



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

OTHER APPLICATION

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 510 W. Kaufman St Rockwall, TX 75087

SUBDIVISION Lowe & Allen Block LOT 20 BLOCK -

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____
 PROPOSED ZONING _____ PROPOSED USE Single Family Residential
 ACREAGE .27 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Paul & Dioselina Carbow</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	<u>Paul Carbow</u>	CONTACT PERSON	_____
ADDRESS	<u>7137 Lanyon dr</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>Dallas, TX 75227</u>	CITY, STATE & ZIP	_____
PHONE	<u>469-623-2192</u>	PHONE	_____
E-MAIL	<u>pcarbow@dallasisd.org</u>	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Carbow [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July, 2024

OWNER'S SIGNATURE Paul Carbow

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





www.homemadedesign.net

NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

4

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

1. All exterior columns/posts to be built from 2x4 studs, wrapped by Zip System wall sheathing.
2. All brackets, gable accent, and corbels to be cedar.
3. All corner boards, fascia, soffit, frieze & trim to be composite material.
4. Entire exterior to be SmartSide composite lap unless specified otherwise.



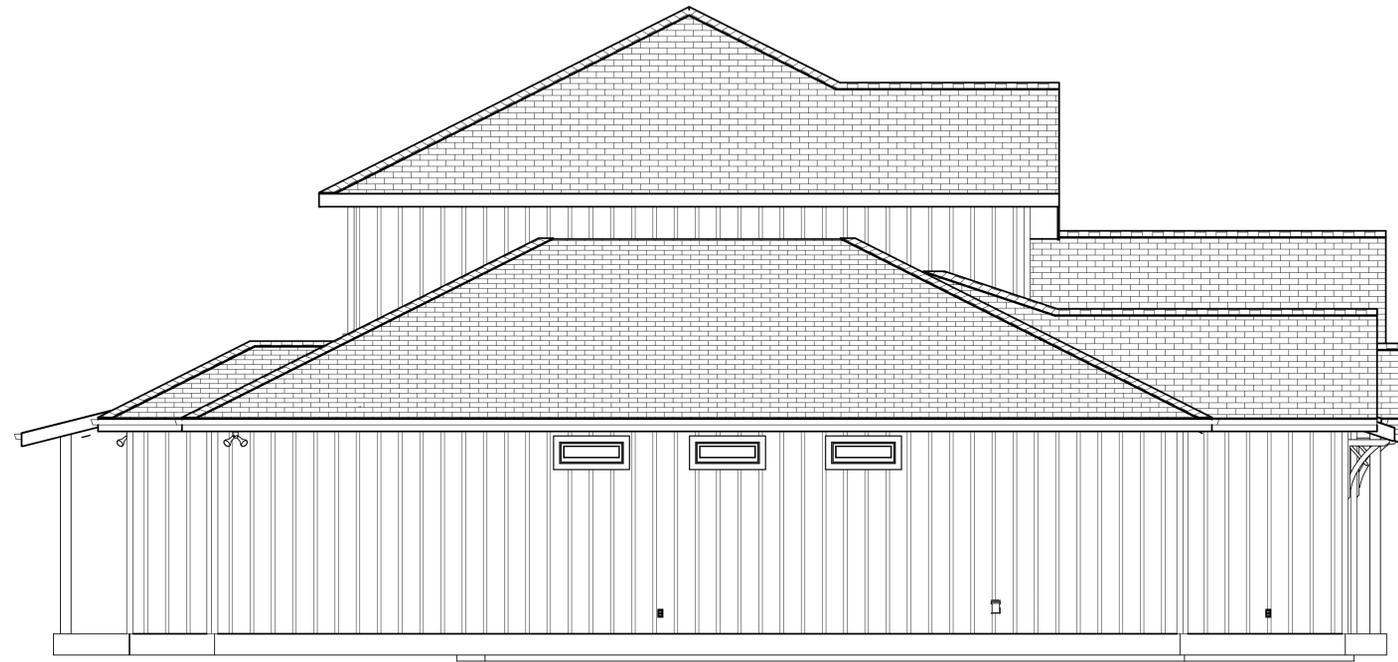
Exterior Elevation Front



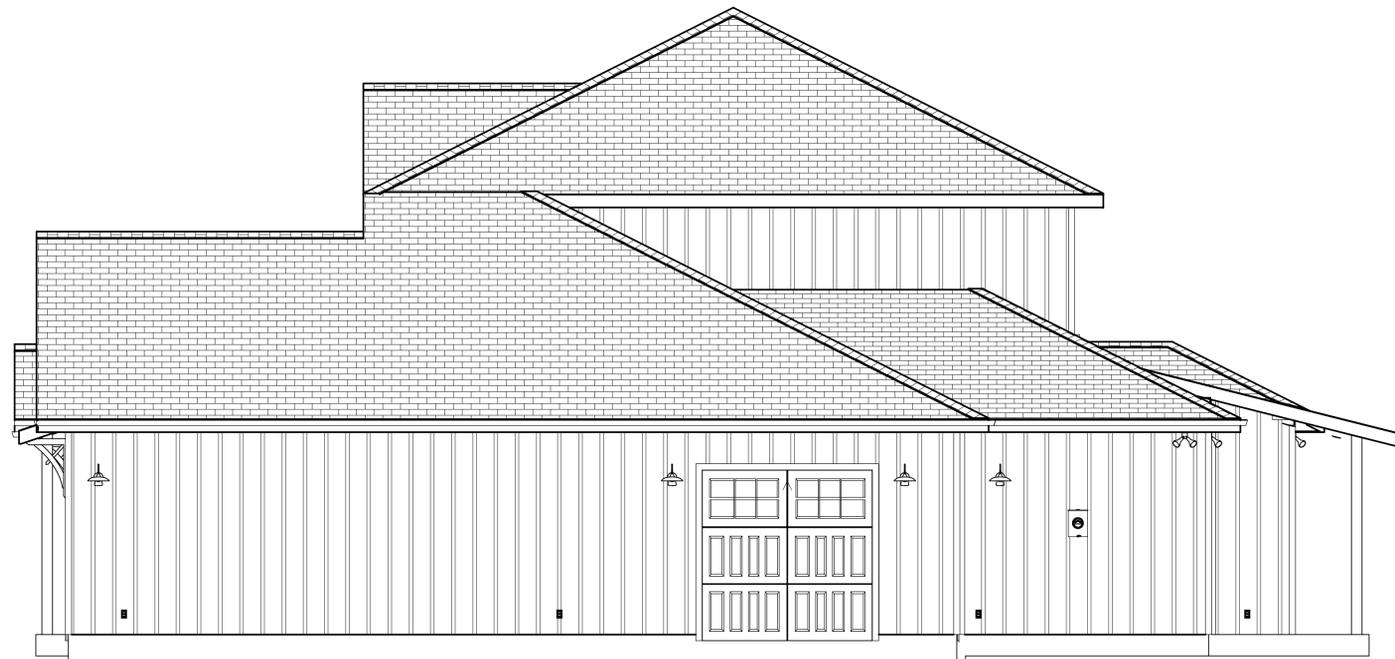
Exterior Elevation Back

All construction must meet or exceed locally adopted building codes.

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Exterior Elevation Left



Exterior Elevation Right

GENERAL NOTES:

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2. All linear dimensions located on exterior walls originate at outside of veneer.
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EXTERIOR NOTES:

SEE PAGE 4



NUMBER	DATE	REVISION BY	DESCRIPTION

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Exterior Elevations

DRAWINGS PROVIDED BY:
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DATE:

5/14/2024

SCALE:

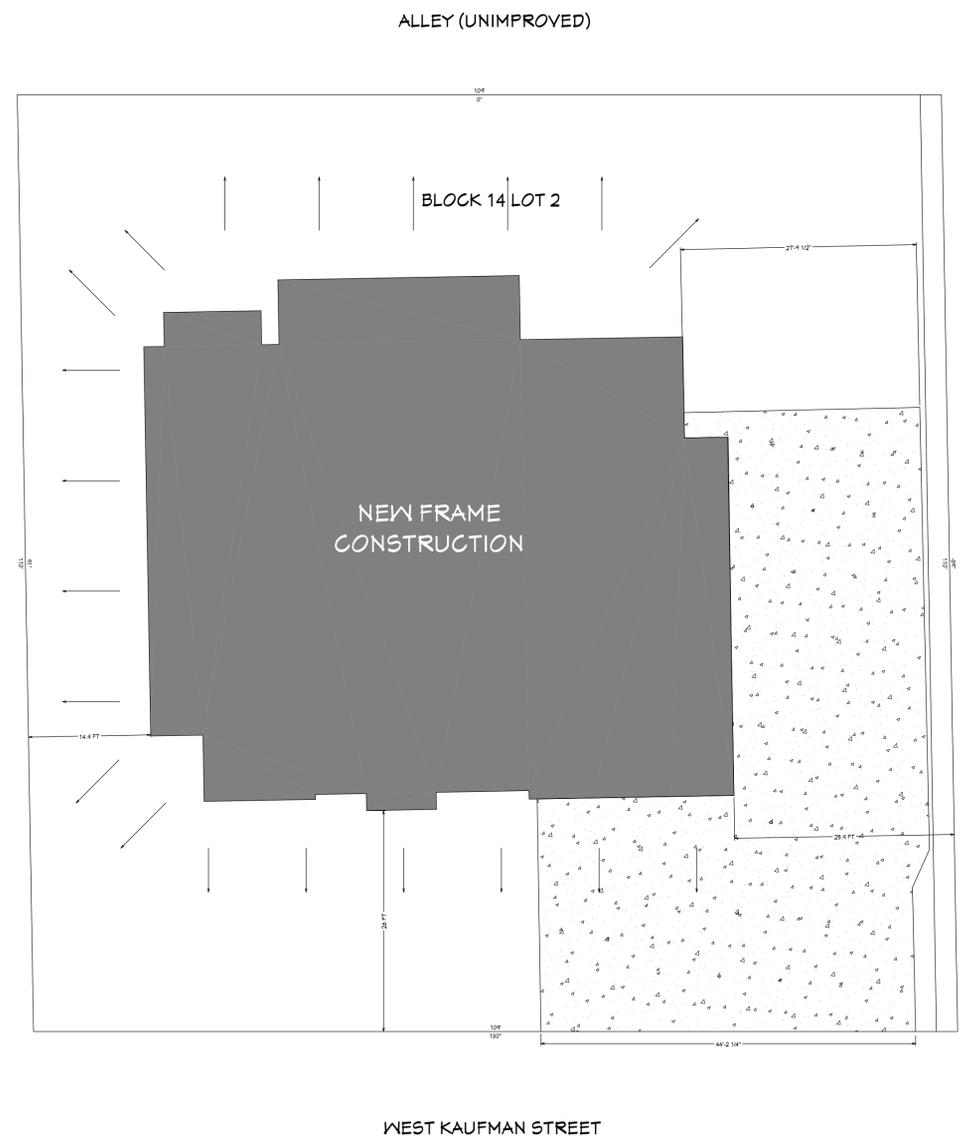
1/4" = 1'

SHEET:

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GENERAL NOTES:

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SITE NOTES:

1. Confirm zoning setbacks.



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

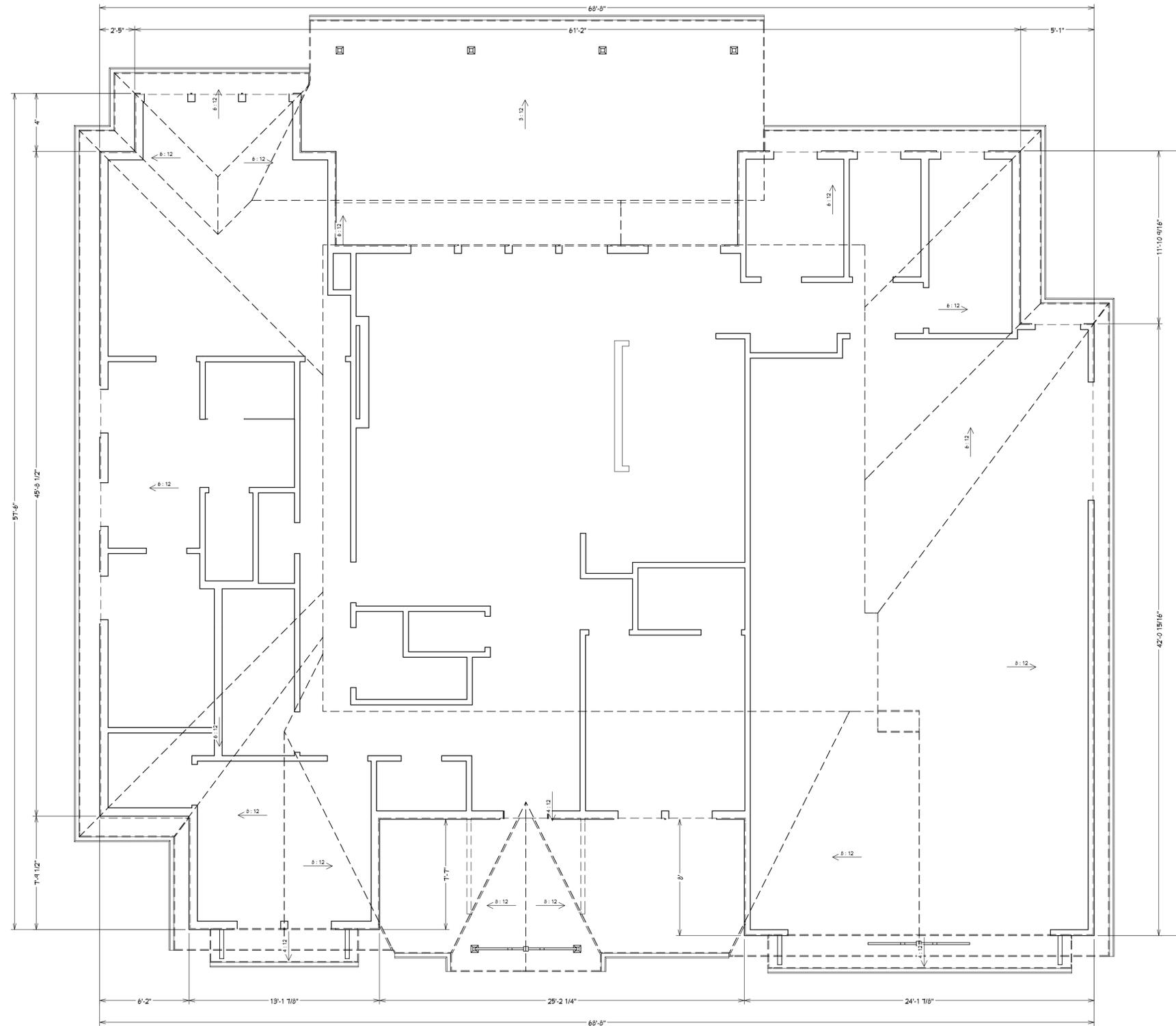
1" = 10'

SHEET:

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Level 1

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GENERAL NOTES:

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2. All linear dimensions located on exterior walls originate at outside of veneer.
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ROOF NOTES:

1. There are multiple pitches on the roof. See labels on each roof plane.
2. Roof surfaces to be composition asphalt shingle unless specified otherwise in elevations.
3. Roof surface area: ~5037 sq. ft.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
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Roof Detail

DRAWINGS PROVIDED BY:
 homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

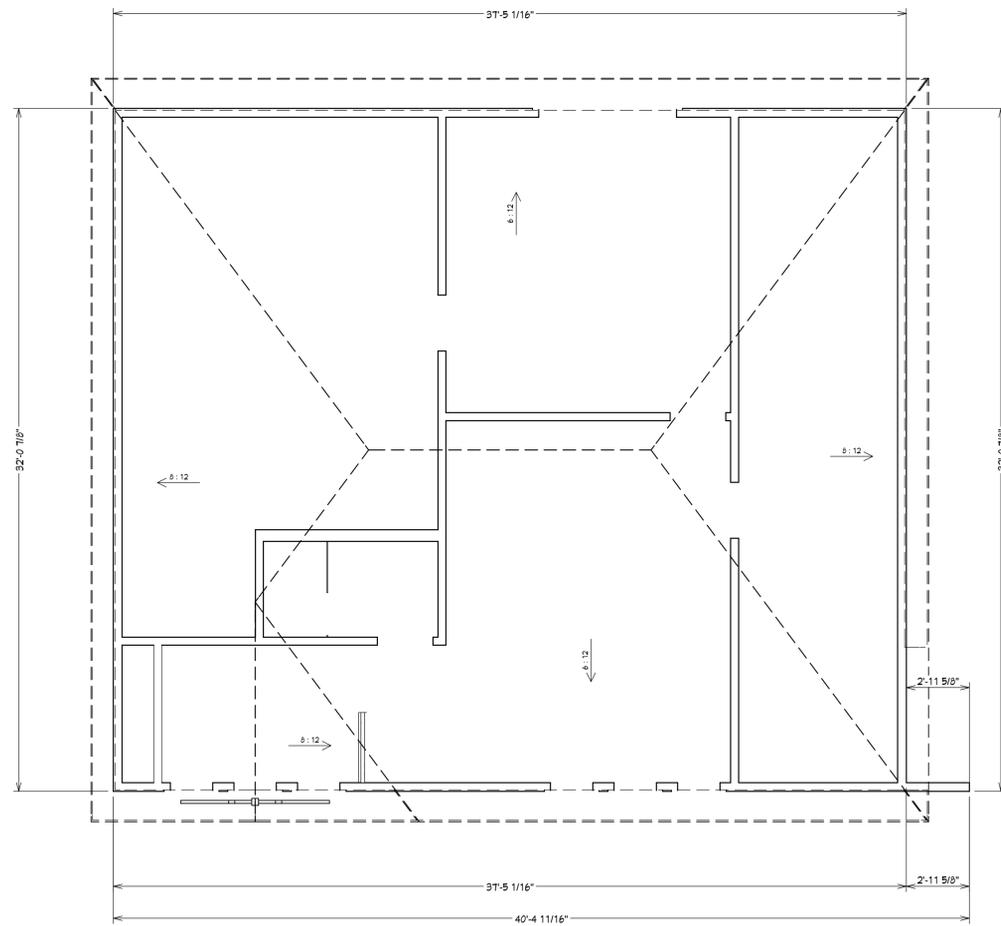
5/14/2024

SCALE:

1/4" = 1'

SHEET:

7



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

SEE PAGE 7



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
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Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

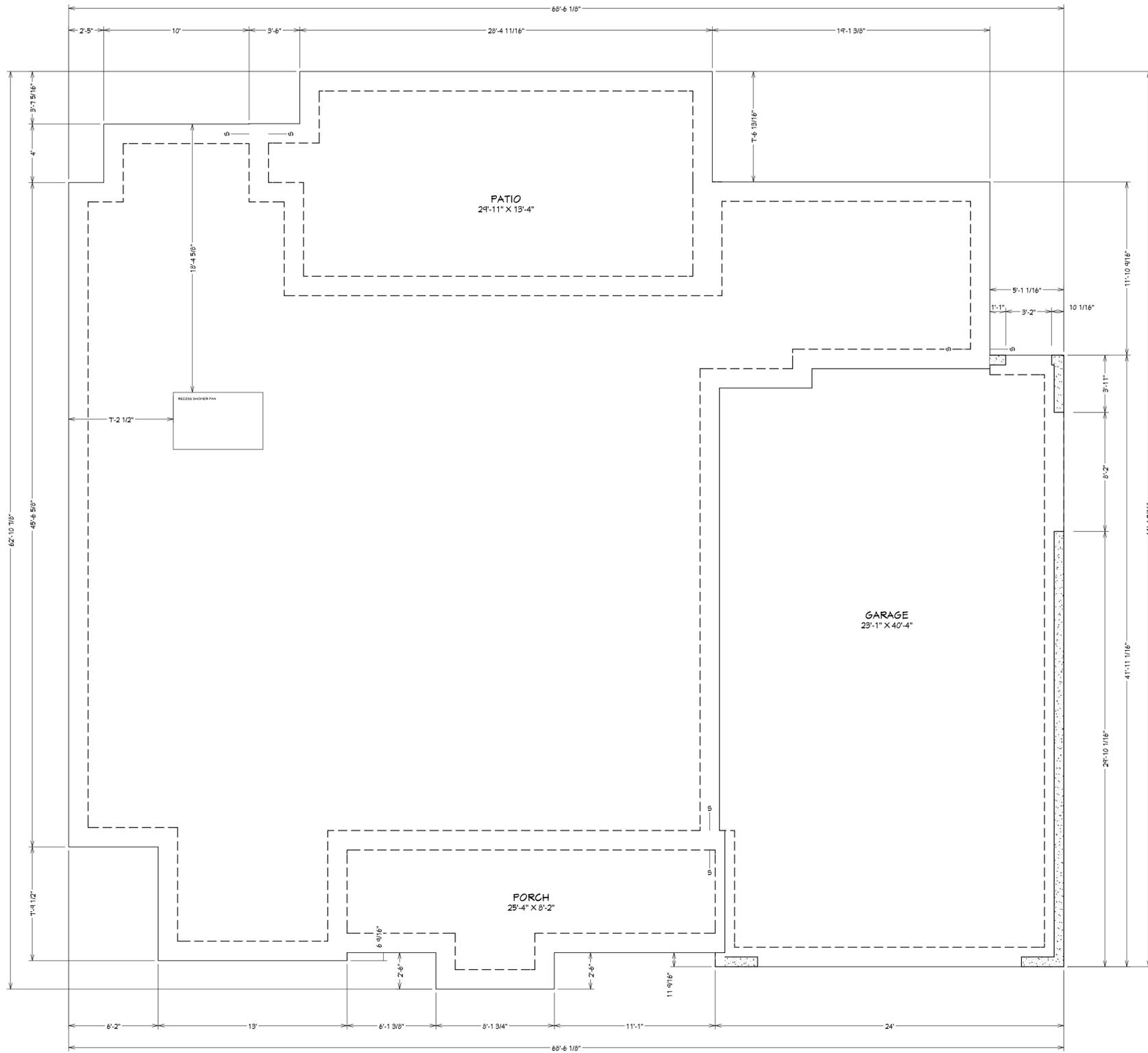
1/4" = 1'

SHEET:

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All construction must meet or exceed locally adopted building codes.



