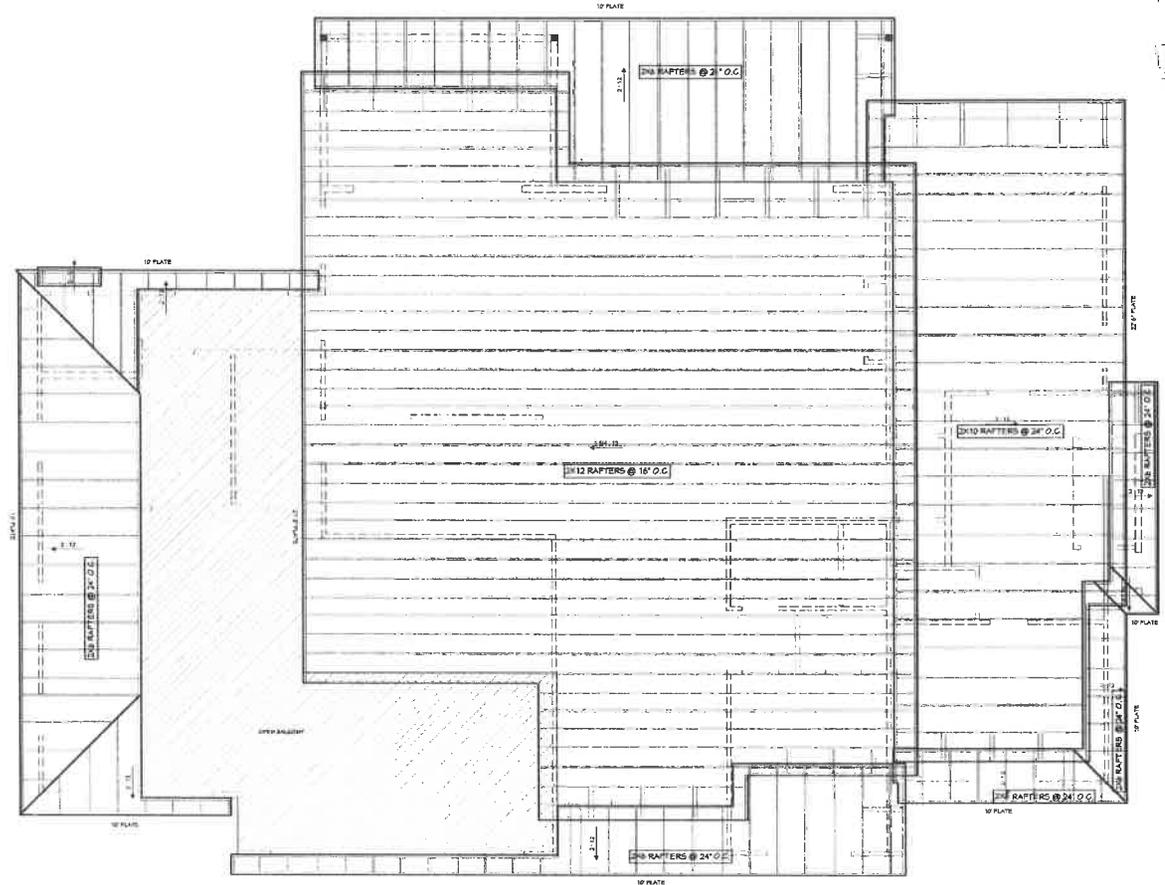
BOHORQUEZ RESIDENCE G ©
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UPSTAIRS & SCHEDULES

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**WALL/ROOF
DETAIL**
N.T.S.



ROOF PLAN
SCALE: 1/4" = 1'
3,582 SF of Metal Roofing

ROOFING NOTES:
ROOFING SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO SOLIDLY SHEATHED ROOFS, NOT LESS THAN 4 NAILS PER EACH 50 TO 40" STRIP SHINGLES & 2 NAILS PER EACH 1" TO 1 1/2" INDIVIDUAL SHINGLE
SOFFITS:
12" GABLES
16" HP VENTED HARDIEPLANK (PORCHES & GARAGES)
NON-VENTED HARDIEPLANK (LIVING AREA)

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ROOF PLAN

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DEVELOPMENT APPLICATION

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Planning and Zoning Department
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STAFF USE ONLY

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- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
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² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 329 HARBORVIEW DR, ROCKWALL, TX 75032
 SUBDIVISION Harbor Landing Phase TWO LOT 5 BLOCK B
 GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____
 PROPOSED ZONING _____ PROPOSED USE _____
 ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DAVID BOHORQUEZ APPLICANT _____
 CONTACT PERSON DAVID BOHORQUEZ CONTACT PERSON _____
 ADDRESS 1397 GLENWICK DR ADDRESS _____
 CITY, STATE & ZIP ROCKWALL, TX 75032 CITY, STATE & ZIP _____
 PHONE 469-766-4127 PHONE _____
 E-MAIL DAVID@B6GROUPSERVICES.COM E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Bohorquez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF JUNE, 2024

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Cynthia C Kides





Z2024-030: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 329 Harborview Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

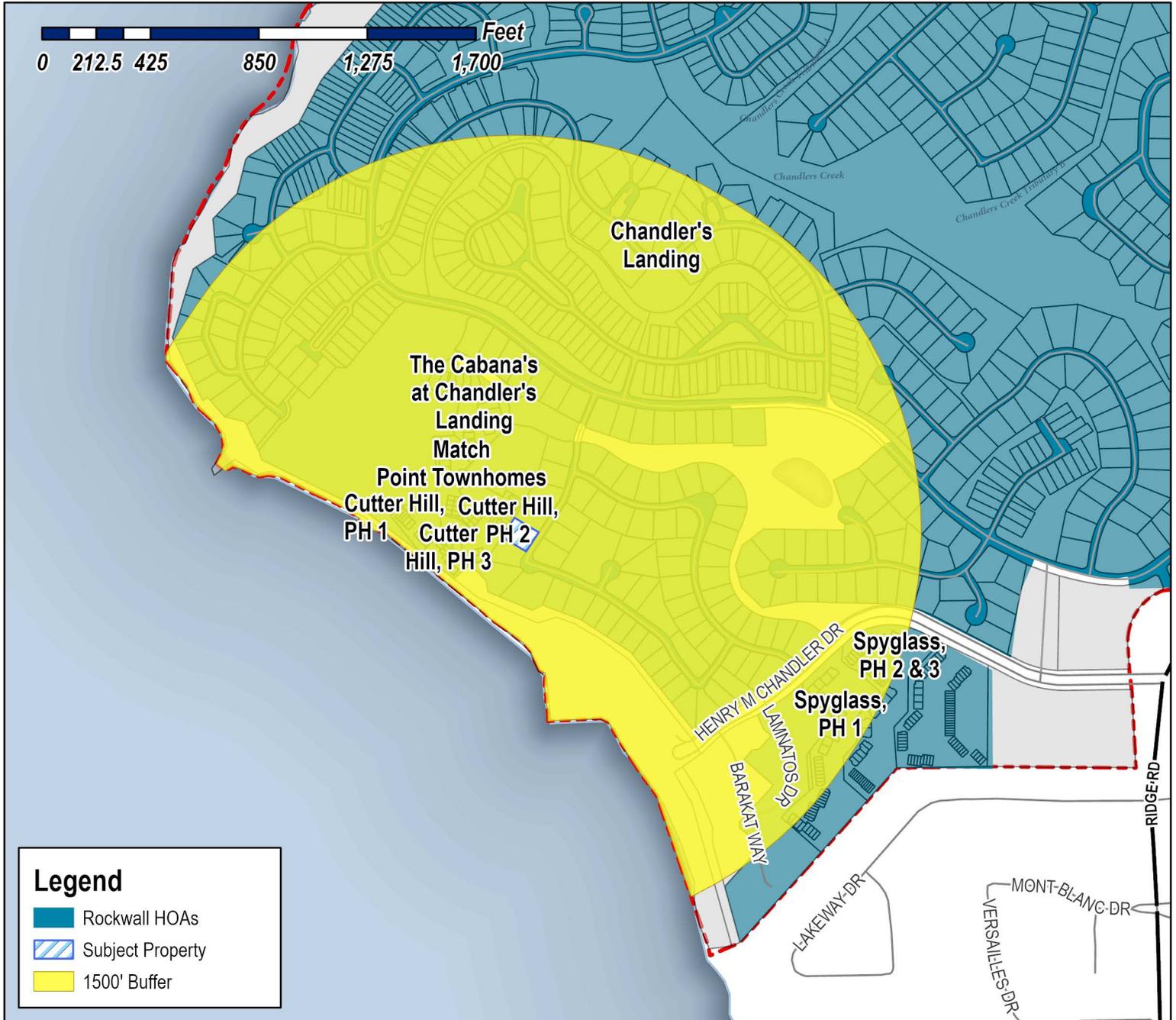




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-030
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 329 Harborview Drive

Date Saved: 6/13/2024
 For Questions on this Case Call (972) 771-7745

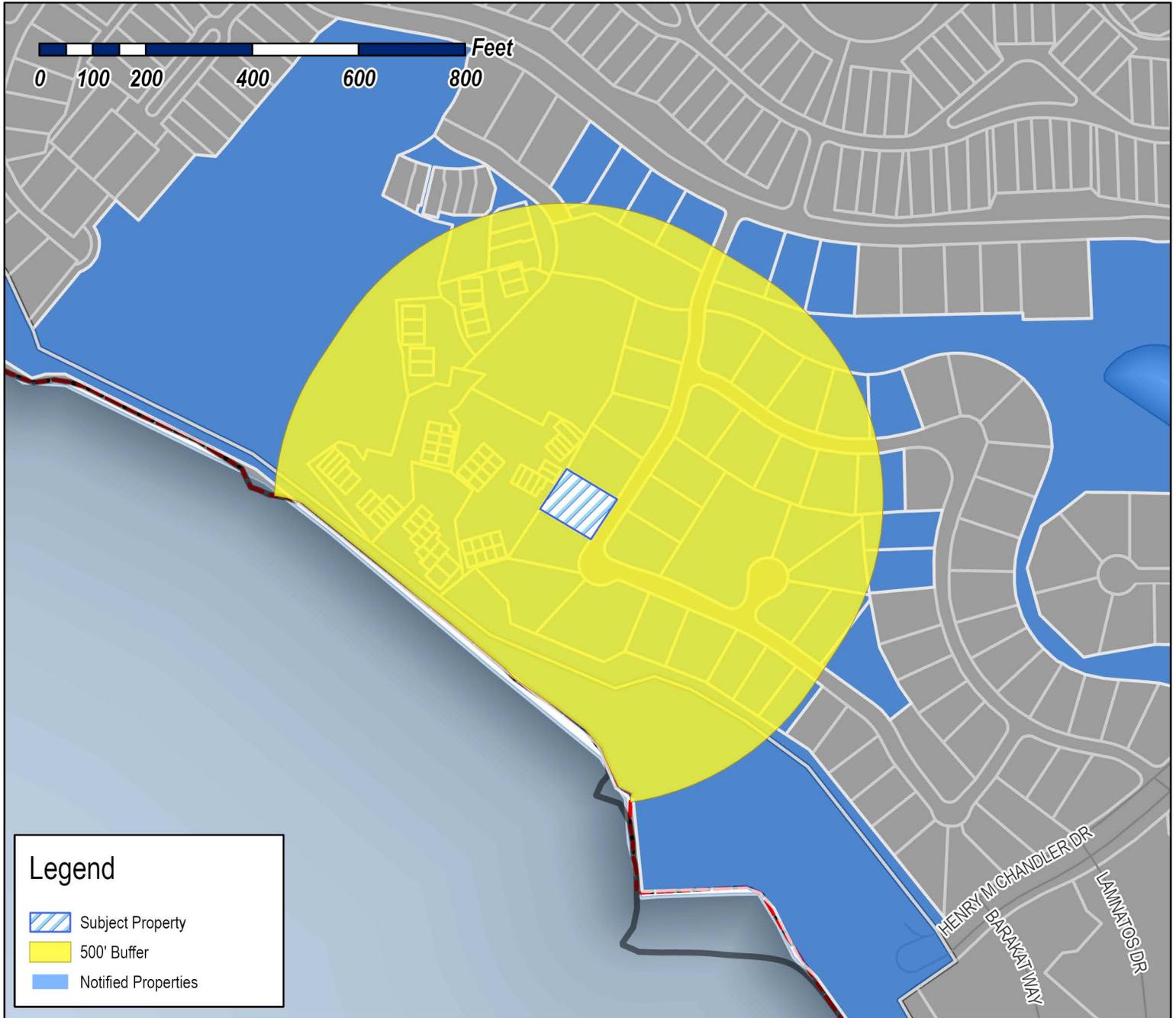




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CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

WILLIS PATRICIA D
12218 GLADWICK DR
HOUSTON, TX 77077

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

BRAD RHODES REALTY LLC
1514 ANDY DRIVE
SHERMAN, TX 75092

DALROCK INDEPENDENCE LLC
1718 CAPITOL AVE
CHEYENNE, WY 82001

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

ESTATE OF KENNETH GENE PONDER
ELMA PONDER, EXECUTOR
1850 ASHBOURNE DRIVE
ROCKWALL, TX 75087

VREELAND DENISE AND
DAN CALNON
1956 GEAR AVE
FAIRFIELD, IA 52556

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

VINES GREGORY S
200 VZCR 3710
EDGEWOOD, TX 75117

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER DEANNA
202 RAINBOW CIRCLE
ROCKWALL, TX 75032

SLATE CRAIG AND TANYA
208 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

MCCALLUM TERRY
2231 W FM 550
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

ZUCCHERO MICHAEL
24212 NOBE ST
CORONA, CA 92883

ROBERTS GARREN AND MARY BERNADETTE
FIDELMA
25112 SLEEPY HOLLOW
LAKE FOREST, CA 92630

PORTER INVESTMENTS LLC
3 COVE CREEK COURT
HEATH, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75087

RESIDENT
310 HARBORVIEW DR
ROCKWALL, TX 75087

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75087

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

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319 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

SELF JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

SELF SCOTT L & JAN
319 HARBORVIEW DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

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321 HARBORVIEW DR
ROCKWALL, TX 75087

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

RIZZARI VANESSA GABRIELA
324 HARBOR LANDING DR
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
326 HARBORVIEW DR
ROCKWALL, TX 75087

DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

Haidar Lamora J and
Lucinda K Polhemus
327 YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
328 HARBORVIEW DR
ROCKWALL, TX 75087

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
329 HARBORVIEW DR
ROCKWALL, TX 75087

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDOS AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DAMALUX RENTAL AND REMODELING LLC
3320 AUGUSTA BLVD
ROCKWALL, TX 75087

RESIDENT
333 YACHT CLUB DR
ROCKWALL, TX 75087

TMCC TRUST
THOMAS V MCCROSSAN- TRUSTEE
333 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MARTIN AND LISA MANASCO LIVING TRUST
MARTIN EDWARD MANASCO AND LISA MARIE
MANASCO- TRUSTEES
335 HARBORVIEW DR
ROCKWALL, TX 75032

MCCROSSAN LIA AND JAMES
337 HARBORVIEW DRIVE
ROCKWALL, TX 75032

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
405 YACHT CLUB DR
ROCKWALL, TX 75087

CENSULLO TERESA ANN
405 COLUMBIA DR
ROCKWALL, TX 75032

WISE RUTHANNE
407 YACHT CLUB DRIVE
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

FRONTERA JOSE ANTONIO & CAROLINE
4241 BUENA VISTA #18
DALLAS, TX 75205

RESIDENT
426 S YACHT CLUB DR
ROCKWALL, TX 75087

JONES AMBER
426 YACHT CLUB DR UNIT H
ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L
426 YACHT CLUB DRIVE APT D
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

RESIDENT
428 YACHT CLUB DR
ROCKWALL, TX 75087

WRIGHT RHONDA LYNN
428 YACHT CLUB DR APT C
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

GALLIGUEZ PRESILO A & ANNABELLE B
429 YACHT CLUB DR B UNIT A 2
ROCKWALL, TX 75032

RESIDENT
430 S YACHT CLUB DR
ROCKWALL, TX 75087

STROUD SUZETTE AND ANDY
430A YACHT CLUB
ROCKWALL, TX 75032

KAY SUZANNE KAY
430E YACHT CLUB DRIVE
ROCKWALL, TX 75032

BARRINGER VAN
4310 COCHRAN CHAPEL CIR
DALLAS, TX 75209

RESIDENT
436 S YACHT CLUB DR
ROCKWALL, TX 75087

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

MERCKLING BRYAN AND SARAH HUSSAIN
436 YACHT CLUB DRIVE #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
438 S YACHT CLUB DR
ROCKWALL, TX 75087

WALLACE BRITTANY
438 S YACHT CLUB DR APT H
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

JAMES DEBRA SUE
438 YACHT CLUB DR APT D
ROCKWALL, TX 75032

BARLOW DAVID ALLEN
438 YACHT CLUB DR APT F
ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

SFIKAS SCOTT
438 YACHT CLUB DRIVE APT C
ROCKWALL, TX 75032

RESIDENT
440 S YACHT CLUB DR
ROCKWALL, TX 75087

BROWN CYNTHIA
440 YACHT CLUB UNIT E
ROCKWALL, TX 75032

SERRANO MANUEL
440 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
4401 GMD UNIT 702
LONGBOAT KEY, FL 34228

RESIDENT
442 S YACHT CLUB DR
ROCKWALL, TX 75087

SPOENEMAN DAVID AND JODI
442A YACHT CLUB APT A
ROCKWALL, TX 75032

RESIDENT
450 S YACHT CLUB DR
ROCKWALL, TX 75087

ARMSTRONG MARK C
450 YACHT CLUB DRIVE UNIT C
ROCKWALL, TX 75032

RUYON DANA T
450A YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
452 S YACHT CLUB DR
ROCKWALL, TX 75087

SULLIVAN ROBERT MICHAEL
452 YACHT CLUB DR #B
ROCKWALL, TX 75032

ROGERS TARA MICHELLE & FRANCISCO LOPEZ
454 YACHT CLUB DR
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

RESIDENT
458 S YACHT CLUB DR
ROCKWALL, TX 75087

CLAYCOMB DENISE MASUNAS AND JOHN
WILLIAM
458 YACHT DRIVE 458A
ROCKWALL, TX 75032

BENDER VIRGINIA
4600 GREENVILLE AVE STE 180
DALLAS, TX 75206

RESIDENT
501 YACHT CLUB DR
ROCKWALL, TX 75087

HAMMOND LIVING TRUST
519 E I30 #704
ROCKWALL, TX 75087

HARMON H VICTOR ETUX
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HOGAN CANDICE LYNN AND
KEVIN PETER CRANTZ
522 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DEATON KHRISTY & ROBERT
524 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
526 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
528 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
530 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
532 YACHT CLUB DR
ROCKWALL, TX 75087

TROTTER STEVEN DOUGLAS & LISA ANN
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DENNALLEY DENA S
536 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
540 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
542 YACHT CLUB DR
ROCKWALL, TX 75087

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

JOHNSON BETTY
544 YACHT CLUB DR
ROCKWALL, TX 75032

STENBERG SHANE & TRACY ENGLISH
5449 MARTEL
DALLAS, TX 75206

RESIDENT
546 YACHT CLUB DR
ROCKWALL, TX 75087

GIBSON JEANETTE L
548 YACHT CLUB DR
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5556 CANADA CT
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING
6109 PLANTATION LN
FLOWER MOUND, TX 75022

RESIDENT
7 GREENBELT
ROCKWALL, TX 75087

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

ESPARZA KRISTIN
8565 PLAINFIELD ROAD
LYONS, IL 60534

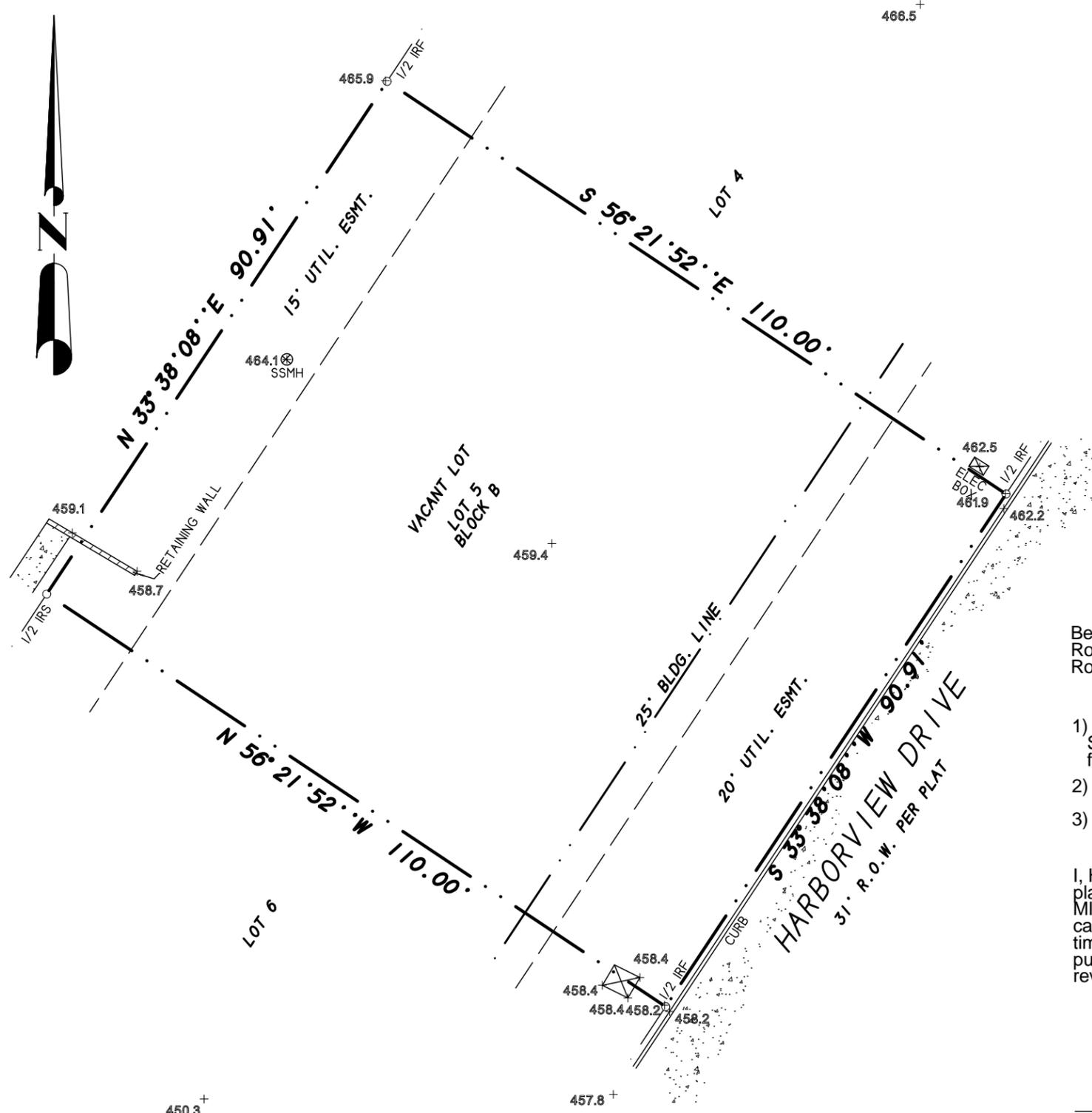
DALTON PAMELA JOY, TRUSTEE
PAMELA JOY DALTON LIVING TRUST
872 RATHBONE CIRCLE
FOLSOM, CA 95630

STEPHENSON ROBIN AND LARRY JR
9005 BRIARCREST DR
ROWLETT, TX 75089

MALLARD DAVID S & SHERRY A
9405 WAYNE AVE
LUBBOCK, TX 79424

SELF BILLY & KATIE
C/O PRO SOAP 321 HARBORVIEW DR
ROCKWALL, TX 75032

PLAT OF SURVEY



DESCRIPTION

Being Lot 5, Block B, of HARBOR LANDING PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY, ROCKWALL RENTAL PROPERTIES, and MIKE WHITTLE, at HARBORVIEW DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 29th day of June, 2009.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
⊙	⊕	⊖	⊕
TELEVISION CABLE RISER	GAS METER	TEL. PHONE RISER	FH FIRE HYDRANT
⊕	⊖	⊕	⊕
ELEC. ELECTRIC METER	ELEC. BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE
—	—	—	—
FENCE	EASEMENT LINE	A/C AIR COND. UNIT	PROPANE TANK
—	—	—	—
	PROPERTY LINES		

SURVEY DATE	JUNE 29, 2009
SCALE	1" = 20'
CLIENT	RRP
FILE #	20090418-5
GF #	NONE

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE 972-635-9979 FAX

SURVEY ACCEPTED BY:

DATE _____

DATE _____

SQUARE FOOTAGE CALCULATIONS:

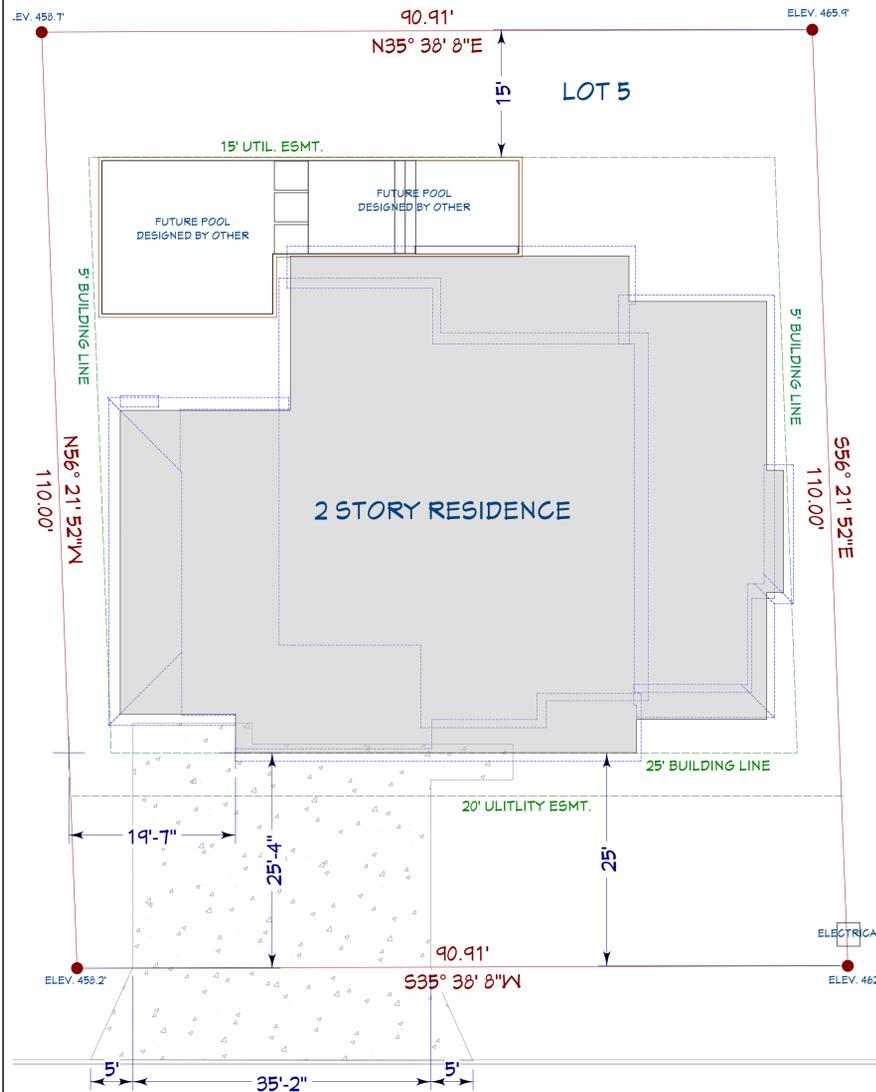
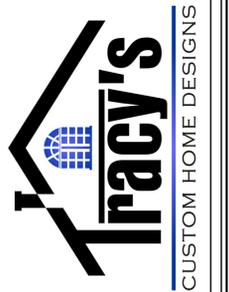
- I. GARAGE & PORCH SQFT INCLUDE BRICK LEDGE.
- II. SQFT LISTED BY ROOM ARE FOR INTERIOR AREA ONLY, SHEETROCK TO SHEETROCK. THIS TO AID IN CALCULATING HVAC LOADS & FLOORING TAKEOFFS.
- III. FLOORING MATERIAL SQFT IS CALCULATED BY SHEETROCK TO SHEETROCK AREA & INCLUDES THE AREA UNDER CABINETS.

NOTICE & DISCLAIMER

UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
GENERAL OVERVIEW

111 FARMERSVILLE PKWY STE. 300
 FARMERSVILLE, TX. 75442
 (972) 784-9044
 sales@tracyscustomhomes.com
 www.tracyscustomhomes.com



HARBORVIEW DRIVE

SITE PLAN

SCALE: 1" = 10'

LOT 5, BLOCK B
 HARBOR LANDING PHASE 2
 CITY OF ROCKWALL, TX

WATER LINE - 1-1/4"
 ELECTRICAL - 200AMP SERVICE



THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT & PROPERTY OF TRACY'S CUSTOM HOMES. USE OF THESE DRAWINGS & CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF TRACY'S CUSTOM HOMES IS PROHIBITED & MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

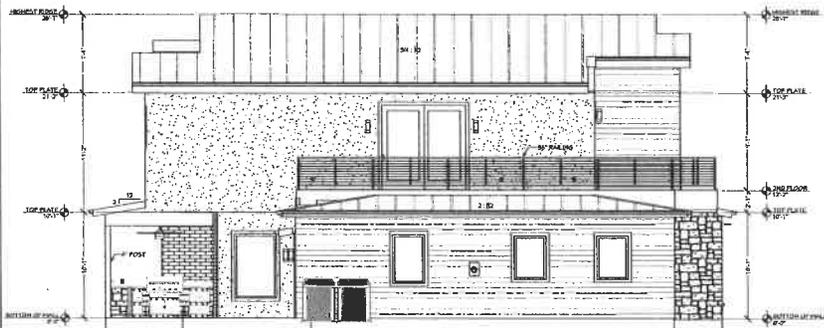
DRAWING PACKAGE		AREA (Sq. Ft.)	
PAGE #	TITLE		
1	GENERAL OVERVIEW	1st Floor Living	2630
2	MAIN FLOOR PLAN	Total Garages	833
3	UPSTAIRS & SCHEDULES	Total Porches	442
4	EXTERIOR ELEVATIONS	Total Foundation	3905
5	ROOF PLAN	2nd Floor Living	1181
6	ELECTRICAL	Total Living	3811
7	ELECTRICAL 2ND FLOOR	Total Under Roof	5086
8	ROUGH-IN	Total Sun Deck	671
9	CABINETS	Total Carpet	1196
		Total Tile	500
		Total Wood	2428

1. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, NOTES, & CONDITIONS PRIOR TO THE START OF ANY WORK.
 2. ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS
 3. THE AUTHOR OF THESE DOCUMENTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR ANY PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, & SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODES (UBC) & LOCAL BUILDING CODES, OR AS SPECIFICALLY NOTED ON THESE PLANS & CALCULATIONS, WITH THE MOST STRINGENT CONDITION GOVERNING.