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FOUNDATION NOTES:

1. Foundation layout is for reference only. Foundation to be designed by engineer.

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DRAWN FOR:
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Foundation Detail

DRAWINGS PROVIDED BY:
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 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

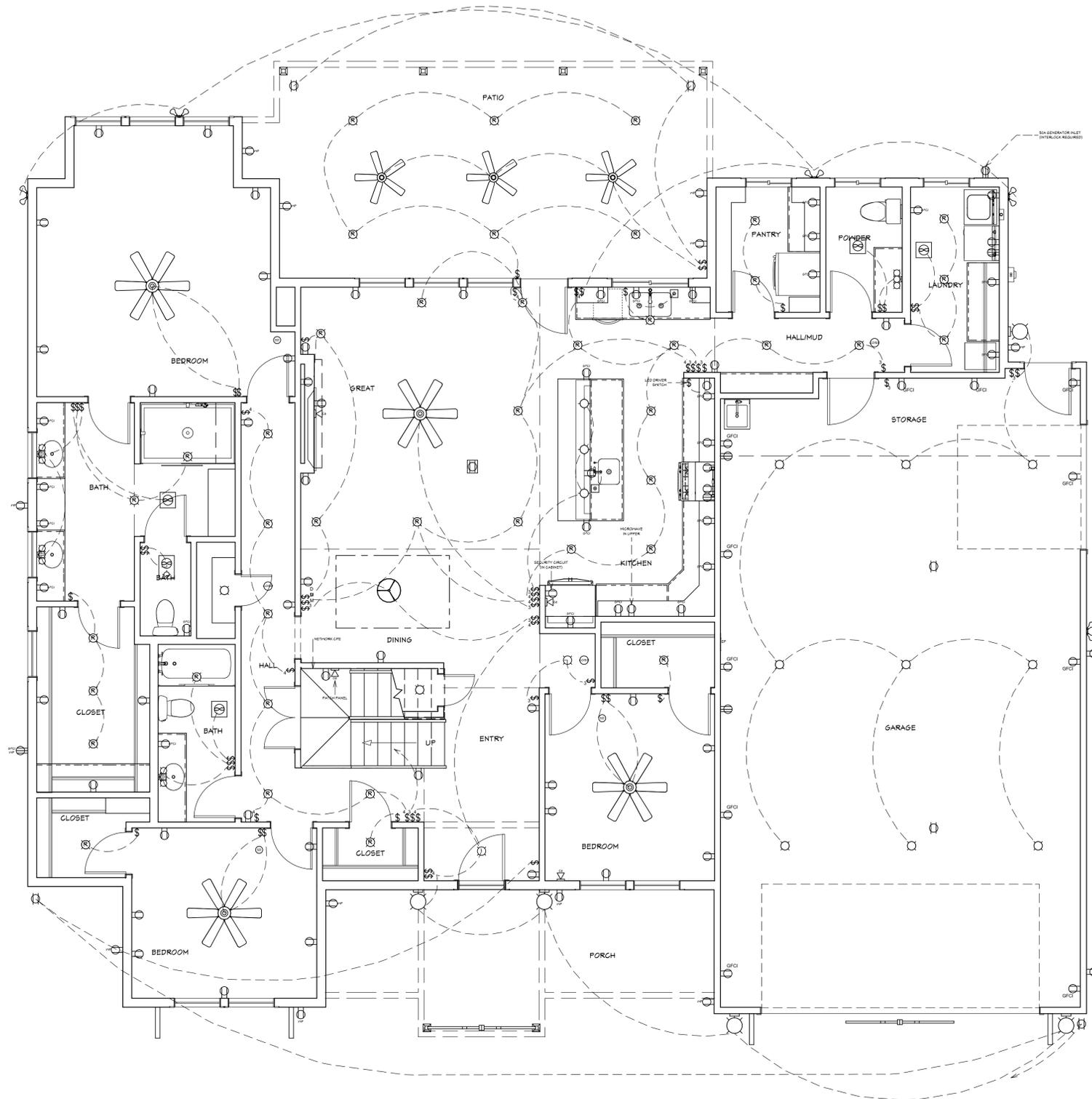
5/14/2024

SCALE:

1/4" = 1'

SHEET:

9



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
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ELECTRICAL NOTES:

1. Verify all electrical locations and fixtures with owner.
2. Arrows indicate connections between floors.
3. All exterior plugs and light fixtures to be water proof on a GFCI circuit.
4. All kitchen, laundry, and garage plugs to be on GFCI circuit.
5. Provide a separate circuit for microwave oven.
6. Provide a separate circuit for Network GPE and security system.
7. All recessed lights in exterior ceilings to be insulation cover rated.
8. Electrical outlet plate gaskets shall be installed on receptacle, switch, and any other boxes in exterior walls.
9. All exhaust to vent to outside air. All exhaust ducts to have dampers. Humidity-sensing fans recommended for bathroom and laundry room.
10. Verify location of make-up air and damper.
11. All ceiling fans and lights to be on standard switches. Ceiling fan locations should use three-conductor Romex.
12. Verify installation of whole-house surge protection system at EP with owner (recommended for variable-speed heat pump).
13. Garage lighting is lamp bases.
14. Exterior architectural and security exterior lighting controlled by interior switches. Verify location of soffit plugs.
15. Final panel location and meter base determined by electrician.
16. All electrical to meet all locally adopted building codes for height, spacing, tamper resistance, etc.

Electrical Service size- 200Amp

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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Electrical Plan

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DATE:

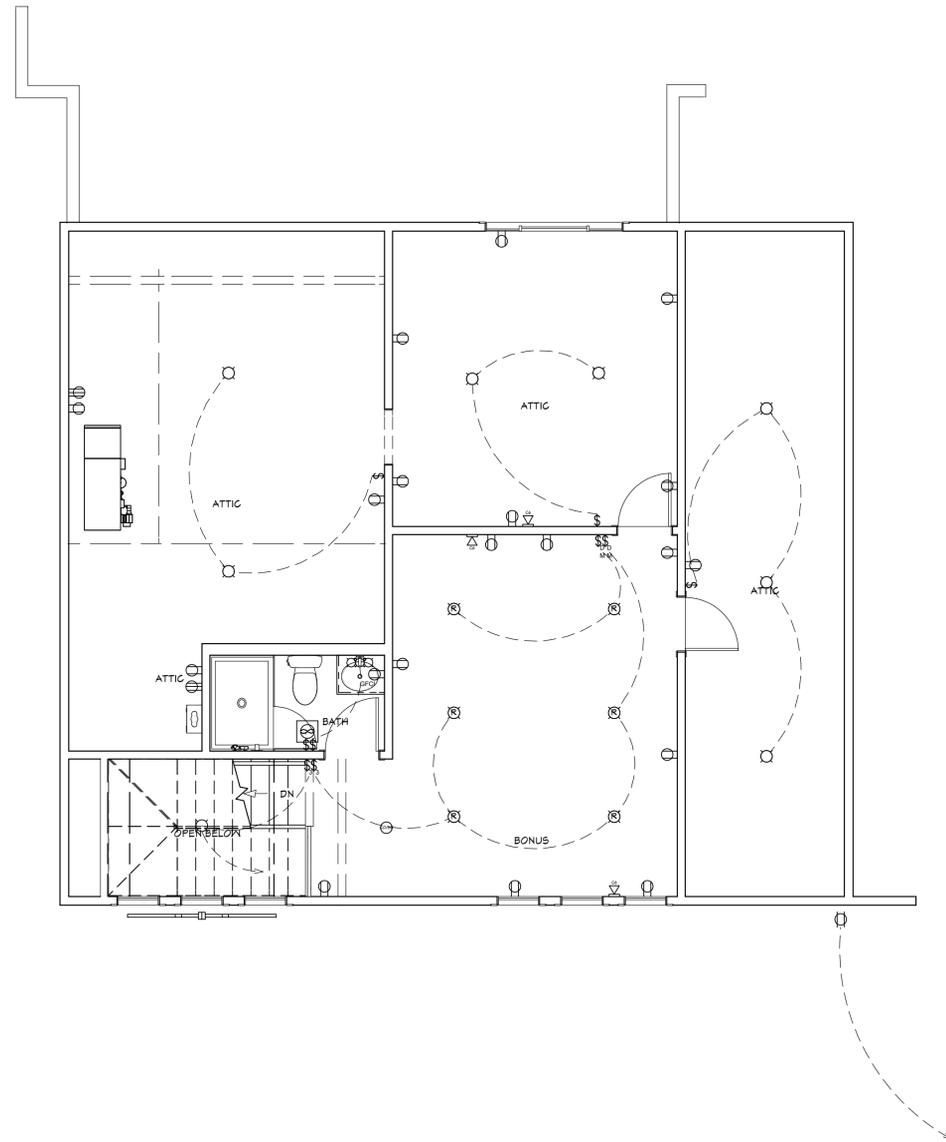
5/14/2024

SCALE:

1/4" = 1'

SHEET:

10



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

SEE PAGE 10



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
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Electrical Plan

DRAWINGS PROVIDED BY:
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DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

11

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CARPENTRY:

SAWN LUMBER DESIGN IS BASED ON THE NATIONAL DESIGN SPECIFICATION, LATEST EDITION. SAWN LUMBER SHALL CONFORM TO WEST COAST LUMBER INSPECTION BUREAU OR WESTERN WOOD PRODUCTS ASSOCIATION GRADING RULES. ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IBC TABLE 2304.9.1 OR IRC TABLE R602.3(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF "U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" OR APA PRP-108 PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSTALLATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES, UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUB-FLOORING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS. SHEAR WALL SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL EDGES. NAILING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE R602.3(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

DEPTH	COMBINATION SYMBOL	SPECIES	USE
ALL	24F - V4	DF/DF	(SIMPLE SPAN)
ALL	24F - V8	DF/DF	(CONT. OR CANTILEVER)

PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS. THE JOIST MANUFACTURER SHALL VISIT JOB SITE AS REQUIRED AND VERIFY THE PROPER INSTALLATION OF JOISTS IN WRITING TO THE ARCHITECT/ENGINEER. PREMANUFACTURED WOOD JOIST ALTERNATES WILL BE CONSIDERED, PROVIDED THE ALTERNATE IS COMPATIBLE WITH THE LOAD CAPACITY, STIFFNESS, DIMENSIONAL, AND FIRE RATING REQUIREMENTS OF THE PROJECT, AND IS ICBO APPROVED.

LUMBER SPECIES:

- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
- B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
- C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
- D. ALL STUDS TO BE DF#2 OR BETTER.
- E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 ROOF SHEATHING SHALL BE 1/2" CDX INT-APA RATED 32/16.
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
 FLOOR SHEATHING SHALL BE 3/4" T & G INT-APA RATED OSB.
- F. '1' JOISTS SHALL BE MANUFACTURED BY TRUS JOIST OR ENGINEER APPROVED EQUAL.
- G. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.

DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

FRAMING NOTES:

PROVIDE DOUBLE JSTS. UNDER ALL WALLS RUNNING PARALLEL TO JOISTS.

PROVIDE POSITIVE VENTILATION AT EA. END OF EA. RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12.

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

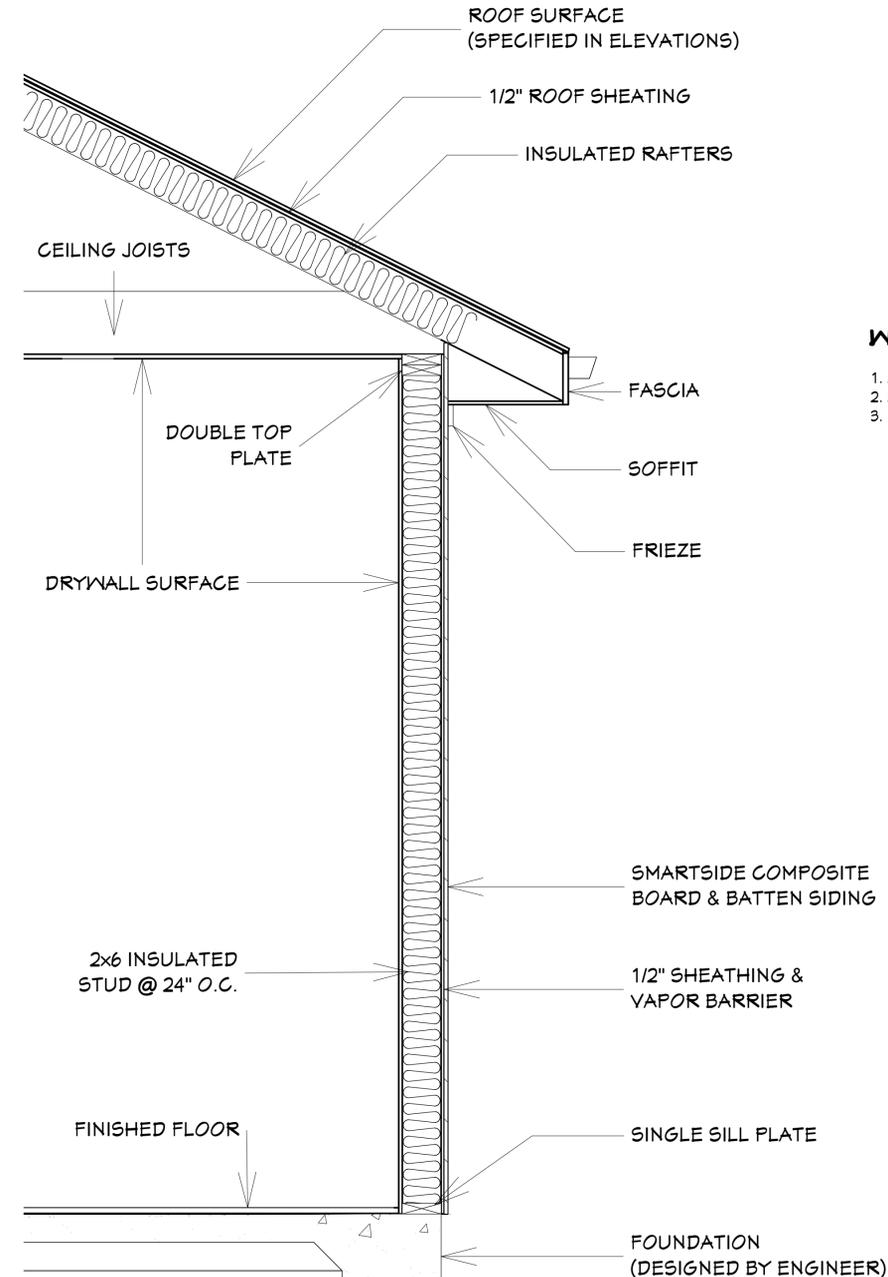
STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

34" MIN. HEIGHT GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 24" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

EXTERIOR SPIRAL STAIRS TO BE FABRICATED AND INSTALLED PER THE MFG. INSTRUCTIONS.



GENERAL NOTES:

- 1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
- 2. All linear dimensions located on exterior walls originate at outside of veneer.
- 3. All linear dimensions located on interior walls originate at framing layer.

WALL DETAIL NOTES:

- 1. Level 1 exterior walls 2x6 @ 24" O.C.
- 2. Level 2 exterior walls 2x4 @ 16" O.C.
- 3. Foam insulated walls.

SHEET INDEX	
1	Project Overview
2	Floor Plan Dimensioned
3	Floor Plan Dimensioned
4	Exterior Elevations
5	Exterior Elevations
6	Wall Section Details
7	Roof Detail
8	Roof Detail
9	Foundation Detail
10	Electrical Plan
11	Electrical Plan
12	Plot Plan



REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Wall Section Details

Drawings Provided By:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 1'

SHEET:

6

HIGHWOOD ADDITION
VOL. 50, PG. 618
D.R.R.C.T.

BLOCK 14

LOT 4

LOT 5

LOT 6

1/2" I.R.F.
(CONTROL MONUMENT)

3/8" I.R.F.
0.8' NORTH
OF PLAT COR.

15' ALLEY (UNIMPROVED)
EAST 109.00'

1/2" I.R.S.

EAST
112.15'

1/2" I.R.S.

0.7'±

5.5'

12.4'

FRAME
SHED

12.2'

CHAIN LINK
FENCE

0.6'

PROPERTY LINE ALONG FENCE AS CALLED BY PLAT
N 01'00"00" W 110.00'

LOT 2

LOT 1

DAMP CANUP, ET UX
VOL. 149, PG. 140
D.R.R.C.T.

1/2" I.R.S.

WEST 109.00'

1/2" I.R.S.

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PRIVATE DRIVE

STREET EXITS

WEST KAUFMAN STREET
(60' R.O.W.)
(ASPHALT PAVING)



TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:
This is to certify that I have, this date, made a careful and accurate survey
on the ground of property located on Kaufman Street in the City of
Rockwall, Texas, described as follows:

Lot 2 of REPLAT OF PART OF BLOCK "26" IN THE LOWE AND ALLEN ADDITION,
an addition to the City of Rockwall, Rockwall County, Texas, according to the
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"THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE
FLOOD PLAIN MAP OF THE CITY OF ROCKWALL COMMUNITY PANEL
NO. 480547 0005 C. MAP DATED 6/16/92 (ZONE "X")."

THERE ARE NO ENCROACHMENTS, CONFLICTS OR PROTUSIONS, EXCEPT AS SHOWN.

The plat hereon is a representation of an on the ground survey as dated thereabove, the
lines and dimensions of said property being indicated, the size, location and type of buildings
and improvements are as shown, all improvements being within the boundaries of the property
set back from property lines the distance indicated, all easements and other matters of record
of which I have been advised are as shown hereon. This survey was performed in connection
with the transaction described in C.F. No. 200007710 of Rockwall County Abstract & Title Company.
Use of this survey for any other purpose or by any other parties shall be at their own risk and
the undersigned is not responsible to any others for any loss resulting therefrom.

Registered Professional
Land Surveyor

[Signature]

Daniel A. Smith, R.P.L.S. No. 4645

1" PIPE END.
(CONTROL MONUMENT)

Daniel A. Smith Land Surveying, Inc.
309 N. GALLOWAY, SUITE 107
Mesquite, Texas 75149
(972) 216-3334 fax (972) 216-8922

Job No. 4872-B Scale: 1" = 20'
Date: 07/25/00 Drawn by: AWK



Generated by REScheck-Web Software
Compliance Certificate

Project Rockwall510

Energy Code: **2021 IECC**
 Location: **Rockwall, Texas**
 Construction Type: **Single-family**
 Project Type: **New Construction**
 Conditioned Floor Area: **2,602 ft2**
 Glazing Area: **21%**
 Climate Zone: **3 (2701 HDD)**
 Permit Date:
 Permit Number:
 All Electric: **false**
 Is Renewable: **false**
 Has Charger: **false**
 Has Battery: **false**
 Has Heat Pump: **false**

Construction Site:
 510 W Kaufman
 Rockwall, Texas

Owner/Agent:
 New Construction

Designer/Contractor:
 Architectural Plans

Compliance: Passes using UA trade-off

Compliance: **3.3% Better Than Code** Maximum UA: **301** Your UA: **291** Maximum SHGC: **0.25** Your SHGC: **0.25**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling area of the home forming the top of the structure's insulation envelope: Flat Ceiling or Scissor Truss	2,278	38.0	0.0	0.030	0.026	68	59
Wall area of the home forming the sides of the structure's insulation envelope: Wood Frame, 16in. o.c.	2,105	19.0	0.0	0.060	0.060	97	97
Energy efficient door unit: Solid Door (under 50% glazing)	24			0.180	0.300	4	7
20 min fire door unit: Solid Door (under 50% glazing)	24			0.180	0.300	4	7
Energy efficient door unit: Glass Door (over 50% glazing) SHGC: 0.25	24			0.290	0.300	7	7
Window area of the home using energy efficient units: Vinyl Frame, 2 Pane w/ Low-E SHGC: 0.25	412			0.270	0.300	111	124

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Slab perimeter of home forming bottom of insulation envelope: Slab-On-Grade (Unheated) Insulation depth: 4.0' Insulation position: Horizontal Insulation	206		10.0	0.640	0.700	0	0

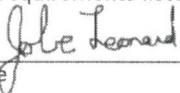
Additional Efficiency Package(s)

Required: 1 Proposed: 1

Description	Credits
Efficient HVAC Performance	1.0

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2021 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Jobe Leonard _____
 Name - Title

Signature  _____
 Date 6/7/24



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 510 W. Kaufman St Rockwall, TX 75087

SUBDIVISION Lowe & Allen Block LOT 20 BLOCK -

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____

CURRENT USE _____

PROPOSED ZONING _____

PROPOSED USE Single Family Residential

ACREAGE .27

LOTS [CURRENT] _____

LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Paul & Diogelina Carbow

APPLICANT _____

CONTACT PERSON Paul Carbow

CONTACT PERSON _____

ADDRESS 7137 Lanyon dr

ADDRESS _____

CITY, STATE & ZIP Dallas, TX 75227

CITY, STATE & ZIP _____

PHONE 469-623-2192

PHONE _____

E-MAIL pcarbow@dallasisd.org

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

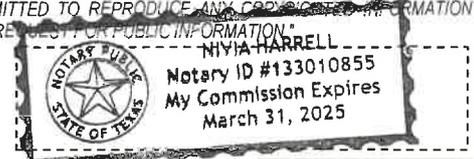
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Carbow [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July, 2024

OWNER'S SIGNATURE Paul Carbow

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES _____



Z2024-031: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision 510 W. Kaufman Street.