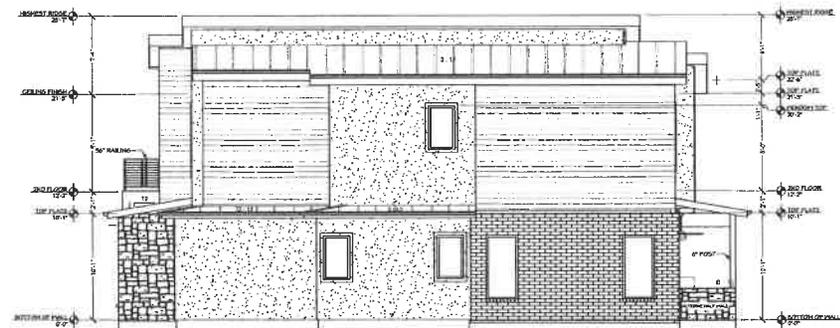
DRAWN BY: KENDALL NOTO
 CHECKED BY: ROY HOMFELD
 SHEET SIZE: ARCH D (24" x 36")



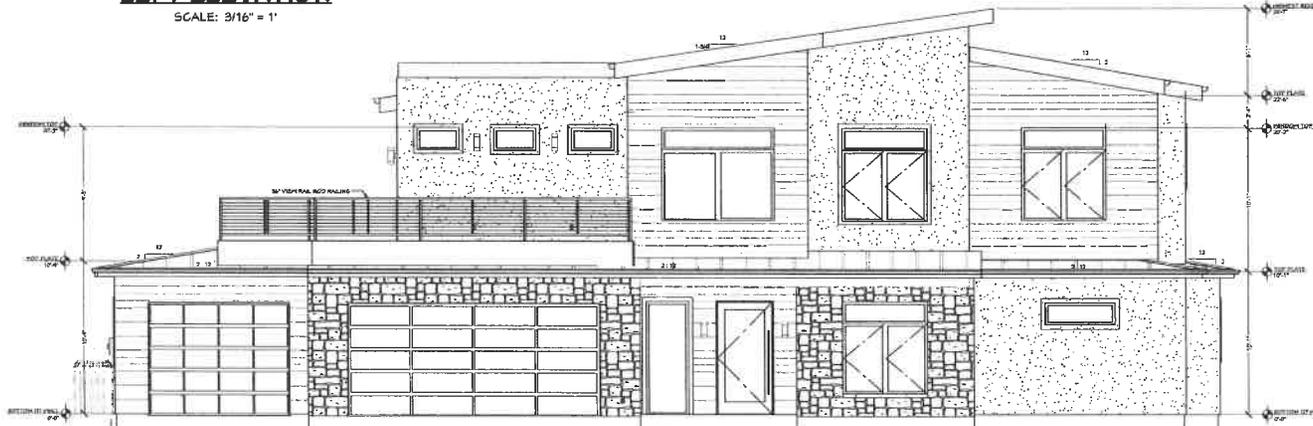
REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'



RIGHT ELEVATION
SCALE: 3/16" = 1'



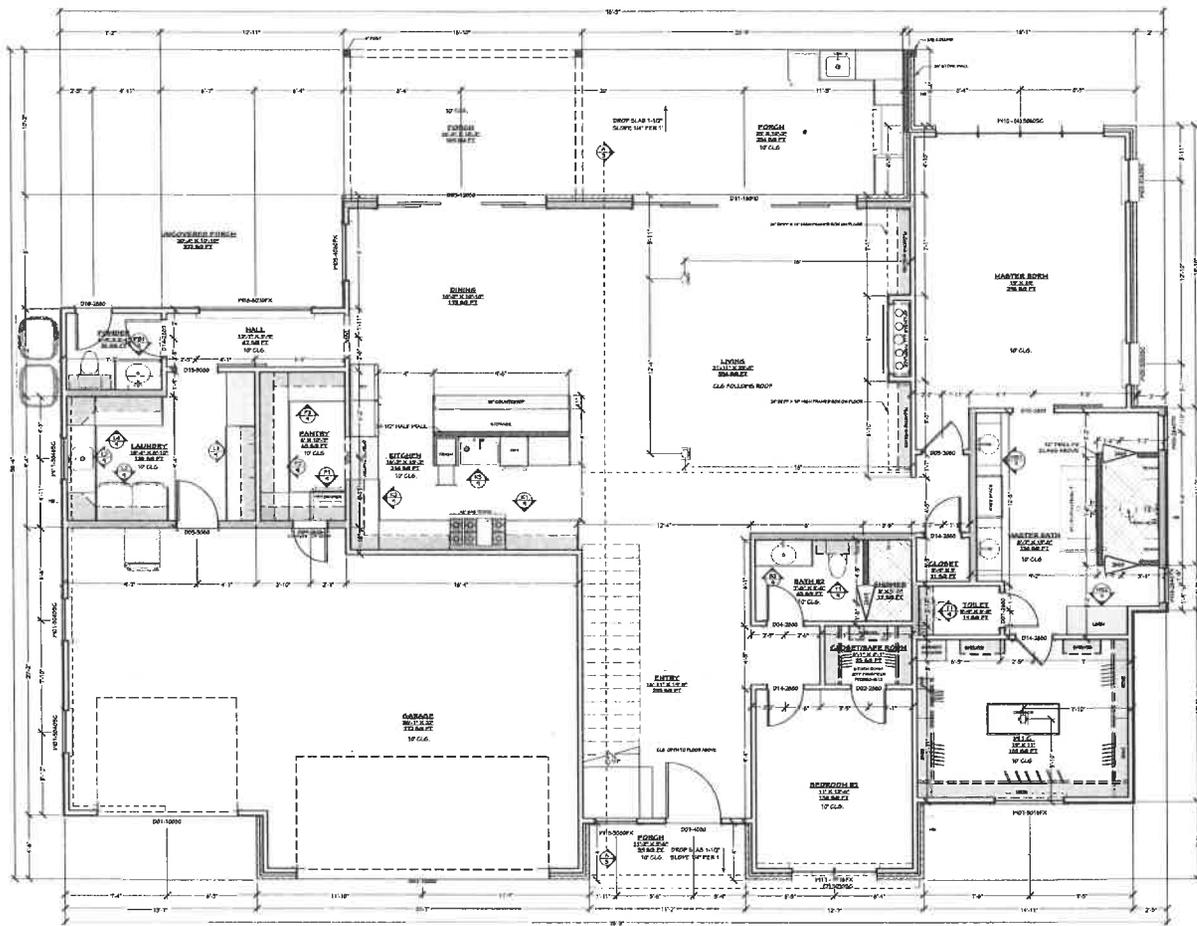
FRONT ELEVATION
SCALE: 1/4" = 1'

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329 HARBORVIEW DR. ROCKWALL, TX 75082
EXTERIOR ELEVATIONS

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX 75442
(972) 754-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





MAIN FLOOR PLAN
SCALE: 1/4" = 1'

ITEM	UNIT	AREA (SQ. FT.)
Living		1,910'
Dining		4,102'
Kitchen		1,102'
Breakfast Room		107'
Master Bedroom		4,102'
Bedroom - 1		9,102'
Bedroom - 2		9,102'
Bedroom - 3		9,102'
Bedroom - 4		9,102'
Bedroom - 5		9,102'
Bedroom - 6		9,102'
Bedroom - 7		9,102'
Bedroom - 8		9,102'
Bedroom - 9		9,102'
Bedroom - 10		9,102'
Bedroom - 11		9,102'
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Bedroom - 45		9,102'
Bedroom - 46		9,102'
Bedroom - 47		9,102'
Bedroom - 48		9,102'
Bedroom - 49		9,102'
Bedroom - 50		9,102'
Bedroom - 51		9,102'
Bedroom - 52		9,102'
Bedroom - 53		9,102'
Bedroom - 54		9,102'
Bedroom - 55		9,102'
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Bedroom - 96		9,102'
Bedroom - 97		9,102'
Bedroom - 98		9,102'
Bedroom - 99		9,102'
Bedroom - 100		9,102'

AREA (SQ. FT.)	
1st Floor Living	2630
Total Garages	833
Total Porches	442
Total Foundation	3905
2nd Floor Living	1181
Total Living	3811
Total Under Foot	5588
Total Sun Deck	671
Total Carpet	1196
Total Tile	500
Total Wood	2428

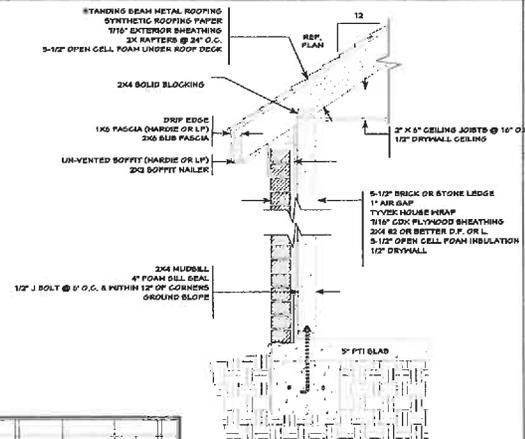
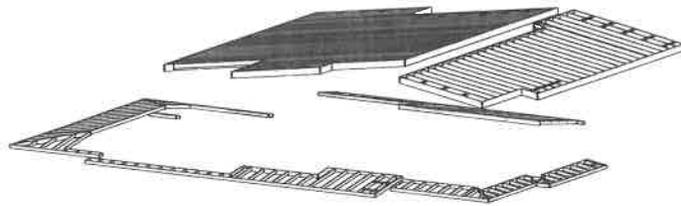
BUILDING CONTRACTORS/OWNER TO VERIFY ALL DIMENSIONS, SPECS. & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
PLANS DESIGNED BY WCL INC.

NOTICE & DISCLAIMER
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

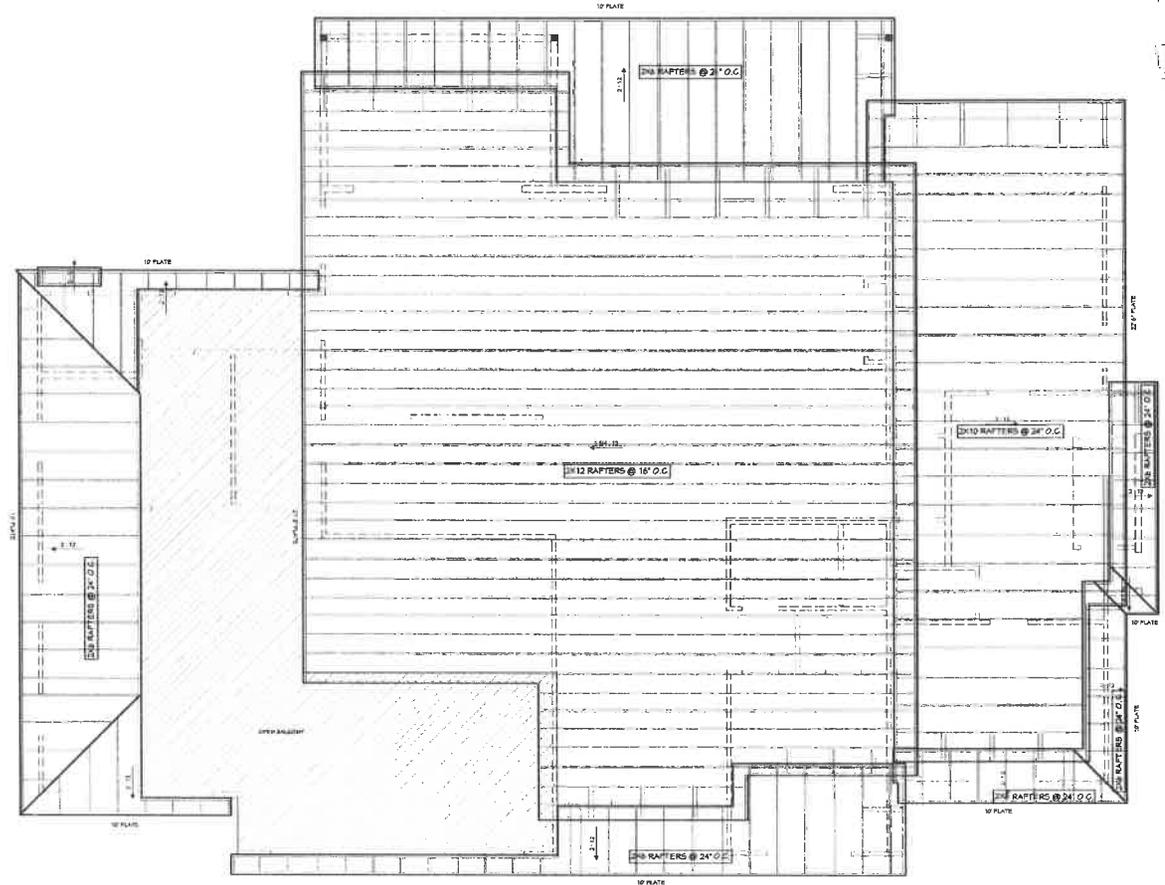
BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
MAIN FLOOR PLAN

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX, 75442
(972) 784-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





**WALL/ROOF
DETAIL**
N.T.S.



ROOF PLAN
SCALE: 1/4" = 1'
3,582 SF of Metal Roofing

ROOFING NOTES:
ROOFING SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO SOLIDLY SHEATHED ROOFS, NOT LESS THAN 4 NAILS PER EACH 50 TO 40" STRIP SHINGLES & 2 NAILS PER EACH 1" TO 1 1/2" INDIVIDUAL SHINGLE
SOFFITS:
12" GABLES
16" HP VENTED HARDIEPLANK (PORCHES & GARAGES)
NON-VENTED HARDIEPLANK (LIVING AREA)

NOTICE & DISCLAIMER
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING AS A RESULT OF THE USE OF THESE DRAWINGS.

BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75082
ROOF PLAN

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX. 75442
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sales@tracyscustomhomes.com
www.tracyscustomhomes.com



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 6/25/2024

PROJECT NUMBER: Z2024-030
PROJECT NAME: SUP for Residential Infill
SITE ADDRESS/LOCATIONS: 329 HARBORVIEW DR

CASE CAPTION: Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	06/19/2024	Approved w/ Comments

06/19/2024: Z2024-030; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 329 Harborview Drive
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive.

I.2 For questions or comments concerning this case, please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-030) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Harbor Landing Phase 1 Subdivision, which is 100% developed, consists of 38 residential lots, and has been in existence since December 22, 1986.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

I.7 The minimum roof pitch for a residential structure is 3:12. In this case you are requesting roof pitches of 2:12. This will require a waiver to this requirement. That being said, there are other homes nearby that have a similar roof plan; however, this is a discretionary decision for the Planning and Zoning Commission.

M.8 According to Planned Development 8 (PD-8), the maximum height of the home shall be 26-feet or 30-feet depending on the pad elevation; the maximum rooftop elevation shall be 484-feet; and the maximum pad elevation shall be 458-feet. See court order requirements for Block B, Lot 5, Harborview Landing Phase 2 below. In this case, you are proposing

a maximum rooftop elevation of 488.00, a maximum pad elevation of 459.00, and a maximum height of 29.00'. This will need to be corrected.

LOT NO.	MAXIMUM ROOFTOP ELEVATION PER COURT ORDER	MAXIMUM PAD ELEVATION PER COURT ORDER	AS-BUILT PAD ELEVATION	MAXIMUM HEIGHT PER COURT ORDER	ADJUSTED MAXIMUM HEIGHT
4	488.00	466.00		22.00'	
5	488.00	459.00		29.00'	
6	471.00	448.00	450.00	23.00'	21.00'
7	471.00	448.00		23.00'	
8	471.00	448.00		23.00'	
9	469.00	447.00		22.00'	
10	469.00	447.00		22.00'	
11	478.50	452.00		26.50'	
12	489.00	451.00		29.00'	
13	474.50	451.50		23.00'	
14	469.00	446.00		23.00'	
15	469.00	446.00		23.00'	
16	468.00	445.00	446.00	23.00'	22.00'
17	468.00	445.00	447.00	23.00'	21.00'
18	468.00	445.00	448.00	23.00'	20.00'
19	477.00	449.00		28.00'	
20	480.00	450.00		30.00'	
21	477.00	450.00		27.00'	
22	484.00	458.00	454.00	26.00'	30.00'
23	490.00	460.00		30.00'	

M.9 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case the proposed garage is located four (4) feet in front of the front façade of the single-family home. This will require a waiver to the requirements of the Unified Development Code (UDC).

M.10 Please review the attached Draft Ordinance prior to the June 25, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than July 2, 2024.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 2, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 9, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.12 The projected City Council meeting dates for this case will be July 15, 2024 (1st Reading) and August 5, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	06/18/2024	Approved w/ Comments

- 06/18/2024: 1. Additional comments may be provided at time of building permit.
 2. The plat for the subdivision (Harbor Landing Phase 2) calls out a 20' building setback, not a 25'.
 3. Curb returns, not flares.
 4. House will have to have a fire sprinkler system installed because larger than 5,000 sf.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	06/17/2024	Approved w/ Comments

06/17/2024:

* BUILDING ELEVATION MEASUREMENTS ARE BLURRY. PLEASE PROVIDE CLEAR DRAWINGS

* DRIVEWAY WIDTH EXCEEDS THE MAXIMUM ALLOWED -

SUBSECTION 2.15.01 | RESIDENTIAL DRIVEWAYS

Steel reinforced concrete residential driveways that serve single car garages shall not be less than 12-feet in width. Two (2) car garages, carports, and/or storage areas shall not be less than 18-feet and no more than 24-feet in width at the property line. The width of the driveway for a three (3) car garage shall be 28-feet or larger (to be reviewed on a case-by-case basis).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	06/20/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	06/17/2024	Approved

No Comments

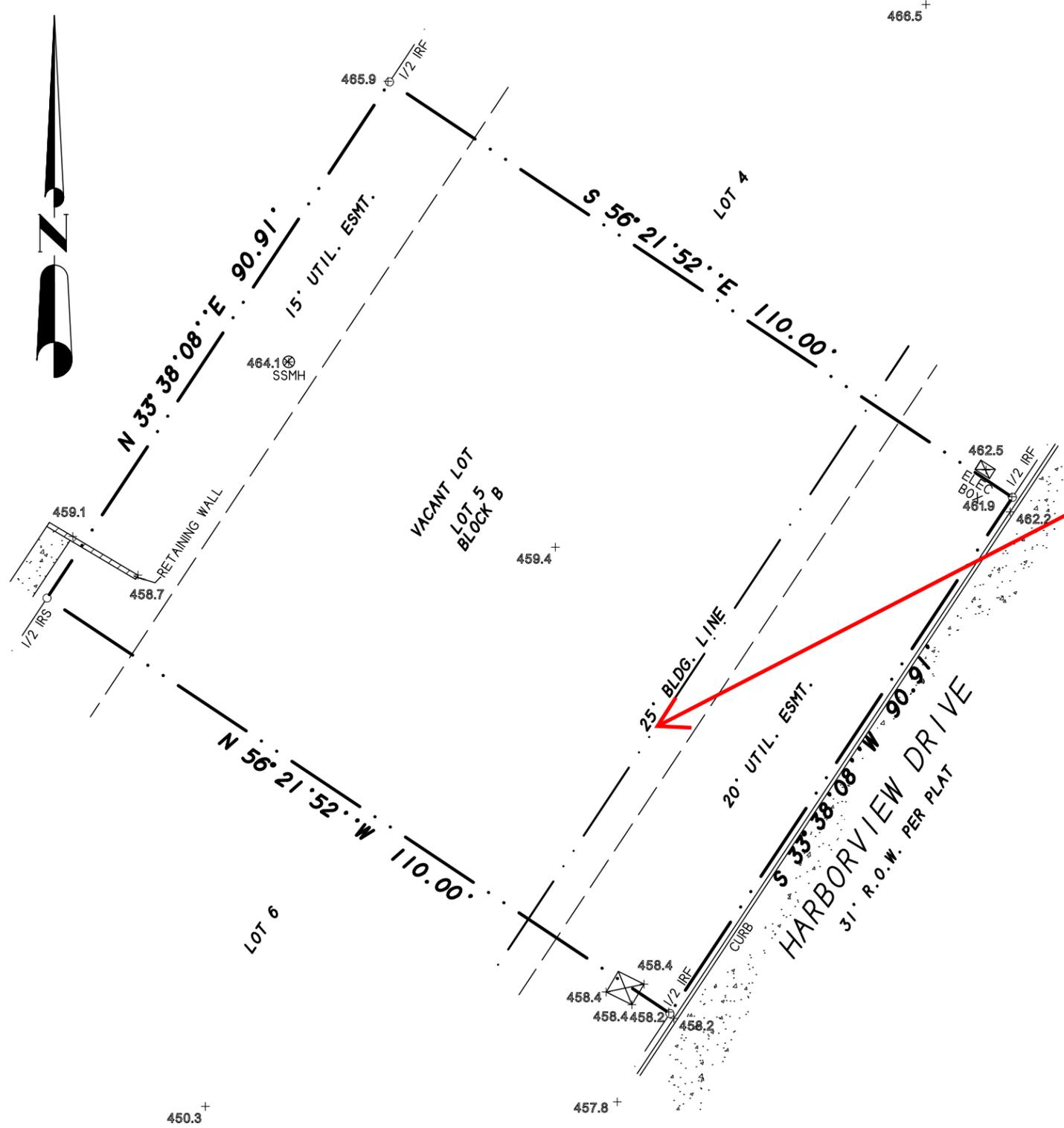
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Angelica Guevara	06/21/2024	N/A

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	06/17/2024	Approved

No Comments

PLAT OF SURVEY



Additional comments may be provided at time of building permit.

The plat for the subdivision (Harbor Landing Phase 2) calls out a 20' building setback, not a 25'.

DESCRIPTION

Being Lot 5, Block B, of HARBOR LANDING PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY, ROCKWALL RENTAL PROPERTIES, and MIKE WHITTLE, at HARBORVIEW DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 29th day of June, 2009.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
⊕	⊗	⊠	⊖	⊕	⊕
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FIRE HYDRANT	POWER POLE	PP
⊕	⊗	⊠	⊖	⊕	⊕
ELEC. METER	ELEC. BOX	WATER METER	LP LIGHT POLE	1/2" IRF	IRON ROD FOUND (CORNER)
⊕	⊗	⊠	⊖	⊕	⊕
FENCE	EASEMENT LINE	PROPERTY LINES	A/C UNIT	PROPANE TANK	

SURVEY ACCEPTED BY:

_____ DATE _____

_____ DATE _____

SURVEY DATE JUNE 29, 2009
 SCALE 1" = 20' FILE # 20090418-5
 CLIENT RRP GF # NONE

H.D. Fetty Land Surveyor, LLC
 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE 972-635-9979 FAX

SQUARE FOOTAGE CALCULATIONS:

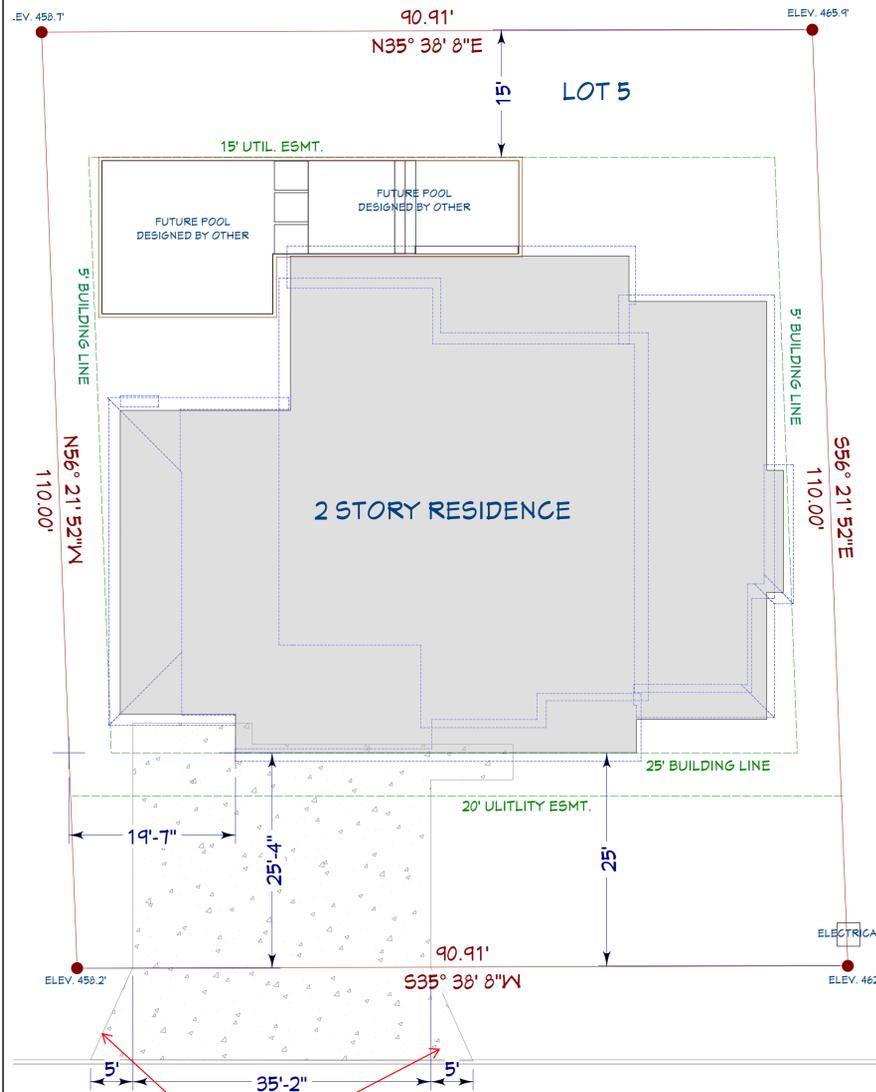
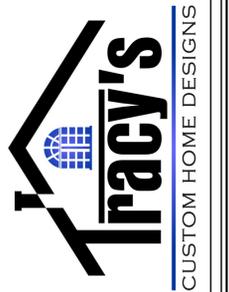
- I. GARAGE & PORCH SQFT INCLUDE BRICK LEDGE.
- II. SQFT LISTED BY ROOM ARE FOR INTERIOR AREA ONLY, SHEETROCK TO SHEETROCK. THIS TO AID IN CALCULATING HVAC LOADS & FLOORING TAKEOFFS.
- III. FLOORING MATERIAL SQFT IS CALCULATED BY SHEETROCK TO SHEETROCK AREA & INCLUDES THE AREA UNDER CABINETS.

NOTICE & DISCLAIMER

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BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
GENERAL OVERVIEW

111 FARMERSVILLE PKWY STE. 300
 FARMERSVILLE, TX. 75442
 (972) 784-9044
 sales@tracyscustomhomes.com
 www.tracyscustomhomes.com



SITE PLAN
SCALE: 1" = 10'

LOT 5, BLOCK B
 HARBOR LANDING PHASE 2
 CITY OF ROCKWALL, TX
 WATER LINE - 1-1/4"
 ELECTRICAL - 200AMP SERVICE



House will have to have a fire sprinkler system installed because larger than 5,000 sf.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT & PROPERTY OF TRACY'S CUSTOM HOMES. USE OF THESE DRAWINGS & CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF TRACY'S CUSTOM HOMES IS PROHIBITED & MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

DRAWING PACKAGE		AREA (Sq. Ft.)	
PAGE #	TITLE		
1	GENERAL OVERVIEW	1st Floor Living	2630
2	MAIN FLOOR PLAN	Total Garages	833
3	UPSTAIRS & SCHEDULES	Total Porches	442
4	EXTERIOR ELEVATIONS	Total Foundation	3905
5	ROOF PLAN	2nd Floor Living	1181
6	ELECTRICAL	Total Living	3811
7	ROUGH-IN	Total Under Roof	5086
8	CABINETS	Total Sun Deck	671
		Total Carpet	1196
		Total Tile	500
		Total Wood	2428

1. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, NOTES, & CONDITIONS PRIOR TO THE START OF ANY WORK.
 2. ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS
 3. THE AUTHOR OF THESE DOCUMENTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR ANY PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, & SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODES (UBC) & LOCAL BUILDING CODES, OR AS SPECIFICALLY NOTED ON THESE PLANS & CALCULATIONS, WITH THE MOST STRINGENT CONDITION GOVERNING.