0 12.5 25 50 75 100 Feet

SF-10

W KAUFMAN ST

SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

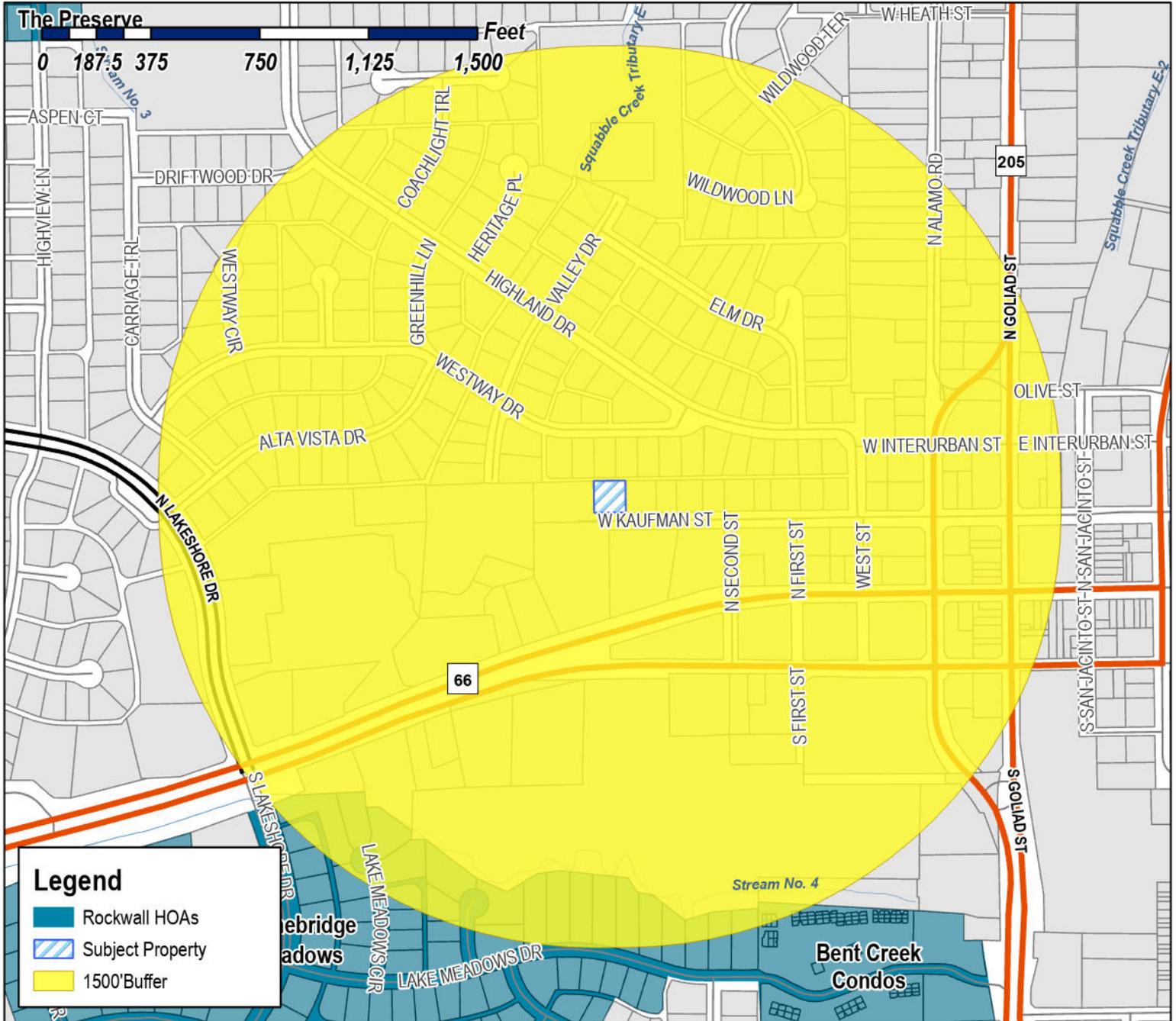




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Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street

Date Saved: 7/12/2024
 For Questions on this Case Call (972) 771-7745

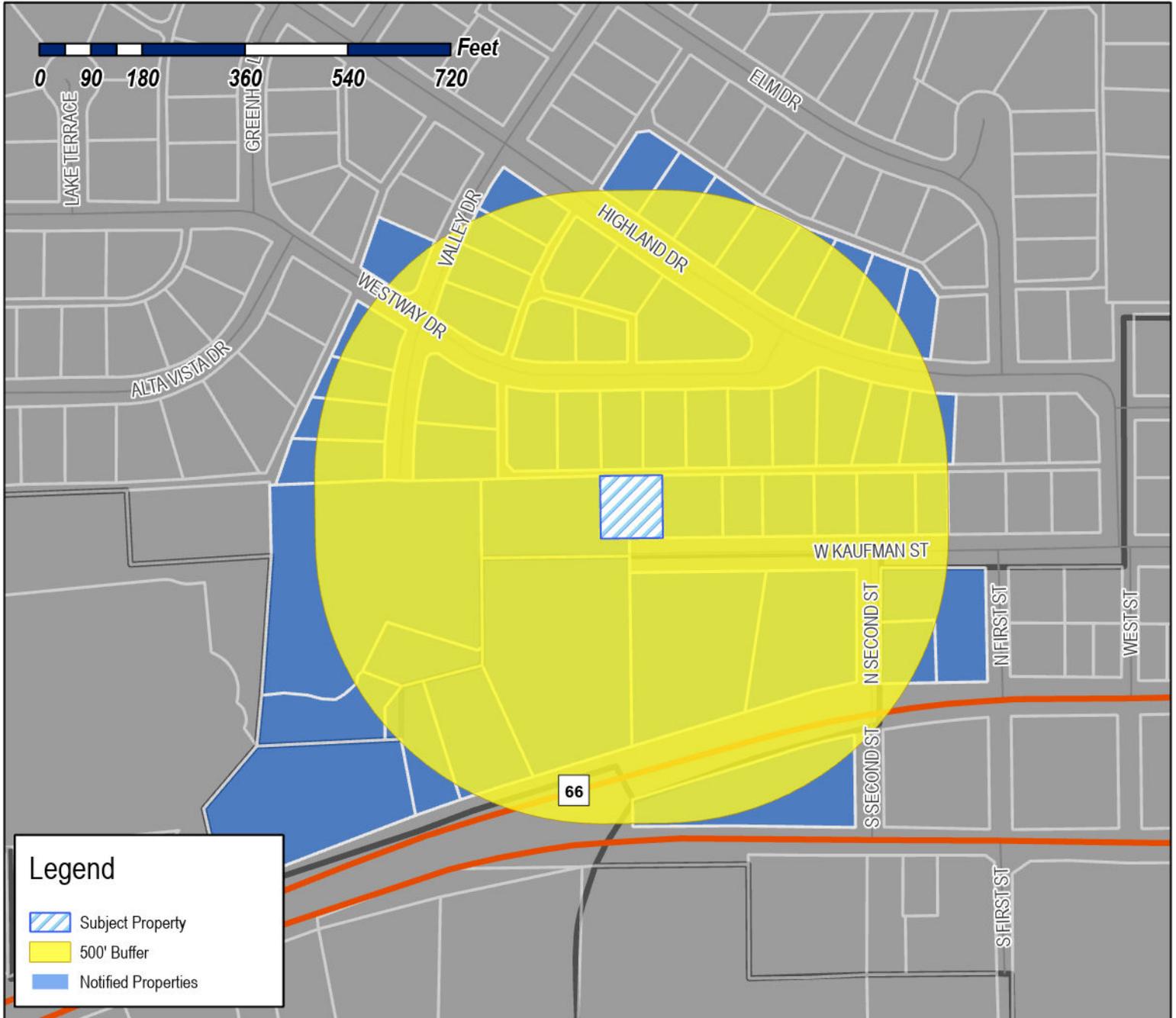




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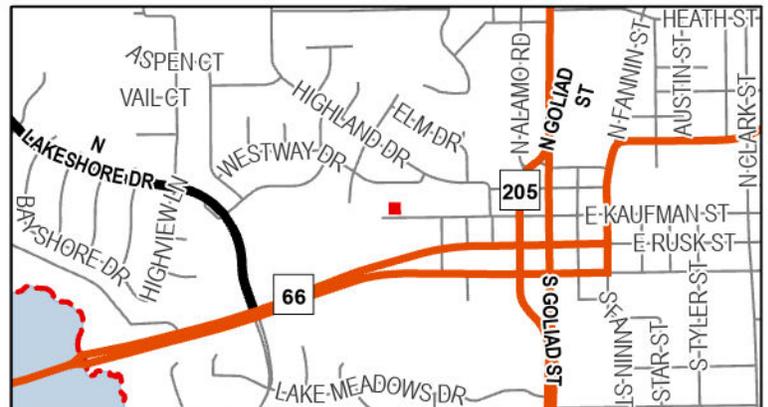
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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street



Date Saved: 7/12/2024

For Questions on this Case Call: (972) 771-7745

SPARKS ROBERT & TANA
103 N 1ST ST
ROCKWALL, TX 75087

ASHLEY CHRISTOPHER H
1107 BAY SHORE DRIVE
ROCKWALL, TX 75087

GILLESPIE RICHARD M AND DONNA M
1130 SIERRA PASS
ROCKWALL, TX 75087

RADNEY JAMES AND PATTI
1972 CR 2296
QUINLAN, TX 75474

LINDSEY NOEL
201 VALLEY DR
ROCKWALL, TX 75087

GARRISON DAVID C AND MICHEL J
202 VALLEY DR
ROCKWALL, TX 75087

MCELROY LEAH KIMBERLY
203 VALLEYB DR
ROCKWALL, TX 75087

PHIPPS RICKIE LYNN AND
204 VALLEY DRIVE
ROCKWALL, TX 75087

RSIDENT
205 VALLEY DR
ROCKWALL, TX 75087

MILLS KAY SUSAN
207 VALLEY DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DR
ROCKWALL, TX 75087

VISTAGE PROPERTIES LLC
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

ALTA VISTA BNB LLC
2701 WHISPERING OAKS
ROCKWALL, TX 75087

RSIDENT
301 VALLEY DR
ROCKWALL, TX 75087

PAINTER MICAH
301 VALLEY DRIVE
ROCKWALL, TX 75087

GREENAWALT M GENE & CLAUDINE
302 VALLEY DR
ROCKWALL, TX 75087

CHAMBERLAIN MARCUS P
304 VALLEY DR
ROCKWALL, TX 75087

EDMINSON JACOB K AND SUSAN C
306 VALLEY DR
ROCKWALL, TX 75087

KLEPPER LINDA C (POLLARD)
307 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
308 VALLEY DR
ROCKWALL, TX 75087

WEBB TEDDY DOUGLAS & AURORA
308 HIGHLAND DRIVE
ROCKWALL, TX 75087

PENCE ALLEE
309 HIGHLAND DRIVE
ROCKWALL, TX 75087

GARCIA JOHN
310 HIGHLAND DRIVE
ROCKWALL, TX 75087

PEOPLES JOHN P
311 HIGHLAND DR
ROCKWALL, TX 75087

GARRETT GERRY B
312 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
313 WESTWAY DR
ROCKWALL, TX 75087

DEL CASTILLO LUIS
314 HIGHLAND DRIVE
ROCKWALL, TX 75087

HARVEY JAMES
315 WESTWAY DRIVE
ROCKWALL, TX 75087

BURTON NORVELLA KAY
316 HIGHLAND DR
ROCKWALL, TX 75087

PURNELL MICHAEL & DEBORAH
317 HIGHLAND DR
ROCKWALL, TX 75087

BUTLER PAUL DAVID
317 WESTWAY DRIVE
ROCKWALL, TX 75087

STACEY MARY
318 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
319 WESTWAY DR
ROCKWALL, TX 75087

HARRELL GRANT E
319 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
320 HIGHLAND DR
ROCKWALL, TX 75087

CONFIDENTIAL
321 HIGHLAND DR
ROCKWALL, TX 75087

RANDOLPH JILL FOX
321 WESTWAY DRIVE
ROCKWALL, TX 75087

GOODMAN MORGAN AND AMANDA
322 HIGHLAND DRIVE
ROCKWALL, TX 75087

ROGERS OLIVER G
322 WESTWAY DR
ROCKWALL, TX 75087

RICE KAREN
323 WESTWAY DRIVE
ROCKWALL, TX 75087

DAFFRON SYBIL ANNETTE
324 WESTWAY DRIVE
ROCKWALL, TX 75087

RSIDENT
325 WESTWAY DR
ROCKWALL, TX 75087

KOVAR RACHAEL A
404 WEST KAUFMAN STREET
ROCKWALL, TX 75087

PICKETT GINA
406 W KAUFMAN ST
ROCKWALL, TX 75087

ALLEN ROBERT G DDS
406 W RUSK ST
ROCKWALL, TX 75087

ROAN-NUNN MABEL PEGGY ESTATE
419 N. TEXAS ST.
EMORY, TX 75440

CANUP PAUL RICHARD AND VICTORIA ANN
REVOCABLE LIVING TRUST
PAUL RICHARD CANUP AND VICTORIA ANN
CANUP CO-TRUSTEES
4268 AIRLINE RD
LONGVIEW, TX 75605

MCVANEY JEFFREY AND MORGAN
4761 SECRET CV
ROCKWALL, TX 75032

SPAFFORD SARAH
494 DOWELL RD
ROCKWALL, TX 75032

RSIDENT
502 W KAUFMAN
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
504 W KAUFMAN
ROCKWALL, TX 75087

RSIDENT
504 W RUSK
ROCKWALL, TX 75087

RSIDENT
506 W KAUFMAN
ROCKWALL, TX 75087

BARKER FRED D & JANICE
508 WEST KAUFMAN ST
ROCKWALL, TX 75087

RSIDENT
510 W KAUFMAN ST
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
604 W RUSK
ROCKWALL, TX 75087

RUSK STREET DEVELOPMENT LP
636 HANBY LN
ROCKWALL, TX 75032

RSIDENT
702 W RUSK
ROCKWALL, TX 75087

CURBOW PAUL AND DIOSELINA
7137 LANYON DRIVE
DALLAS, TX 75227

STATE HIGHWAY DEPT
I 30 RT 3 L L LOFLAND
ROCKWALL, TX 75087

STEGER ANA WADE LIFE ESTATE &
DIANA WADE CHAPMAN, CYNDIE SUE PATRICK
& O L STEGER III
PO BOX 478
ROCKWALL, TX 75087

HIGHWOOD ADDITION
VOL. 50, PG. 618
D.R.R.C.T.

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LOT 5

LOT 6

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(CONTROL MONUMENT)

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VOL. 149, PG. 140
D.R.R.C.T.

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(60' R.O.W.)
(ASPHALT PAVING)



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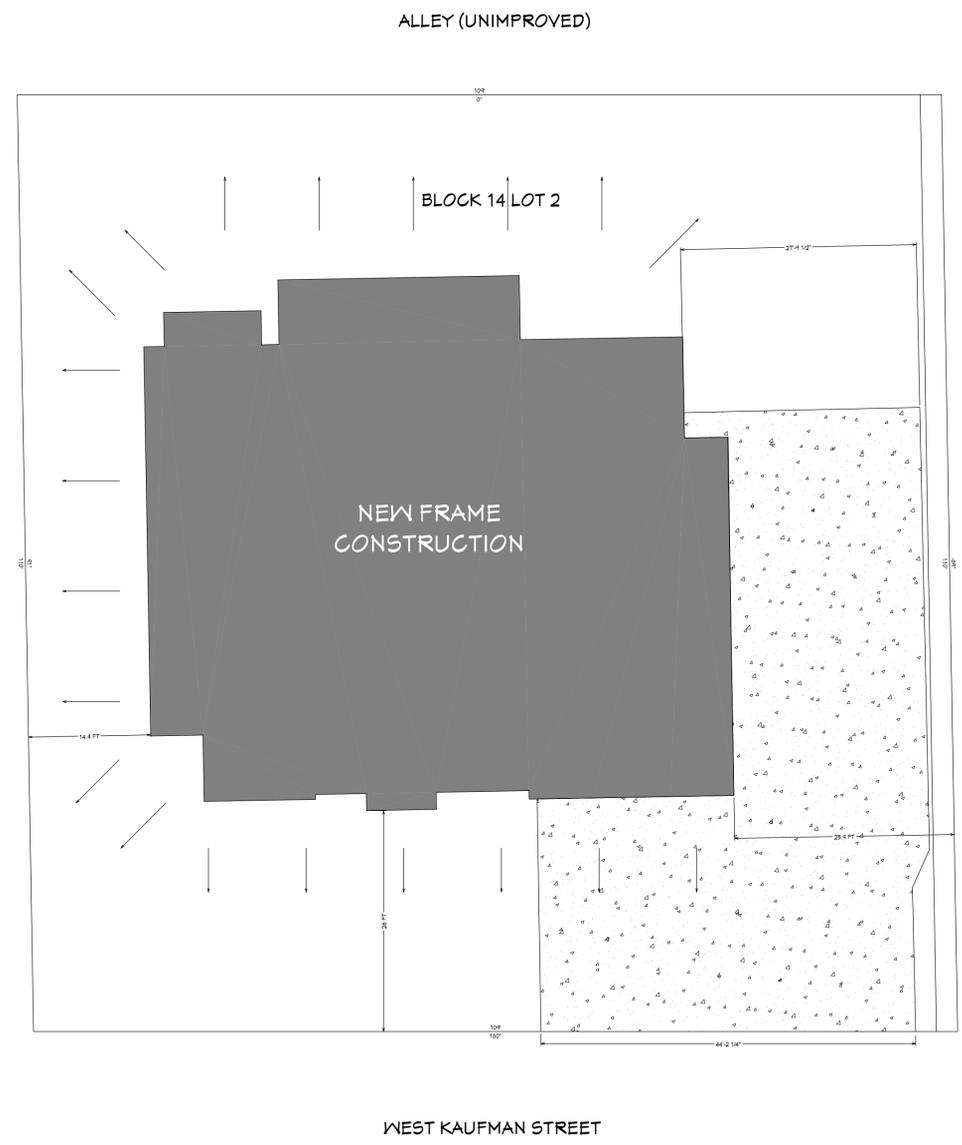
Registered Professional
Land Surveyor

Daniel A. Smith, R.P.L.S. No. 4645

1" PIPE END.
(CONTROL MONUMENT)

Daniel A. Smith Land Surveying, Inc.
309 N. GALLOWAY, SUITE 107
Mesquite, Texas 75149
(972) 216-3334 fax (972) 216-8922

Job No. 4872-B Scale: 1" = 20'
Date: 07/25/00 Drawn by: AWK



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2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 10'

SHEET:

12

SHEET INDEX	
1	Project Overview
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All construction must meet or exceed locally adopted building codes.



www.homemadedesign.net

NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

4

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

1. All exterior columns/posts to be built from 2x4 studs, wrapped by Zip System wall sheathing.
2. All brackets, gable accent, and corbels to be cedar.
3. All corner boards, fascia, soffit, frieze & trim to be composite material.
4. Entire exterior to be SmartSide composite lap unless specified otherwise.



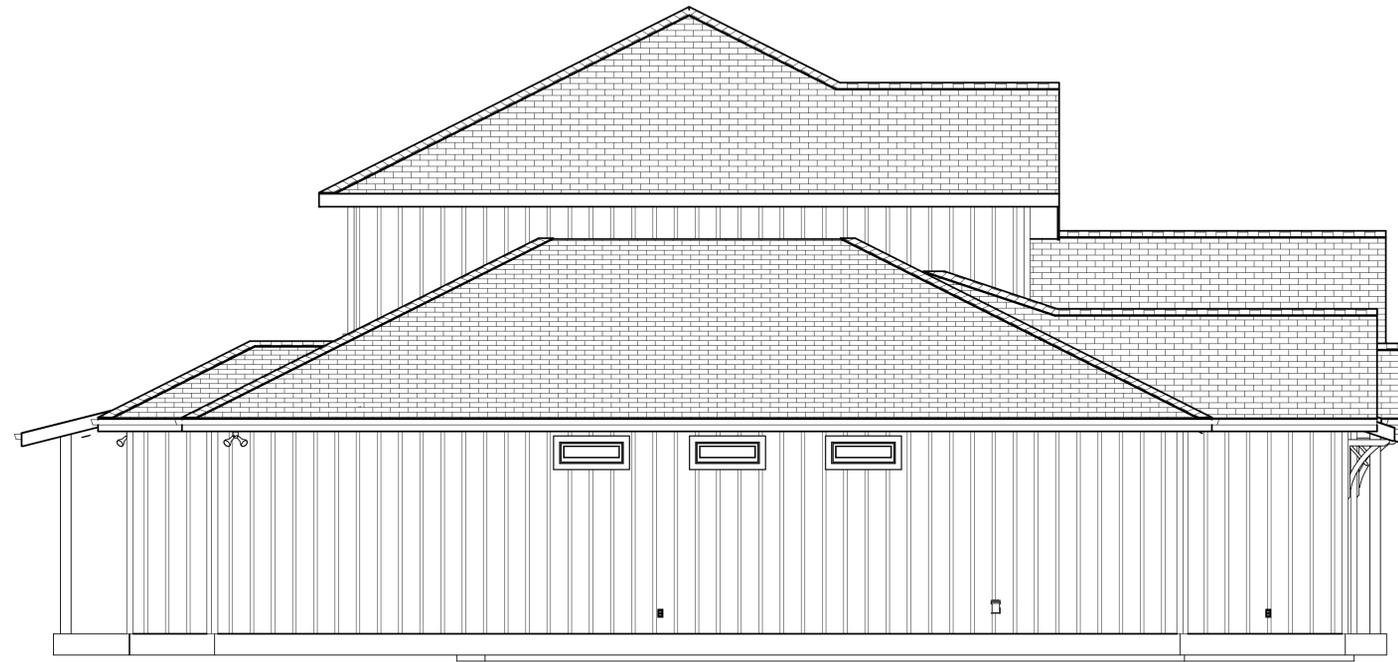
Exterior Elevation Front



Exterior Elevation Back

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11	Electrical Plan
12	Plot Plan



Exterior Elevation Left



Exterior Elevation Right

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

SEE PAGE 4



NUMBER	DATE	REVISED BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

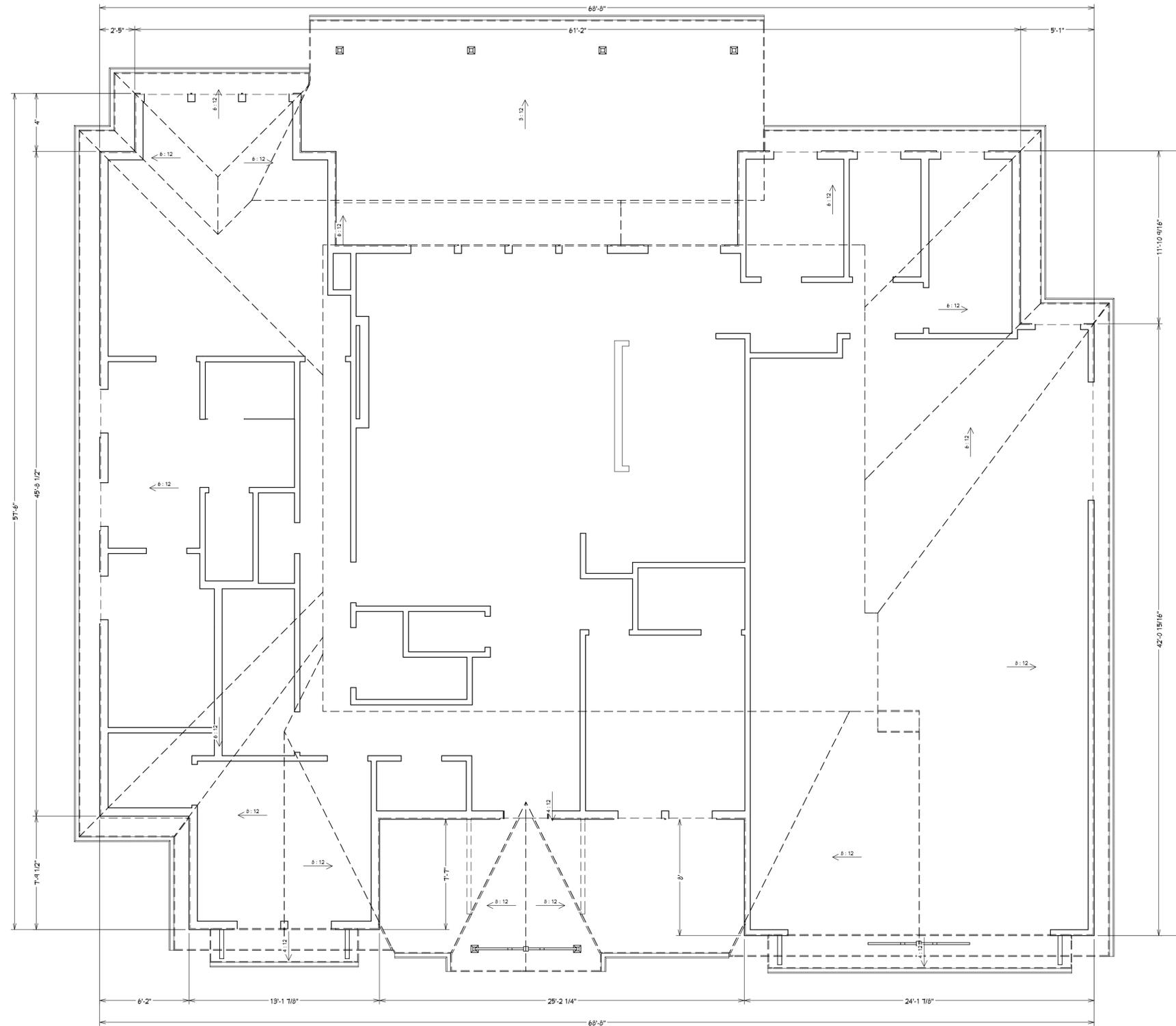
SCALE:

1/4" = 1'

SHEET:

5

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3	Floor Plan Dimensioned
4	Exterior Elevations
5	Exterior Elevations
6	Wall Section Details
7	Roof Detail
8	Roof Detail
9	Foundation Detail
10	Electrical Plan
11	Electrical Plan
12	Plot Plan



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

1. There are multiple pitches on the roof. See labels on each roof plane.
2. Roof surfaces to be composition asphalt shingle unless specified otherwise in elevations.
3. Roof surface area: ~5037 sq. ft.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
 homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

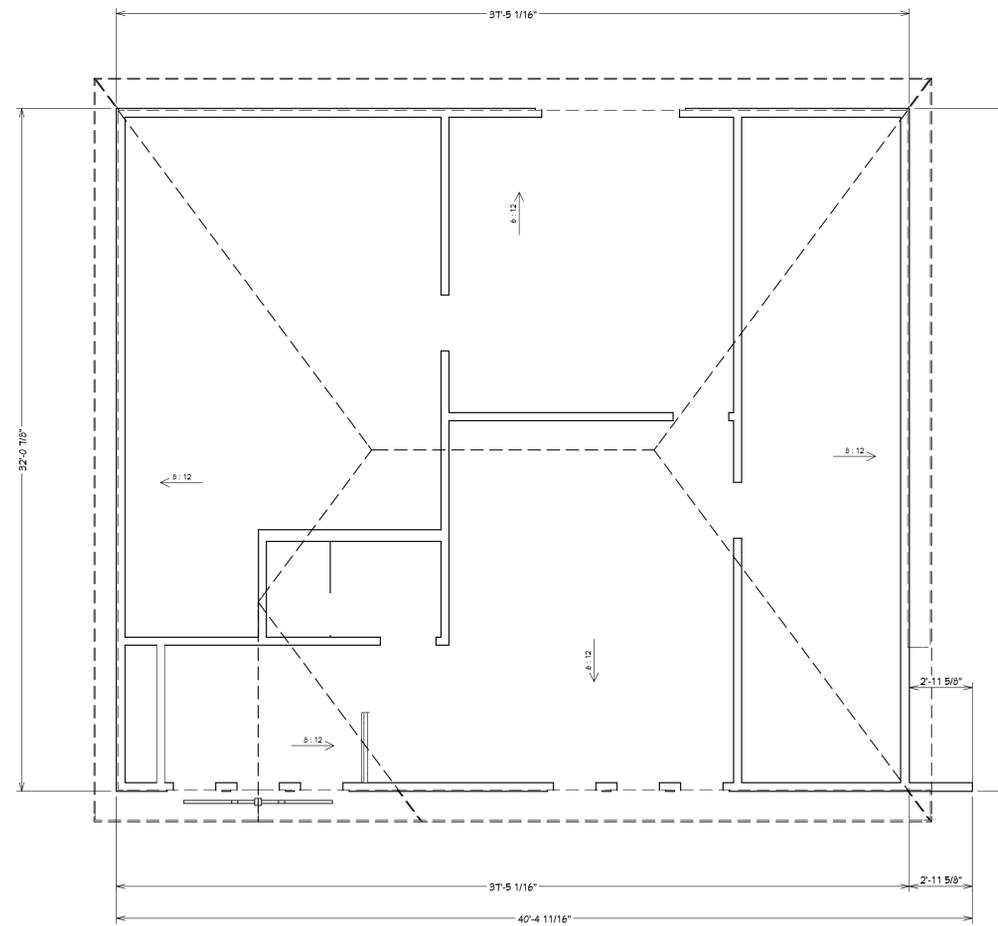
5/14/2024

SCALE:

1/4" = 1'

SHEET:

7



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

SEE PAGE 7



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

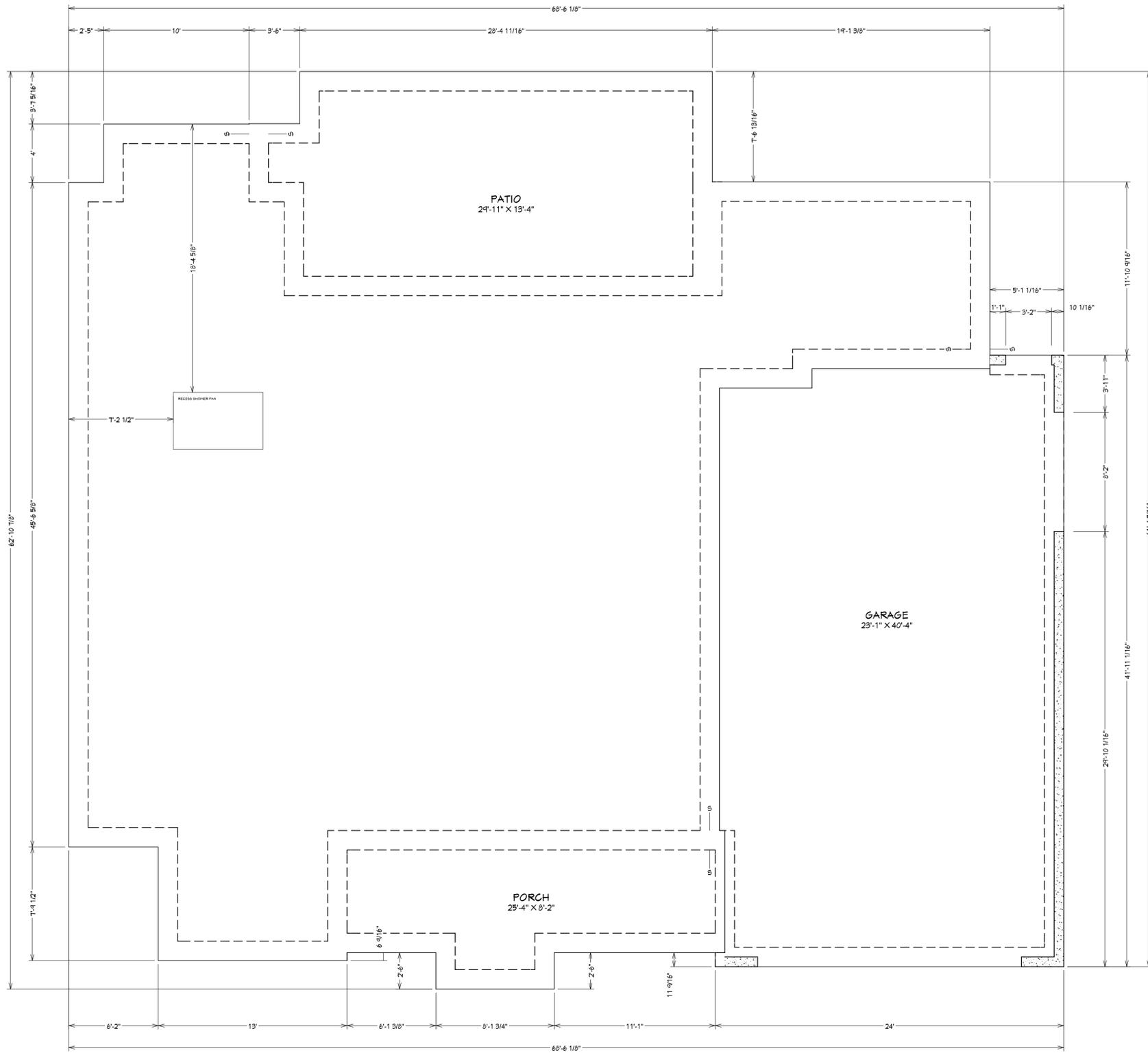
1/4" = 1'

SHEET:

8

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12	Plot Plan

All construction must meet or exceed locally adopted building codes.



All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

FOUNDATION NOTES:

1. Foundation layout is for reference only. Foundation to be designed by engineer.

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11	Electrical Plan
12	Plot Plan



REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Foundation Detail

DRAWINGS PROVIDED BY:
 homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

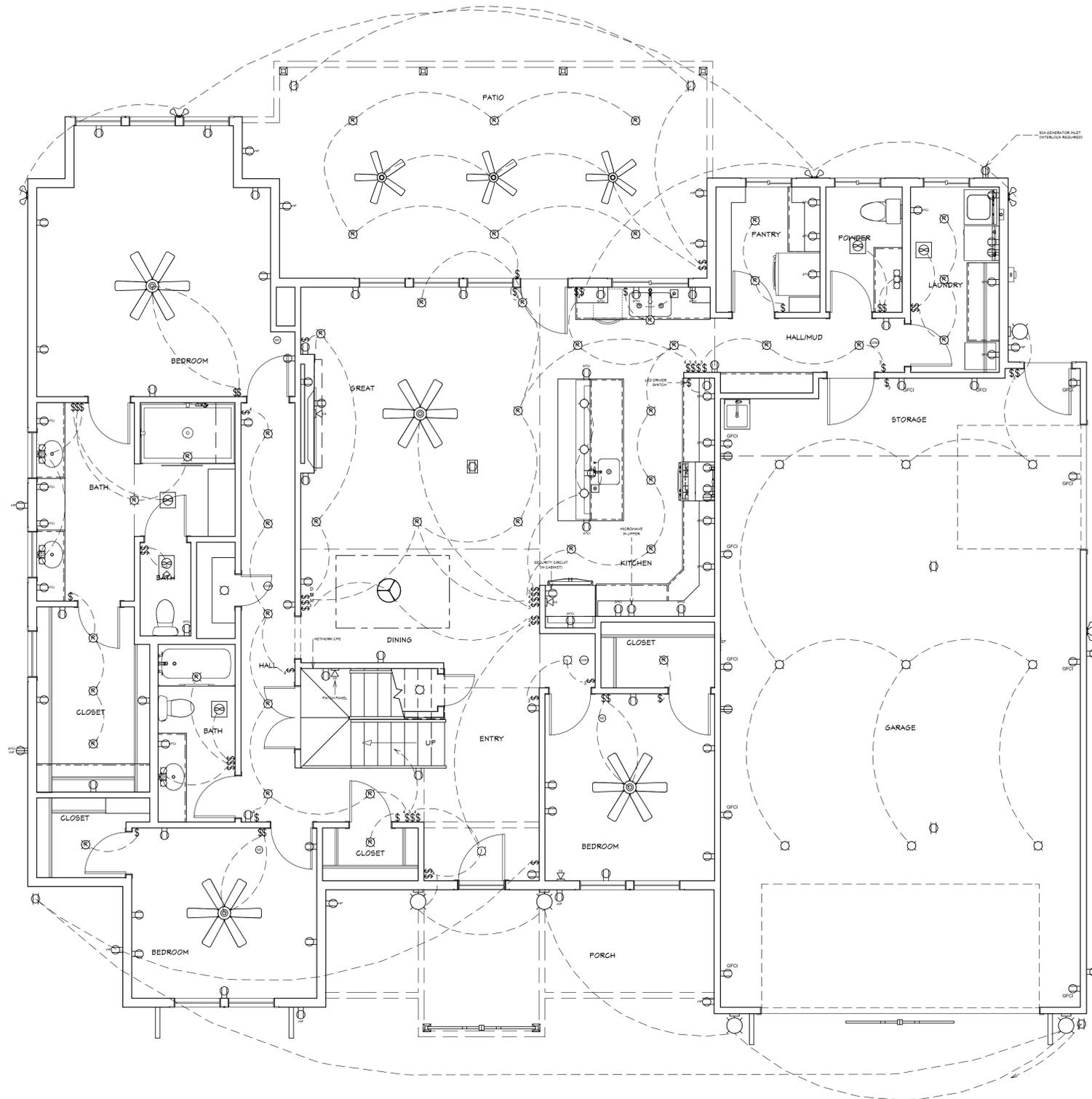
5/14/2024

SCALE:

1/4" = 1'

SHEET:

9



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

1. Verify all electrical locations and fixtures with owner.
2. Arrows indicate connections between floors.
3. All exterior plugs and light fixtures to be water proof on a GFCI circuit.
4. All kitchen, laundry, and garage plugs to be on GFCI circuit.
5. Provide a separate circuit for microwave oven.
6. Provide a separate circuit for Network GPE and security system.
7. All recessed lights in exterior ceilings to be insulation cover rated.
8. Electrical outlet plate gaskets shall be installed on receptacle, switch, and any other boxes in exterior walls.
9. All exhaust to vent to outside air. All exhaust ducts to have dampers. Humidity-sensing fans recommended for bathroom and laundry room.
10. Verify location of make-up air and damper.
11. All ceiling fans and lights to be on standard switches. Ceiling fan locations should use three-conductor Romex.
12. Verify installation of whole-house surge protection system at EP with owner (recommended for variable-speed heat pump).
13. Garage lighting is lamp bases.
14. Exterior architectural and security exterior lighting controlled by interior switches. Verify location of soffit plugs.
15. Final panel location and meter base determined by electrician.
16. All electrical to meet all locally adopted building codes for height, spacing, tamper resistance, etc.

Electrical Service size- 200Amp

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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REVISION TABLE	NUMBER	DATE	REVISOR	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Electrical Plan

homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

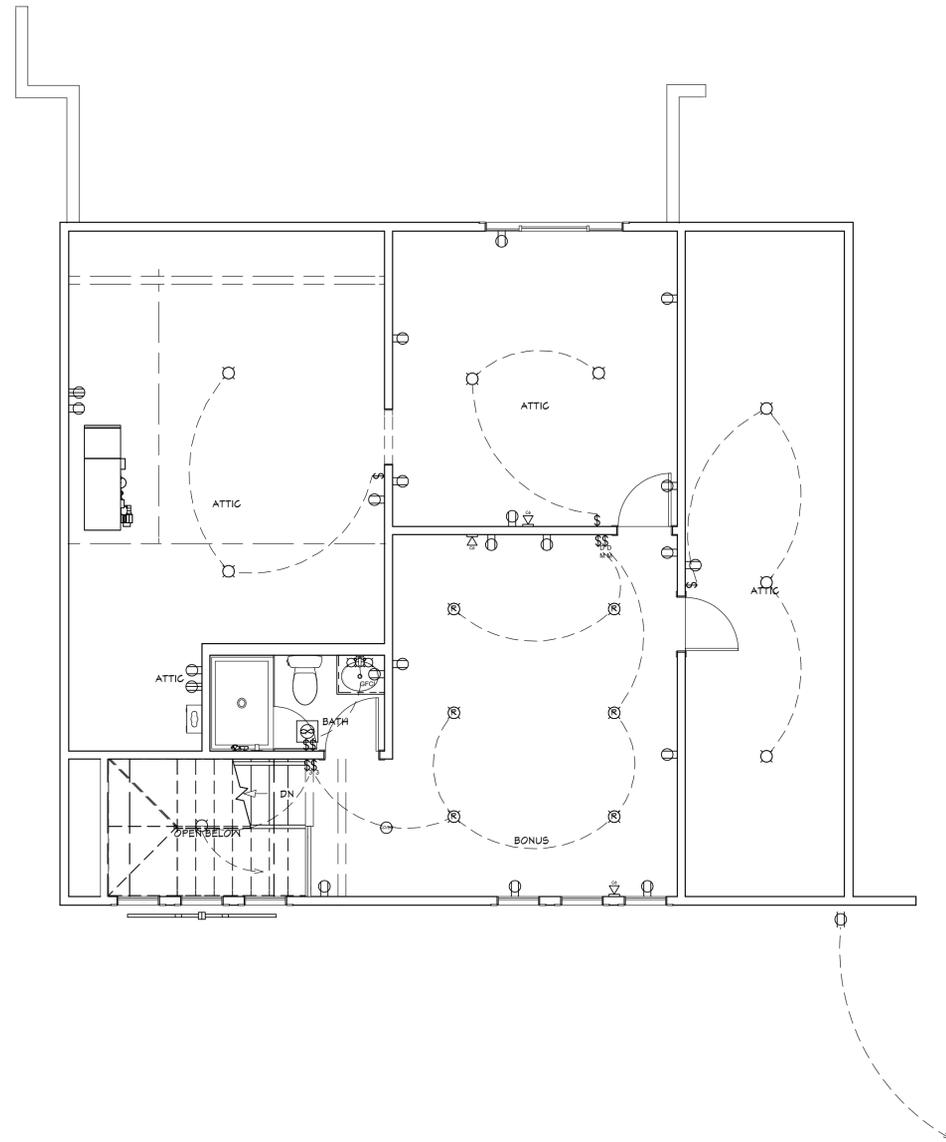
5/14/2024

SCALE:

1/4" = 1'

SHEET:

10



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

SEE PAGE 10



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Electrical Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

11

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All construction must meet or exceed locally adopted building codes.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 7/24/2024

PROJECT NUMBER: Z2024-031
PROJECT NAME: SUP for Residential Infill 510 W. Kaufman Street
SITE ADDRESS/LOCATIONS: 510 W KAUFMAN ST

CASE CAPTION: Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	07/22/2024	Approved w/ Comments

07/22/2024: Z2024-031; Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision for 510 W. Kaufman Street
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street.

I.2 For questions or comments concerning this case, please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email aguevara@rockwall.com.

M.3 For reference, include the case number (Z2024-031) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is located adjacent to the Highwood Subdivision, which is 100% developed, consists of 74 residential lots, and has been in existence since July 1, 1955.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... {and} all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 According to Subsection 04.01(B), Lots Less Than Five Acres, of Article 06, Parking and Loading, garages located in single family districts must be located 20-feet behind the front façade of the building. In this case the proposed garage is located even with the front façade of the single-family home. This will require a waiver to the requirements of the Unified Development Code (UDC).

M.7 Please review the attached Draft Ordinance prior to the July 30, 2024 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than August 6, 2024.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on August 6, 2024; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the August 13, 2024 Planning and Zoning Commission Public Hearing Meeting.

I.9 The projected City Council meeting dates for this case will be August 19, 2024 (1st Reading) and September 3, 2024 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	07/24/2024	Approved w/ Comments

- 07/24/2024:
1. Additional comments may be provided at time of building permit.
 2. House will have to have a fire sprinkler system if larger than 5,000 sf.
 3. Be aware that the property to the east is draining water onto this site.
 4. Install 5' sidewalk along the entire frontage of W. Kaufman, 2' inside the right-of-way.
 5. Maximum driveway width is 24' at the property line for a 2 car garage. You will need to tie into west kaufman street using 5' curb returns, not flares.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	07/22/2024	Approved w/ Comments

07/22/2024: IF APPROVED WILL REQUIRE A SEPARATE BUILDING PERMIT SUBMITTAL

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	07/24/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	07/22/2024	Approved

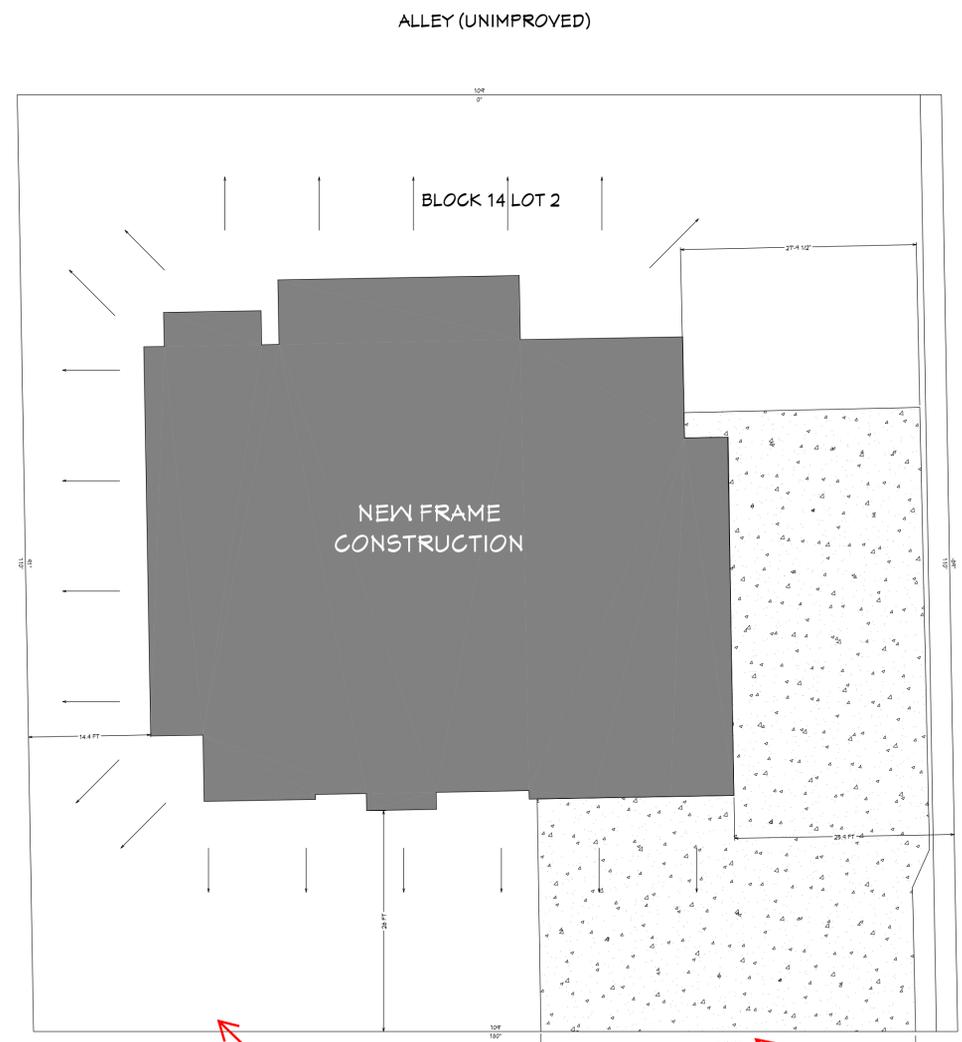
No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	07/15/2024	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	07/22/2024	Approved

No Comments



N



Additional comments may be provided at time of building permit.