DRAWN BY: KENDALL NOTO
 CHECKED BY: ROY HOMFELD
 SHEET SIZE: ARCH D (24" x 36")

PLOT PLAN

BEING LOT 5, BLOCK B, OF HARBOR LANDING PHASE TWO, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 10, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

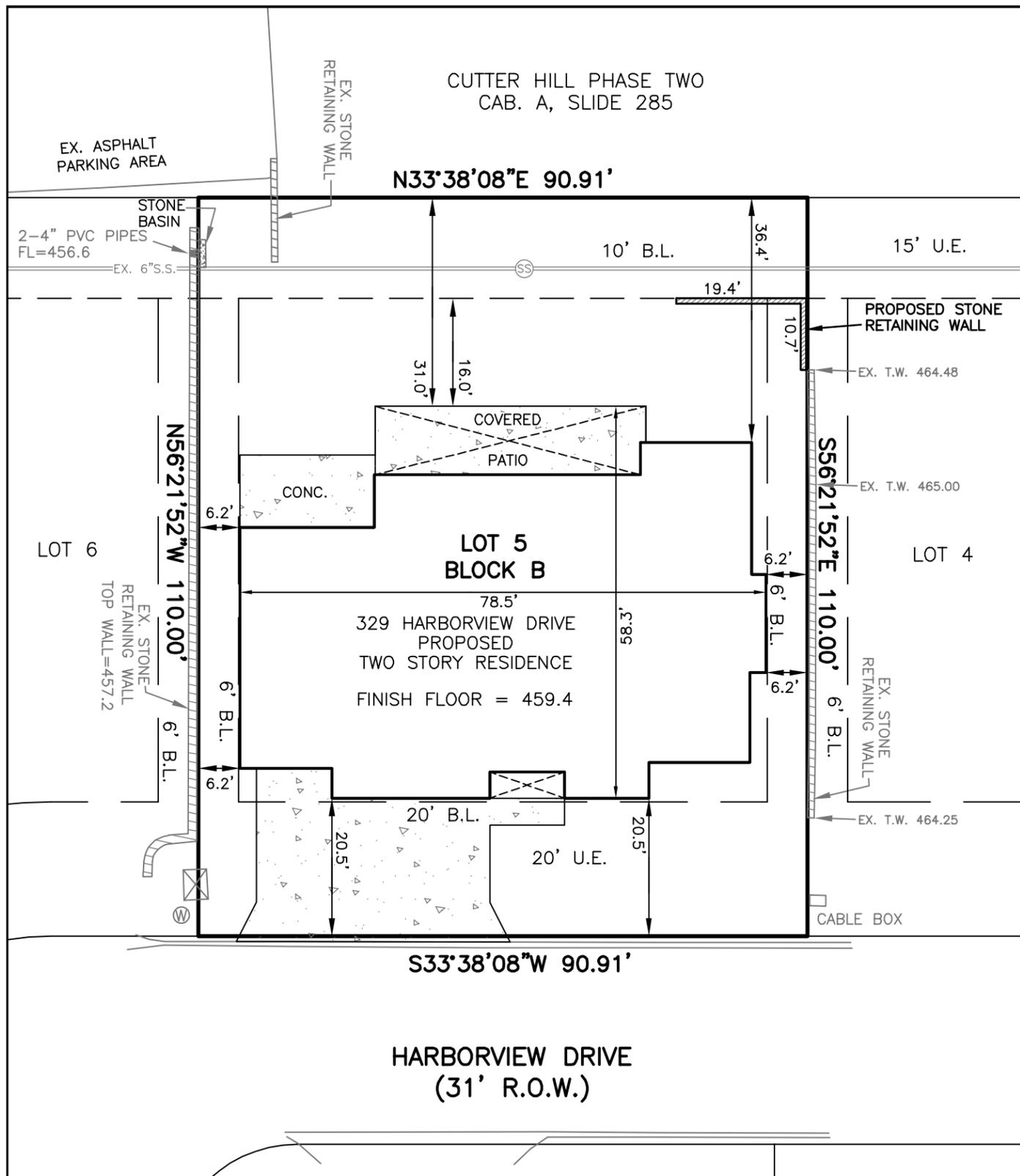
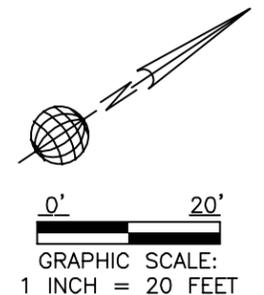
ZONING: PD-08 (SF-10)
 LOT 5, BLOCK B
 MAX ROOFTOP ELEVATION - 488.00
 MAX PAD ELEVATION - 459.00
 MAX HEIGHT - 29.00'

LEGEND

- ⊙ - EXISTING SANITARY SEWER MANHOLE
- ⊙ - EXISTING WATER METER
- 524- - EXISTING CONTOURS
- 524- - PROPOSED CONTOURS
- - PROPOSED DRAINAGE ARROWS
- T.C. - TOP OF CURB
- T.W. - TOP OF RETAINING WALL
- B.W. - BOTTOM OF RETAINING WALL
- [Pattern] - PROPOSED CONCRETE

PRELIMINARY REVIEW
 THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF:
 HENRY G. NIBLO, P.E. NO. 68739
 JUNE 6, 2024
 IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, PERMIT PURPOSES.

BENCHMARK: COR-5
 ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT"
 AT THE INTERSECTION EAST LINE OF COMMODORE PLAZA & NORTH LINE OF HENRY CHANDLER DR. AT CENTER OF CURB RETURN +1' BEHIND CURB. ELEVATION=560.58



FLOOD NOTE:
 According to my interpretations of Community Panel No. 48397C0040L, dated September 26, 2008, of the National Flood Insurance Rate Maps for Rockwall County, Texas, all of the subject property lies within Zone "X" and is not shown to be within a special flood hazard area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

NOTES:
 BEARINGS, BUILDING LINES, R.O.W.S, EASEMENTS, DIMENSIONS, ETC. ARE PER PLAT REFERENCED IN LEGAL DESCRIPTION ABOVE.

CARROLL CONSULTING GROUP, INC.
 P.O. BOX 11
 LAVON, TEXAS 75166
 PHONE (972) 840-1506
 TBPELS REGISTRATION NO.: F-21608
 TEXAS FIRM REGISTRATION NO.: 10007200

COPYRIGHT • CARROLL CONSULTING GROUP	JOB No.	SCALE:	DATE	DRAWN BY:
	3467-24	1"=20'	JUNE 6, 2024	CP



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
 - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
 - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
 - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 329 HARBORVIEW DR, ROCKWALL, TX 75032

SUBDIVISION Harbor Landing Phase Two LOT 5 BLOCK B

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE _____

ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DAVID BOHORQUEZ APPLICANT _____

CONTACT PERSON DAVID BOHORQUEZ CONTACT PERSON _____

ADDRESS 1397 GLENWICK DR ADDRESS _____

CITY, STATE & ZIP ROCKWALL, TX 75032 CITY, STATE & ZIP _____

PHONE 469-766-4127 PHONE _____

E-MAIL DAVID@B6GROUPSERVICES.COM E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Bohorquez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF JUNE, 2024

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Cynthia C. Kides



MY COMMISSION EXPIRES _____

4-28-28



Z2024-030: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 329 Harborview Drive

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

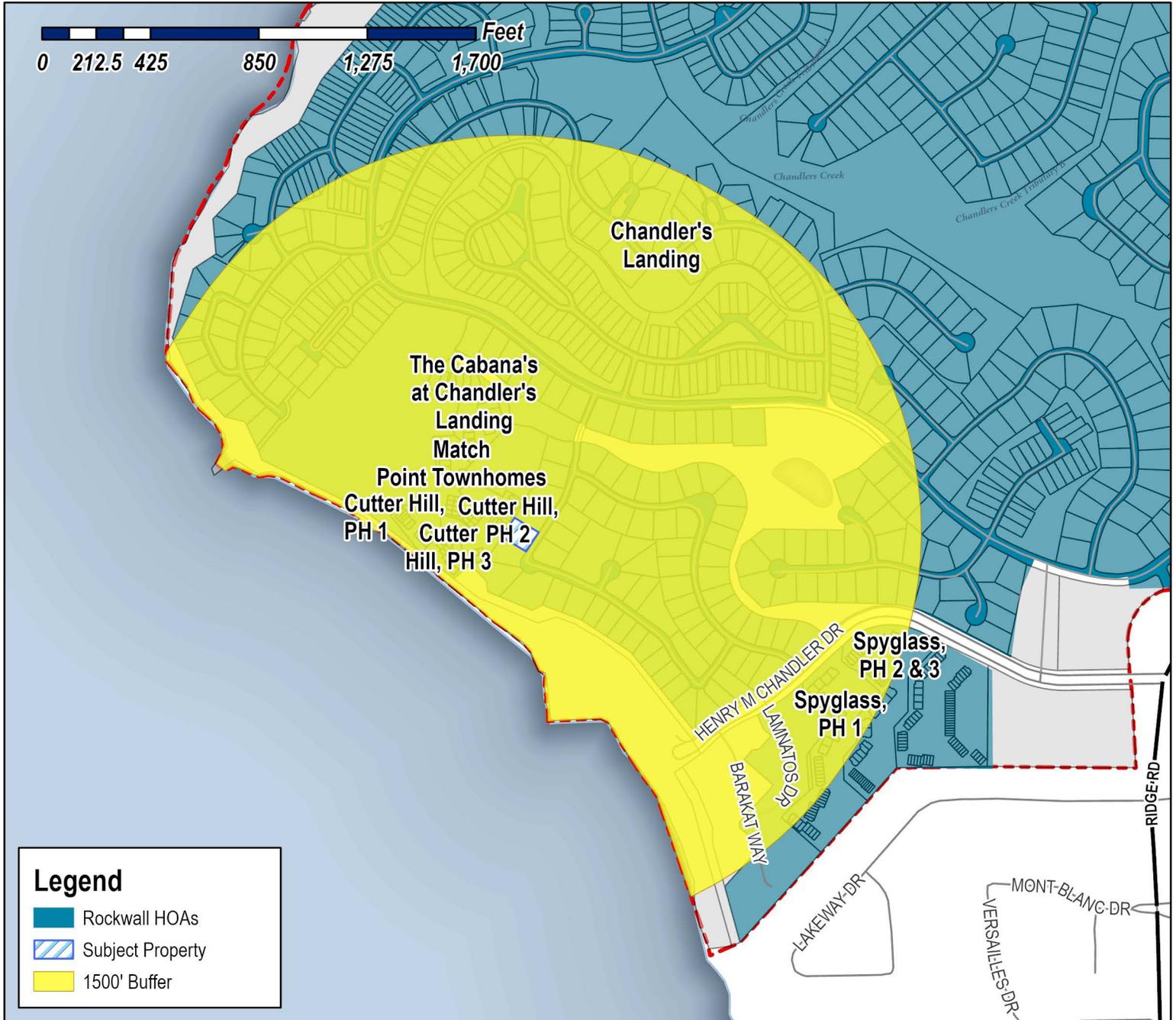




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-030
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 329 Harborview Drive

Date Saved: 6/13/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Guevara, Angelica](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2024-030]
Date: Friday, June 21, 2024 1:12:01 PM
Attachments: [HOA Map \(06.17.2024\).pdf](#)
[Public Notice \(P&Z\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday June 21, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-030: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

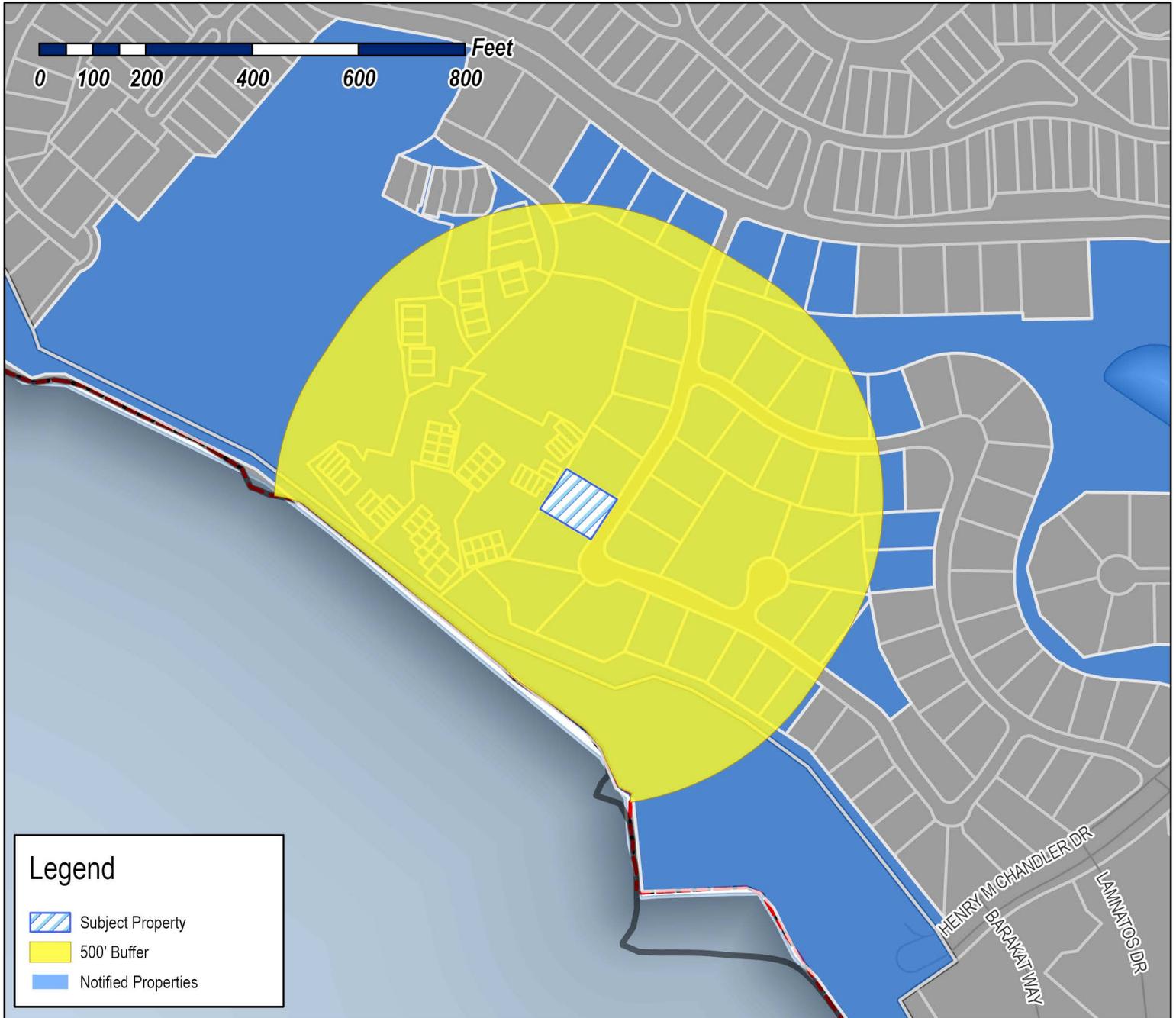
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Type: Zoning
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Case Address: 329 Harborview Drive

Date Saved: 6/13/2024

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

WILLIS PATRICIA D
12218 GLADWICK DR
HOUSTON, TX 77077

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

BRAD RHODES REALTY LLC
1514 ANDY DRIVE
SHERMAN, TX 75092

DALROCK INDEPENDENCE LLC
1718 CAPITOL AVE
CHEYENNE, WY 82001

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

ESTATE OF KENNETH GENE PONDER
ELMA PONDER, EXECUTOR
1850 ASHBOURNE DRIVE
ROCKWALL, TX 75087

VREELAND DENISE AND
DAN CALNON
1956 GEAR AVE
FAIRFIELD, IA 52556

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

VINES GREGORY S
200 VZCR 3710
EDGEWOOD, TX 75117

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER DEANNA
202 RAINBOW CIRCLE
ROCKWALL, TX 75032

SLATE CRAIG AND TANYA
208 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

MCCALLUM TERRY
2231 W FM 550
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

ZUCCHERO MICHAEL
24212 NOBE ST
CORONA, CA 92883

ROBERTS GARREN AND MARY BERNADETTE
FIDELMA
25112 SLEEPY HOLLOW
LAKE FOREST, CA 92630

PORTER INVESTMENTS LLC
3 COVE CREEK COURT
HEATH, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75087

RESIDENT
310 HARBORVIEW DR
ROCKWALL, TX 75087

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75087

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

BAILEY WAYNE & JACQUELINE
319 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

SELF JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

SELF SCOTT L & JAN
319 HARBORVIEW DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

RESIDENT
321 HARBORVIEW DR
ROCKWALL, TX 75087

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

RIZZARI VANESSA GABRIELA
324 HARBOR LANDING DR
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
326 HARBORVIEW DR
ROCKWALL, TX 75087

DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

Haidar Lamora J and
Lucinda K Polhemus
327 Yacht Club Drive
Rockwall, TX 75032

RESIDENT
328 HARBORVIEW DR
ROCKWALL, TX 75087

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
329 HARBORVIEW DR
ROCKWALL, TX 75087

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDOR AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DAMALUX RENTAL AND REMODELING LLC
3320 AUGUSTA BLVD
ROCKWALL, TX 75087

RESIDENT
333 YACHT CLUB DR
ROCKWALL, TX 75087

TMCC TRUST
THOMAS V MCCROSSAN- TRUSTEE
333 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MARTIN AND LISA MANASCO LIVING TRUST
MARTIN EDWARD MANASCO AND LISA MARIE
MANASCO- TRUSTEES
335 HARBORVIEW DR
ROCKWALL, TX 75032

MCCROSSAN LIA AND JAMES
337 HARBORVIEW DRIVE
ROCKWALL, TX 75032

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
405 YACHT CLUB DR
ROCKWALL, TX 75087

CENSULLO TERESA ANN
405 COLUMBIA DR
ROCKWALL, TX 75032

WISE RUTHANNE
407 YACHT CLUB DRIVE
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

FRONTERA JOSE ANTONIO & CAROLINE
4241 BUENA VISTA #18
DALLAS, TX 75205

RESIDENT
426 S YACHT CLUB DR
ROCKWALL, TX 75087

JONES AMBER
426 YACHT CLUB DR UNIT H
ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L
426 YACHT CLUB DRIVE APT D
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

RESIDENT
428 YACHT CLUB DR
ROCKWALL, TX 75087

WRIGHT RHONDA LYNN
428 YACHT CLUB DR APT C
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

GALLIGUEZ PRESILO A & ANNABELLE B
429 YACHT CLUB DR B UNIT A 2
ROCKWALL, TX 75032

RESIDENT
430 S YACHT CLUB DR
ROCKWALL, TX 75087

STROUD SUZETTE AND ANDY
430A YACHT CLUB
ROCKWALL, TX 75032

KAY SUZANNE KAY
430E YACHT CLUB DRIVE
ROCKWALL, TX 75032

BARRINGER VAN
4310 COCHRAN CHAPEL CIR
DALLAS, TX 75209

RESIDENT
436 S YACHT CLUB DR
ROCKWALL, TX 75087

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

MERCKLING BRYAN AND SARAH HUSSAIN
436 YACHT CLUB DRIVE #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
438 S YACHT CLUB DR
ROCKWALL, TX 75087

WALLACE BRITTANY
438 S YACHT CLUB DR APT H
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

JAMES DEBRA SUE
438 YACHT CLUB DR APT D
ROCKWALL, TX 75032

BARLOW DAVID ALLEN
438 YACHT CLUB DR APT F
ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

SFIKAS SCOTT
438 YACHT CLUB DRIVE APT C
ROCKWALL, TX 75032

RESIDENT
440 S YACHT CLUB DR
ROCKWALL, TX 75087

BROWN CYNTHIA
440 YACHT CLUB UNIT E
ROCKWALL, TX 75032

SERRANO MANUEL
440 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
4401 GMD UNIT 702
LONGBOAT KEY, FL 34228

RESIDENT
442 S YACHT CLUB DR
ROCKWALL, TX 75087

SPOENEMAN DAVID AND JODI
442A YACHT CLUB APT A
ROCKWALL, TX 75032

RESIDENT
450 S YACHT CLUB DR
ROCKWALL, TX 75087

ARMSTRONG MARK C
450 YACHT CLUB DRIVE UNIT C
ROCKWALL, TX 75032

RUYON DANA T
450A YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
452 S YACHT CLUB DR
ROCKWALL, TX 75087

SULLIVAN ROBERT MICHAEL
452 YACHT CLUB DR #B
ROCKWALL, TX 75032

ROGERS TARA MICHELLE & FRANCISCO LOPEZ
454 YACHT CLUB DR
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

RESIDENT
458 S YACHT CLUB DR
ROCKWALL, TX 75087

CLAYCOMB DENISE MASUNAS AND JOHN
WILLIAM
458 YACHT DRIVE 458A
ROCKWALL, TX 75032

BENDER VIRGINIA
4600 GREENVILLE AVE STE 180
DALLAS, TX 75206

RESIDENT
501 YACHT CLUB DR
ROCKWALL, TX 75087

HAMMOND LIVING TRUST
519 E I30 #704
ROCKWALL, TX 75087

HARMON H VICTOR ETUX
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HOGAN CANDICE LYNN AND
KEVIN PETER CRANTZ
522 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DEATON KHRISTY & ROBERT
524 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
526 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
528 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
530 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
532 YACHT CLUB DR
ROCKWALL, TX 75087

TROTTER STEVEN DOUGLAS & LISA ANN
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DENNALLEY DENA S
536 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
540 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
542 YACHT CLUB DR
ROCKWALL, TX 75087

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

JOHNSON BETTY
544 YACHT CLUB DR
ROCKWALL, TX 75032

STENBERG SHANE & TRACY ENGLISH
5449 MARTEL
DALLAS, TX 75206

RESIDENT
546 YACHT CLUB DR
ROCKWALL, TX 75087

GIBSON JEANETTE L
548 YACHT CLUB DR
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5556 CANADA CT
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING
6109 PLANTATION LN
FLOWER MOUND, TX 75022

RESIDENT
7 GREENBELT
ROCKWALL, TX 75087

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

ESPARZA KRISTIN
8565 PLAINFIELD ROAD
LYONS, IL 60534

DALTON PAMELA JOY, TRUSTEE
PAMELA JOY DALTON LIVING TRUST
872 RATHBONE CIRCLE
FOLSOM, CA 95630

STEPHENSON ROBIN AND LARRY JR
9005 BRIARCREST DR
ROWLETT, TX 75089

MALLARD DAVID S & SHERRY A
9405 WAYNE AVE
LUBBOCK, TX 79424

SELF BILLY & KATIE
C/O PRO SOAP 321 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-030: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-030: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

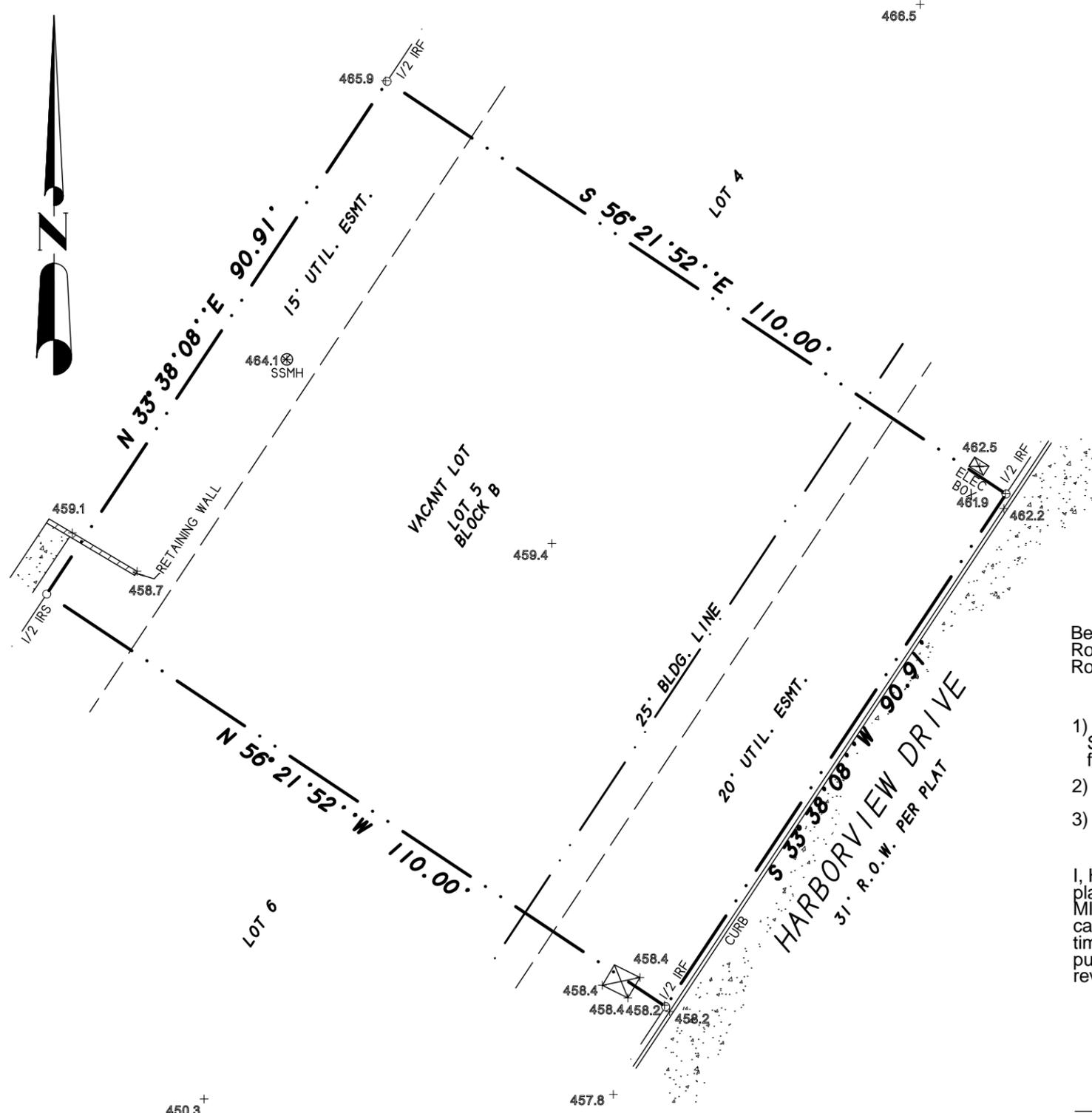
Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey box]
Address: [Grey box]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLAT OF SURVEY



DESCRIPTION

Being Lot 5, Block B, of HARBOR LANDING PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY, ROCKWALL RENTAL PROPERTIES, and MIKE WHITTLE, at HARBORVIEW DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 29th day of June, 2009.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND					
⊕	⊗	⊠	⊕	⊕	⊕
TELEVISION CABLE RISER	GAS METER	PHONE RISER	FH FIRE HYDRANT	PP POWER POLE	⊕
▲	⊠	⊕	⊕	⊕	⊕
ELEC ELECTRIC METER	ELEC BOX	WM WATER METER	LP LIGHT POLE	⊕	⊕
—	—	—	—	—	—
FENCE	EASEMENT LINE	PROPERTY LINES	A/C AIR COND. UNIT	PROPANE TANK	

SURVEY DATE	JUNE 29, 2009
SCALE	1" = 20'
CLIENT	RRP
FILE #	20090418-5
GF #	NONE

SURVEY ACCEPTED BY:

_____ DATE _____

_____ DATE _____

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE 972-635-9979 FAX

SQUARE FOOTAGE CALCULATIONS:

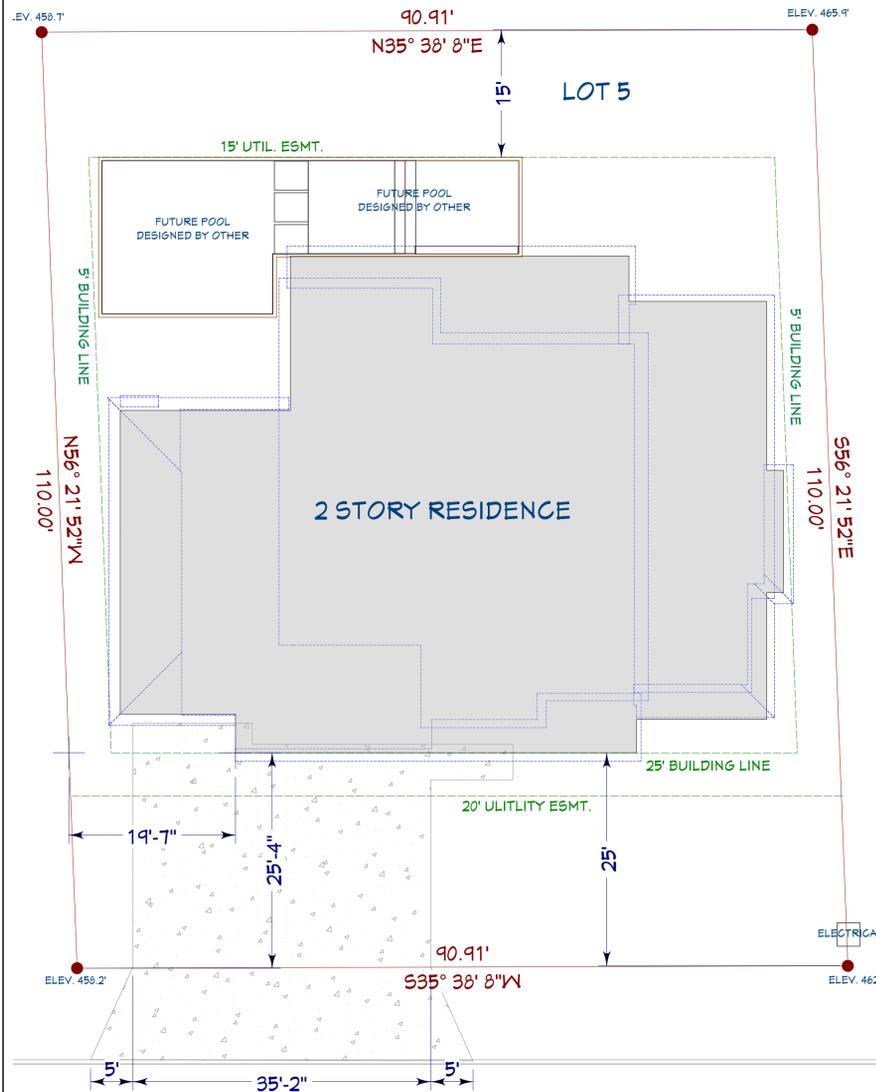
- I. GARAGE & PORCH SQFT INCLUDE BRICK LEDGE.
- II. SQFT LISTED BY ROOM ARE FOR INTERIOR AREA ONLY, SHEETROCK TO SHEETROCK. THIS TO AID IN CALCULATING HVAC LOADS & FLOORING TAKEOFFS.
- III. FLOORING MATERIAL SQFT IS CALCULATED BY SHEETROCK TO SHEETROCK AREA & INCLUDES THE AREA UNDER CABINETS.

NOTICE & DISCLAIMER

UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
GENERAL OVERVIEW

111 FARMERSVILLE PKWY STE. 300
 FARMERSVILLE, TX. 75442
 (972) 784-9044
 sales@tracycustomhomes.com
 www.tracycustomhomes.com



HARBORVIEW DRIVE

SITE PLAN

SCALE: 1" = 10'

LOT 5, BLOCK B
HARBOR LANDING PHASE 2
CITY OF ROCKWALL, TX

WATER LINE - 1-1/4"
ELECTRICAL - 200AMP SERVICE



THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT & PROPERTY OF TRACY'S CUSTOM HOMES. USE OF THESE DRAWINGS & CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF TRACY'S CUSTOM HOMES IS PROHIBITED & MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

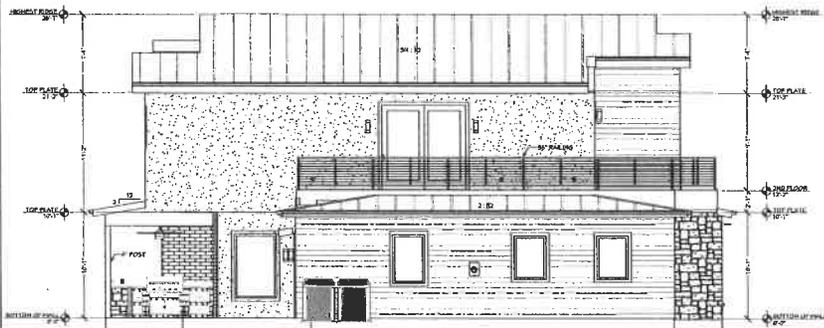
DRAWING PACKAGE		AREA (Sq. Ft.)	
PAGE #	TITLE		
1	GENERAL OVERVIEW	1st Floor Living	2630
2	MAIN FLOOR PLAN	Total Garages	833
3	UPSTAIRS & SCHEDULES	Total Porches	442
4	EXTERIOR ELEVATIONS	Total Foundation	3905
5	ROOF PLAN	2nd Floor Living	1181
6	ELECTRICAL	Total Living	3811
7	ELECTRICAL 2ND FLOOR	Total Under Roof	5086
8	ROUGH-IN	Total Sun Deck	671
9	CABINETS	Total Carpet	1196
		Total Tile	500
		Total Wood	2428

- 1. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, NOTES, & CONDITIONS PRIOR TO THE START OF ANY WORK.
- 2. ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS
- 3. THE AUTHOR OF THESE DOCUMENTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR ANY PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, & SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODES (UBC) & LOCAL BUILDING CODES, OR AS SPECIFICALLY NOTED ON THESE PLANS & CALCULATIONS, WITH THE MOST STRINGENT CONDITION GOVERNING.

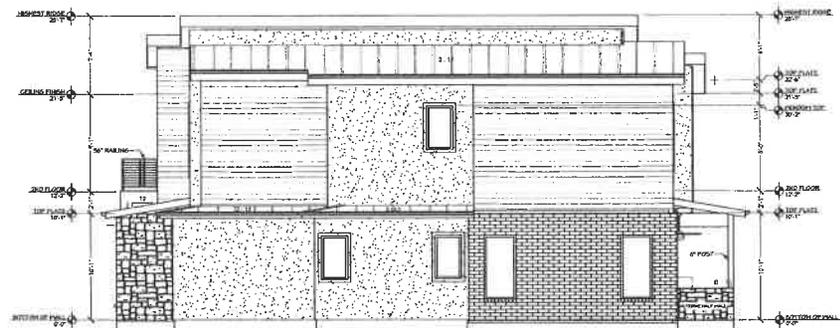
DRAWN BY: KENDALL NOTO
 CHECKED BY: ROY HOMFELD
 SHEET SIZE: ARCH D (24" x 36")



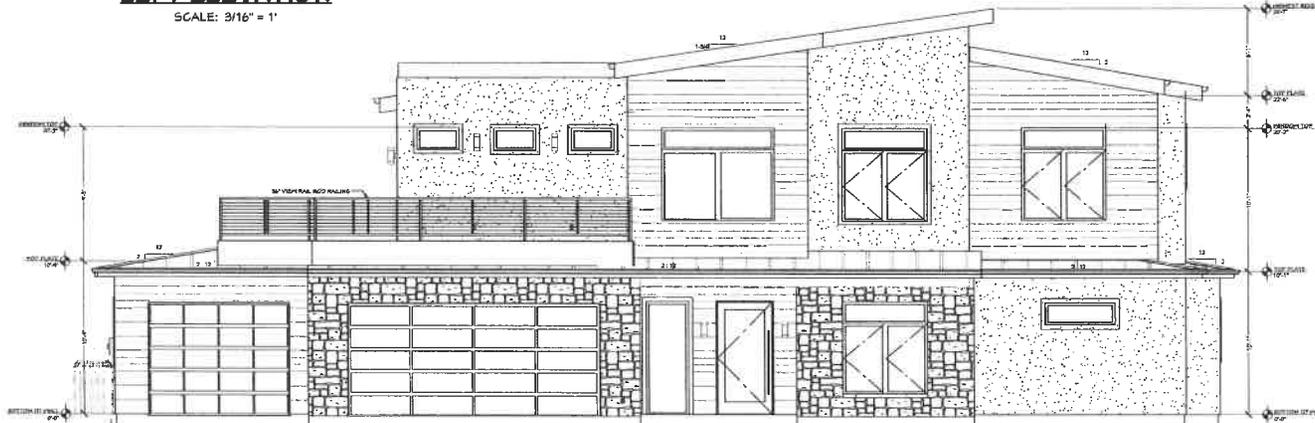
REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'



RIGHT ELEVATION
SCALE: 3/16" = 1'



FRONT ELEVATION
SCALE: 1/4" = 1'

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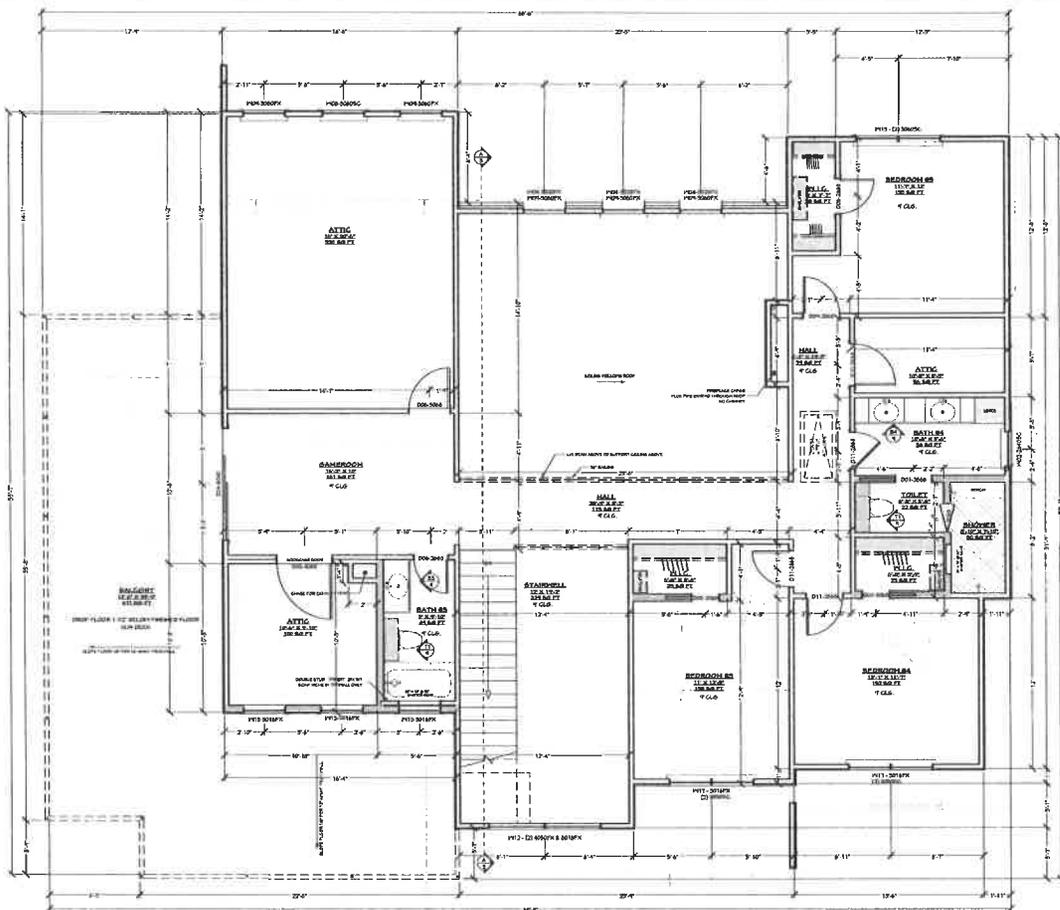
BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75082
EXTERIOR ELEVATIONS

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX 75442
(972) 754-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com

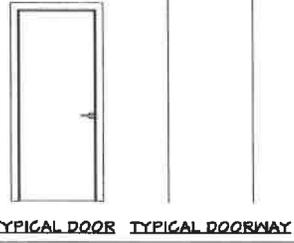


NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	1000	1 5/8"	34726 514"	Comp
D02	[Symbol]	1	1000	1 5/8"	34726 12"	Comp
D03	[Symbol]	1	1200 L R EX	1 5/8"	34726 112"	Quad Slab
D04	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Slab
D05	[Symbol]	1	2000 L EX	1 5/8"	34726 12"	Hinged
D06	[Symbol]	1	3000 R EX	1 5/8"	34726 112"	Hinged
D07	[Symbol]	1	4000 L EX	1 5/8"	34726 514"	Hinged
D08	[Symbol]	1	4000 R EX	1 5/8"	34726 112"	Hinged
D09	[Symbol]	1	3000 L EX	1 5/8"	34726 112"	Hinged
D10	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Hinged
D11	[Symbol]	1	1000 L R EX	1 5/8"	34726 112"	Quad Slab

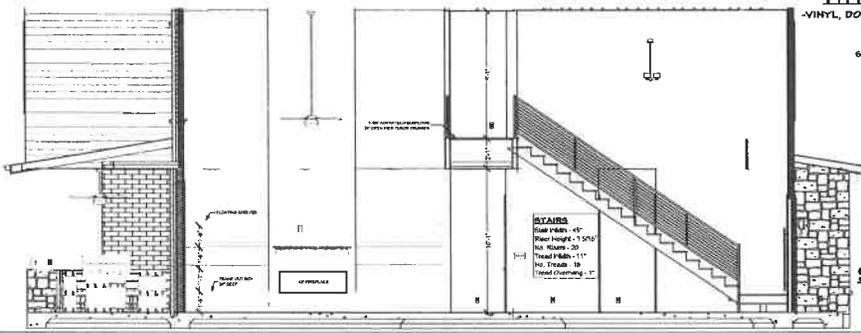
NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
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D03	[Symbol]	1	2000 L	1 5/8"	34726 112"	Fixed
D04	[Symbol]	1	2000 L R	1 5/8"	34726 112"	Hinged
D05	[Symbol]	1	1000 L R	1 5/8"	34726 112"	Hinged
D06	[Symbol]	3	2400 L R	1 5/8"	34726 112"	Hinged
D07	[Symbol]	1	2400 R H	1 5/8"	34726 112"	Hinged
D08	[Symbol]	1	2000 R	1 5/8"	34726 112"	Fixed
D09	[Symbol]	1	2000 L R	1 5/8"	34726 112"	Hinged
D10	[Symbol]	1	2000 R H	1 5/8"	34726 112"	Hinged
D11	[Symbol]	3	2400 R H	1 5/8"	34726 112"	Hinged
D12	[Symbol]	4	2400 R H	1 5/8"	34726 112"	Hinged
D13	[Symbol]	1	1000 L	1 5/8"	34726 112"	Run



2ND FLOOR PLAN
SCALE: 1/4" = 1'



TYPICAL DOOR **TYPICAL DOORWAY**



TYPICAL WINDOW
-VINYL, DOUBLE PANE, LOW E 566-
DH - Double Hung
SH - Single Hung
FX - Fixed
GC - Single Casement
LB - Left Sliding
RB - Right Sliding

SECTION A-A
SCALE: 1/4" = 1'

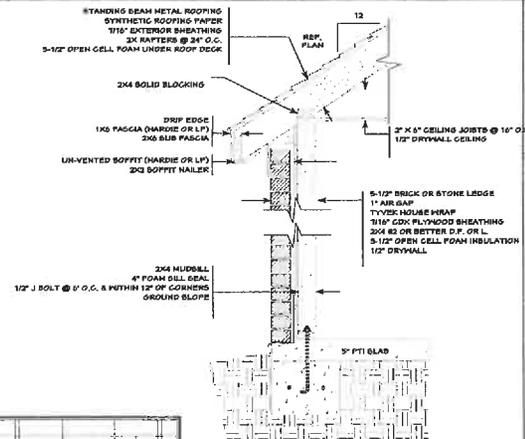
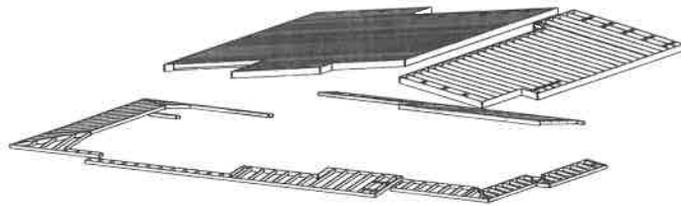
Window Size	Qty	Typ	Temp	Unit
W10-1000R	2	40"		1
W10-1000L	1	40"		1
W10-1000T	1	40"		1
W10-1000B	3	40"		1
W10-1000C	2	40"		1
W10-1000D	1	40"		1
W10-1000E	3	40"		1
W10-1000F	2	40"		1
W10-1000G	1	40"		1
W10-1000H	1	40"		1
W10-1000I	1	40"		1
W10-1000J	1	40"		1
W10-1000K	1	40"		1
W10-1000L	1	40"		1
W10-1000M	1	40"		1
W10-1000N	1	40"		1
W10-1000O	1	40"		1
W10-1000P	1	40"		1
W10-1000Q	1	40"		1
W10-1000R	1	40"		1
W10-1000S	1	40"		1
W10-1000T	1	40"		1
W10-1000U	1	40"		1
W10-1000V	1	40"		1
W10-1000W	1	40"		1
W10-1000X	1	40"		1
W10-1000Y	1	40"		1
W10-1000Z	1	40"		1

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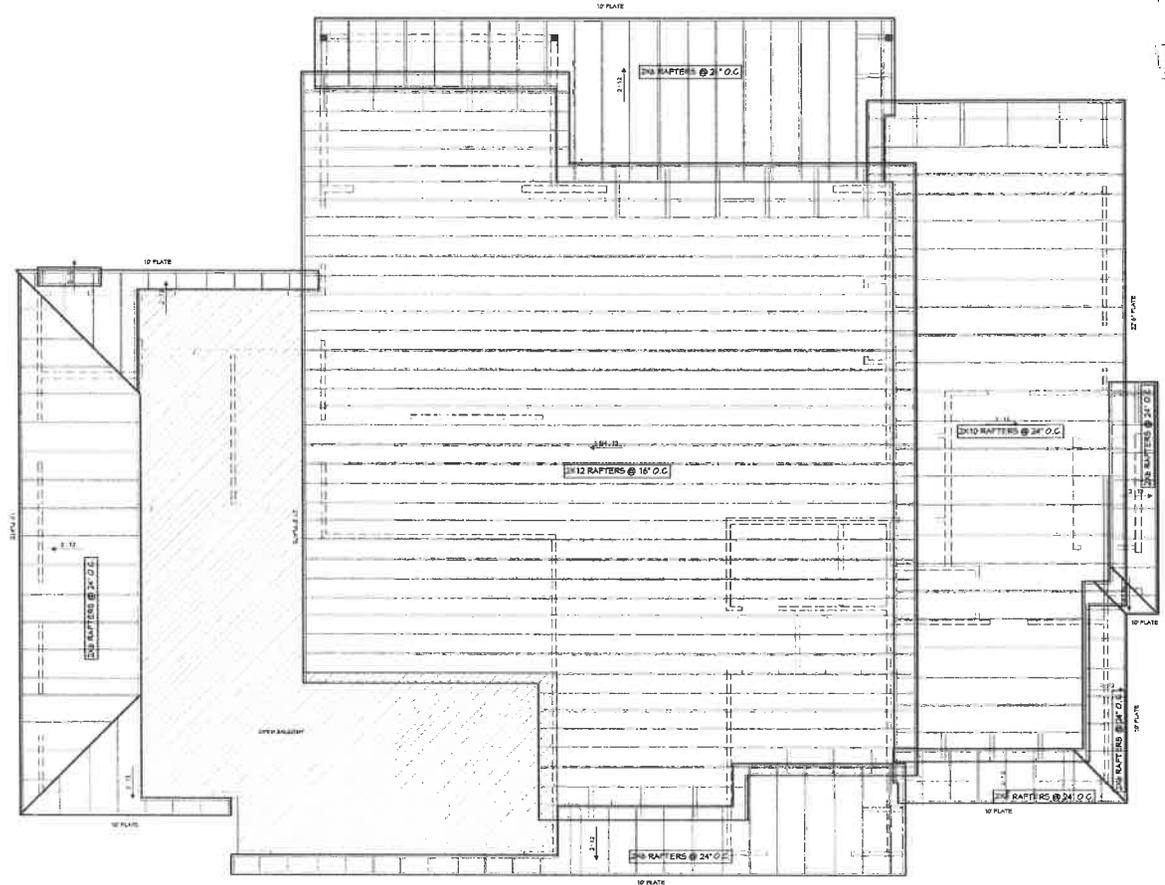
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329 HARBORVIEW DR. ROCKWALL, TX 75032
UPSTAIRS & SCHEDULES

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX, 75442
(972) 784-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





**WALL/ROOF
DETAIL**
N.T.S.



ROOF PLAN
SCALE: 1/4" = 1'
3,582 SF of Metal Roofing

ROOFING NOTES:
ROOFING SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO SOLID SHEATHING ROOFS, NOT LESS THAN 4 NAILS PER EACH 50 TO 40" STRIP SHINGLES & 2 NAILS PER EACH 1" TO 1 1/2" INDIVIDUAL SHINGLE

SOFFITS:
12" GABLES
16" HP VENTED HARDIEPLANK (PORCHES & GARAGES)
NON-VENTED HARDIEPLANK (LIVING AREA)

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ROOF PLAN

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CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
315 Harborview Drive	Single-Family Home	2015	4,602	N/A	Stucco, Stone, and Siding
317 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
319 Harborview Drive	Single-Family Home	2010	3,770	N/A	Stone
321 Harborview Drive	Single-Family Home	2012	6,210	N/A	Stone and Brick
325 Harborview Drive	Single-Family Home	2018	5,443	N/A	Stone and Brick
326 Harborview Drive	Single-Family Home	2007	3,810	N/A	Siding
327 Harborview Drive	Single-Family Home	2015	4,222	N/A	Stone
328 Harborview Drive	Single-Family Home	2021	2,764	N/A	Stucco, Brick, and Siding
329 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
330 Harborview Drive	Single-Family Home	2016	3,893	N/A	Brick and Stone
331 Harborview Drive	Single-Family Home	2015	4,098	N/A	Brick and Stone
AVERAGES:		2014	4,312	#DIV/0!	



CITY OF ROCKWALL

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315 Harborview Drive



317 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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319 Harborview Drive



321 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

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325 Harborview Drive



326 Harborview Drive



CITY OF ROCKWALL

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



327 Harborview Drive



328 Harborview Drive



CITY OF ROCKWALL

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329 Harborview Drive



330 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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331 Harborview Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2273-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2273-acre parcel of land identified as Lot 5, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF AUGUST, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 15, 2024

2nd Reading: August 5, 2024

Exhibit 'A':
Location Map

Address: 329 Harborview Drive

Legal Description: Lot 5, Block B, Harbor Landing Phase 2 Addition



Exhibit 'B':
Residential Plot Plan

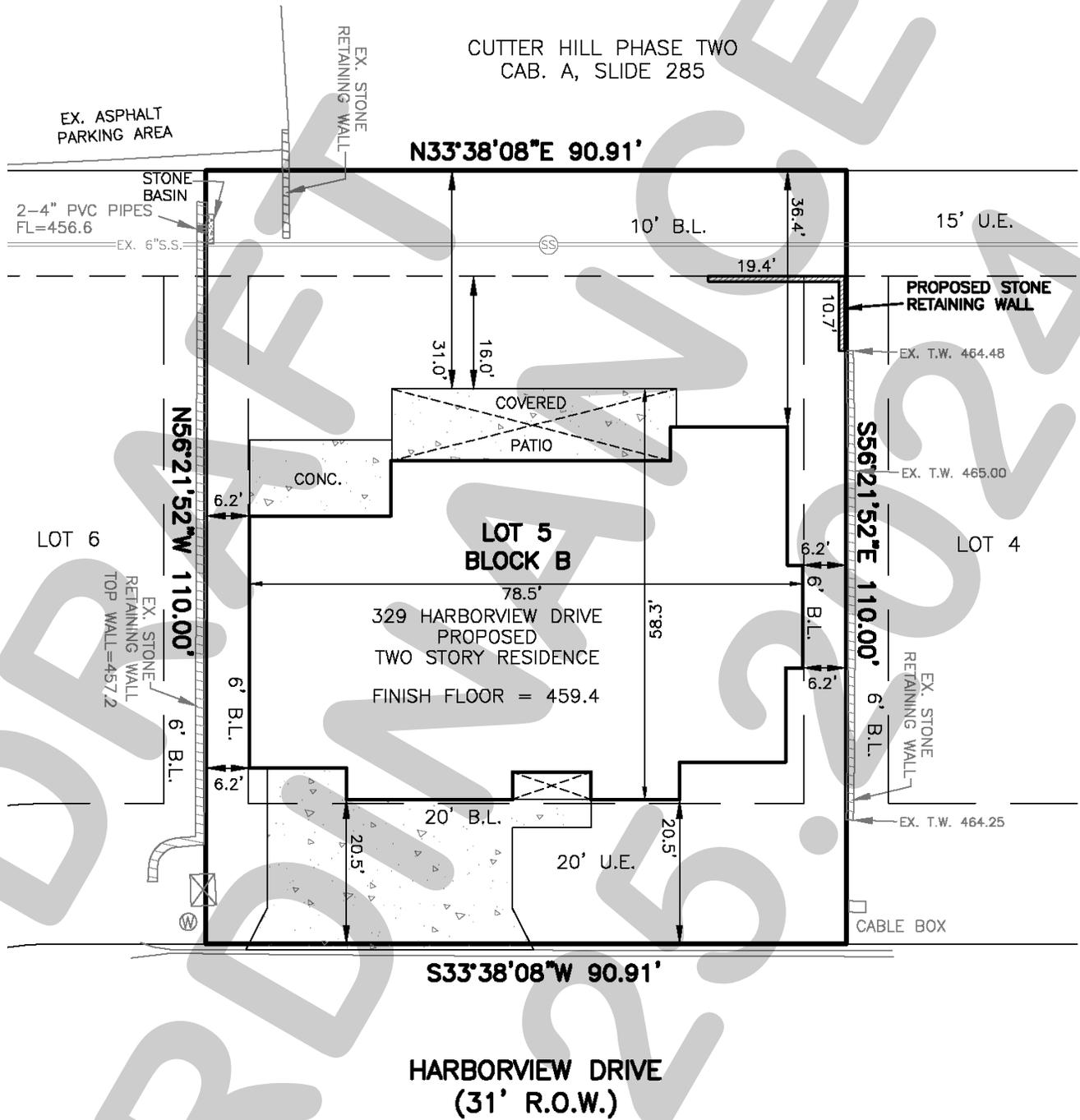
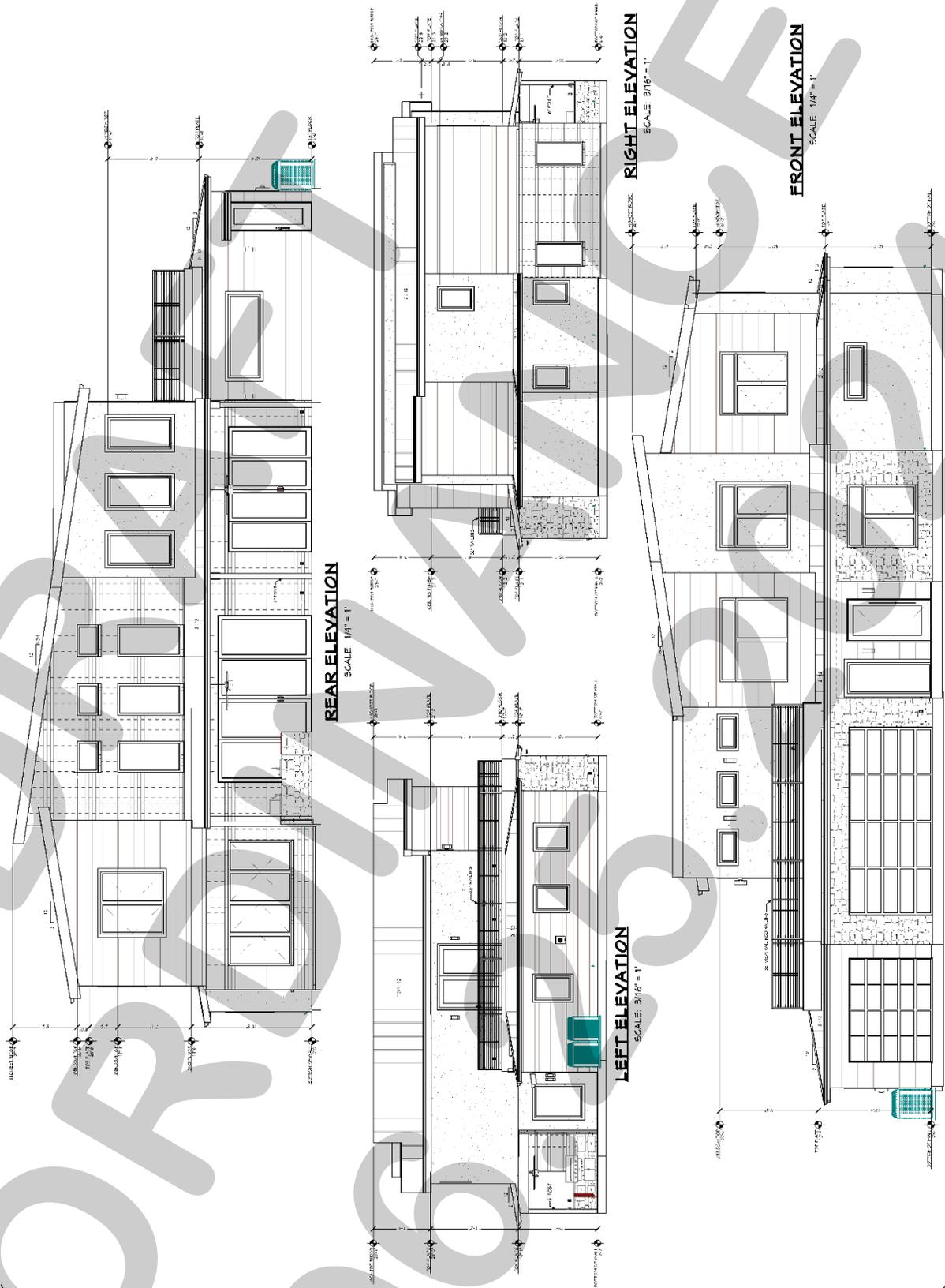


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: July 9, 2024

APPLICANT: David Bohorquez

CASE NUMBER: Z2024-030; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 329 Harborview Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevations, maximum pad elevations, and maximum house heights was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD-8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant -- *David Bohorquez* -- is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 329 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e.* 331, 333, 335, & 337 Harborview Drive) developed with single-family homes. Beyond this is a 6.242-acre tract of land (*i.e.* *Tract 134-06 of the E. Teal Survey, Abstract No. 207*) that is owned by the Chandlers Landing Community Association. North of this is Phase 9 of the Chandlers Landing Subdivision, which consists of 14 single-family residential lots and has been in existence since April 1, 1975. All of these properties are zoned Planned Development District 8 (PD-8).

South: Directly south of the subject property are two (2) parcels of land (*i.e.* 325 & 327 Harborview Drive) developed with single-family homes. Beyond this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. South of this are the corporate limits of the City of Rockwall followed by Lake Ray Hubbard, which is owned and maintained by the City of Dallas.

East: Directly east of the subject property is Harborview Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (*i.e. 320 Portview Place and 326 & 330 Harborview Drive*) and one (1) vacant parcel of land (*i.e. 328 Harborview Drive*). East of this is Portview Place, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the remainder of Phase 1 of the Harbor Landing Subdivision, which was established on December 22, 1986 and consists of 38 single-family residential lots. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is Phase 2 of the Cutter Hills Subdivision which is situated on 1.17-acres, consists of 27 single-family residential lots, and has been in existence since November 17, 1977. Beyond this is Phase 1 of the Cutter Hills Subdivision which is situated on 0.89-acres, consists of 20 single-family residential lots, and has been in existence since January 4, 1977. West of this is an 8.775-acre parcel of land that houses the Chandlers Landing Yacht Club and belongs to the Chandlers Landing Community Association. All of these properties are zoned Planned Development District 8 (PD-8).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is adjacent to Phase 1 of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 38 single-family residential lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2007-2021	N/A
Building SF on Property	2,764 SF – 6,210 SF	5,086 SF
Building Architecture	Traditional Brick/Stucco and Modern Contemporary	Modern Contemporary
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet, 5-Inches
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet, 2-inches
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	31-Feet
Building Materials	Brick, Stone, Stucco, Siding	Stucco, Stone, Brick, and Siding
Paint and Color	Tan, Brown, Grey, White, Black	N/A

Roofs	Composite Shingles, Metal Roofs	Metal Roof
Driveways	Driveways are either flat front entry or side entry garages.	The proposed garage will be situated approximately four (4) feet in front of the front façade of the home.