House will have to have a fire sprinkler system if larger than 5,000 sf.

Be aware that the property to the east is draining water onto this site

LOT 1

WEST KAUFMAN STREET

Maximum driveway width is 24' at the property line for a 2 car garage.

You will need to tie into west kaufman street using 5' curb returns, not flares.

Install 5' sidewalk along the entire frontage of W. Kaufman, 2' inside the right-of-way

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 10'

SHEET:

12

SHEET INDEX	
1	Project Overview
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All construction must meet or exceed locally adopted building codes.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 510 W. Kaufman St Rockwall, TX 75087

SUBDIVISION Lowe & Allen Block LOT 20 BLOCK -

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____
 PROPOSED ZONING _____ PROPOSED USE Single Family Residential
 ACREAGE .27 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Paul & Dioselina Carbow APPLICANT _____
 CONTACT PERSON Paul Carbow CONTACT PERSON _____
 ADDRESS 7137 Lanyon dr ADDRESS _____
 CITY, STATE & ZIP Dallas, TX 75227 CITY, STATE & ZIP _____
 PHONE 469-623-2192 PHONE _____
 E-MAIL pcarbow@dallasisd.org E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Carbow [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July, 2024

OWNER'S SIGNATURE Paul Carbow

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Paul Harrell





Z2024-031: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision 510 W. Kaufman Street.

SF-10

W KAUFMAN ST

SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

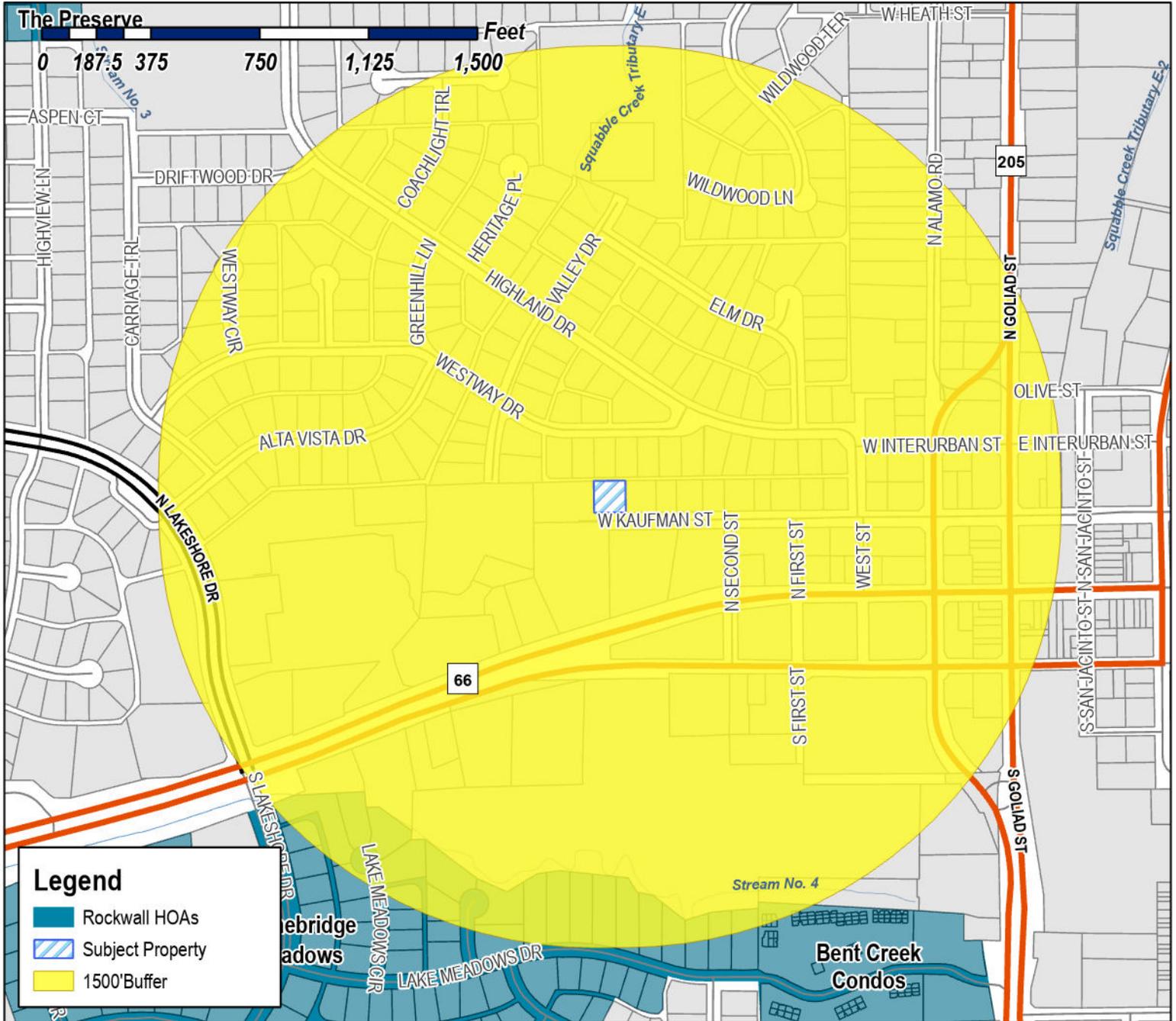




City of Rockwall

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Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street

Date Saved: 7/12/2024
 For Questions on this Case Call (972) 771-7745



From: [Guevara, Angelica](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Zavala, Melanie](#); [Ross, Bethany](#)
Bcc: [REDACTED]
Subject: Neighborhood Notification Email [Z2024-031]
Date: Wednesday, July 24, 2024 3:06:00 PM
Attachments: [Public Notice \(P&Z\).pdf](#)
[HOA Map \(07.12.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, July 26, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision at 510 W. Kaufman Street
Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

Thank you,

Angelica Guevara

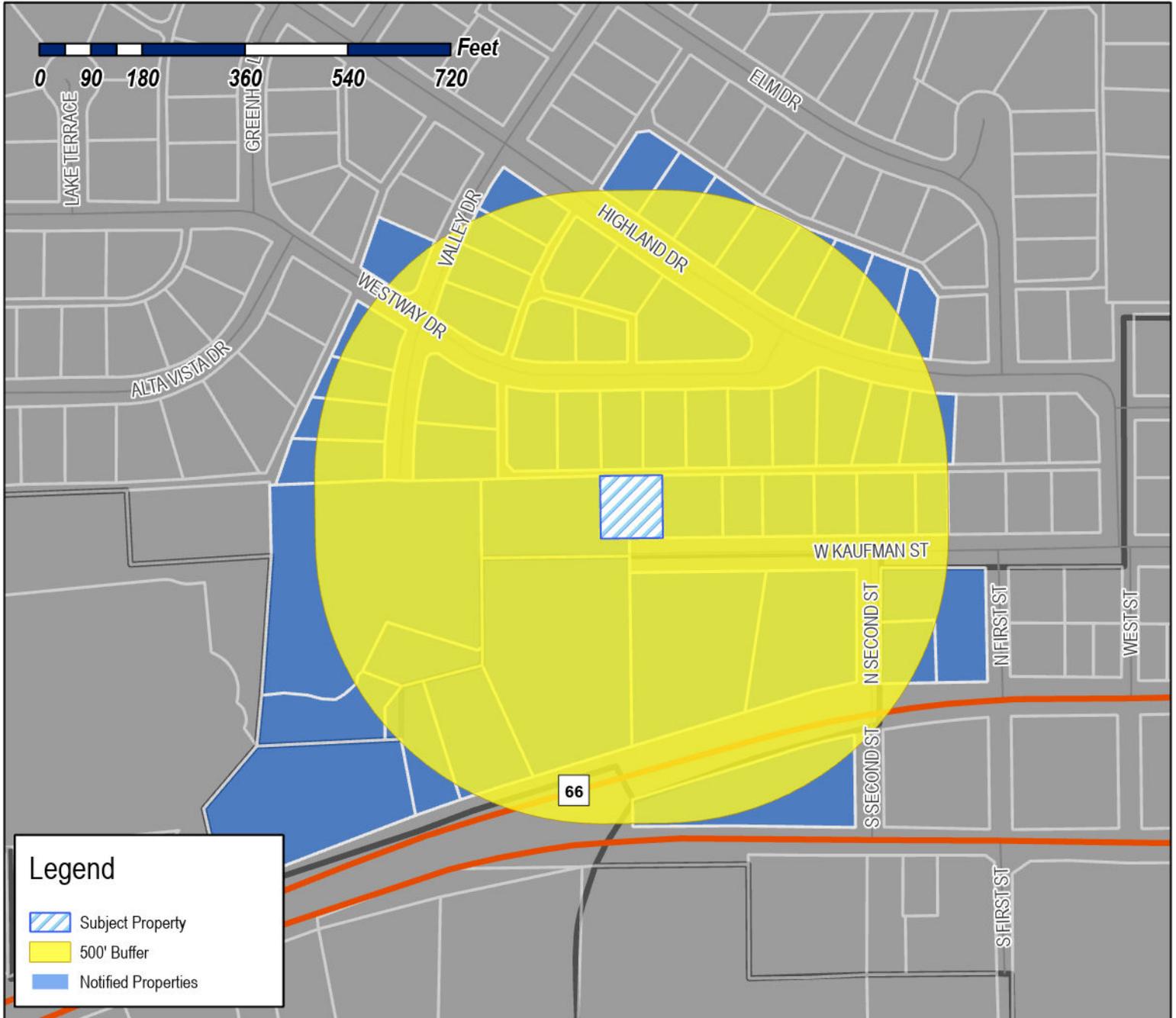
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

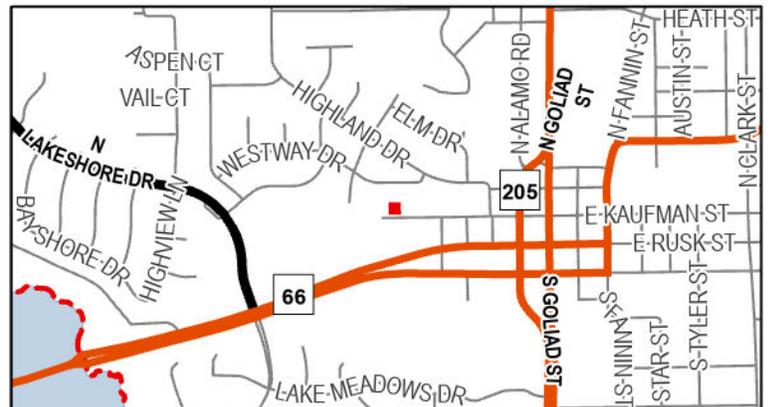
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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street



Date Saved: 7/12/2024

For Questions on this Case Call: (972) 771-7745

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 19, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name: [Grey bar]
Address: [Grey bar]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SPARKS ROBERT & TANA
103 N 1ST ST
ROCKWALL, TX 75087

ASHLEY CHRISTOPHER H
1107 BAY SHORE DRIVE
ROCKWALL, TX 75087

GILLESPIE RICHARD M AND DONNA M
1130 SIERRA PASS
ROCKWALL, TX 75087

RADNEY JAMES AND PATTI
1972 CR 2296
QUINLAN, TX 75474

LINDSEY NOEL
201 VALLEY DR
ROCKWALL, TX 75087

GARRISON DAVID C AND MICHEL J
202 VALLEY DR
ROCKWALL, TX 75087

MCCELROY LEAH KIMBERLY
203 VALLEYB DR
ROCKWALL, TX 75087

PHIPPS RICKIE LYNN AND
204 VALLEY DRIVE
ROCKWALL, TX 75087

RSIDENT
205 VALLEY DR
ROCKWALL, TX 75087

MILLS KAY SUSAN
207 VALLEY DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DR
ROCKWALL, TX 75087

VISTAGE PROPERTIES LLC
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

ALTA VISTA BNB LLC
2701 WHISPERING OAKS
ROCKWALL, TX 75087

RSIDENT
301 VALLEY DR
ROCKWALL, TX 75087

PAINTER MICAH
301 VALLEY DRIVE
ROCKWALL, TX 75087

GREENAWALT M GENE & CLAUDINE
302 VALLEY DR
ROCKWALL, TX 75087

CHAMBERLAIN MARCUS P
304 VALLEY DR
ROCKWALL, TX 75087

EDMINSON JACOB K AND SUSAN C
306 VALLEY DR
ROCKWALL, TX 75087

KLEPPER LINDA C (POLLARD)
307 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
308 VALLEY DR
ROCKWALL, TX 75087

WEBB TEDDY DOUGLAS & AURORA
308 HIGHLAND DRIVE
ROCKWALL, TX 75087

PENCE ALLEE
309 HIGHLAND DRIVE
ROCKWALL, TX 75087

GARCIA JOHN
310 HIGHLAND DRIVE
ROCKWALL, TX 75087

PEOPLES JOHN P
311 HIGHLAND DR
ROCKWALL, TX 75087

GARRETT GERRY B
312 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
313 WESTWAY DR
ROCKWALL, TX 75087

DEL CASTILLO LUIS
314 HIGHLAND DRIVE
ROCKWALL, TX 75087

HARVEY JAMES
315 WESTWAY DRIVE
ROCKWALL, TX 75087

BURTON NORVELLA KAY
316 HIGHLAND DR
ROCKWALL, TX 75087

PURNELL MICHAEL & DEBORAH
317 HIGHLAND DR
ROCKWALL, TX 75087

BUTLER PAUL DAVID
317 WESTWAY DRIVE
ROCKWALL, TX 75087

STACEY MARY
318 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
319 WESTWAY DR
ROCKWALL, TX 75087

HARRELL GRANT E
319 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
320 HIGHLAND DR
ROCKWALL, TX 75087

CONFIDENTIAL
321 HIGHLAND DR
ROCKWALL, TX 75087

RANDOLPH JILL FOX
321 WESTWAY DRIVE
ROCKWALL, TX 75087

GOODMAN MORGAN AND AMANDA
322 HIGHLAND DRIVE
ROCKWALL, TX 75087

ROGERS OLIVER G
322 WESTWAY DR
ROCKWALL, TX 75087

RICE KAREN
323 WESTWAY DRIVE
ROCKWALL, TX 75087

DAFFRON SYBIL ANNETTE
324 WESTWAY DRIVE
ROCKWALL, TX 75087

RSIDENT
325 WESTWAY DR
ROCKWALL, TX 75087

KOVAR RACHAEL A
404 WEST KAUFMAN STREET
ROCKWALL, TX 75087

PICKETT GINA
406 W KAUFMAN ST
ROCKWALL, TX 75087

ALLEN ROBERT G DDS
406 W RUSK ST
ROCKWALL, TX 75087

ROAN-NUNN MABEL PEGGY ESTATE
419 N. TEXAS ST.
EMORY, TX 75440

CANUP PAUL RICHARD AND VICTORIA ANN
REVOCABLE LIVING TRUST
PAUL RICHARD CANUP AND VICTORIA ANN
CANUP CO-TRUSTEES
4268 AIRLINE RD
LONGVIEW, TX 75605

MCVANEY JEFFREY AND MORGAN
4761 SECRET CV
ROCKWALL, TX 75032

SPAFFORD SARAH
494 DOWELL RD
ROCKWALL, TX 75032

RSIDENT
502 W KAUFMAN
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
504 W KAUFMAN
ROCKWALL, TX 75087

RSIDENT
504 W RUSK
ROCKWALL, TX 75087

RSIDENT
506 W KAUFMAN
ROCKWALL, TX 75087

BARKER FRED D & JANICE
508 WEST KAUFMAN ST
ROCKWALL, TX 75087

RSIDENT
510 W KAUFMAN ST
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
604 W RUSK
ROCKWALL, TX 75087

RUSK STREET DEVELOPMENT LP
636 HANBY LN
ROCKWALL, TX 75032

RSIDENT
702 W RUSK
ROCKWALL, TX 75087

CURBOW PAUL AND DIOSELINA
7137 LANYON DRIVE
DALLAS, TX 75227

STATE HIGHWAY DEPT
I 30 RT 3 L L LOFLAND
ROCKWALL, TX 75087

STEGER ANA WADE LIFE ESTATE &
DIANA WADE CHAPMAN, CYNDIE SUE PATRICK
& O L STEGER III
PO BOX 478
ROCKWALL, TX 75087

HIGHWOOD ADDITION
VOL. 50, PG. 618
D.R.R.C.T.

BLOCK 14

LOT 4

LOT 5

LOT 6

1/2" I.R.F.
(CONTROL MONUMENT)

3/8" I.R.F.
0.8' NORTH
OF PLAT COR.

15' ALLEY (UNIMPROVED)
EAST 109.00'

1/2" I.R.S.

EAST
112.15'

1/2" I.R.S.

0.7'

5.5'

12.4'

FRAME
SHED

12.2'

CHAIN LINK
FENCE

0.6'

PROPERTY LINE ALONG FENCE AS CALLED BY PLAT
N 01'00"00" W 110.00'

LOT 2

LOT 1

DAMP CANUP, ET UX
VOL. 149, PG. 140
D.R.R.C.T.

1/2" I.R.S.

WEST 109.00'

1/2" I.R.S.

EAST
112.15'

PRIVATE DRIVE

WEST KAUFMAN STREET
(60' R.O.W.)
(ASPHALT PAVING)



TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:
This is to certify that I have, this date, made a careful and accurate survey
on the ground of property located on Kaufman Street in the City of
Rockwall, Texas, described as follows:

Lot 2 of REPLAT OF PART OF BLOCK "26" IN THE LOWE AND ALLEN ADDITION,
an addition to the City of Rockwall, Rockwall County, Texas, according to the
plat thereof recorded in Cabinet A, Page B, Plat Records, Rockwall County, Texas.

"THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE
FLOOD PLAIN MAP OF THE CITY OF ROCKWALL COMMUNITY PANEL
NO. 480547 0005 C. MAP DATED 6/16/92 (ZONE "X")."

THERE ARE NO ENCROACHMENTS, CONFLICTS OR PROTUSIONS, EXCEPT AS SHOWN.

The plat hereon is a representation of an on the ground survey as dated thereabove, the
lines and dimensions of said property being indicated, the size, location and type of buildings
and improvements are as shown, all improvements being within the boundaries of the property
set back from property lines the distance indicated, all easements and other matters of record
of which I have been advised are as shown hereon. This survey was performed in connection
with the transaction described in C.F. No. 200007710 of Rockwall County Abstract & Title Company.
Use of this survey for any other purpose or by any other parties shall be at their own risk and
the undersigned is not responsible to any others for any loss resulting therefrom.

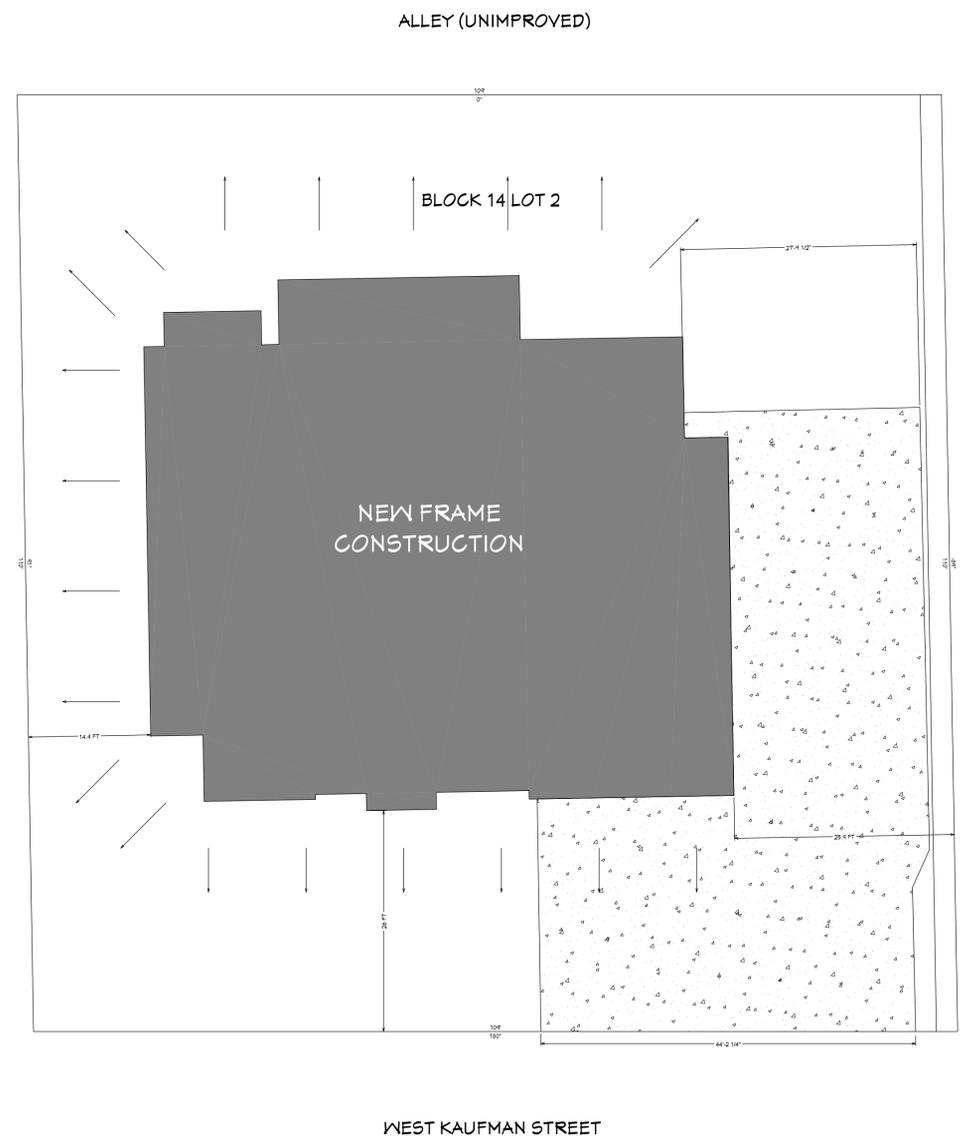
Registered Professional
Land Surveyor

Daniel A. Smith, R.P.L.S. No. 4645

1" PIPE END.
(CONTROL MONUMENT)

Daniel A. Smith Land Surveying, Inc.
309 N. GALLOWAY, SUITE 107
Mesquite, Texas 75149
(972) 216-3334 fax (972) 216-8922

Job No. 4872-B Scale: 1" = 20'
Date: 07/25/00 Drawn by: AWK



GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 10'

SHEET:

12

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1	Project Overview
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All construction must meet or exceed locally adopted building codes.



www.homemadedesign.net

NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

4

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

1. All exterior columns/posts to be built from 2x4 studs, wrapped by Zip System wall sheathing.
2. All brackets, gable accent, and corbels to be cedar.
3. All corner boards, fascia, soffit, frieze & trim to be composite material.
4. Entire exterior to be SmartSide composite lap unless specified otherwise.



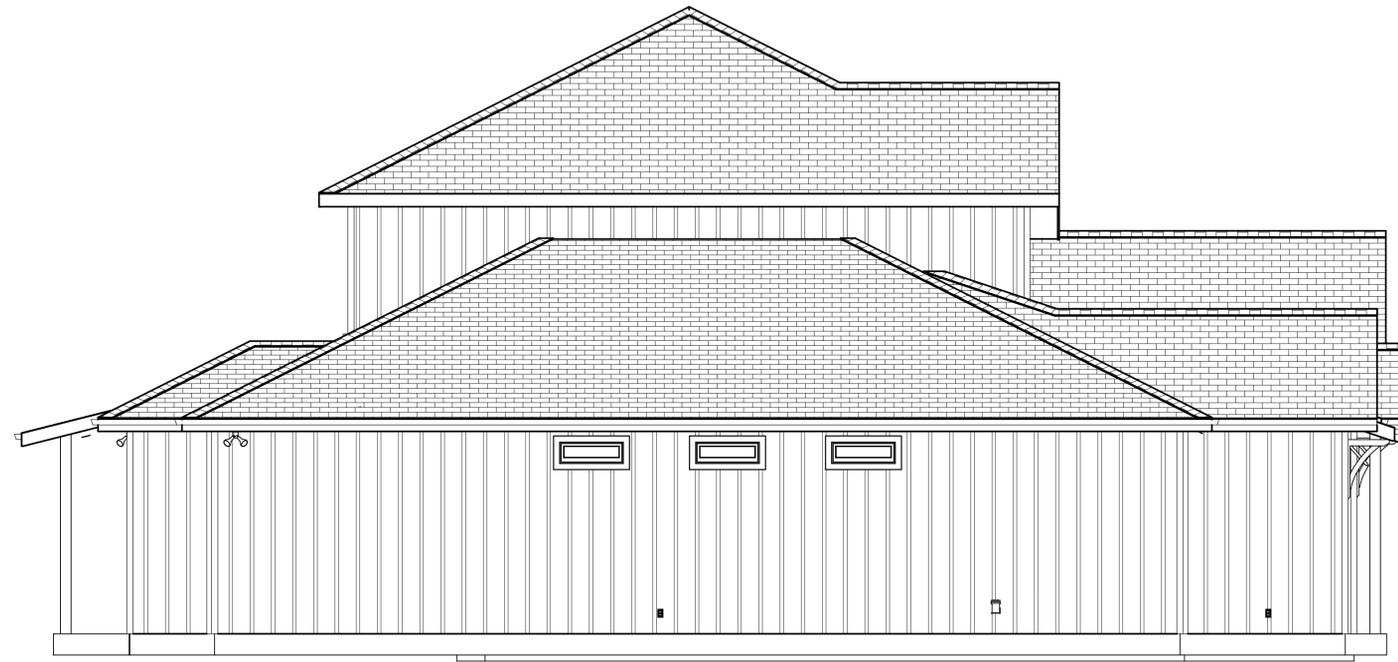
Exterior Elevation Front



Exterior Elevation Back

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Exterior Elevation Left



Exterior Elevation Right

GENERAL NOTES:

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EXTERIOR NOTES:

SEE PAGE 4



NUMBER	DATE	REVISED BY	DESCRIPTION

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Exterior Elevations

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 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

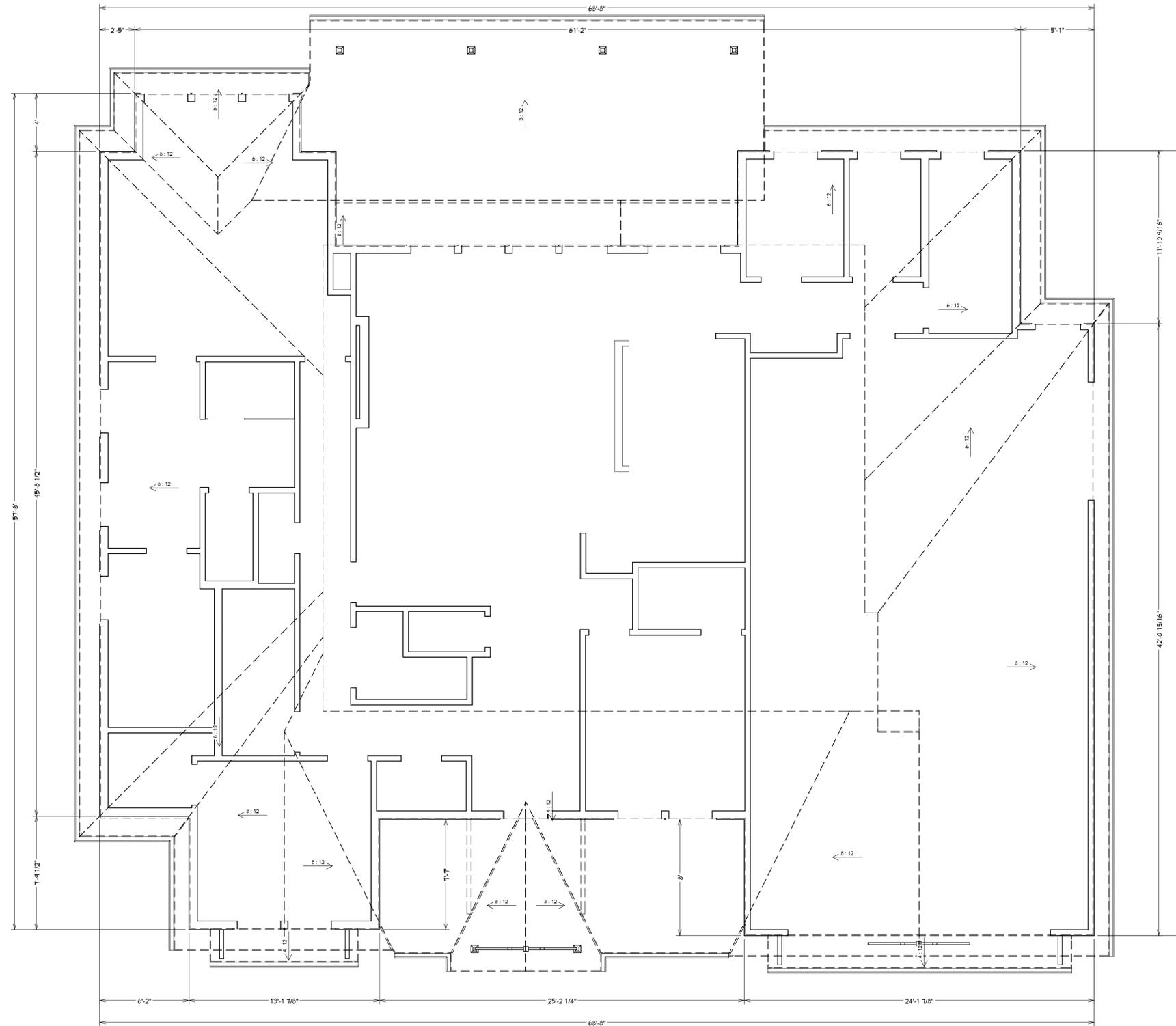
1/4" = 1'

SHEET:

5

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All construction must meet or exceed locally adopted building codes.



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
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ROOF NOTES:

1. There are multiple pitches on the roof. See labels on each roof plane.
2. Roof surfaces to be composition asphalt shingle unless specified otherwise in elevations.
3. Roof surface area: ~5037 sq. ft.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
 homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

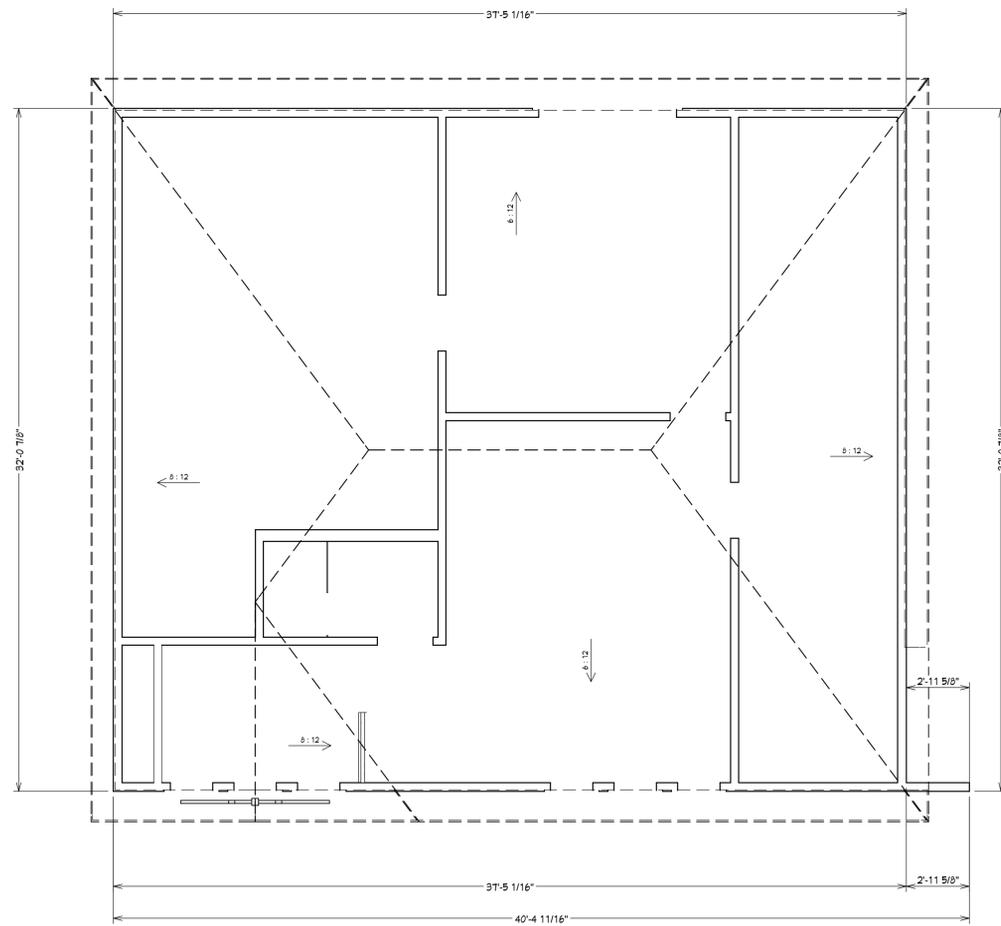
5/14/2024

SCALE:

1/4" = 1'

SHEET:

7



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

SEE PAGE 7



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

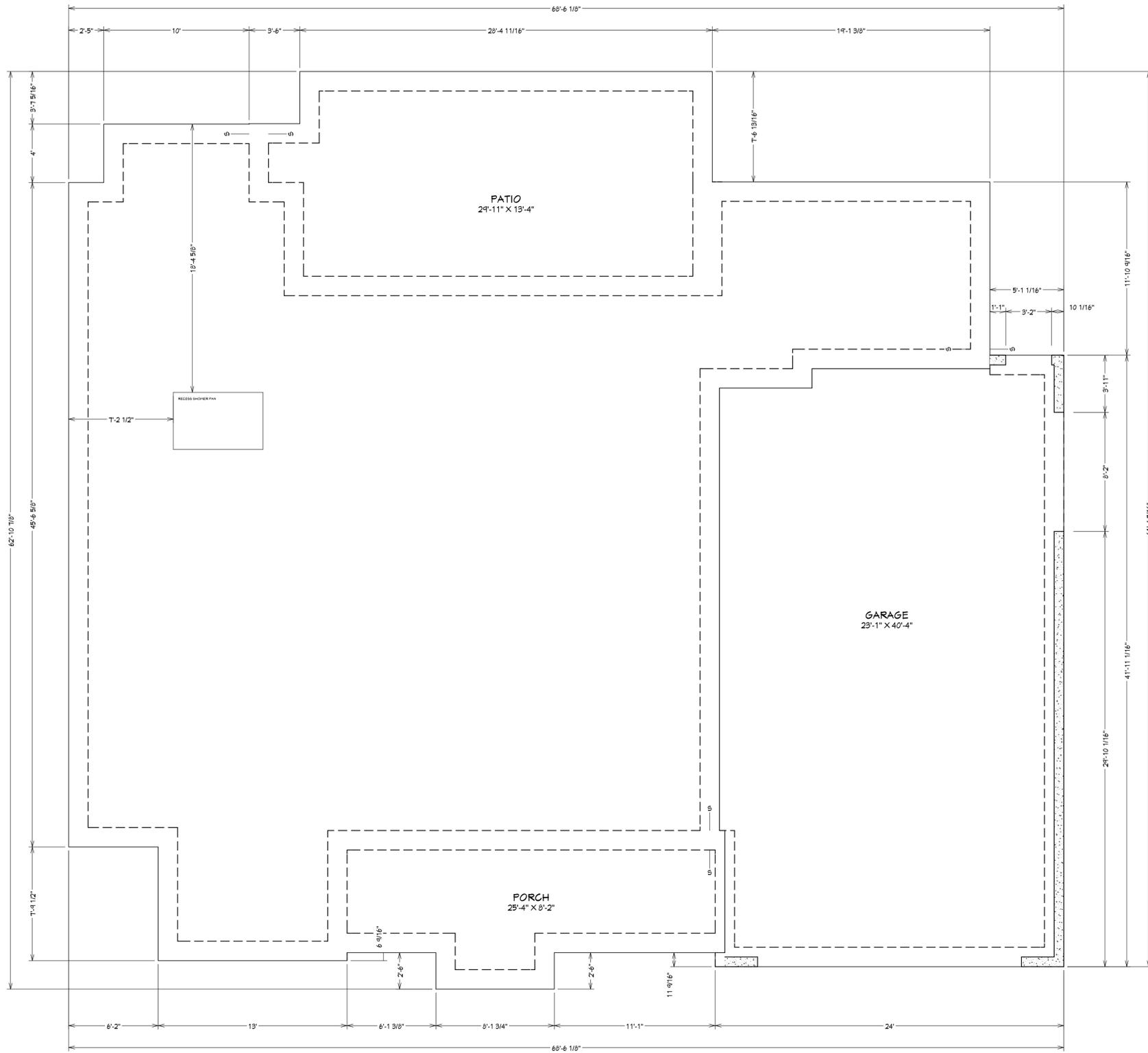
1/4" = 1'

SHEET:

8

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All construction must meet or exceed locally adopted building codes.



All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
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FOUNDATION NOTES:

1. Foundation layout is for reference only. Foundation to be designed by engineer.

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NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
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 | 469-623-2192

Foundation Detail

DRAWINGS PROVIDED BY:
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 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

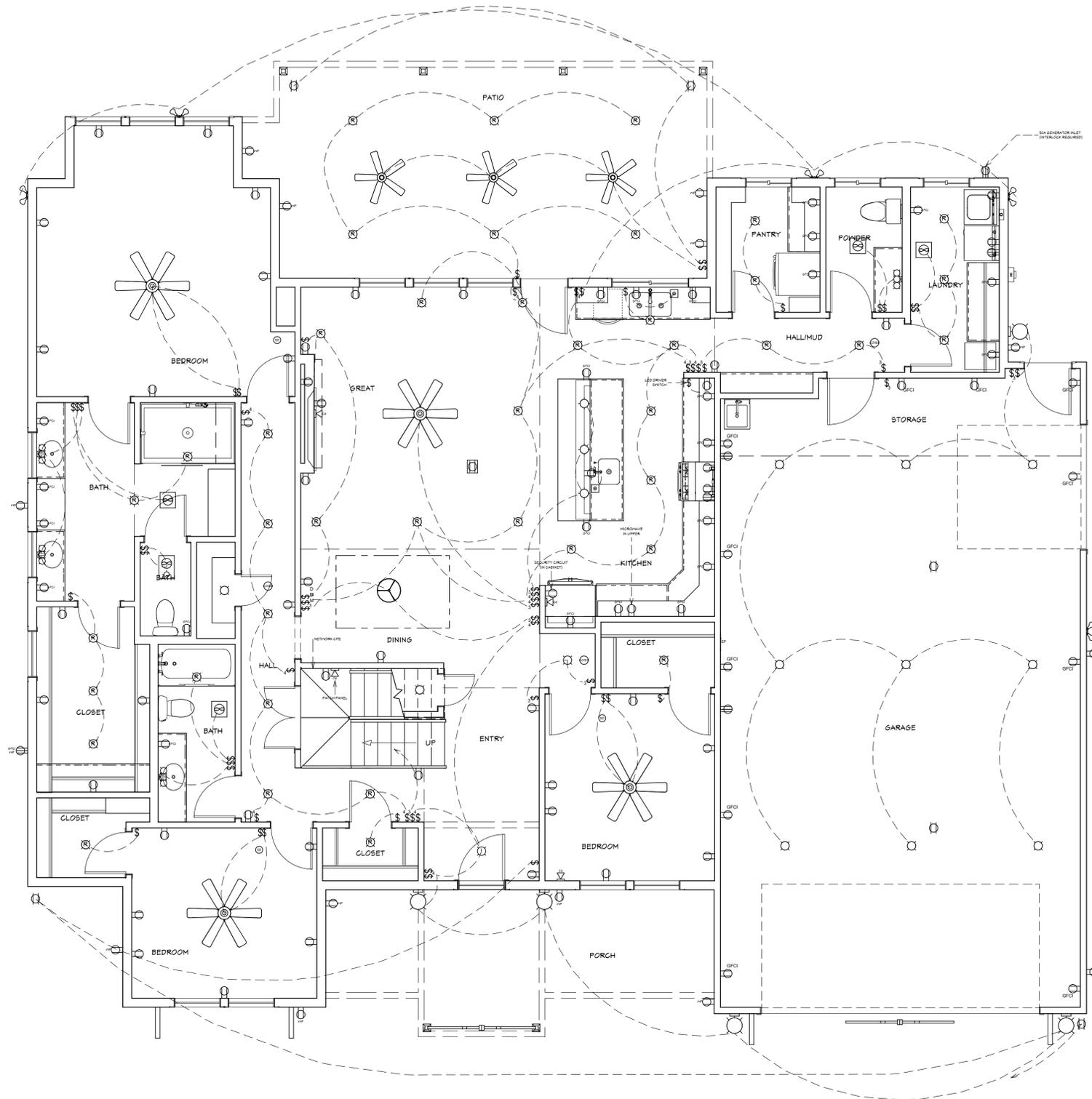
5/14/2024

SCALE:

1/4" = 1'

SHEET:

9



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

1. Verify all electrical locations and fixtures with owner.
2. Arrows indicate connections between floors.
3. All exterior plugs and light fixtures to be water proof on a GFCI circuit.
4. All kitchen, laundry, and garage plugs to be on GFCI circuit.
5. Provide a separate circuit for microwave oven.
6. Provide a separate circuit for Network GPE and security system.
7. All recessed lights in exterior ceilings to be insulation cover rated.
8. Electrical outlet plate gaskets shall be installed on receptacle, switch, and any other boxes in exterior walls.
9. All exhaust to vent to outside air. All exhaust ducts to have dampers. Humidity-sensing fans recommended for bathroom and laundry room.
10. Verify location of make-up air and damper.
11. All ceiling fans and lights to be on standard switches. Ceiling fan locations should use three-conductor Romex.
12. Verify installation of whole-house surge protection system at EP with owner (recommended for variable-speed heat pump).
13. Garage lighting is lamp bases.
14. Exterior architectural and security exterior lighting controlled by interior switches. Verify location of soffit plugs.
15. Final panel location and meter base determined by electrician.
16. All electrical to meet all locally adopted building codes for height, spacing, tamper resistance, etc.