In this case, the applicant is proposing a single-family home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the proposed garage is located approximately four (4) feet in front of the front façade of the single-family home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2021, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with roof pitches of 1¾ :12 and 2:12. Staff should point out that there are other homes in this phase of the Harbor Landing Subdivision with roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

NOTIFICATIONS

On June 18, 2024, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler's Landing, The Cabana at Chandler's Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner's Associations (HOAs), which are the only HOA's or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific

Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 329 HARBORVIEW DR, ROCKWALL, TX 75032
 SUBDIVISION Harbor Landing Phase TWO LOT 5 BLOCK B
 GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____
 PROPOSED ZONING _____ PROPOSED USE _____
 ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DAVID BOHORQUEZ APPLICANT _____
 CONTACT PERSON DAVID BOHORQUEZ CONTACT PERSON _____
 ADDRESS 1397 GLENWICK DR ADDRESS _____
 CITY, STATE & ZIP ROCKWALL, TX 75032 CITY, STATE & ZIP _____
 PHONE 469-766-4127 PHONE _____
 E-MAIL DAVID@B6GROUPSERVICES.COM E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Bohorquez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF JUNE, 2024

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Cynthia C Kides



MY COMMISSION EXPIRES 4-28-28

0 25 50 100 150 200 Feet

Z2024-030: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 329 Harborview Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

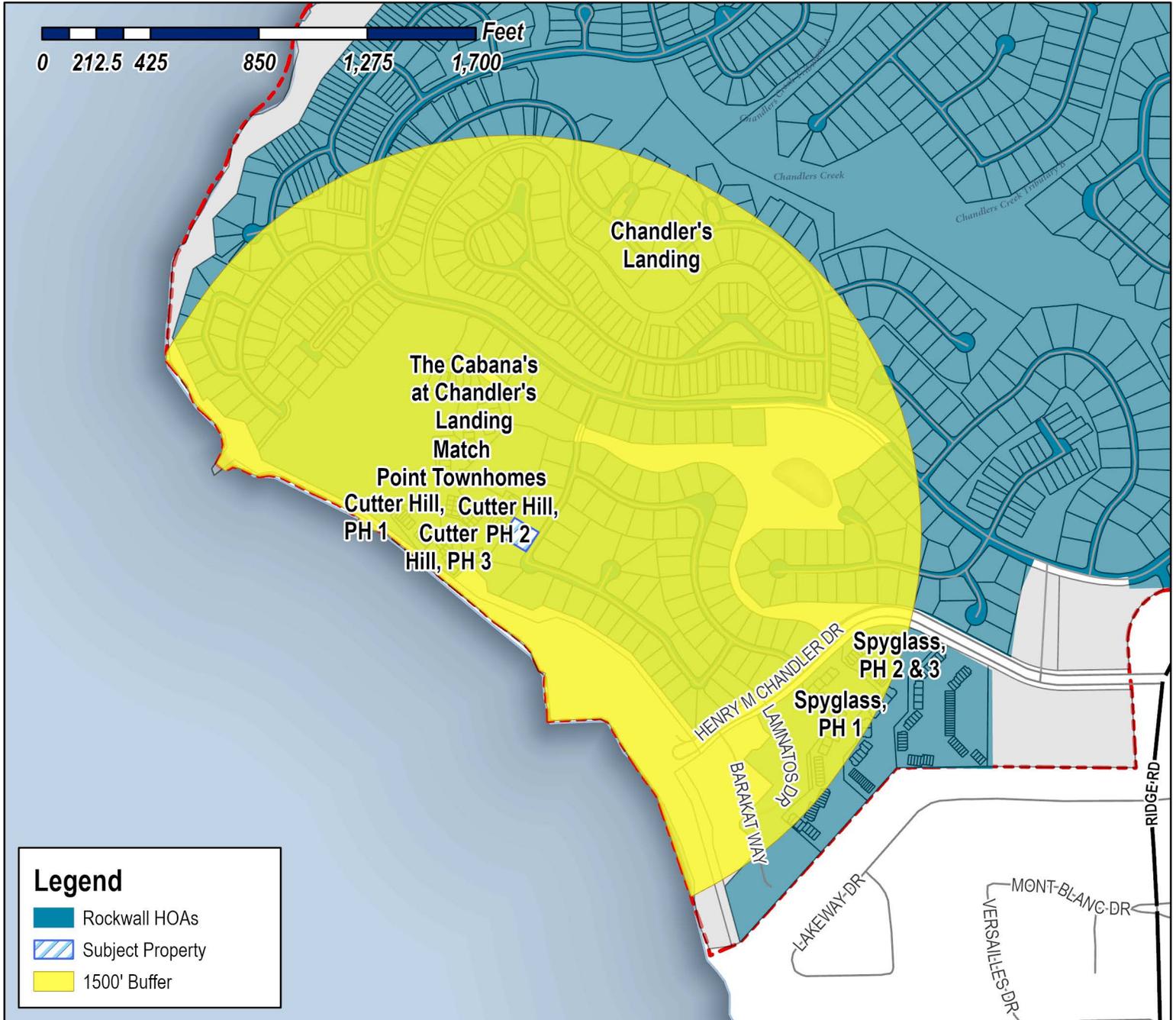




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Case Number: Z2024-030
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 329 Harborview Drive

Date Saved: 6/13/2024

For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Guevara, Angelica](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2024-030]
Date: Friday, June 21, 2024 1:12:01 PM
Attachments: [HOA Map \(06.17.2024\).pdf](#)
[Public Notice \(P&Z\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday June 21, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-030: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

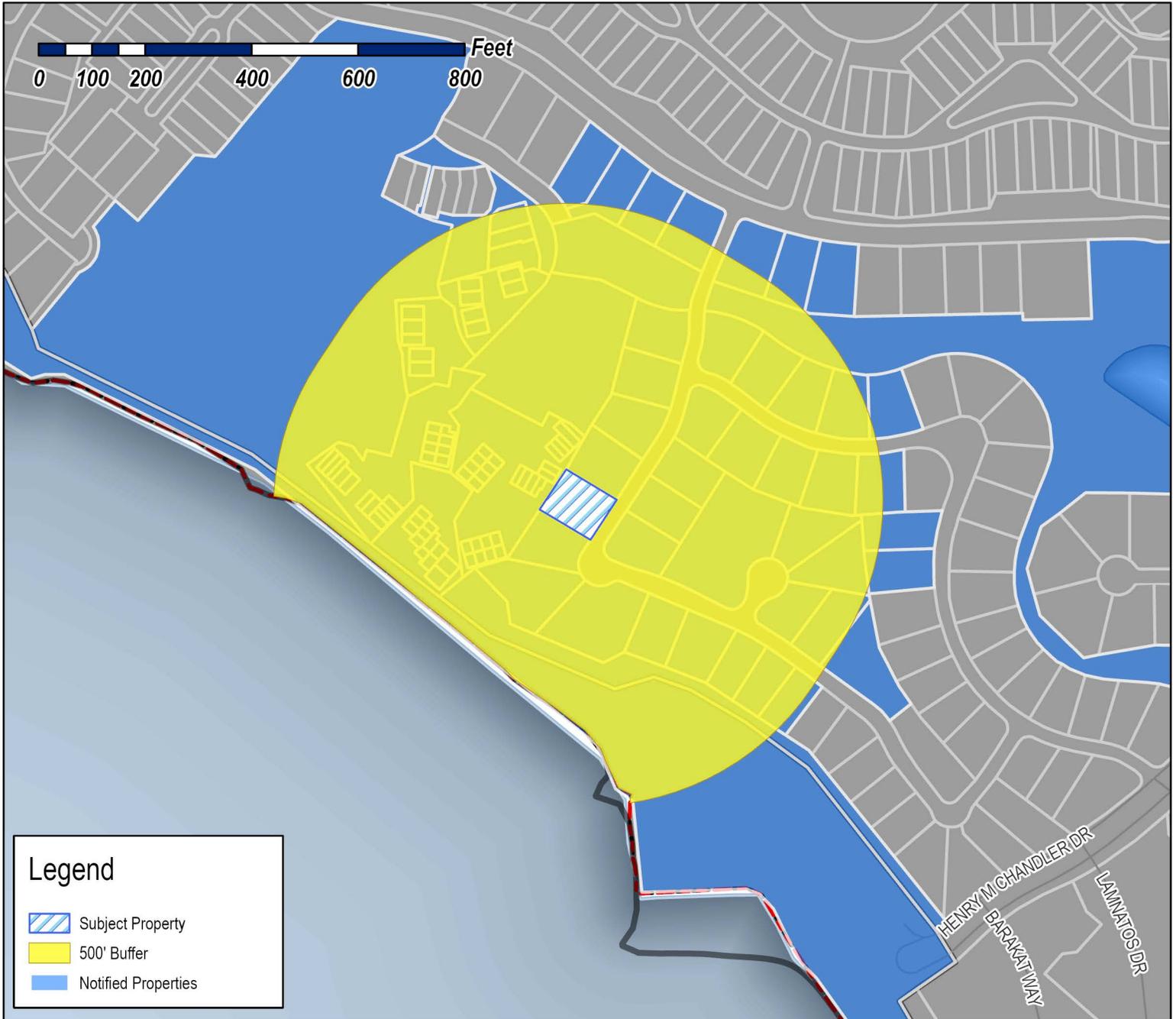
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-030
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 329 Harborview Drive

Date Saved: 6/13/2024

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

WILLIS PATRICIA D
12218 GLADWICK DR
HOUSTON, TX 77077

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

BRAD RHODES REALTY LLC
1514 ANDY DRIVE
SHERMAN, TX 75092

DALROCK INDEPENDENCE LLC
1718 CAPITOL AVE
CHEYENNE, WY 82001

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

ESTATE OF KENNETH GENE PONDER
ELMA PONDER, EXECUTOR
1850 ASHBOURNE DRIVE
ROCKWALL, TX 75087

VREELAND DENISE AND
DAN CALNON
1956 GEAR AVE
FAIRFIELD, IA 52556

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

VINES GREGORY S
200 VZCR 3710
EDGEWOOD, TX 75117

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER DEANNA
202 RAINBOW CIRCLE
ROCKWALL, TX 75032

SLATE CRAIG AND TANYA
208 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

MCCALLUM TERRY
2231 W FM 550
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

ZUCCHERO MICHAEL
24212 NOBE ST
CORONA, CA 92883

ROBERTS GARREN AND MARY BERNADETTE
FIDELMA
25112 SLEEPY HOLLOW
LAKE FOREST, CA 92630

PORTER INVESTMENTS LLC
3 COVE CREEK COURT
HEATH, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75087

RESIDENT
310 HARBORVIEW DR
ROCKWALL, TX 75087

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75087

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

BAILEY WAYNE & JACQUELINE
319 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

SELF JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

SELF SCOTT L & JAN
319 HARBORVIEW DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

RESIDENT
321 HARBORVIEW DR
ROCKWALL, TX 75087

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

RIZZARI VANESSA GABRIELA
324 HARBOR LANDING DR
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
326 HARBORVIEW DR
ROCKWALL, TX 75087

DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

Haidar Lamora J and
Lucinda K Polhemus
327 Yacht Club Drive
Rockwall, TX 75032

RESIDENT
328 HARBORVIEW DR
ROCKWALL, TX 75087

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
329 HARBORVIEW DR
ROCKWALL, TX 75087

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDOS AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DAMALUX RENTAL AND REMODELING LLC
3320 AUGUSTA BLVD
ROCKWALL, TX 75087

RESIDENT
333 YACHT CLUB DR
ROCKWALL, TX 75087

TMCC TRUST
THOMAS V MCCROSSAN- TRUSTEE
333 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MARTIN AND LISA MANASCO LIVING TRUST
MARTIN EDWARD MANASCO AND LISA MARIE
MANASCO- TRUSTEES
335 HARBORVIEW DR
ROCKWALL, TX 75032

MCCROSSAN LIA AND JAMES
337 HARBORVIEW DRIVE
ROCKWALL, TX 75032

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
405 YACHT CLUB DR
ROCKWALL, TX 75087

CENSULLO TERESA ANN
405 COLUMBIA DR
ROCKWALL, TX 75032

WISE RUTHANNE
407 YACHT CLUB DRIVE
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

FRONTERA JOSE ANTONIO & CAROLINE
4241 BUENA VISTA #18
DALLAS, TX 75205

RESIDENT
426 S YACHT CLUB DR
ROCKWALL, TX 75087

JONES AMBER
426 YACHT CLUB DR UNIT H
ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L
426 YACHT CLUB DRIVE APT D
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

RESIDENT
428 YACHT CLUB DR
ROCKWALL, TX 75087

WRIGHT RHONDA LYNN
428 YACHT CLUB DR APT C
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

GALLIGUEZ PRESILO A & ANNABELLE B
429 YACHT CLUB DR B UNIT A 2
ROCKWALL, TX 75032

RESIDENT
430 S YACHT CLUB DR
ROCKWALL, TX 75087

STROUD SUZETTE AND ANDY
430A YACHT CLUB
ROCKWALL, TX 75032

KAY SUZANNE KAY
430E YACHT CLUB DRIVE
ROCKWALL, TX 75032

BARRINGER VAN
4310 COCHRAN CHAPEL CIR
DALLAS, TX 75209

RESIDENT
436 S YACHT CLUB DR
ROCKWALL, TX 75087

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

MERCKLING BRYAN AND SARAH HUSSAIN
436 YACHT CLUB DRIVE #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
438 S YACHT CLUB DR
ROCKWALL, TX 75087

WALLACE BRITTANY
438 S YACHT CLUB DR APT H
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

JAMES DEBRA SUE
438 YACHT CLUB DR APT D
ROCKWALL, TX 75032

BARLOW DAVID ALLEN
438 YACHT CLUB DR APT F
ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

SFIKAS SCOTT
438 YACHT CLUB DRIVE APT C
ROCKWALL, TX 75032

RESIDENT
440 S YACHT CLUB DR
ROCKWALL, TX 75087

BROWN CYNTHIA
440 YACHT CLUB UNIT E
ROCKWALL, TX 75032

SERRANO MANUEL
440 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
4401 GMD UNIT 702
LONGBOAT KEY, FL 34228

RESIDENT
442 S YACHT CLUB DR
ROCKWALL, TX 75087

SPOENEMAN DAVID AND JODI
442A YACHT CLUB APT A
ROCKWALL, TX 75032

RESIDENT
450 S YACHT CLUB DR
ROCKWALL, TX 75087

ARMSTRONG MARK C
450 YACHT CLUB DRIVE UNIT C
ROCKWALL, TX 75032

RUYON DANA T
450A YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
452 S YACHT CLUB DR
ROCKWALL, TX 75087

SULLIVAN ROBERT MICHAEL
452 YACHT CLUB DR #B
ROCKWALL, TX 75032

ROGERS TARA MICHELLE & FRANCISCO LOPEZ
454 YACHT CLUB DR
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

RESIDENT
458 S YACHT CLUB DR
ROCKWALL, TX 75087

CLAYCOMB DENISE MASUNAS AND JOHN
WILLIAM
458 YACHT DRIVE 458A
ROCKWALL, TX 75032

BENDER VIRGINIA
4600 GREENVILLE AVE STE 180
DALLAS, TX 75206

RESIDENT
501 YACHT CLUB DR
ROCKWALL, TX 75087

HAMMOND LIVING TRUST
519 E I30 #704
ROCKWALL, TX 75087

HARMON H VICTOR ETUX
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HOGAN CANDICE LYNN AND
KEVIN PETER CRANTZ
522 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DEATON KHRISTY & ROBERT
524 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
526 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
528 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
530 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
532 YACHT CLUB DR
ROCKWALL, TX 75087

TROTTER STEVEN DOUGLAS & LISA ANN
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DENNALLEY DENA S
536 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
540 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
542 YACHT CLUB DR
ROCKWALL, TX 75087

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

JOHNSON BETTY
544 YACHT CLUB DR
ROCKWALL, TX 75032

STENBERG SHANE & TRACY ENGLISH
5449 MARTEL
DALLAS, TX 75206

RESIDENT
546 YACHT CLUB DR
ROCKWALL, TX 75087

GIBSON JEANETTE L
548 YACHT CLUB DR
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5556 CANADA CT
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING
6109 PLANTATION LN
FLOWER MOUND, TX 75022

RESIDENT
7 GREENBELT
ROCKWALL, TX 75087

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

ESPARZA KRISTIN
8565 PLAINFIELD ROAD
LYONS, IL 60534

DALTON PAMELA JOY, TRUSTEE
PAMELA JOY DALTON LIVING TRUST
872 RATHBONE CIRCLE
FOLSOM, CA 95630

STEPHENSON ROBIN AND LARRY JR
9005 BRIARCREST DR
ROWLETT, TX 75089

MALLARD DAVID S & SHERRY A
9405 WAYNE AVE
LUBBOCK, TX 79424

SELF BILLY & KATIE
C/O PRO SOAP 321 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-030: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-030: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

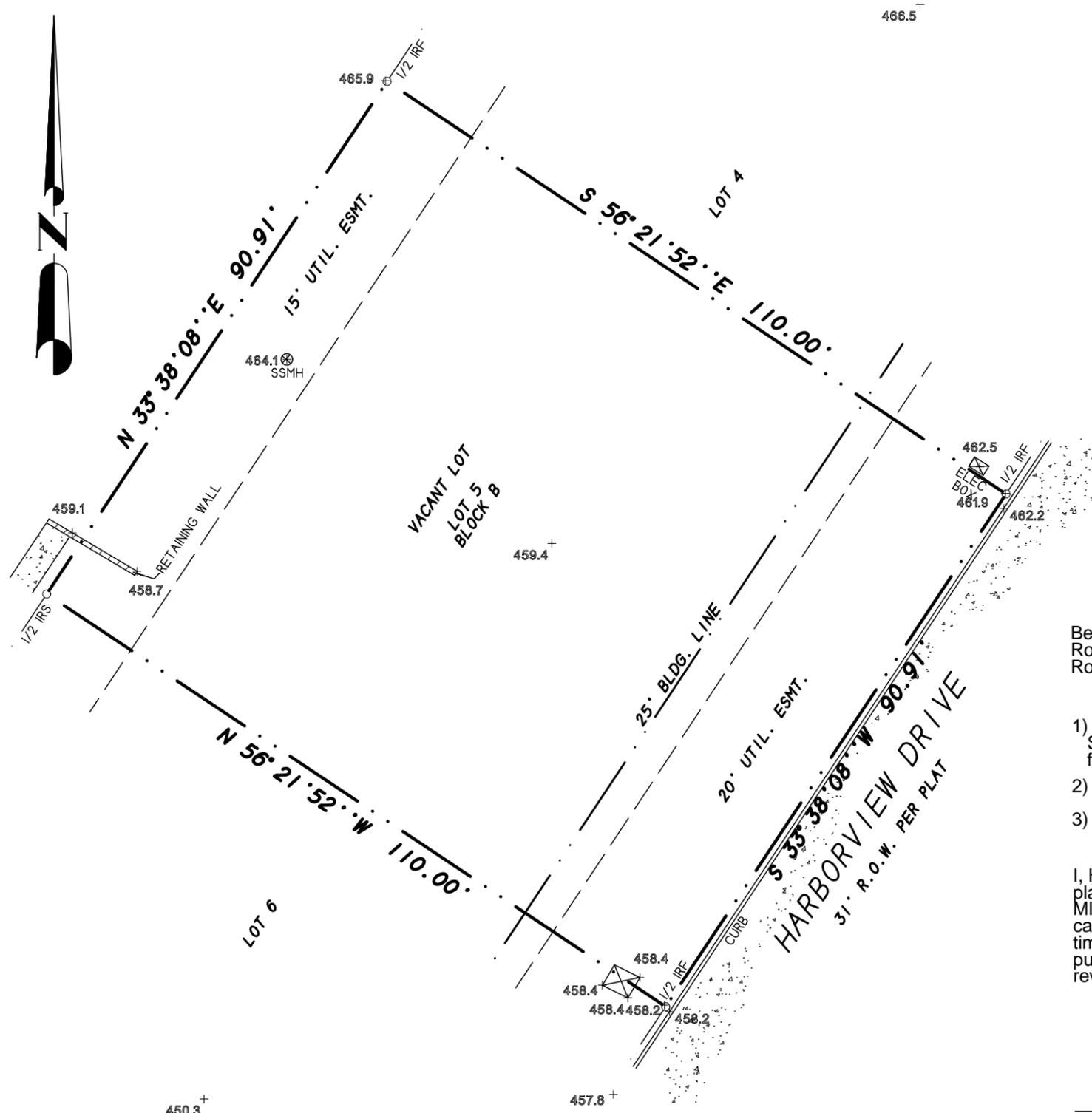
Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLAT OF SURVEY



DESCRIPTION

Being Lot 5, Block B, of HARBOR LANDING PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY, ROCKWALL RENTAL PROPERTIES, and MIKE WHITTLE, at HARBORVIEW DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 29th day of June, 2009.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
⊕	⊗	⊙	⊚
TELEVISION CABLE RISER	GAS METER	TEL. PHONE RISER	FH FIRE HYDRANT
⊙	⊗	⊙	⊚
ELEC. ELECTRIC METER	ELEC. BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE
—	—	—	—
FENCE	EASEMENT LINE	A/C AIR COND. UNIT	PROPANE TANK
—	—	—	—
	PROPERTY LINES		

SURVEY DATE JUNE 29, 2009
 SCALE 1" = 20' FILE # 20090418-5
 CLIENT RRP GF # NONE

SURVEY ACCEPTED BY:

_____ DATE _____

_____ DATE _____

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE 972-635-9979 FAX

SQUARE FOOTAGE CALCULATIONS:

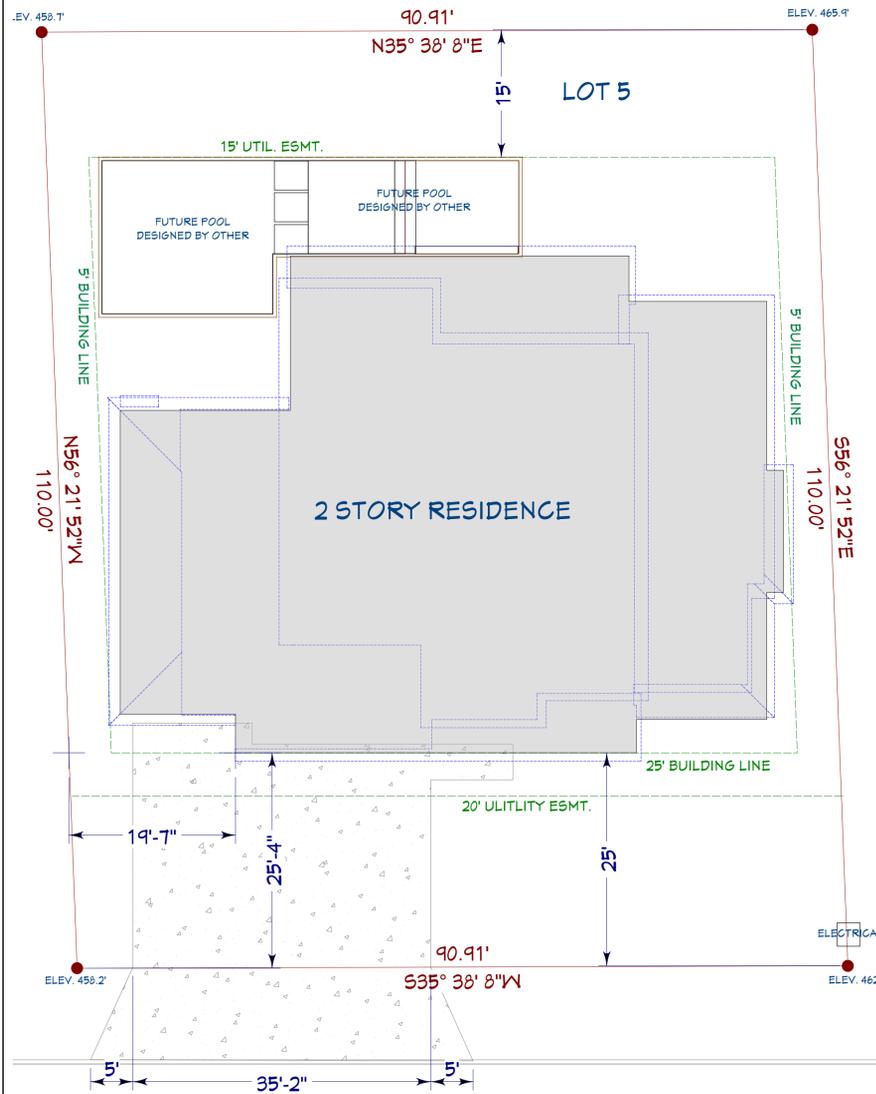
- I. GARAGE & PORCH SQFT INCLUDE BRICK LEDGE.
- II. SQFT LISTED BY ROOM ARE FOR INTERIOR AREA ONLY, SHEETROCK TO SHEETROCK. THIS TO AID IN CALCULATING HVAC LOADS & FLOORING TAKEOFFS.
- III. FLOORING MATERIAL SQFT IS CALCULATED BY SHEETROCK TO SHEETROCK AREA & INCLUDES THE AREA UNDER CABINETS.

NOTICE & DISCLAIMER

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329 HARBORVIEW DR. ROCKWALL, TX 75032
GENERAL OVERVIEW

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 FARMERSVILLE, TX. 75442
 (972) 784-9044
 sales@tracyscustomhomes.com
 www.tracyscustomhomes.com



HARBORVIEW DRIVE

SITE PLAN

SCALE: 1" = 10'

LOT 5, BLOCK B
 HARBOR LANDING PHASE 2
 CITY OF ROCKWALL, TX

WATER LINE - 1-1/4"
 ELECTRICAL - 200AMP SERVICE



THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT & PROPERTY OF TRACY'S CUSTOM HOMES. USE OF THESE DRAWINGS & CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF TRACY'S CUSTOM HOMES IS PROHIBITED & MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

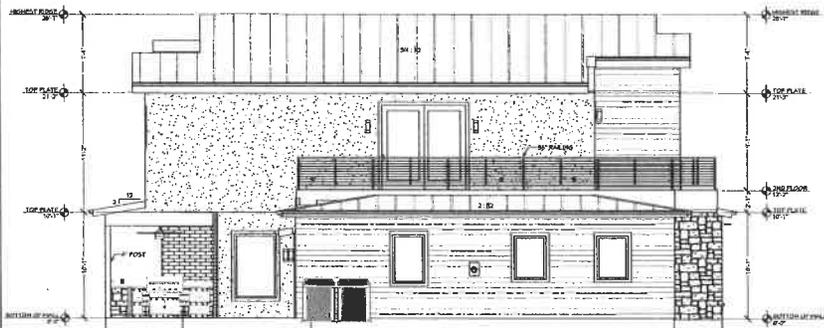
DRAWING PACKAGE		AREA (Sq. Ft.)	
PAGE #	TITLE		
1	GENERAL OVERVIEW	1st Floor Living	2630
2	MAIN FLOOR PLAN	Total Garages	833
3	UPSTAIRS & SCHEDULES	Total Porches	442
4	EXTERIOR ELEVATIONS	Total Foundation	3905
5	ROOF PLAN	2nd Floor Living	1181
6	ELECTRICAL	Total Living	3811
7	ELECTRICAL 2ND FLOOR	Total Under Roof	5086
8	ROUGH-IN	Total Sun Deck	671
9	CABINETS	Total Carpet	1196
		Total Tile	500
		Total Wood	2428

1. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, NOTES, & CONDITIONS PRIOR TO THE START OF ANY WORK.
 2. ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS
 3. THE AUTHOR OF THESE DOCUMENTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR ANY PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, & SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODES (UBC) & LOCAL BUILDING CODES, OR AS SPECIFICALLY NOTED ON THESE PLANS & CALCULATIONS, WITH THE MOST STRINGENT CONDITION GOVERNING.

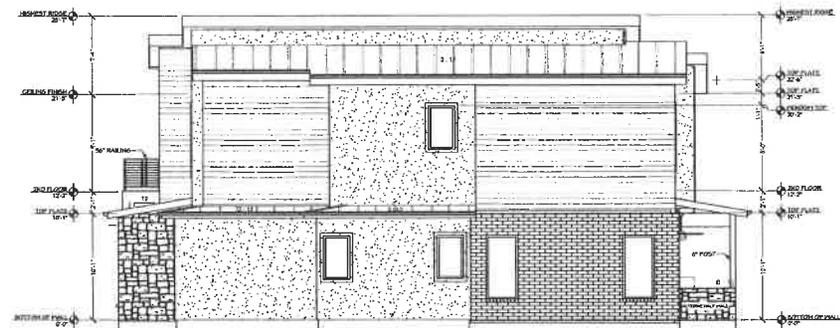
DRAWN BY: KENDALL NOTO
 CHECKED BY: ROY HOMFELD
 SHEET SIZE: ARCH D (24" x 36")



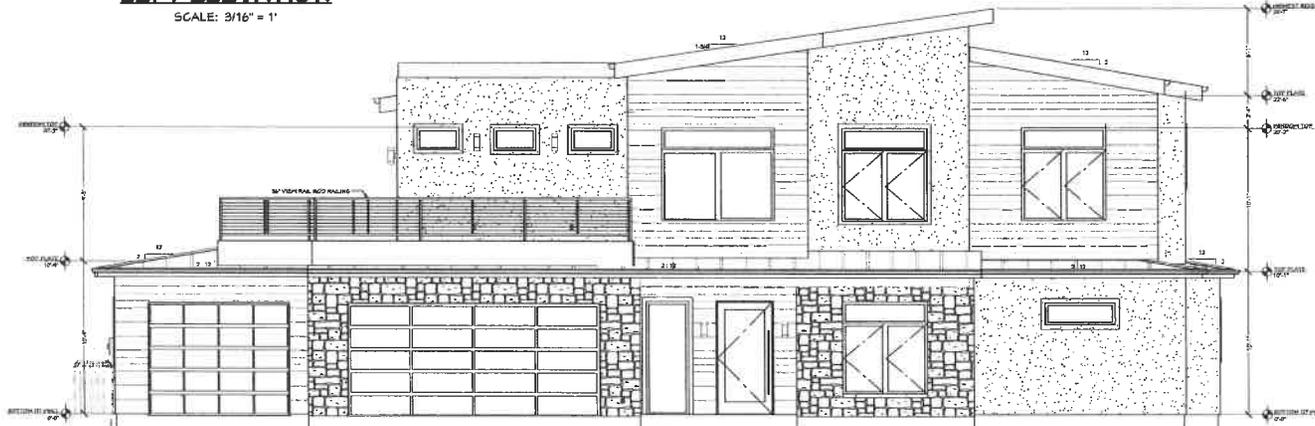
REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'



RIGHT ELEVATION
SCALE: 3/16" = 1'



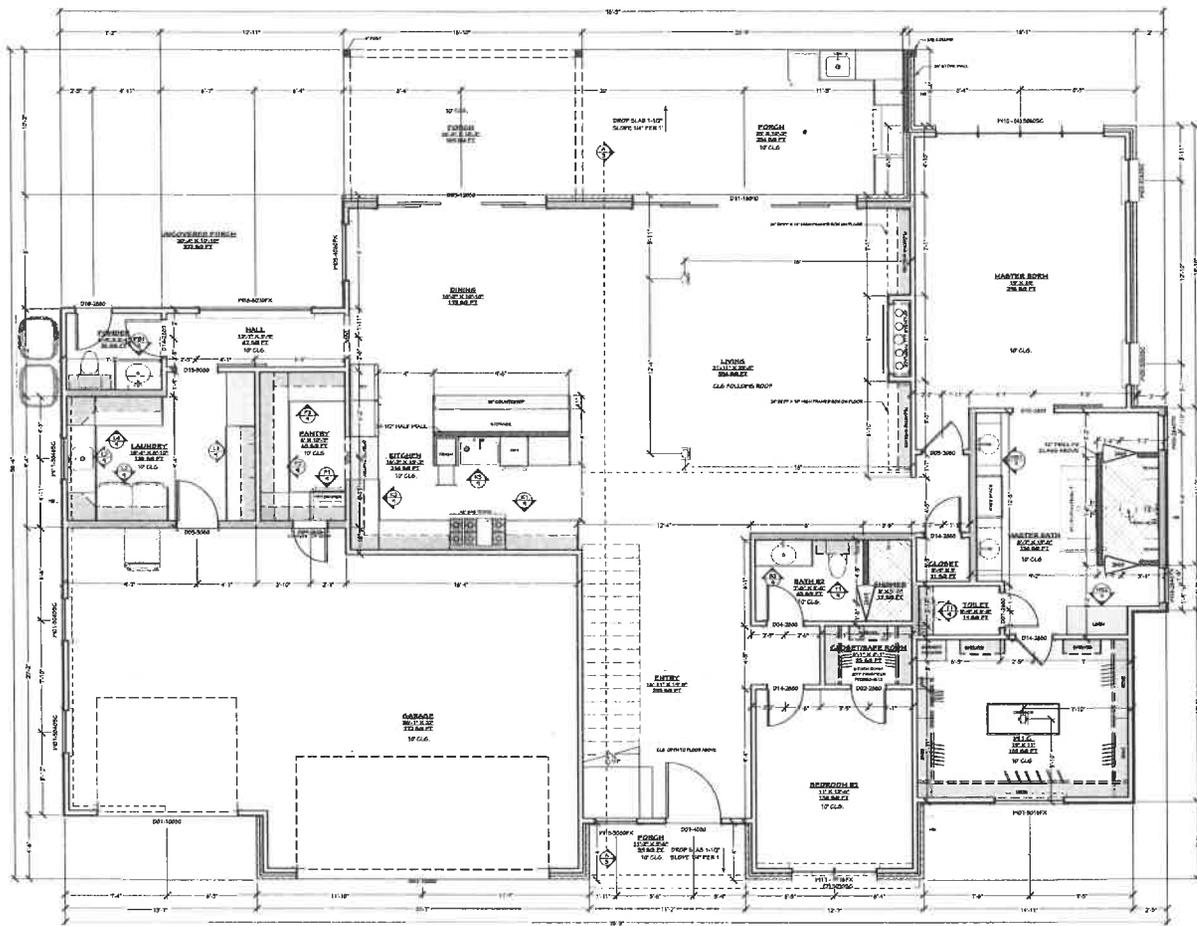
FRONT ELEVATION
SCALE: 1/4" = 1'

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EXTERIOR ELEVATIONS

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX 75442
(972) 754-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





MAIN FLOOR PLAN
SCALE: 1/4" = 1'

ITEM	UNIT	AREA
Living	Sq. Ft.	2630
Garage	Sq. Ft.	833
Porch	Sq. Ft.	442
Foundation	Sq. Ft.	3905
2nd Floor Living	Sq. Ft.	1181
Total Living	Sq. Ft.	3811
Total Under Foot	Sq. Ft.	5288
Total Sun Deck	Sq. Ft.	671
Total Carpet	Sq. Ft.	1196
Total Tile	Sq. Ft.	500
Total Wood	Sq. Ft.	2428

AREA (Sq. Ft.)	
1st Floor Living	2630
Total Garages	833
Total Porches	442
Total Foundation	3905
2nd Floor Living	1181
Total Living	3811
Total Under Foot	5288
Total Sun Deck	671
Total Carpet	1196
Total Tile	500
Total Wood	2428

BUILDING CONTRACTORS/OWNER TO VERIFY ALL DIMENSIONS, SPECS. & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
PLANS DESIGNED BY WCL INC.