Electrical Service size- 200Amp

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
Paul Curbow
510 W. Kauffman
Rockwall, TX 75227
469-623-2192

Electrical Plan

DRAWINGS PROVIDED BY:
homeMADE Design
David B. Lawson, Designer
david@homemadedesign.net | 940-331.6093

DATE:

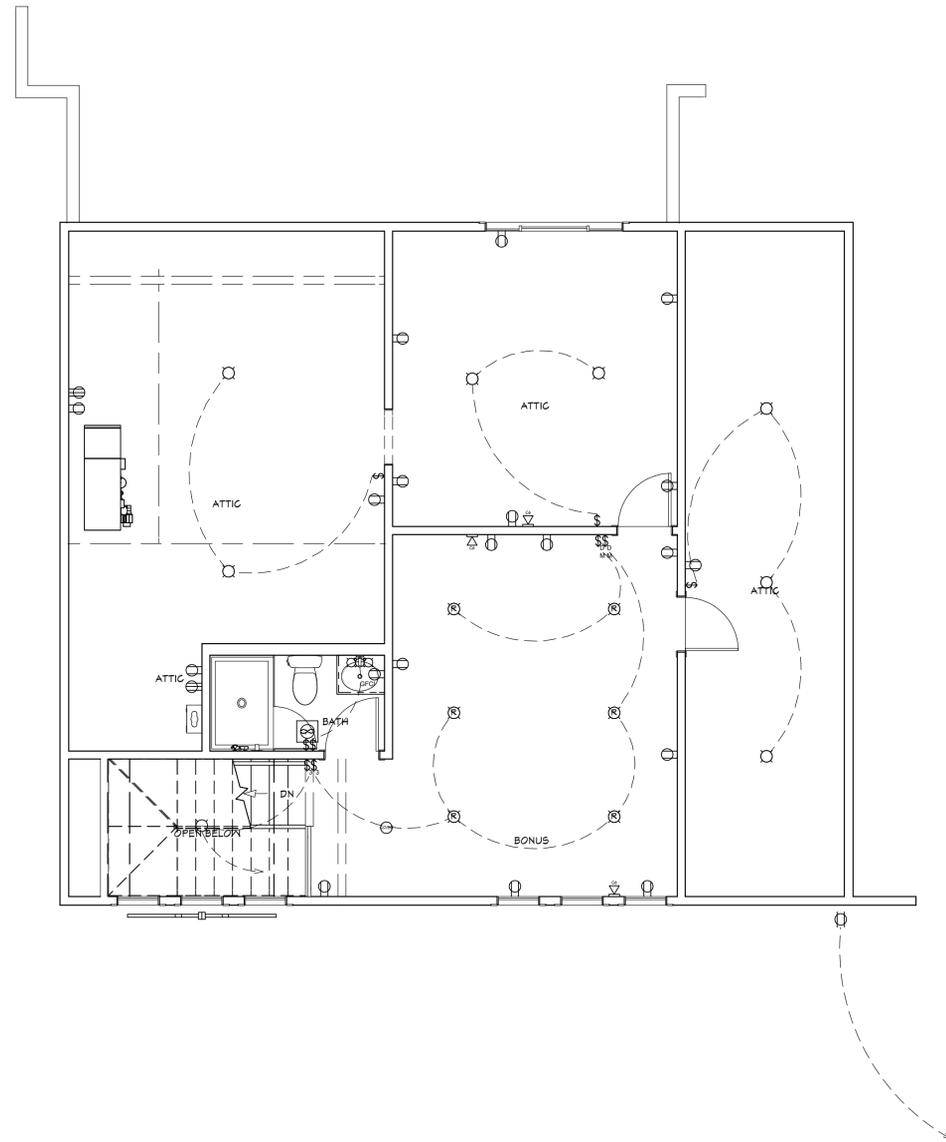
5/14/2024

SCALE:

1/4" = 1'

SHEET:

10



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
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ELECTRICAL NOTES:

SEE PAGE 10

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Electrical Plan

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DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

11



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
502 W. Rusk Street	Single-Family Home	1990	5,422	N/A	Brick and Siding
504 W. Rusk Street	Single-Family Home	1980	2,821	N/A	Brick and Siding
602 W. Rusk Street	Single-Family Home	1979	6,474	N/A	Brick
604 W. Rusk Street	Vacant	N/A	N/A	N/A	N/A
406 W. Kaufman Street	Single-Family Home	1985	2,653	884	Stone
502 W. Kaufman Street	Single-Family Home	1950	1,422	600	Brick
504 W. Kaufman Street	Single-Family Home	1985	1,445	960	Brick
506 W. Kaufman Street	Single-Family Home	1985	1,060	36	Siding
508 W. Kaufman Street	Single-Family Home	1990	3,016	N/A	Brick
510 W. Kaufman Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1981	3,039	620	



CITY OF ROCKWALL

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PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



502 W. Rusk Street



504 W. Rusk Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



602 W. Rusk Street



604 W. Rusk Street



CITY OF ROCKWALL

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385 S. GOLIAD STREET • ROCKWALL, TX 75087

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406 W. Kaufman Street



502 W. Kaufman Street



CITY OF ROCKWALL

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PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



504 W. Kaufman Street



506 W. Kaufman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



508 W. Kaufman Street



510 W. Kaufman Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2753-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF BLOCK 20 OF THE LOWE & ALLEN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Paul and Dioselina Curbow for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2753-acre parcel of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 10 (SF-10) District land uses, addressed as 510 W. Kaufman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development*

Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF SEPTEMBER, 2024.**

Trace Johannesen, Mayor

ATTEST:

Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: August 19, 2024

2nd Reading: September 3, 2024

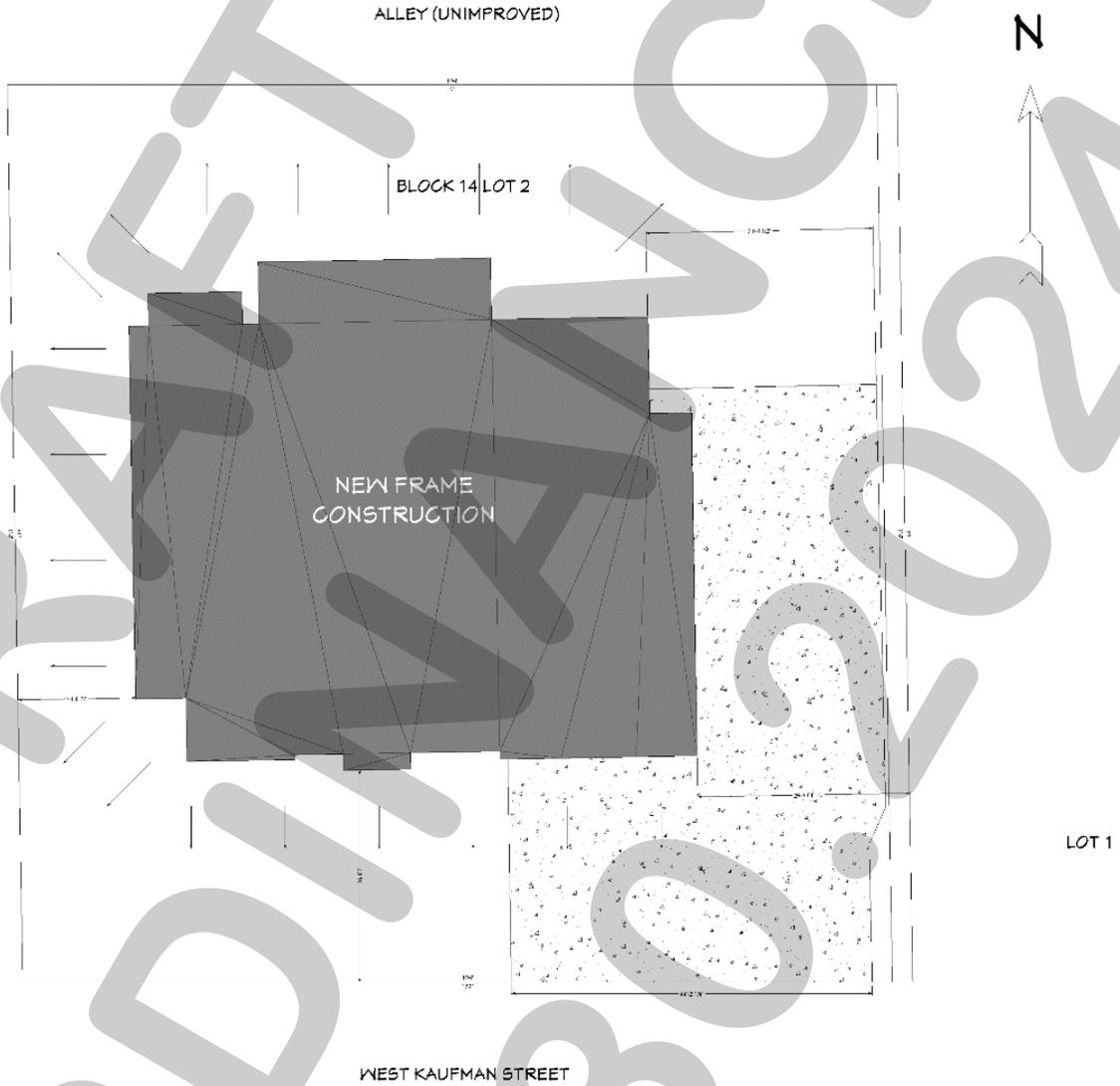
Exhibit 'A':
Location Map

Address: 510 W. Kaufman Street

Legal Description: A portion of Block 20 of the Lowe & Allen Addition



Exhibit 'B':
Residential Plot Plan



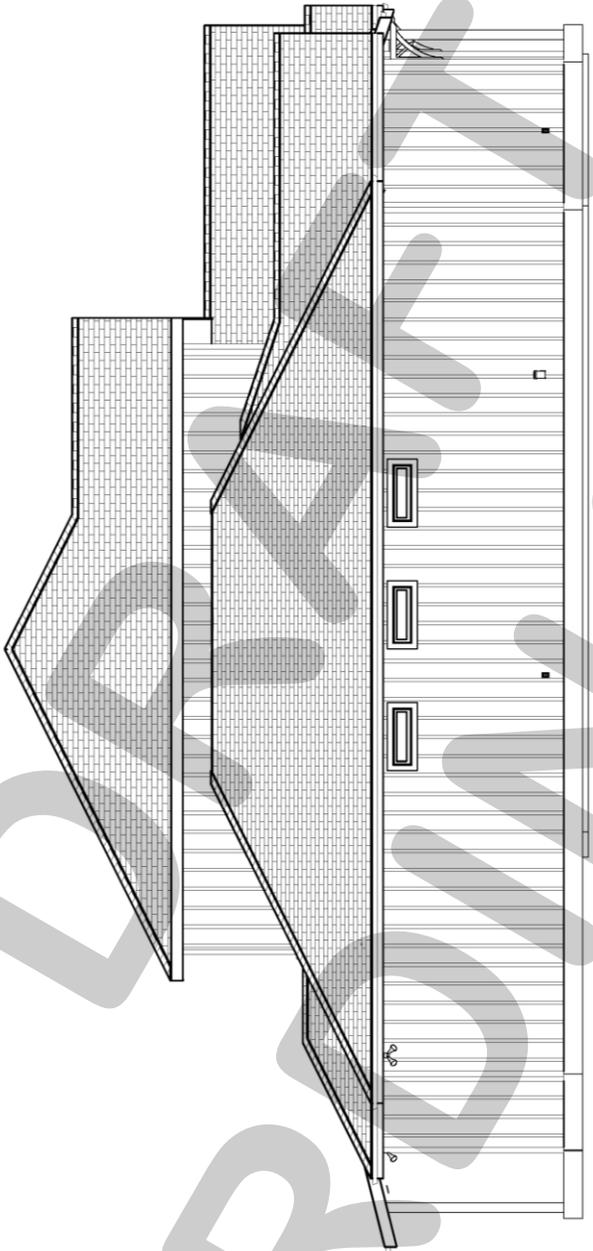
**Exhibit 'C':
Building Elevations**



Exterior Elevation Front

Exterior Elevation Back

Exhibit 'C':
Building Elevations



Exterior Elevation Left



Exterior Elevation Right



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 13, 2024
APPLICANT: Paul and Dioselina Curbow
CASE NUMBER: Z2024-031; *Specific Use Permit (SUP) for a Residential Infill at 510 W. Kaufman Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

BACKGROUND

According to the 1934 Sanborn Maps, the subject property was platted as part of the Lowe & Allen Addition prior to 1934 and after 1911. Per the City's historic zoning maps, the subject property was originally zoned Single-Family 2 (SF-2) District as of January 3, 1972. Between this date and May 16, 1983, the subject property was rezoned from a Single-Family 2 (SF-2) District to a Single-Family 10 (SF-10) District. The subject property is currently vacant.

PURPOSE

The applicants -- *Paul and Dioselina Curbow* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 510 W. Kaufman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several single-family homes that are situated within the Highwood Subdivision, which consists of 74 residential lots and was established on July 1, 1955. Beyond this is Westway Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway, are more single-family homes situated within the Highwood Subdivision. Beyond this is Highland Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property is W. Kaufman Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.46-acre parcel of land (*i.e. Block 19 of the Lowe & Allen Addition*) that is developed with a single-family home and is zoned Single-Family 7 (SF-7) District. South of this is W. Rusk Street, which is identified as a P3U (*i.e. principal arterial, three (3) lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are nine (9) residential lots (*i.e. 302, 304, 402, 404, 406, 502, 504, 506 & 508 W. Kaufman Street*) developed with single-family homes and zoned Single-Family 10 (SF-10) District. Beyond this

is N. West Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) parcels of land (*i.e. 202 N. West Street & 201 N. Alamo Street*), developed with commercial businesses (*i.e. Steeli Beans Boutique & Lush Beauty Salon*) that are zoned Downtown (DT) District.

West: Directly west of the subject property are two (2) vacant tracts of land (*i.e. Lot B, Block 85 & 87D, B.F. Boydston Addition & Lot AB, Block 87, B.F. Boydston Addition*) which are zoned Single-Family 10 (SF-10) District. Beyond this is a 0.73-acre parcel of land (*i.e. Lot 1, Block A, S. Sparks Addition*), which is developed with a single-family home and is zoned Single-Family 10 (SF-10) District. West of this is the Walmart Neighborhood Market and a retail shopping center, which is situated on a 10.20-acres tract of land (*i.e. Lots 1, 3 & 4, Wal-Mart Rockwall Addition*) that is zoned Planned Development District 49 (PD-49) for General Retail (GR) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is situated within 500-feet of the Highwood Subdivision, which is 100% developed, consists of 74 residential lots, and has been in existence since July 1, 1955. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being adjacent to an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing within close proximity of W. Kaufman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on W. Kaufman Street and W. Rusk Street in a Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	Most homes are oriented toward W. Kaufman Street.	The front elevation of the home will face W. Kaufman Street.
Year Built	1979-1990	N/A
Building SF on Property	1,060 SF – 5,422 SF	4,221 SF
Building Architecture	Single Family Homes and Two (2) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	26-Feet
Side	6- feet	14.4- Feet & 25.9-Feet
Rear	10-Feet	X> 10-Feet
Building Materials	Brick and Siding	Board & Batten Siding
Paint and Color	Red, Tan, White, Brown, Yellow, Gray	N/A
Roofs	Composite Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of front-facing garages or no garages.	The garage will be attached and located evenly with the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant's proposed garage is located evenly with the front façade of the single-family home;

however, staff should point out that this is not atypical for this area. A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If this Specific Use Permit (SUP) request is approved by the Planning and Zoning Commission and City Council, the garage setback requirement will be waived. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) for a property in a Single-Family 10 (SF-10) District.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along W. Kaufman Street and W. Rusk Street and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On July 23, 2024, staff mailed 63 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows and Bent Creek Condos Homeowners Associations (HOAs) which are the only HOA's located within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 510 W. Kaufman St Rockwall, TX 75087

SUBDIVISION Lowe & Allen Block LOT 20 BLOCK -

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____
 PROPOSED ZONING _____ PROPOSED USE Single Family Residential
 ACREAGE .27 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Paul & Dioselina Carbow</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	<u>Paul Carbow</u>	CONTACT PERSON	_____
ADDRESS	<u>7137 Lanyon dr</u>	ADDRESS	_____
CITY, STATE & ZIP	<u>Dallas, TX 75227</u>	CITY, STATE & ZIP	_____
PHONE	<u>469-623-2192</u>	PHONE	_____
E-MAIL	<u>pcarbow@dallasisd.org</u>	E-MAIL	_____

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Carbow [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July, 2024

OWNER'S SIGNATURE Paul Carbow

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





Z2024-031: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision 510 W. Kaufman Street.



SF-10

W KAUFMAN ST

SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

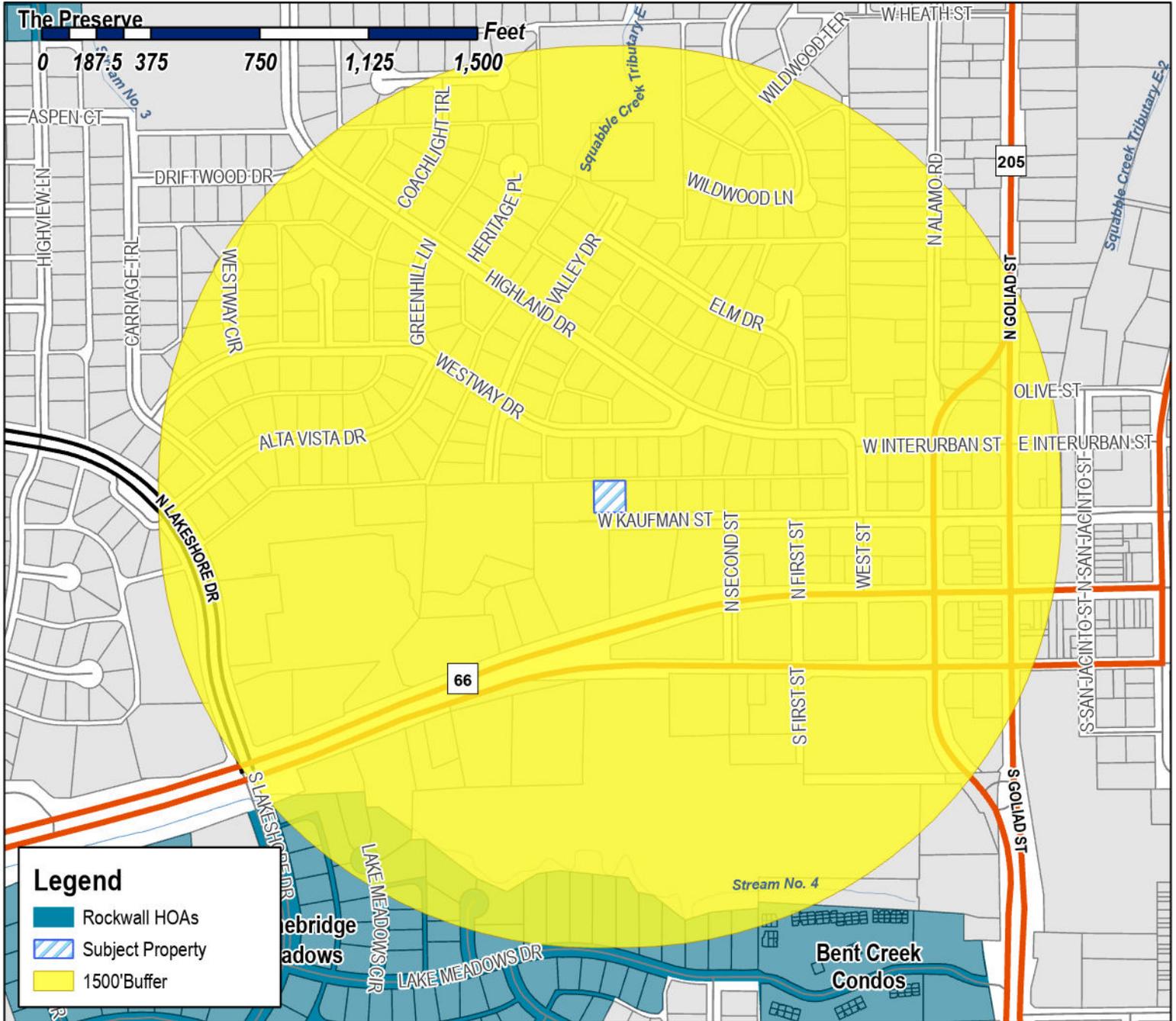




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Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street

Date Saved: 7/12/2024
 For Questions on this Case Call (972) 771-7745



From: [Guevara, Angelica](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Zavala, Melanie](#); [Ross, Bethany](#)
Bcc: [REDACTED]
Subject: Neighborhood Notification Email [Z2024-031]
Date: Wednesday, July 24, 2024 3:06:00 PM
Attachments: [Public Notice \(P&Z\).pdf](#)
[HOA Map \(07.12.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, July 26, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision at 510 W. Kaufman Street
Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

Thank you,

Angelica Guevara

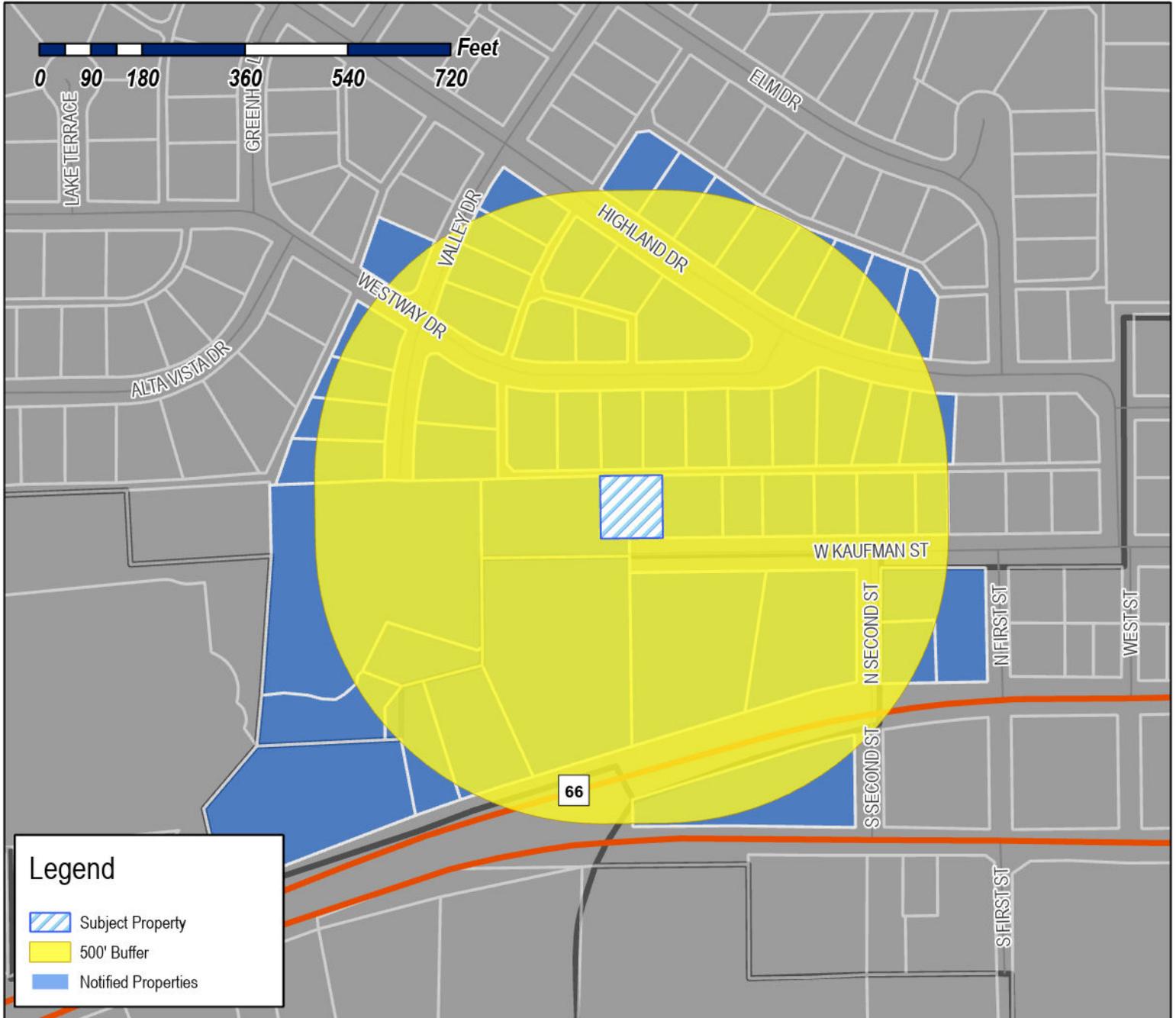
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street