NOTICE & DISCLAIMER
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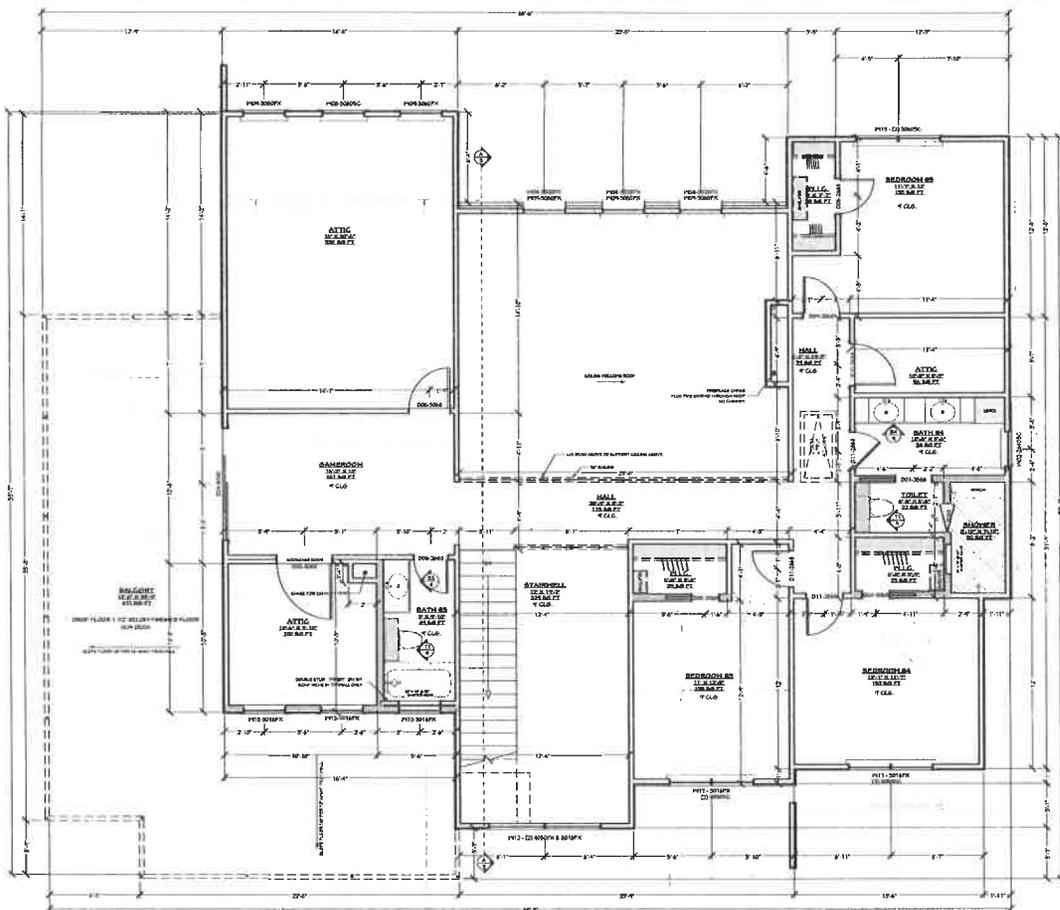
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MAIN FLOOR PLAN

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FARMERSVILLE, TX, 75442
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sales@tracyscustomhomes.com
www.tracyscustomhomes.com

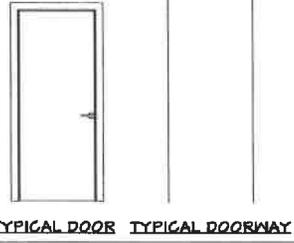


NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	1000	1 5/8"	3470 514"	Comp
D02	[Symbol]	1	1000	1 5/8"	3470 12"	Comp
D03	[Symbol]	1	1200 L R EX	1 5/8"	3470 112"	Quad Slab
D04	[Symbol]	1	2000 R EX	1 5/8"	3470 170"	Slab
D05	[Symbol]	1	2000 L EX	1 5/8"	3470 102"	Hinged
D06	[Symbol]	1	3000 R EX	1 5/8"	3470 112"	Hinged
D07	[Symbol]	1	4000 L EX	1 5/8"	3470 170"	Hinged
D08	[Symbol]	1	4000 R EX	1 5/8"	3470"	Hinged
D09	[Symbol]	1	3000 L EX	1 5/8"	3470 112"	Hinged
D10	[Symbol]	1	2000 R EX	1 5/8"	3470 514"	Hinged
D11	[Symbol]	1	1000 L R EX	1 5/8"	3470 112"	Quad Slab

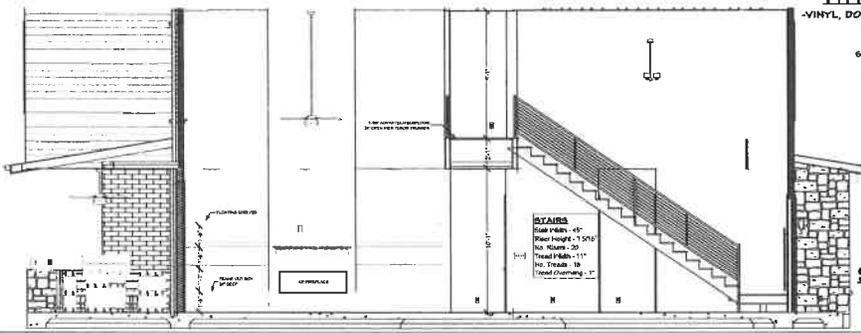
NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	2000 R	1 5/8"	3470 112"	Fixed
D02	[Symbol]	1	2000 L	1 5/8"	3470 112"	Hinged
D03	[Symbol]	1	2000 L	1 5/8"	3470 112"	Fixed
D04	[Symbol]	1	2000 R	1 5/8"	3470 112"	Hinged
D05	[Symbol]	1	1000 L R	1 5/8"	3470 112"	Hinged
D06	[Symbol]	3	2000 L R	1 5/8"	3470 112"	Hinged
D07	[Symbol]	1	2000 R H	1 5/8"	3470 112"	Hinged
D08	[Symbol]	1	2000 R	1 5/8"	3470 112"	Fixed
D09	[Symbol]	1	2000 L H	1 5/8"	3470 112"	Hinged
D10	[Symbol]	1	2000 R H	1 5/8"	3470 112"	Hinged
D11	[Symbol]	3	2000 R H	1 5/8"	3470 112"	Hinged
D12	[Symbol]	4	2000 R H	1 5/8"	3470 112"	Hinged
D13	[Symbol]	1	1000 L	1 5/8"	3470 112"	Run



2ND FLOOR PLAN
SCALE: 1/4" = 1'

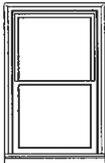


TYPICAL DOOR **TYPICAL DOORWAY**



SECTION A-A
SCALE: 1/4" = 1'

Window Size	Qty	Typ	Temp	Unit
W10-01	2	4"	1	
W10-02	1	4"	1	
W10-03	1	4"	1	
W10-04	3	10 1/2"	1	
W10-05	2	4"	1	
W10-06	1	4"	1	
W10-07	3	4"	1	
W10-08	2	4"	1	
W10-09	1	4"	1	
W10-10	1	4"	1	
W10-11	1	10 1/2"	1	
W10-12	1	4"	1	
W10-13	3	4"	1	
W10-14	1	4"	1	
W10-15	1	4"	1	
W10-16	1	4"	1	



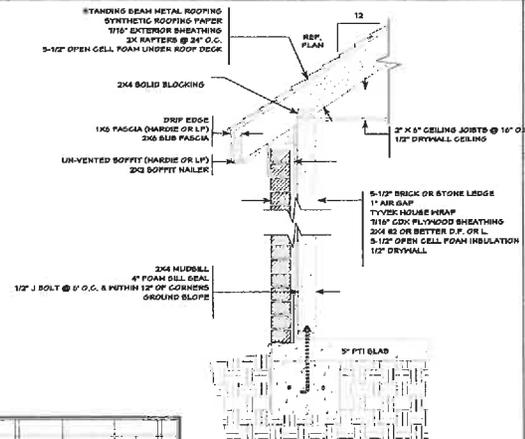
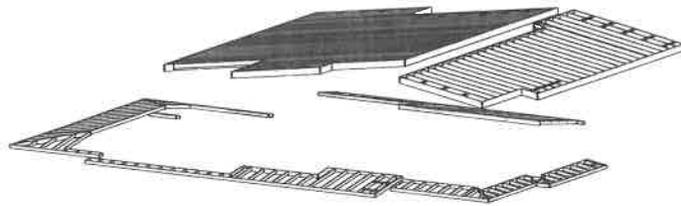
TYPICAL WINDOW
-VINYL, DOUBLE PANE, LOW E 366-
DH - Double Hung
SH - Single Hung
FX - Fixed
GC - Single Casement
LB - Left Sliding
RB - Right Sliding

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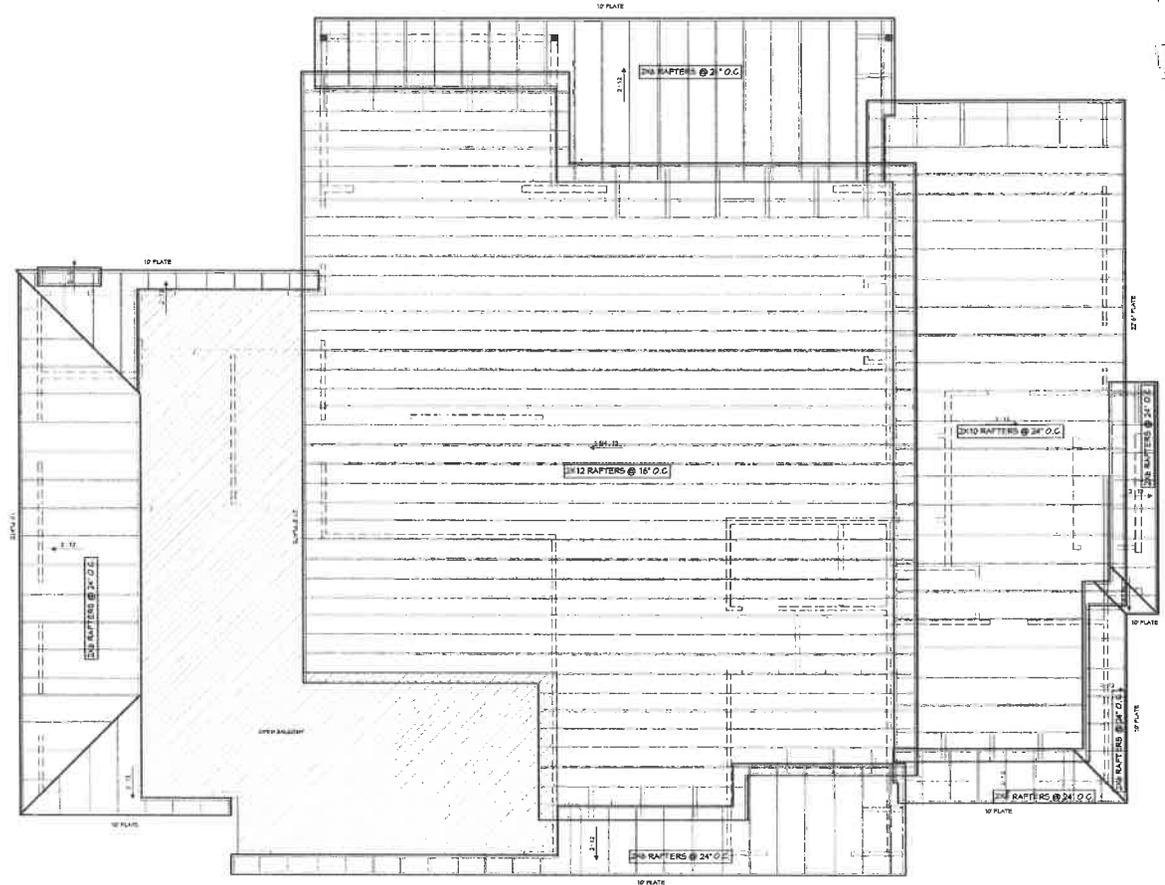
BOHORQUEZ RESIDENCE G ©
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UPSTAIRS & SCHEDULES

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www.tracyscustomhomes.com





**WALL/ROOF
 DETAIL**
 N.T.S.



ROOF PLAN
 SCALE: 1/4" = 1'
 3,582 SF of Metal Roofing

ROOFING NOTES:
 ROOFING SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO SOLIDLY SHEATHED ROOFS, NOT LESS THAN 4 NAILS PER EACH 50 TO 40" STRIP SHINGLES & 2 NAILS PER EACH 1" TO 1 1/2" INDIVIDUAL SHINGLE

SOFFITS:
 12" GABLES
 16" HP VENTED HARDIE/PLANK (PORCHES & GARAGES)
 NON-VENTED HARDIE/PLANK (LIVING AREA)

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ROOF PLAN

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 sales@tracyscustomhomes.com
 www.tracyscustomhomes.com





CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
315 Harborview Drive	Single-Family Home	2015	4,602	N/A	Stucco, Stone, and Siding
317 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
319 Harborview Drive	Single-Family Home	2010	3,770	N/A	Stone
321 Harborview Drive	Single-Family Home	2012	6,210	N/A	Stone and Brick
325 Harborview Drive	Single-Family Home	2018	5,443	N/A	Stone and Brick
326 Harborview Drive	Single-Family Home	2007	3,810	N/A	Siding
327 Harborview Drive	Single-Family Home	2015	4,222	N/A	Stone
328 Harborview Drive	Single-Family Home	2021	2,764	N/A	Stucco, Brick, and Siding
329 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
330 Harborview Drive	Single-Family Home	2016	3,893	N/A	Brick and Stone
331 Harborview Drive	Single-Family Home	2015	4,098	N/A	Brick and Stone
AVERAGES:		2014	4,312	#DIV/0!	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



315 Harborview Drive



317 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



319 Harborview Drive



321 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



325 Harborview Drive



326 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



327 Harborview Drive



328 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

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329 Harborview Drive



330 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



331 Harborview Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [ORDINANCE NO. 23-40] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2273-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2273-acre parcel of land identified as Lot 5, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 23-40] for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [Ordinance No. 23-40] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [Ordinance No. 23-40] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF AUGUST, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 15, 2024

2nd Reading: August 5, 2024

Exhibit 'A':
Location Map

Address: 329 Harborview Drive

Legal Description: Lot 5, Block B, Harbor Landing Phase 2 Addition



Exhibit 'B':
Residential Plot Plan

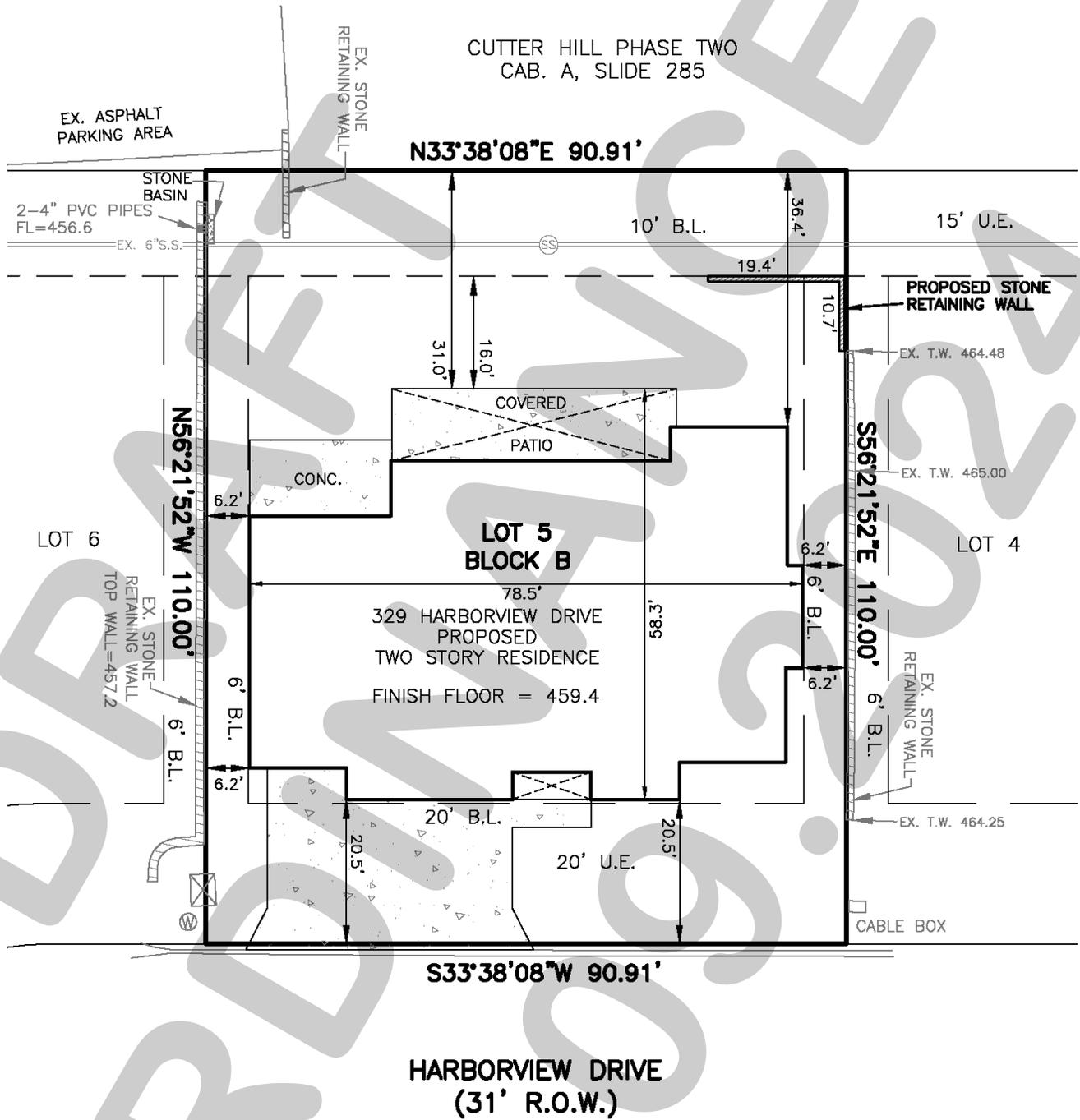
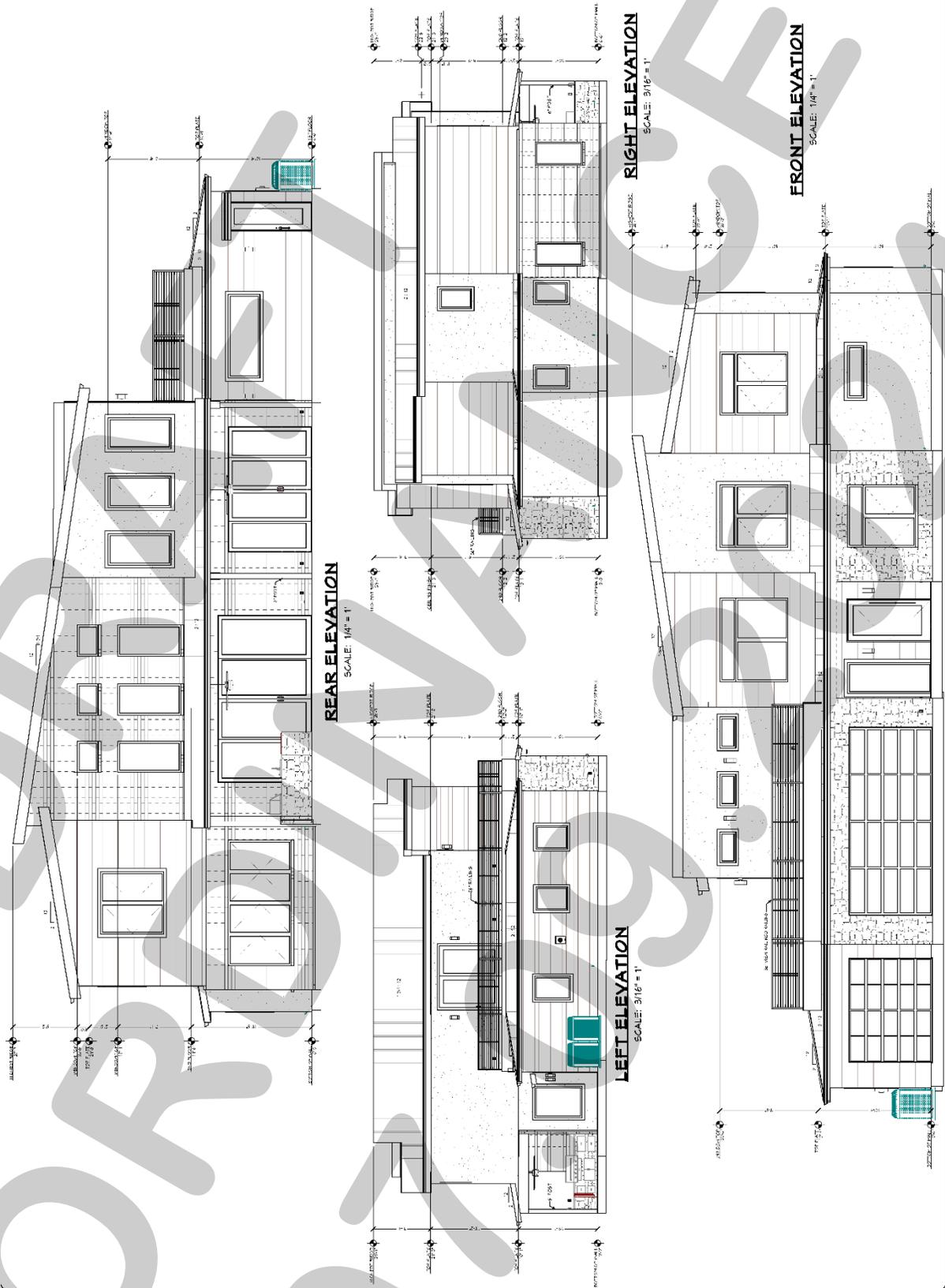


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: July 15, 2024
APPLICANT: David Bohorquez
CASE NUMBER: Z2024-030; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 329 Harborview Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevations, maximum pad elevations, and maximum house heights was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD-8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

PURPOSE

The applicant -- *David Bohorquez* -- is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 329 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are four (4) parcels of land (*i.e.* 331, 333, 335, & 337 Harborview Drive) developed with single-family homes. Beyond this is a 6.242-acre tract of land (*i.e.* *Tract 134-06 of the E. Teal Survey, Abstract No. 207*) that is owned by the Chandlers Landing Community Association. North of this is Phase 9 of the Chandlers Landing Subdivision, which consists of 14 single-family residential lots and has been in existence since April 1, 1975. All of these properties are zoned Planned Development District 8 (PD-8).

South: Directly south of the subject property are two (2) parcels of land (*i.e.* 325 & 327 Harborview Drive) developed with single-family homes. Beyond this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. South of this are the corporate limits of the City of Rockwall followed by Lake Ray Hubbard, which is owned and maintained by the City of Dallas.

East: Directly east of the subject property is Harborview Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land (*i.e. 320 Portview Place and 326 & 330 Harborview Drive*) and one (1) vacant parcel of land (*i.e. 328 Harborview Drive*). East of this is Portview Place, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the remainder of Phase 1 of the Harbor Landing Subdivision, which was established on December 22, 1986 and consists of 38 single-family residential lots. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is Phase 2 of the Cutter Hills Subdivision which is situated on 1.17-acres, consists of 27 single-family residential lots, and has been in existence since November 17, 1977. Beyond this is Phase 1 of the Cutter Hills Subdivision which is situated on 0.89-acres, consists of 20 single-family residential lots, and has been in existence since January 4, 1977. West of this is an 8.775-acre parcel of land that houses the Chandlers Landing Yacht Club and belongs to the Chandlers Landing Community Association. All of these properties are zoned Planned Development District 8 (PD-8).

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is adjacent to Phase 1 of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 38 single-family residential lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Harborview Drive
Year Built	2007-2021	N/A
Building SF on Property	2,764 SF – 6,210 SF	5,086 SF
Building Architecture	Traditional Brick/Stucco and Modern Contemporary	Modern Contemporary
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet, 5-Inches
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet, 2-inches
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	31-Feet
Building Materials	Brick, Stone, Stucco, Siding	Stucco, Stone, Brick, and Siding
Paint and Color	Tan, Brown, Grey, White, Black	N/A

Roofs	Composite Shingles, Metal Roofs	Metal Roof
Driveways	Driveways are either flat front entry or side entry garages.	The proposed garage will be situated approximately four (4) feet in front of the front façade of the home.

In this case, the applicant is proposing a single-family home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the proposed garage is located approximately four (4) feet in front of the front façade of the single-family home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2021, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with roof pitches of 1¾ :12 and 2:12. Staff should point out that there are other homes in this phase of the Harbor Landing Subdivision with roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

NOTIFICATIONS

On June 18, 2024, staff mailed 141 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back in regards to the applicant’s request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On July 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Commissioners Deckard and Womble absent and one (1) vacant seat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 329 HARBORVIEW DR, ROCKWALL, TX 75032
 SUBDIVISION Harbor Landing Phase TWO LOT 5 BLOCK B
 GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____
 PROPOSED ZONING _____ PROPOSED USE _____
 ACREAGE _____ LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER DAVID BOHORQUEZ APPLICANT _____
 CONTACT PERSON DAVID BOHORQUEZ CONTACT PERSON _____
 ADDRESS 1397 GLENWICK DR ADDRESS _____
 CITY, STATE & ZIP ROCKWALL, TX 75032 CITY, STATE & ZIP _____
 PHONE 469-766-4127 PHONE _____
 E-MAIL DAVID@B6GROUPSERVICES.COM E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Bohorquez [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 200.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12 DAY OF JUNE, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF JUNE, 2024

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Cynthia C. Kides



0 25 50 100 150 200 Feet

Z2024-030: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 329 Harborview Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

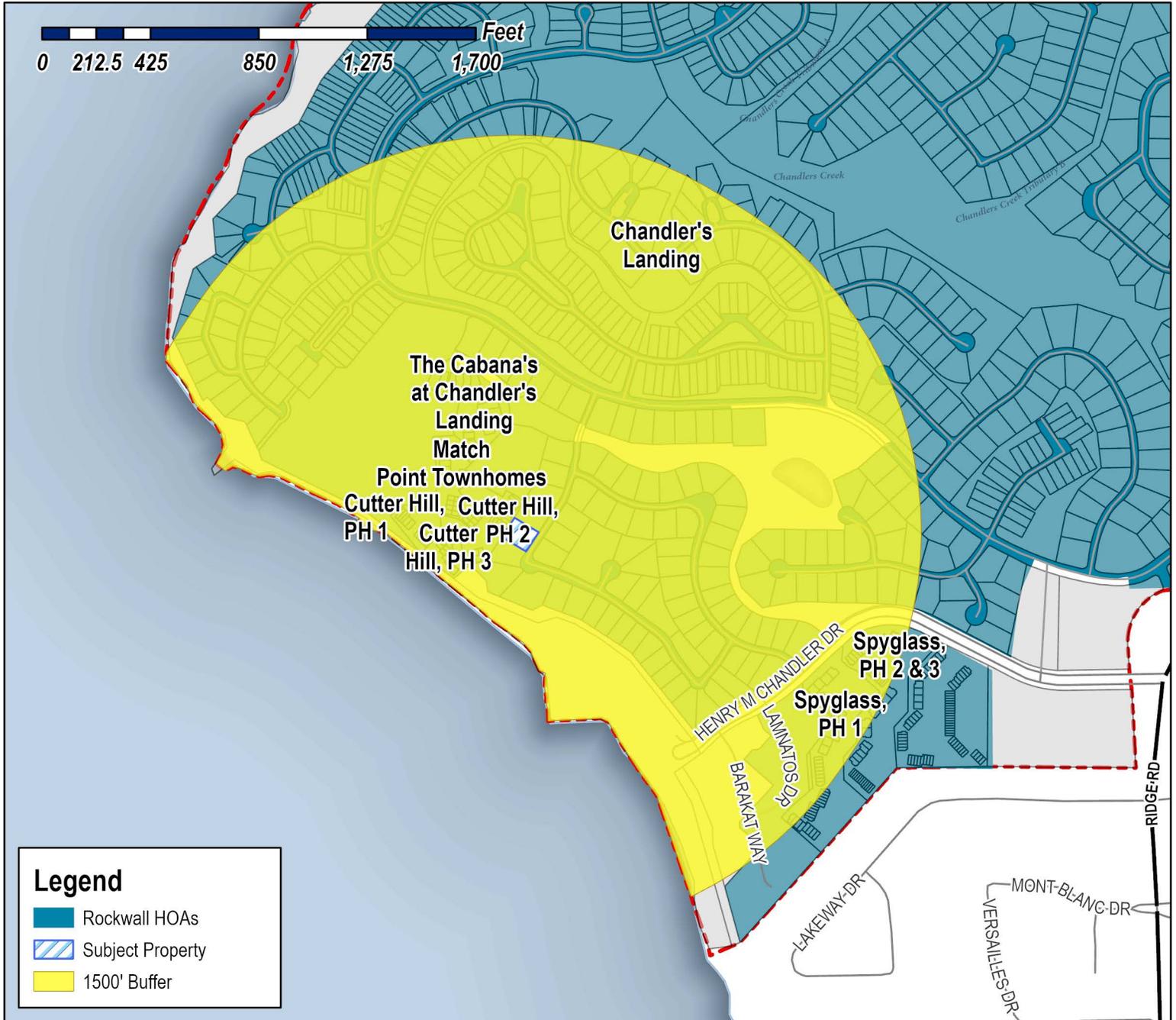




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Case Number: Z2024-030
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 329 Harborview Drive

Date Saved: 6/13/2024
 For Questions on this Case Call (972) 771-7745



From: [Zavala, Melanie](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Guevara, Angelica](#); [Ross, Bethany](#)
Subject: Neighborhood Notification Program [Z2024-030]
Date: Friday, June 21, 2024 1:12:01 PM
Attachments: [HOA Map \(06.17.2024\).pdf](#)
[Public Notice \(P&Z\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday June 21, 2024](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, July 9, 2024 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, July 15, 2024 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-030: SUP for Residential Infill

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

Thank you,

Melanie Zavala

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall
385 S. Goliad Street | Rockwall, TX 75087

[Planning & Zoning Rockwall](#)

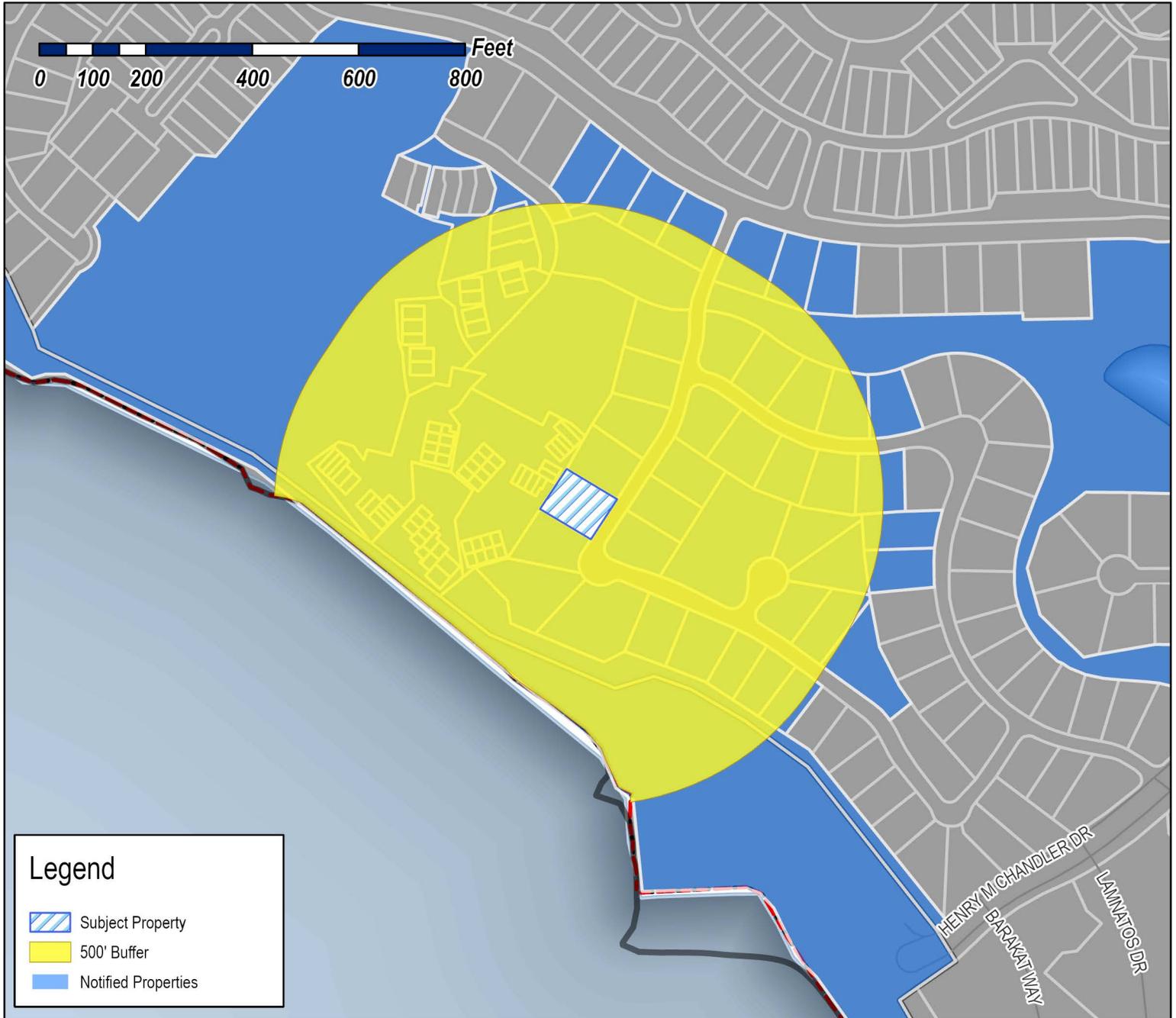
972-771-7745 Ext. 6568



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2024-030
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development District 8 (PD-8)
Case Address: 329 Harborview Drive

Date Saved: 6/13/2024

For Questions on this Case Call: (972) 771-7745



CHANDLERS LANDING COMMUNITY ASSOC
1 COMMODORE PLAZA
ROCKWALL, TX 75032

WILLIS PATRICIA D
12218 GLADWICK DR
HOUSTON, TX 77077

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

BRAD RHODES REALTY LLC
1514 ANDY DRIVE
SHERMAN, TX 75092

DALROCK INDEPENDENCE LLC
1718 CAPITOL AVE
CHEYENNE, WY 82001

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

ESTATE OF KENNETH GENE PONDER
ELMA PONDER, EXECUTOR
1850 ASHBOURNE DRIVE
ROCKWALL, TX 75087

VREELAND DENISE AND
DAN CALNON
1956 GEAR AVE
FAIRFIELD, IA 52556

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

VINES GREGORY S
200 VZCR 3710
EDGEWOOD, TX 75117

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER DEANNA
202 RAINBOW CIRCLE
ROCKWALL, TX 75032

SLATE CRAIG AND TANYA
208 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

MCCALLUM TERRY
2231 W FM 550
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

ZUCCHERO MICHAEL
24212 NOBE ST
CORONA, CA 92883

ROBERTS GARREN AND MARY BERNADETTE
FIDELMA
25112 SLEEPY HOLLOW
LAKE FOREST, CA 92630

PORTER INVESTMENTS LLC
3 COVE CREEK COURT
HEATH, TX 75032

RESIDENT
308 HARBORVIEW DR
ROCKWALL, TX 75087

RESIDENT
310 HARBORVIEW DR
ROCKWALL, TX 75087

TAYLOR ANTHONY
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

RESIDENT
317 HARBORVIEW DR
ROCKWALL, TX 75087

QUILLEN BOBBY RAY JR
317 HARBOR LANDING DR
ROCKWALL, TX 75032

BAILEY WAYNE & JACQUELINE
319 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

SELF JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

SELF SCOTT L & JAN
319 HARBORVIEW DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

RESIDENT
321 HARBORVIEW DR
ROCKWALL, TX 75087

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

RIZZARI VANESSA GABRIELA
324 HARBOR LANDING DR
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

RESIDENT
326 HARBORVIEW DR
ROCKWALL, TX 75087

DENIKE SARAH
326 HARBOR LANDING DR
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

Haidar Lamora J and
Lucinda K Polhemus
327 Yacht Club Drive
Rockwall, TX 75032

RESIDENT
328 HARBORVIEW DR
ROCKWALL, TX 75087

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

RESIDENT
329 HARBORVIEW DR
ROCKWALL, TX 75087

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDOR AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DAMALUX RENTAL AND REMODELING LLC
3320 AUGUSTA BLVD
ROCKWALL, TX 75087

RESIDENT
333 YACHT CLUB DR
ROCKWALL, TX 75087

TMCC TRUST
THOMAS V MCCROSSAN- TRUSTEE
333 HARBORVIEW DRIVE
ROCKWALL, TX 75032

MARTIN AND LISA MANASCO LIVING TRUST
MARTIN EDWARD MANASCO AND LISA MARIE
MANASCO- TRUSTEES
335 HARBORVIEW DR
ROCKWALL, TX 75032

MCCROSSAN LIA AND JAMES
337 HARBORVIEW DRIVE
ROCKWALL, TX 75032

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
405 YACHT CLUB DR
ROCKWALL, TX 75087

CENSULLO TERESA ANN
405 COLUMBIA DR
ROCKWALL, TX 75032

WISE RUTHANNE
407 YACHT CLUB DRIVE
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

FRONTERA JOSE ANTONIO & CAROLINE
4241 BUENA VISTA #18
DALLAS, TX 75205

RESIDENT
426 S YACHT CLUB DR
ROCKWALL, TX 75087

JONES AMBER
426 YACHT CLUB DR UNIT H
ROCKWALL, TX 75032

PETTITT GREGORY S AND CONNIE L
426 YACHT CLUB DRIVE APT D
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

RESIDENT
428 YACHT CLUB DR
ROCKWALL, TX 75087

WRIGHT RHONDA LYNN
428 YACHT CLUB DR APT C
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

GALLIGUEZ PRESILO A & ANNABELLE B
429 YACHT CLUB DR B UNIT A 2
ROCKWALL, TX 75032

RESIDENT
430 S YACHT CLUB DR
ROCKWALL, TX 75087

STROUD SUZETTE AND ANDY
430A YACHT CLUB
ROCKWALL, TX 75032

KAY SUZANNE KAY
430E YACHT CLUB DRIVE
ROCKWALL, TX 75032

BARRINGER VAN
4310 COCHRAN CHAPEL CIR
DALLAS, TX 75209

RESIDENT
436 S YACHT CLUB DR
ROCKWALL, TX 75087

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

MERCKLING BRYAN AND SARAH HUSSAIN
436 YACHT CLUB DRIVE #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
438 S YACHT CLUB DR
ROCKWALL, TX 75087

WALLACE BRITTANY
438 S YACHT CLUB DR APT H
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

JAMES DEBRA SUE
438 YACHT CLUB DR APT D
ROCKWALL, TX 75032

BARLOW DAVID ALLEN
438 YACHT CLUB DR APT F
ROCKWALL, TX 75032

TUCKER ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

SFIKAS SCOTT
438 YACHT CLUB DRIVE APT C
ROCKWALL, TX 75032

RESIDENT
440 S YACHT CLUB DR
ROCKWALL, TX 75087

BROWN CYNTHIA
440 YACHT CLUB UNIT E
ROCKWALL, TX 75032

SERRANO MANUEL
440 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

GARDNER DAVID L REV LIV TR
4401 GMD UNIT 702
LONGBOAT KEY, FL 34228

RESIDENT
442 S YACHT CLUB DR
ROCKWALL, TX 75087

SPOENEMAN DAVID AND JODI
442A YACHT CLUB APT A
ROCKWALL, TX 75032

RESIDENT
450 S YACHT CLUB DR
ROCKWALL, TX 75087

ARMSTRONG MARK C
450 YACHT CLUB DRIVE UNIT C
ROCKWALL, TX 75032

RUYON DANA T
450A YACHT CLUB DRIVE
ROCKWALL, TX 75032

RESIDENT
452 S YACHT CLUB DR
ROCKWALL, TX 75087

SULLIVAN ROBERT MICHAEL
452 YACHT CLUB DR #B
ROCKWALL, TX 75032

ROGERS TARA MICHELLE & FRANCISCO LOPEZ
454 YACHT CLUB DR
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

MADONI DANIEL S AND BRENDA K
456 YACHT CLUB DRIVE, C UNIT 302
ROCKWALL, TX 75032

RESIDENT
458 S YACHT CLUB DR
ROCKWALL, TX 75087

CLAYCOMB DENISE MASUNAS AND JOHN
WILLIAM
458 YACHT DRIVE 458A
ROCKWALL, TX 75032

BENDER VIRGINIA
4600 GREENVILLE AVE STE 180
DALLAS, TX 75206

RESIDENT
501 YACHT CLUB DR
ROCKWALL, TX 75087

HAMMOND LIVING TRUST
519 E I30 #704
ROCKWALL, TX 75087

HARMON H VICTOR ETUX
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

HOGAN CANDICE LYNN AND
KEVIN PETER CRANTZ
522 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DEATON KHRISTY & ROBERT
524 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
526 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
528 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
530 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
532 YACHT CLUB DR
ROCKWALL, TX 75087

TROTTER STEVEN DOUGLAS & LISA ANN
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

DENNALLEY DENA S
536 YACHT CLUB DR
ROCKWALL, TX 75032

RESIDENT
540 YACHT CLUB DR
ROCKWALL, TX 75087

RESIDENT
542 YACHT CLUB DR
ROCKWALL, TX 75087

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

JOHNSON BETTY
544 YACHT CLUB DR
ROCKWALL, TX 75032

STENBERG SHANE & TRACY ENGLISH
5449 MARTEL
DALLAS, TX 75206

RESIDENT
546 YACHT CLUB DR
ROCKWALL, TX 75087

GIBSON JEANETTE L
548 YACHT CLUB DR
ROCKWALL, TX 75032

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5556 CANADA CT
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

BRANCO ANTHONY J
5731 SOUTHERN CROSS DR
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING
6109 PLANTATION LN
FLOWER MOUND, TX 75022

RESIDENT
7 GREENBELT
ROCKWALL, TX 75087

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

ESPARZA KRISTIN
8565 PLAINFIELD ROAD
LYONS, IL 60534

DALTON PAMELA JOY, TRUSTEE
PAMELA JOY DALTON LIVING TRUST
872 RATHBONE CIRCLE
FOLSOM, CA 95630

STEPHENSON ROBIN AND LARRY JR
9005 BRIARCREST DR
ROWLETT, TX 75089

MALLARD DAVID S & SHERRY A
9405 WAYNE AVE
LUBBOCK, TX 79424

SELF BILLY & KATIE
C/O PRO SOAP 321 HARBORVIEW DR
ROCKWALL, TX 75032

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-030: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for Residential Infill Adjacent to an Established Subdivision on a 0.2273-acre parcel of land identified as Lot 5, Block B, Harbor Landing, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, July 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, July 15, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, July 15, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2024-030: SUP for a Residential Infill

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

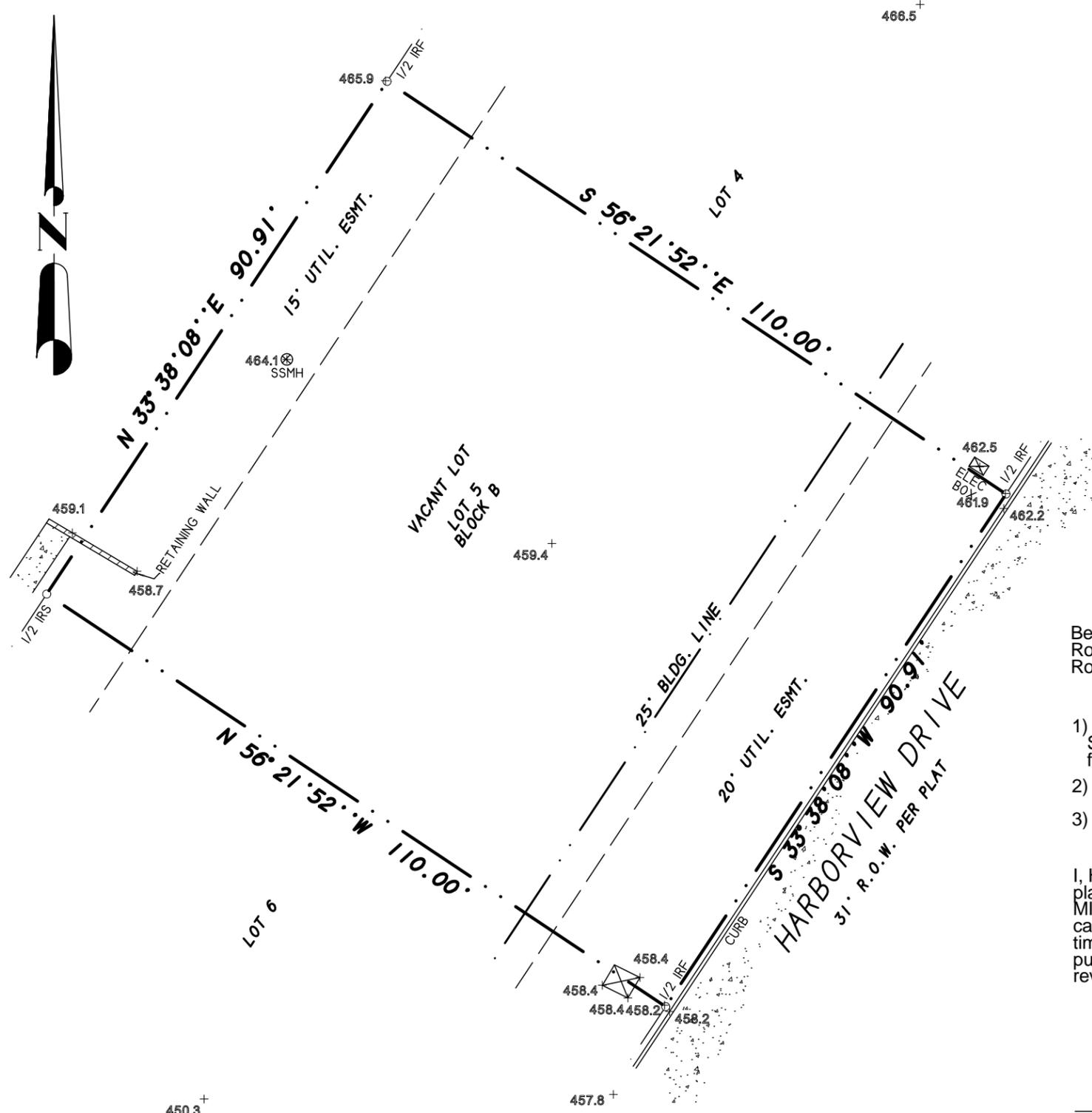
Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLAT OF SURVEY



DESCRIPTION

Being Lot 5, Block B, of HARBOR LANDING PHASE TWO, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet C, Slide 10, Plat Records, Rockwall County, Texas.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated September 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for CAPITAL TITLE COMPANY, ROCKWALL RENTAL PROPERTIES, and MIKE WHITTLE, at HARBORVIEW DRIVE, ROCKWALL, ROCKWALL County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 29th day of June, 2009.

Harold D. Fetty III, R.P.L.S. No. 5034



SYMBOL LEGEND			
⊕	⊗	⊙	⊚
TELEVISION CABLE RISER	GAS METER	TEL. PHONE RISER	FH FIRE HYDRANT
⊙	⊗	⊙	⊚
ELEC. METER	ELEC. BOX	WM WATER METER	LP LIGHT POLE
⊙	⊗	⊙	⊚
1/2" IRS	IRON ROD FOUND (CORNER)	⊙	⊚
⊙	⊗	⊙	⊚
FENCE	EASEMENT LINE	A/C UNIT	PROPANE TANK
---	---	---	---
PROPERTY LINES			

SURVEY DATE	JUNE 29, 2009
SCALE	1" = 20'
CLIENT	RRP
FILE #	20090418-5
GF #	NONE

H.D. Fetty Land Surveyor, LLC

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE 972-635-9979 FAX

SURVEY ACCEPTED BY:

DATE _____

DATE _____

SQUARE FOOTAGE CALCULATIONS:

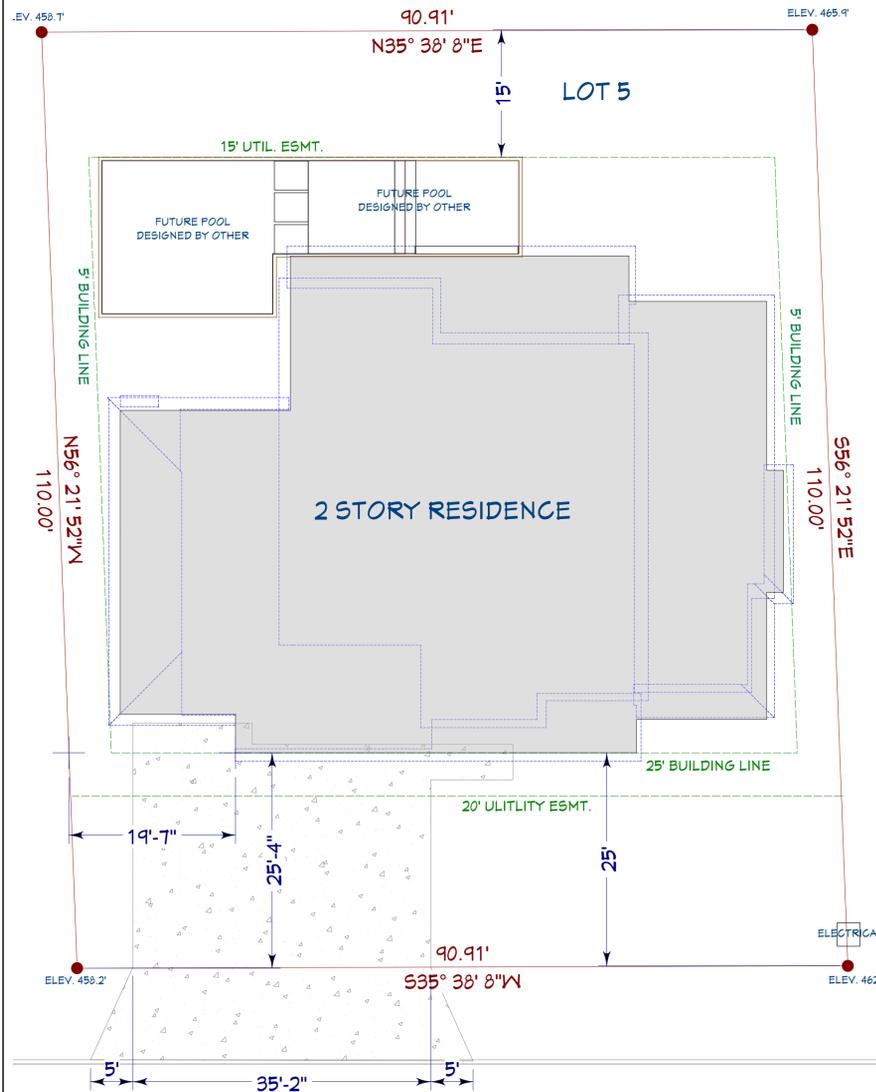
- I. GARAGE & PORCH SQFT INCLUDE BRICK LEDGE.
- II. SQFT LISTED BY ROOM ARE FOR INTERIOR AREA ONLY, SHEETROCK TO SHEETROCK. THIS TO AID IN CALCULATING HVAC LOADS & FLOORING TAKEOFFS.
- III. FLOORING MATERIAL SQFT IS CALCULATED BY SHEETROCK TO SHEETROCK AREA & INCLUDES THE AREA UNDER CABINETS.

NOTICE & DISCLAIMER

UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
GENERAL OVERVIEW

111 FARMERSVILLE PKWY STE. 300
 FARMERSVILLE, TX. 75442
 (972) 784-9044
 sales@tracyscustomhomes.com
 www.tracyscustomhomes.com



HARBORVIEW DRIVE

SITE PLAN

SCALE: 1" = 10'

LOT 5, BLOCK B
HARBOR LANDING PHASE 2
CITY OF ROCKWALL, TX

WATER LINE - 1-1/4"
ELECTRICAL - 200AMP SERVICE



THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT & PROPERTY OF TRACY'S CUSTOM HOMES. USE OF THESE DRAWINGS & CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF TRACY'S CUSTOM HOMES IS PROHIBITED & MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

DRAWING PACKAGE		AREA (Sq. Ft.)	
PAGE #	TITLE		
1	GENERAL OVERVIEW	1st Floor Living	2630
2	MAIN FLOOR PLAN	Total Garages	833
3	UPSTAIRS & SCHEDULES	Total Porches	442
4	EXTERIOR ELEVATIONS	Total Foundation	3905
5	ROOF PLAN	2nd Floor Living	1181
6	ELECTRICAL	Total Living	3811
7	ELECTRICAL 2ND FLOOR	Total Under Roof	5086
8	ROUGH-IN	Total Sun Deck	671
9	CABINETS	Total Carpet	1196
		Total Tile	500
		Total Wood	2428

- 1. THE CONTRACTOR(S) SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, NOTES, & CONDITIONS PRIOR TO THE START OF ANY WORK.
- 2. ALL WRITTEN DIMENSIONS SHALL SUPERCEDE SCALED DIMENSIONS
- 3. THE AUTHOR OF THESE DOCUMENTS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR ANY PROCEDURES, OR FOR THE SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK, & SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE UNIFORM BUILDING CODES (UBC) & LOCAL BUILDING CODES, OR AS SPECIFICALLY NOTED ON THESE PLANS & CALCULATIONS, WITH THE MOST STRINGENT CONDITION GOVERNING.

DRAWN BY: KENDALL NOTO
 CHECKED BY: ROY HOMFELD
 SHEET SIZE: ARCH D (24" x 36")

PLOT PLAN

BEING LOT 5, BLOCK B, OF HARBOR LANDING PHASE TWO, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 10, PLAT RECORDS, ROCKWALL COUNTY, TEXAS.

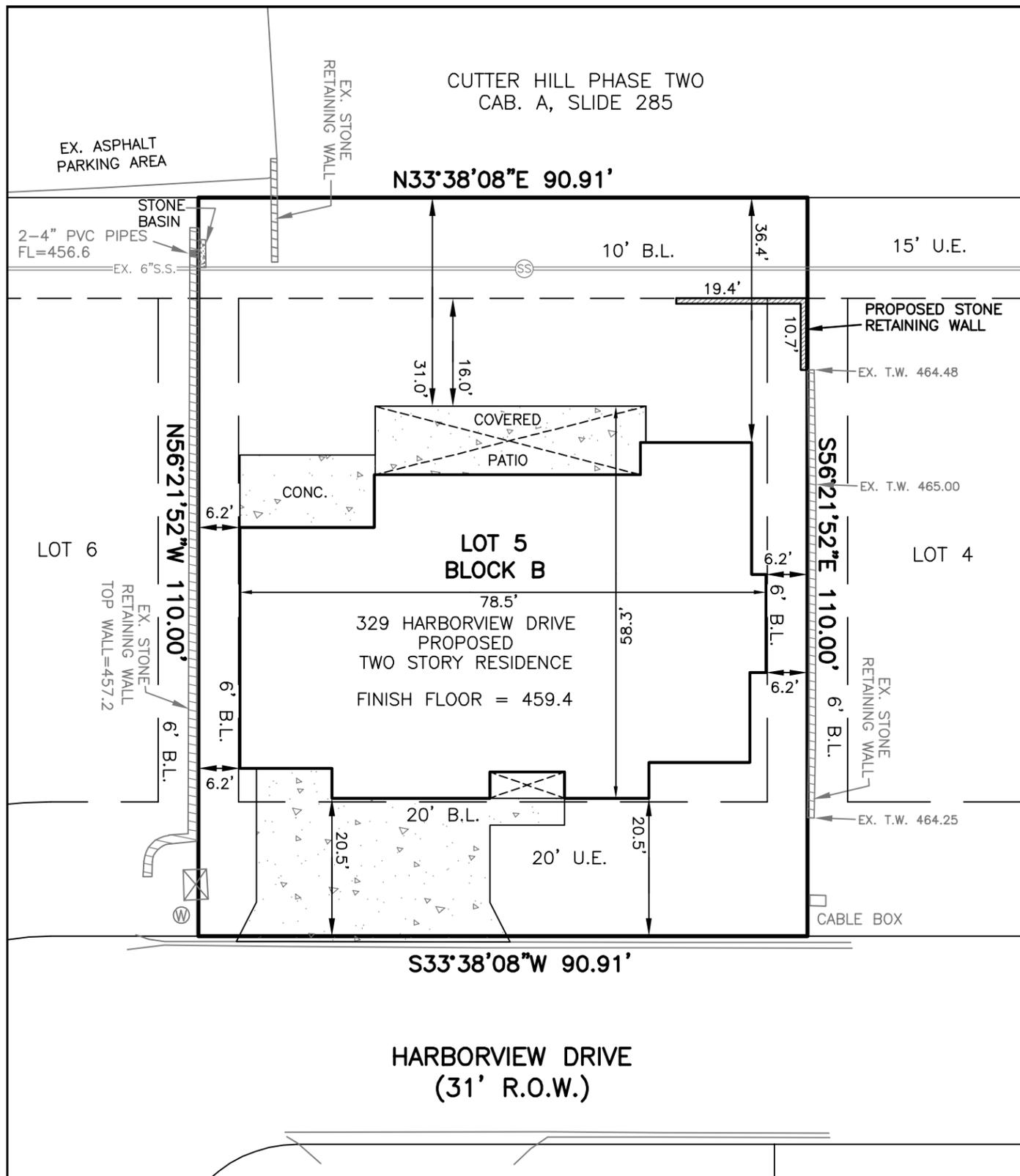
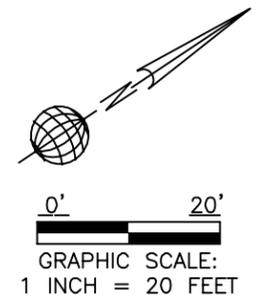
ZONING: PD-08 (SF-10)
 LOT 5, BLOCK B
 MAX ROOFTOP ELEVATION - 488.00
 MAX PAD ELEVATION - 459.00
 MAX HEIGHT - 29.00'

LEGEND

- ⊙ - EXISTING SANITARY SEWER MANHOLE
- ⊙ - EXISTING WATER METER
- 524- - EXISTING CONTOURS
- 524- - PROPOSED CONTOURS
- - PROPOSED DRAINAGE ARROWS
- T.C. - TOP OF CURB
- T.W. - TOP OF RETAINING WALL
- B.W. - BOTTOM OF RETAINING WALL
- [Pattern] - PROPOSED CONCRETE

PRELIMINARY REVIEW
 THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF:
 HENRY G. NIBLO, P.E. NO. 68739
 JUNE 6, 2024
 IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, PERMIT PURPOSES.

BENCHMARK: COR-5
 ALUMINUM DISK STAMPED "CITY OF ROCKWALL SURVEY MONUMENT"
 AT THE INTERSECTION EAST LINE OF COMMODORE PLAZA & NORTH LINE OF HENRY CHANDLER DR. AT CENTER OF CURB RETURN +1' BEHIND CURB. ELEVATION=560.58



FLOOD NOTE:
 According to my interpretations of Community Panel No. 48397C0040L, dated September 26, 2008, of the National Flood Insurance Rate Maps for Rockwall County, Texas, all of the subject property lies within Zone "X" and is not shown to be within a special flood hazard area. This statement does not imply that the property and/or structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

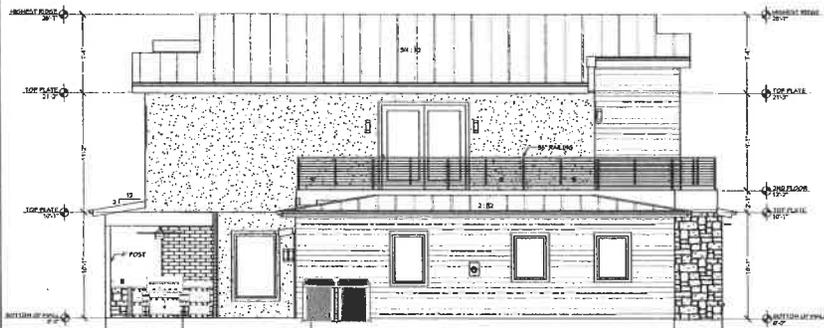
NOTES:
 BEARINGS, BUILDING LINES, R.O.W.S, EASEMENTS, DIMENSIONS, ETC. ARE PER PLAT REFERENCED IN LEGAL DESCRIPTION ABOVE.

CARROLL CONSULTING GROUP, INC.
 P.O. BOX 11
 LAVON, TEXAS 75166
 PHONE (972) 840-1506
 TBPELS REGISTRATION NO.: F-21608
 TEXAS FIRM REGISTRATION NO.: 10007200

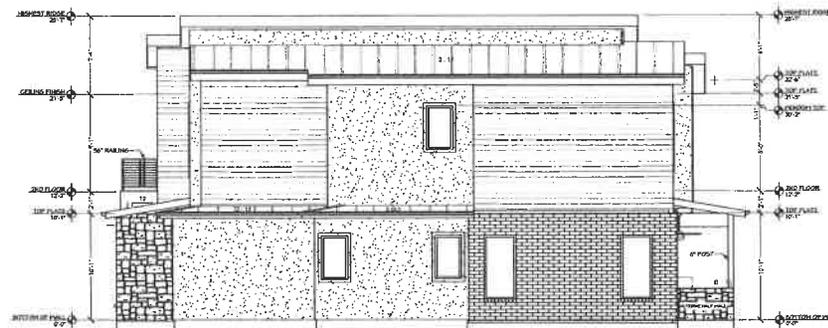
JOB No.	SCALE:	DATE	DRAWN BY:
3467-24	1"=20'	JUNE 6, 2024	CP



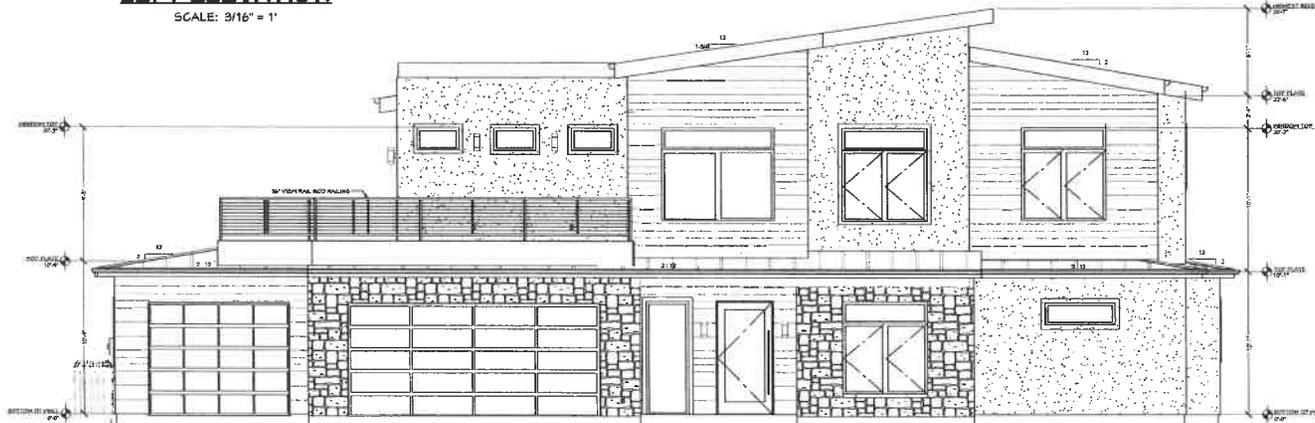
REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'



RIGHT ELEVATION
SCALE: 3/16" = 1'



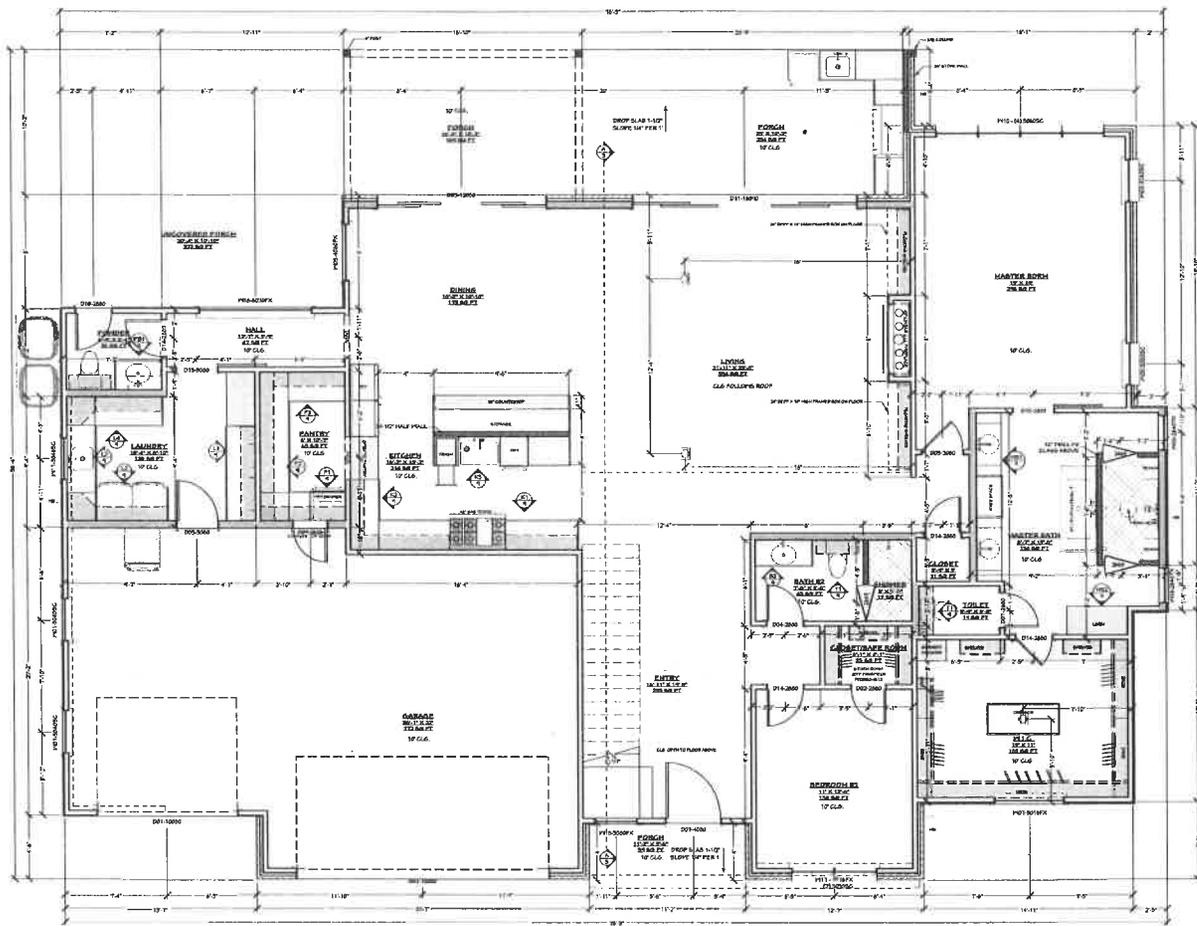
FRONT ELEVATION
SCALE: 1/4" = 1'

NOTICE & DISCLAIMER
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BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75082
EXTERIOR ELEVATIONS

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX 75442
(972) 754-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





MAIN FLOOR PLAN
SCALE: 1/4" = 1'

ITEM	UNIT	AREA
Living	Sq. Ft.	2630
Garage	Sq. Ft.	833
Porch	Sq. Ft.	442
Foundation	Sq. Ft.	3905
2nd Floor Living	Sq. Ft.	1181
Total Living	Sq. Ft.	3811
Total Under Foot	Sq. Ft.	5638
Total Sun Deck	Sq. Ft.	671
Total Carpet	Sq. Ft.	1196
Total Tile	Sq. Ft.	500
Total Wood	Sq. Ft.	2428

AREA (Sq. Ft.)	Value
1st Floor Living	2630
Total Garages	833
Total Porches	442
Total Foundation	3905
2nd Floor Living	1181
Total Living	3811
Total Under Foot	5638
Total Sun Deck	671
Total Carpet	1196
Total Tile	500
Total Wood	2428

BUILDING CONTRACTOR/OWNER TO VERIFY ALL DIMENSIONS, SPECS. & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
PLANS DESIGNED BY WCL INC.

NOTICE & DISCLAIMER
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

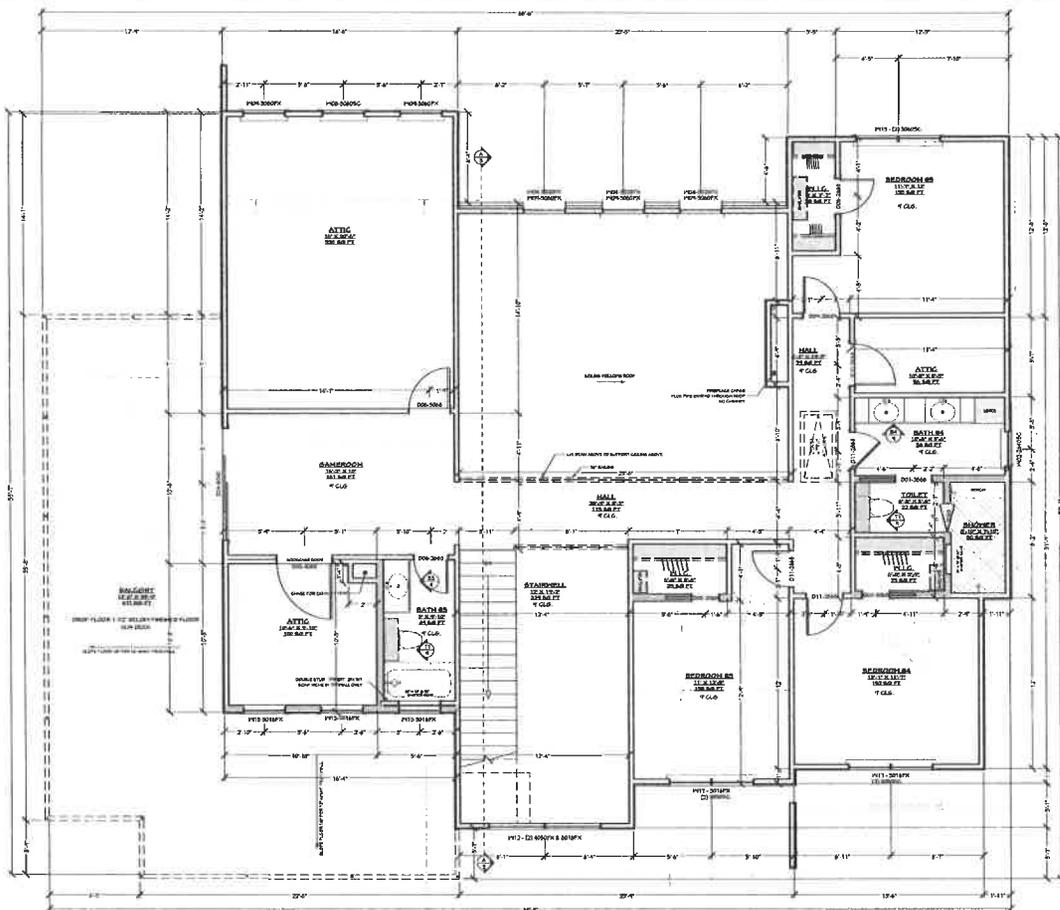
BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
MAIN FLOOR PLAN

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX, 75442
(972) 784-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com

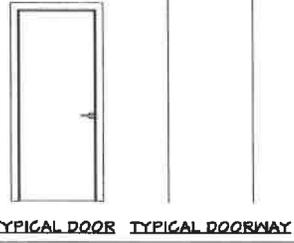


NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
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D02	[Symbol]	1	1000	1 5/8"	34726 12"	Comp
D03	[Symbol]	1	1200 L R EX	1 5/8"	34726 112"	Quad Slab
D04	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Slab
D05	[Symbol]	1	2000 L EX	1 5/8"	34726 12"	Hinged
D06	[Symbol]	1	3000 R EX	1 5/8"	34726 112"	Hinged
D07	[Symbol]	1	4000 L EX	1 5/8"	34726 514"	Hinged
D08	[Symbol]	1	4000 R EX	1 5/8"	34726 12"	Hinged
D09	[Symbol]	1	3000 L EX	1 5/8"	34726 112"	Hinged
D10	[Symbol]	1	2000 R EX	1 5/8"	34726 514"	Hinged
D11	[Symbol]	1	1000 L R EX	1 5/8"	34726 112"	Quad Slab

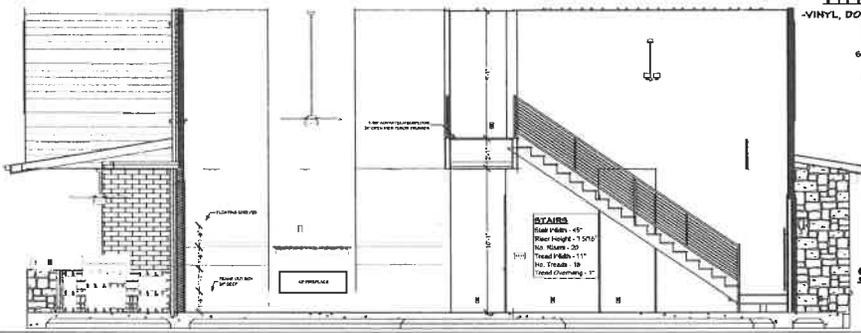
NO.	SYMBOL	QTY	DESCRIPTION	SIZE	TYPE	
D01	[Symbol]	1	3360 R	1 5/8"	34726 112"	Fixed
D02	[Symbol]	1	2400 L R	1 5/8"	34726 112"	Hinged
D03	[Symbol]	1	2000 L	1 5/8"	34726 112"	Fixed
D04	[Symbol]	1	2000 L R	1 5/8"	34726 112"	Hinged
D05	[Symbol]	1	1000 L R	1 5/8"	34726 112"	Hinged
D06	[Symbol]	3	2400 L R	1 5/8"	34726 112"	Hinged
D07	[Symbol]	1	2400 R H	1 5/8"	34726 112"	Hinged
D08	[Symbol]	1	2000 R	1 5/8"	34726 112"	Fixed
D09	[Symbol]	1	2000 L R	1 5/8"	34726 112"	Hinged
D10	[Symbol]	1	2000 R H	1 5/8"	34726 112"	Hinged
D11	[Symbol]	3	2400 R H	1 5/8"	34726 112"	Hinged
D12	[Symbol]	4	3360 R H	1 5/8"	34726 112"	Hinged
D13	[Symbol]	1	1000 L	1 5/8"	34726 112"	Run



2ND FLOOR PLAN
SCALE: 1/4" = 1'



TYPICAL DOOR **TYPICAL DOORWAY**



TYPICAL WINDOW
- VINYL, DOUBLE PANE, LOW E 566-
DH - Double Hung
SH - Single Hung
DF - Fixed
GC - Single Casement
LB - Left Sliding
RB - Right Sliding

SECTION A-A
SCALE: 1/4" = 1'

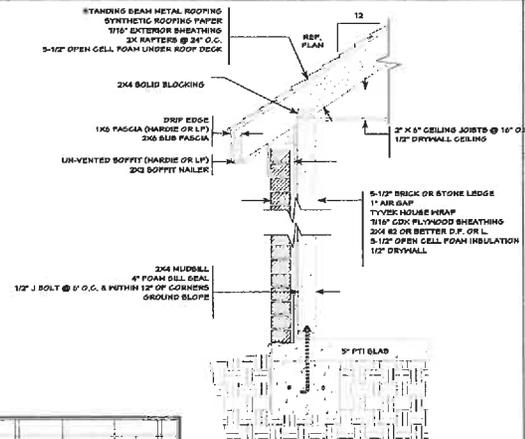
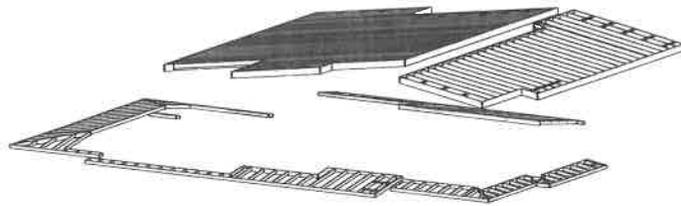
Window Size	Qty	Typ	Temp	Unit
W10-1000	2	4"		1
W10-1000	1	4"		1
W10-1000	1	4"		1
W10-1000	3	10 1/2"		1
W10-1000	2	4"		1
W10-1000	1	4"		1
W10-1000	3	4"		1
W10-1000	2	4"		1
W10-1000	1	4"		1
W10-1000	1	10 1/2"		1
W10-1000	1	4"		1
W10-1000	3	4"		1
W10-1000	1	4"		1
W10-1000	1	4"		1
W10-1000	2	4"		1
W10-1000	1	4"		1

NOTICE & DISCLAIMER
UNDER NO CIRCUMSTANCES WILL TRACY'S CUSTOM HOMES BE LIABLE FOR ANY DAMAGES, WHETHER ARISING FROM TORT OR CONTRACT, INCLUDING LOSS OF DATA, LOST PROFITS, COST OF COVER, OR OTHER SPECIAL, INCIDENTAL, CONSEQUENTIAL OR INDIRECT DAMAGES ARISING OUT OF THE USE OF THESE DRAWINGS.

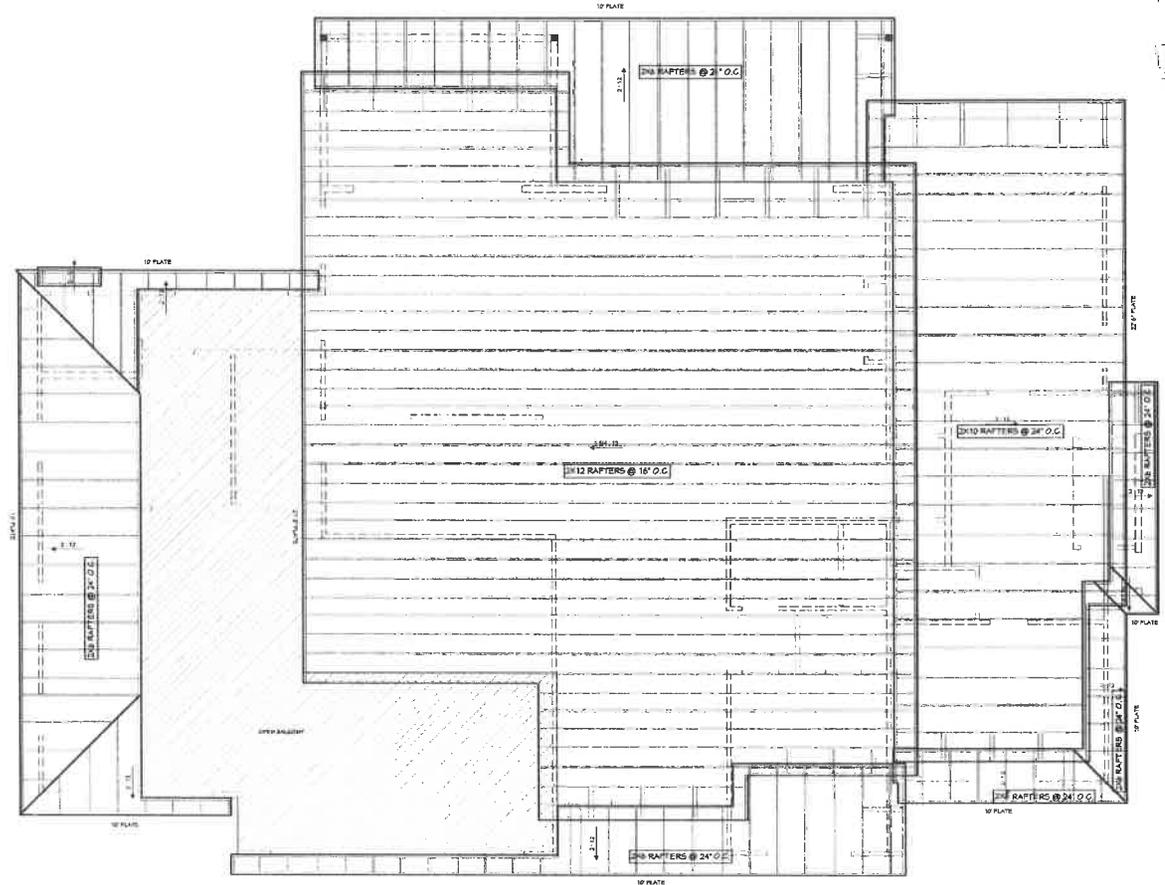
BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75032
UPSTAIRS & SCHEDULES

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX, 75442
(972) 784-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





**WALL/ROOF
DETAIL**
N.T.S.



ROOF PLAN
SCALE: 1/4" = 1'
3,582 SF of Metal Roofing

ROOFING NOTES:
ROOFING SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO SOLIDLY SHEATHED ROOFS, NOT LESS THAN 4 NAILS PER EACH 50 TO 40" STRIP SHINGLES & 2 NAILS PER EACH 1" TO 1 1/2" INDIVIDUAL SHINGLE
SOFFITS:
12" GABLES
16" HP VENTED HARDIEPLANK (PORCHES & GARAGES)
NON-VENTED HARDIEPLANK (LIVING AREA)

NOTICE & DISCLAIMER
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BOHORQUEZ RESIDENCE G ©
329 HARBORVIEW DR. ROCKWALL, TX 75082
ROOF PLAN

111 FARMERSVILLE PKWY STE. 300
FARMERSVILLE, TX. 75442
(972) 784-9044
sales@tracyscustomhomes.com
www.tracyscustomhomes.com





CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
315 Harborview Drive	Single-Family Home	2015	4,602	N/A	Stucco, Stone, and Siding
317 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
319 Harborview Drive	Single-Family Home	2010	3,770	N/A	Stone
321 Harborview Drive	Single-Family Home	2012	6,210	N/A	Stone and Brick
325 Harborview Drive	Single-Family Home	2018	5,443	N/A	Stone and Brick
326 Harborview Drive	Single-Family Home	2007	3,810	N/A	Siding
327 Harborview Drive	Single-Family Home	2015	4,222	N/A	Stone
328 Harborview Drive	Single-Family Home	2021	2,764	N/A	Stucco, Brick, and Siding
329 Harborview Drive	Vacant	N/A	N/A	N/A	N/A
330 Harborview Drive	Single-Family Home	2016	3,893	N/A	Brick and Stone
331 Harborview Drive	Single-Family Home	2015	4,098	N/A	Brick and Stone
AVERAGES:		2014	4,312	#DIV/0!	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

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315 Harborview Drive



317 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

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319 Harborview Drive



321 Harborview Drive



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

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325 Harborview Drive



326 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



327 Harborview Drive



328 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

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329 Harborview Drive



330 Harborview Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-030

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



331 Harborview Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [ORDINANCE NO. 23-40] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2273-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2273-acre parcel of land identified as Lot 5, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [Ordinance No. 23-40] for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [Ordinance No. 23-40] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 8 (PD-8) [Ordinance No. 23-40] and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF AUGUST, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: July 15, 2024

2nd Reading: August 5, 2024

Exhibit 'A':
Location Map

Address: 329 Harborview Drive

Legal Description: Lot 5, Block B, Harbor Landing Phase 2 Addition





August 16, 2024

TO: David Bohorquez
1397 Glenwick Drive
Rockwall, TX 75032

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2024-030; *Specific Use Permit (SUP) For Residential Infill Adjacent to an Established Subdivision at 329 Harborview Drive*

Mr. Bohorquez:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on August 5, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

(1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:

- (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- (c) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

Planning and Zoning Commission

On July 9, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Commissioners Deckard and Womble absent and with one (1) vacant seat.

City Council

On July 15, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 6-0, with Council Member Thompson absent.

On August 5, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 24-32, S-340*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,



Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 24-32

SPECIFIC USE PERMIT NO. S-340

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2273-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by David Bohorquez for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2273-acre parcel of land identified as Lot 5, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 10 (SF-10) District land uses, addressed as 329 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

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- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
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SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full

force and effect.

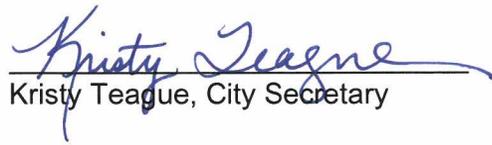
SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 5th DAY OF AUGUST, 2024.**



Trace Johannesen, Mayor

ATTEST:



Kristy Teague, City Secretary



APPROVED AS TO FORM:



Frank J. Garza, City Attorney

1st Reading: July 15, 2024

2nd Reading: August 5, 2024

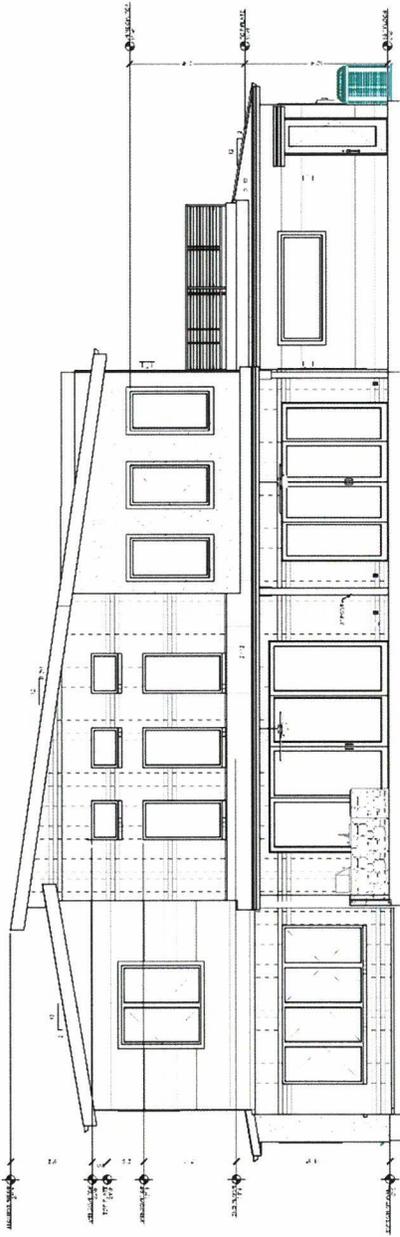
**Exhibit 'A':
Location Map**

Address: 329 Harborview Drive

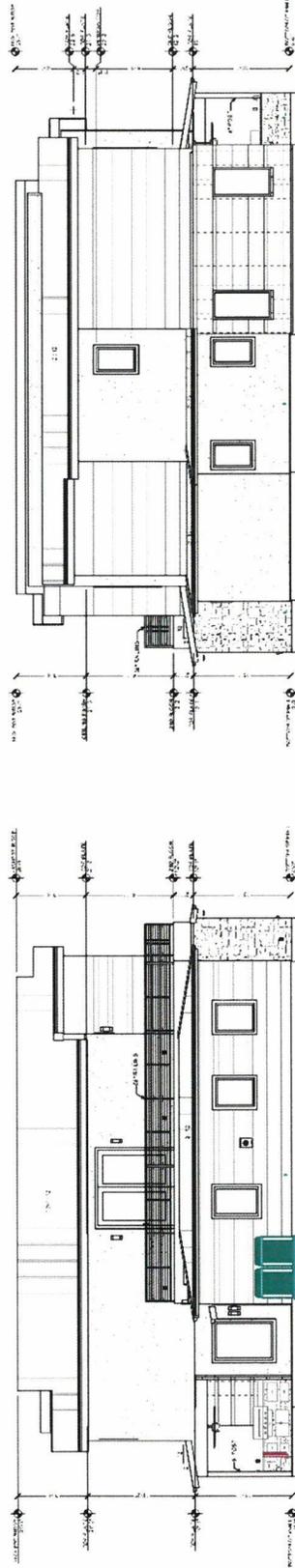
Legal Description: Lot 5, Block B, Harbor Landing Phase 2 Addition



Exhibit 'C':
Building Elevations

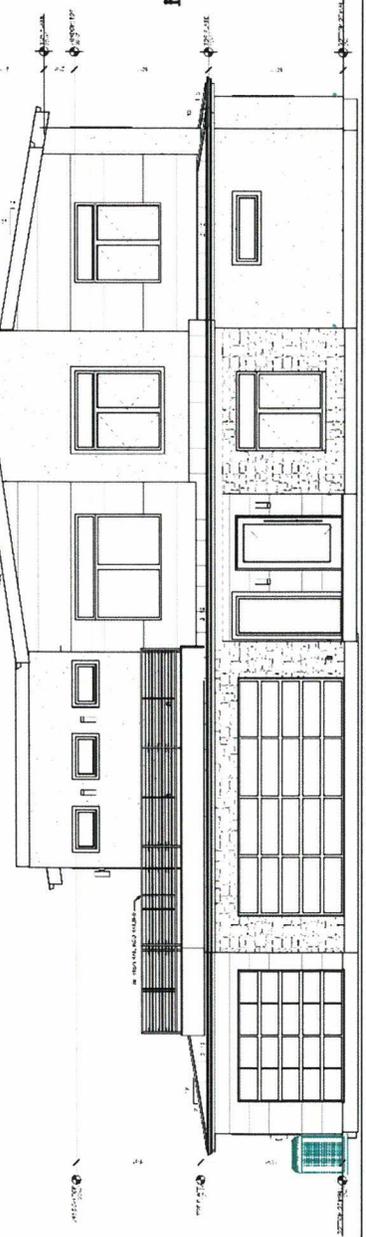


REAR ELEVATION
SCALE: 1/4" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'

RIGHT ELEVATION
SCALE: 3/16" = 1'



FRONT ELEVATION
SCALE: 1/4" = 1'