Date Saved: 7/12/2024

For Questions on this Case Call: (972) 771-7745

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 19, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for support or opposition]

Name: [Grey bar for name input]

Address: [Grey bar for address input]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SPARKS ROBERT & TANA
103 N 1ST ST
ROCKWALL, TX 75087

ASHLEY CHRISTOPHER H
1107 BAY SHORE DRIVE
ROCKWALL, TX 75087

GILLESPIE RICHARD M AND DONNA M
1130 SIERRA PASS
ROCKWALL, TX 75087

RADNEY JAMES AND PATTI
1972 CR 2296
QUINLAN, TX 75474

LINDSEY NOEL
201 VALLEY DR
ROCKWALL, TX 75087

GARRISON DAVID C AND MICHEL J
202 VALLEY DR
ROCKWALL, TX 75087

MCCELROY LEAH KIMBERLY
203 VALLEYB DR
ROCKWALL, TX 75087

PHIPPS RICKIE LYNN AND
204 VALLEY DRIVE
ROCKWALL, TX 75087

RSIDENT
205 VALLEY DR
ROCKWALL, TX 75087

MILLS KAY SUSAN
207 VALLEY DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DR
ROCKWALL, TX 75087

VISTAGE PROPERTIES LLC
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

ALTA VISTA BNB LLC
2701 WHISPERING OAKS
ROCKWALL, TX 75087

RSIDENT
301 VALLEY DR
ROCKWALL, TX 75087

PAINTER MICAH
301 VALLEY DRIVE
ROCKWALL, TX 75087

GREENAWALT M GENE & CLAUDINE
302 VALLEY DR
ROCKWALL, TX 75087

CHAMBERLAIN MARCUS P
304 VALLEY DR
ROCKWALL, TX 75087

EDMINSON JACOB K AND SUSAN C
306 VALLEY DR
ROCKWALL, TX 75087

KLEPPER LINDA C (POLLARD)
307 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
308 VALLEY DR
ROCKWALL, TX 75087

WEBB TEDDY DOUGLAS & AURORA
308 HIGHLAND DRIVE
ROCKWALL, TX 75087

PENCE ALLEE
309 HIGHLAND DRIVE
ROCKWALL, TX 75087

GARCIA JOHN
310 HIGHLAND DRIVE
ROCKWALL, TX 75087

PEOPLES JOHN P
311 HIGHLAND DR
ROCKWALL, TX 75087

GARRETT GERRY B
312 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
313 WESTWAY DR
ROCKWALL, TX 75087

DEL CASTILLO LUIS
314 HIGHLAND DRIVE
ROCKWALL, TX 75087

HARVEY JAMES
315 WESTWAY DRIVE
ROCKWALL, TX 75087

BURTON NORVELLA KAY
316 HIGHLAND DR
ROCKWALL, TX 75087

PURNELL MICHAEL & DEBORAH
317 HIGHLAND DR
ROCKWALL, TX 75087

BUTLER PAUL DAVID
317 WESTWAY DRIVE
ROCKWALL, TX 75087

STACEY MARY
318 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
319 WESTWAY DR
ROCKWALL, TX 75087

HARRELL GRANT E
319 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
320 HIGHLAND DR
ROCKWALL, TX 75087

CONFIDENTIAL
321 HIGHLAND DR
ROCKWALL, TX 75087

RANDOLPH JILL FOX
321 WESTWAY DRIVE
ROCKWALL, TX 75087

GOODMAN MORGAN AND AMANDA
322 HIGHLAND DRIVE
ROCKWALL, TX 75087

ROGERS OLIVER G
322 WESTWAY DR
ROCKWALL, TX 75087

RICE KAREN
323 WESTWAY DRIVE
ROCKWALL, TX 75087

DAFFRON SYBIL ANNETTE
324 WESTWAY DRIVE
ROCKWALL, TX 75087

RSIDENT
325 WESTWAY DR
ROCKWALL, TX 75087

KOVAR RACHAEL A
404 WEST KAUFMAN STREET
ROCKWALL, TX 75087

PICKETT GINA
406 W KAUFMAN ST
ROCKWALL, TX 75087

ALLEN ROBERT G DDS
406 W RUSK ST
ROCKWALL, TX 75087

ROAN-NUNN MABEL PEGGY ESTATE
419 N. TEXAS ST.
EMORY, TX 75440

CANUP PAUL RICHARD AND VICTORIA ANN
REVOCABLE LIVING TRUST
PAUL RICHARD CANUP AND VICTORIA ANN
CANUP CO-TRUSTEES
4268 AIRLINE RD
LONGVIEW, TX 75605

MCVANEY JEFFREY AND MORGAN
4761 SECRET CV
ROCKWALL, TX 75032

SPAFFORD SARAH
494 DOWELL RD
ROCKWALL, TX 75032

RSIDENT
502 W KAUFMAN
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
504 W KAUFMAN
ROCKWALL, TX 75087

RSIDENT
504 W RUSK
ROCKWALL, TX 75087

RSIDENT
506 W KAUFMAN
ROCKWALL, TX 75087

BARKER FRED D & JANICE
508 WEST KAUFMAN ST
ROCKWALL, TX 75087

RSIDENT
510 W KAUFMAN ST
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
604 W RUSK
ROCKWALL, TX 75087

RUSK STREET DEVELOPMENT LP
636 HANBY LN
ROCKWALL, TX 75032

RSIDENT
702 W RUSK
ROCKWALL, TX 75087

CURBOW PAUL AND DIOSELINA
7137 LANYON DRIVE
DALLAS, TX 75227

STATE HIGHWAY DEPT
I 30 RT 3 L L LOFLAND
ROCKWALL, TX 75087

STEGER ANA WADE LIFE ESTATE &
DIANA WADE CHAPMAN, CYNDIE SUE PATRICK
& O L STEGER III
PO BOX 478
ROCKWALL, TX 75087

HIGHWOOD ADDITION
VOL. 50, PG. 618
D.R.R.C.T.

BLOCK 14

LOT 4

LOT 5

LOT 6

1/2" I.R.F.
(CONTROL MONUMENT)

3/8" I.R.F.
0.8' NORTH
OF PLAT COR.

15' ALLEY (UNIMPROVED)
EAST 109.00'

1/2" I.R.S.

EAST
112.15'

1/2" I.R.S.

0.7'

5.5'

12.4'

FRAME
SHED

12.2'

CHAIN LINK
FENCE

0.6'

PROPERTY LINE ALONG FENCE AS CALLED BY PLAT
N 01'00"00" W 110.00'

LOT 2

LOT 1

DAMP CANUP, ET UX
VOL. 149, PG. 140
D.R.R.C.T.

1/2" I.R.S.

WEST 109.00'

1/2" I.R.S.

EAST
112.15'

PRIVATE DRIVE

WEST KAUFMAN STREET
(60' R.O.W.)
(ASPHALT PAVING)



TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:
This is to certify that I have, this date, made a careful and accurate survey on the ground of property located on Kaufman Street in the City of Rockwall, Texas, described as follows:

Lot 2 of REPLAT OF PART OF BLOCK "26" IN THE LOWE AND ALLEN ADDITION, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Page B, Plat Records, Rockwall County, Texas.

"THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE FLOOD PLAIN MAP OF THE CITY OF ROCKWALL COMMUNITY PANEL NO. 480547 0005 C. MAP DATED 6/16/92 (ZONE "X")."

THERE ARE NO ENCROACHMENTS, CONFLICTS OR PROTUSIONS, EXCEPT AS SHOWN.

The plat hereon is a representation of an on the ground survey as dated thereabove, the lines and dimensions of said property being indicated, the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property set back from property lines the distance indicated, all easements and other matters of record of which I have been advised are as shown hereon. This survey was performed in connection with the transaction described in C.F. No. 200007710 of Rockwall County Abstract & Title Company. Use of this survey for any other purpose or by any other parties shall be at their own risk and the undersigned is not responsible to any others for any loss resulting therefrom.

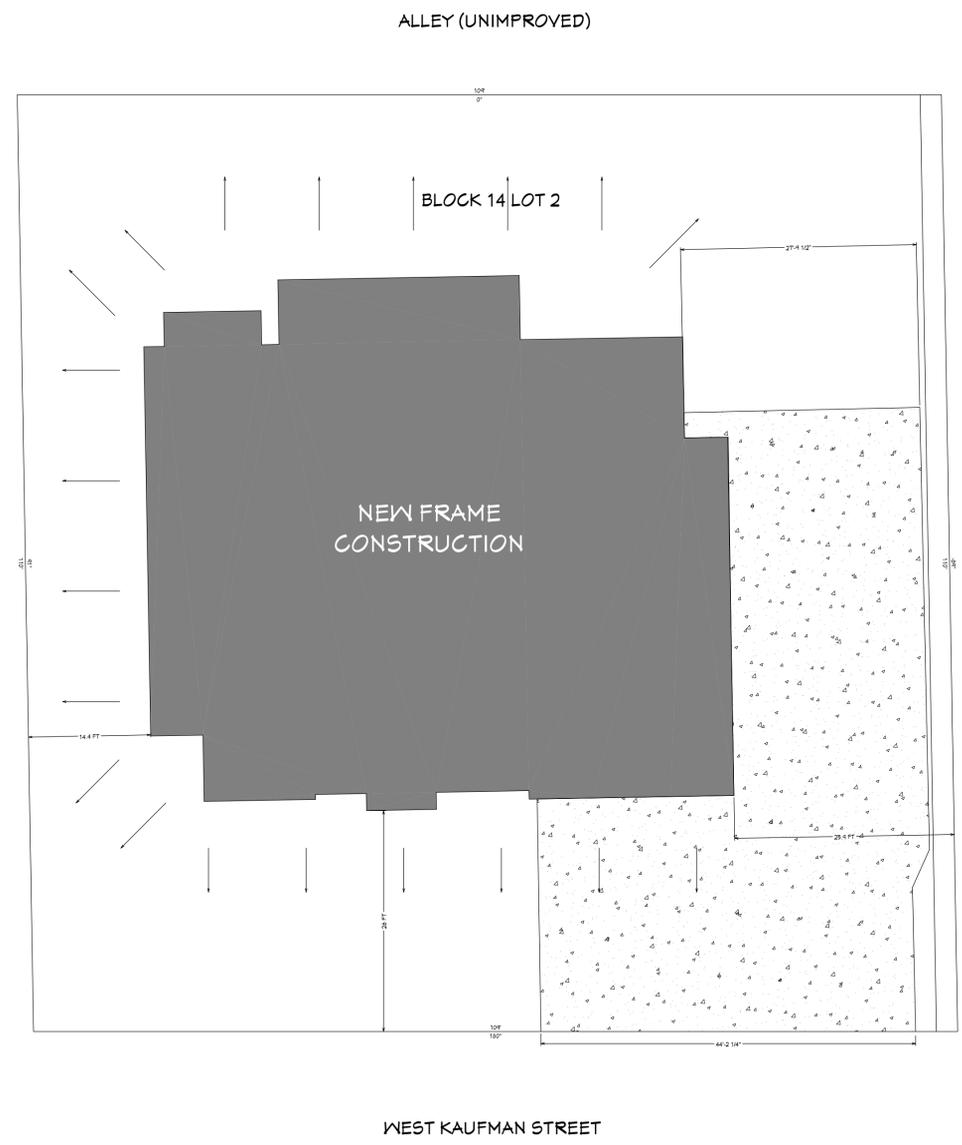
Registered Professional
Land Surveyor

Daniel A. Smith, R.P.L.S. No. 4645

1" PIPE END.
(CONTROL MONUMENT)

Daniel A. Smith Land Surveying, Inc.
309 N. GALLOWAY, SUITE 107
Mesquite, Texas 75149
(972) 216-3334 fax (972) 216-8922

Job No. 4872-B Scale: 1" = 20'
Date: 07/25/00 Drawn by: AWK



GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 10'

SHEET:

12

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1	Project Overview
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All construction must meet or exceed locally adopted building codes.



www.homemadedesign.net

NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

4

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

1. All exterior columns/posts to be built from 2x4 studs, wrapped by Zip System wall sheathing.
2. All brackets, gable accent, and corbels to be cedar.
3. All corner boards, fascia, soffit, frieze & trim to be composite material.
4. Entire exterior to be SmartSide composite lap unless specified otherwise.



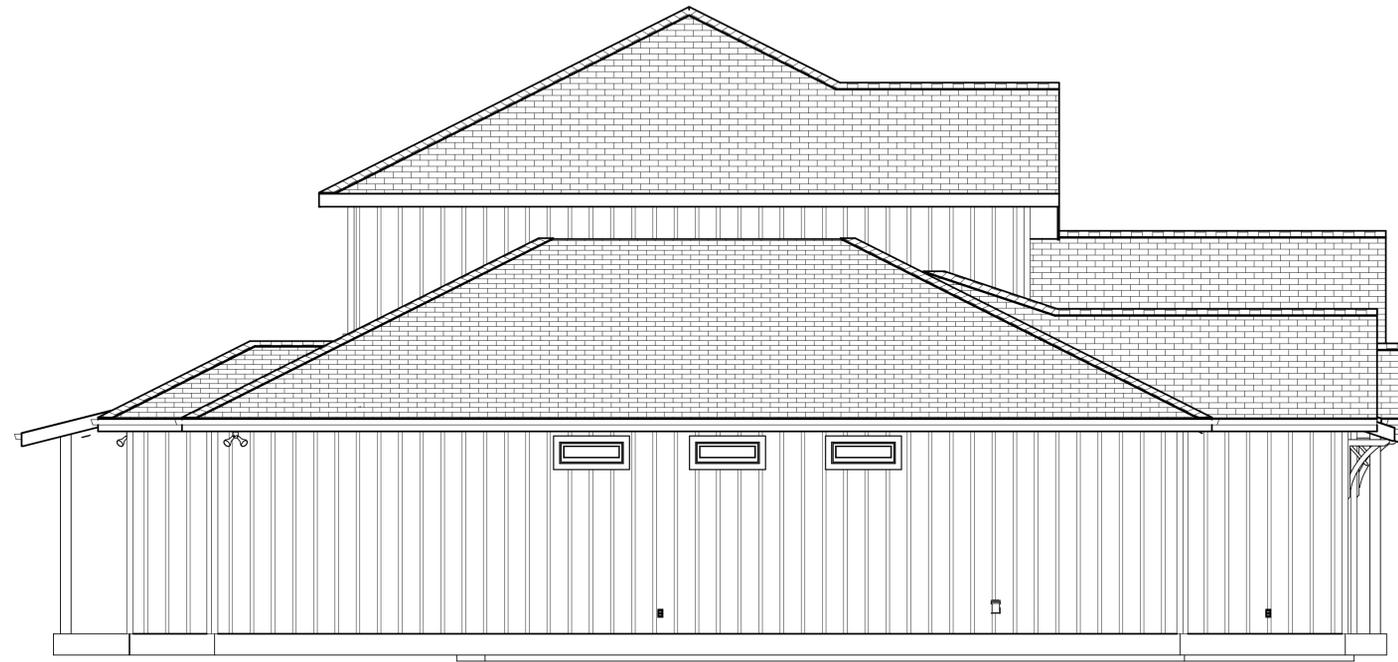
Exterior Elevation Front



Exterior Elevation Back

All construction must meet or exceed locally adopted building codes.

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Exterior Elevation Left



Exterior Elevation Right

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

SEE PAGE 4



NUMBER	DATE	REVISED BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
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 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

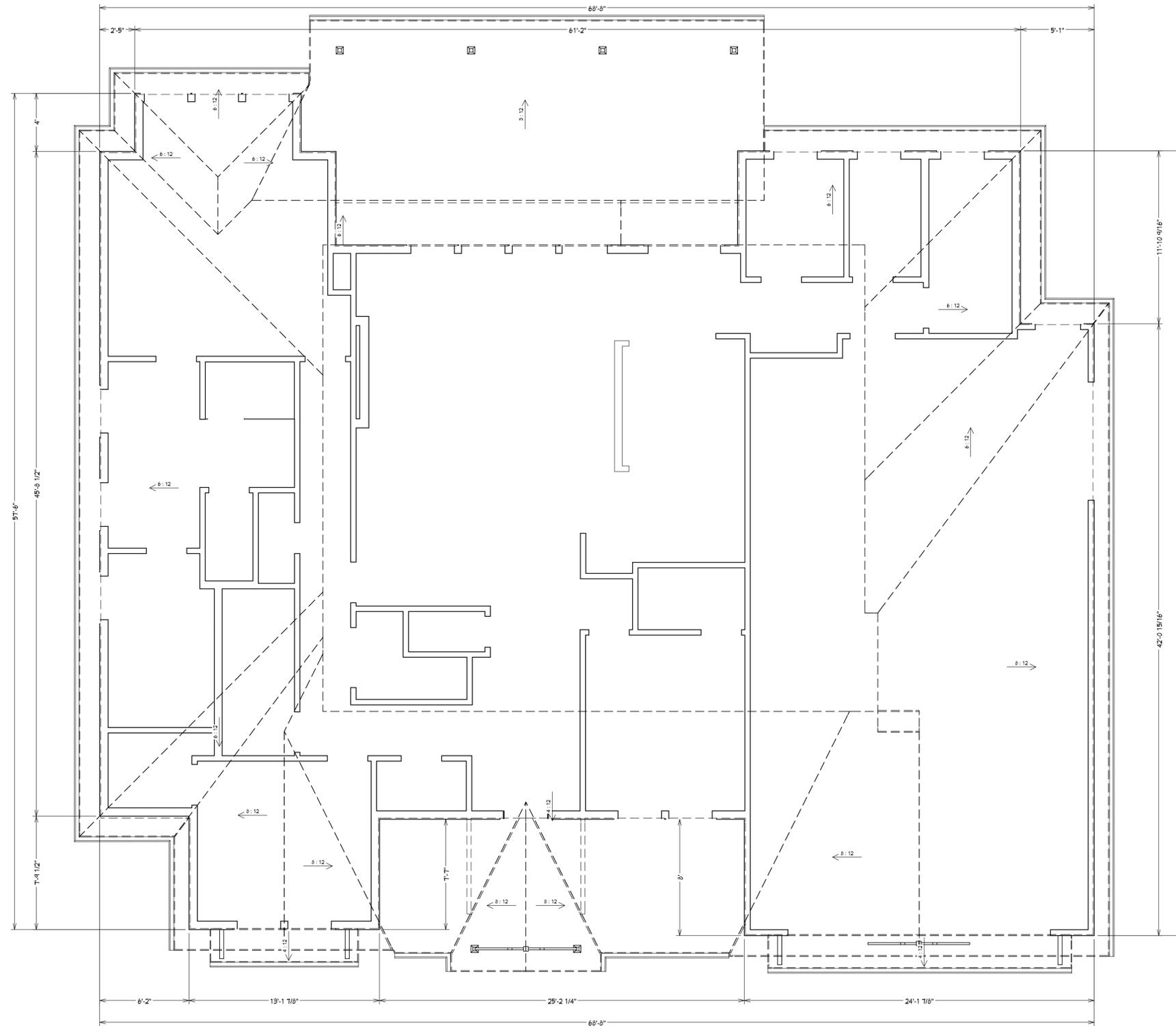
SCALE:

1/4" = 1'

SHEET:

5

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Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

1. There are multiple pitches on the roof. See labels on each roof plane.
2. Roof surfaces to be composition asphalt shingle unless specified otherwise in elevations.
3. Roof surface area: ~5037 sq. ft.

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NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

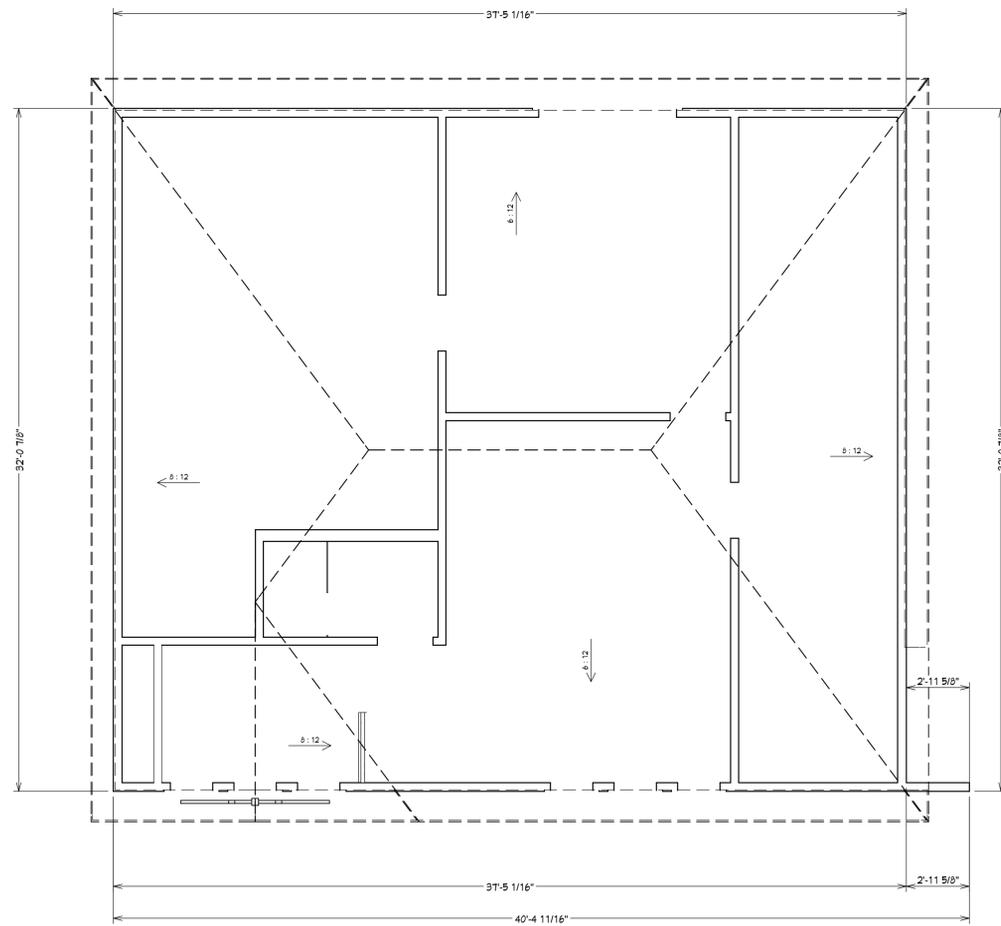
5/14/2024

SCALE:

1/4" = 1'

SHEET:

7



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

SEE PAGE 7



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NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
Paul Curbow
510 W. Kaufman
Rockwall, TX 75227
| 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
David B. Lawson, Designer
david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

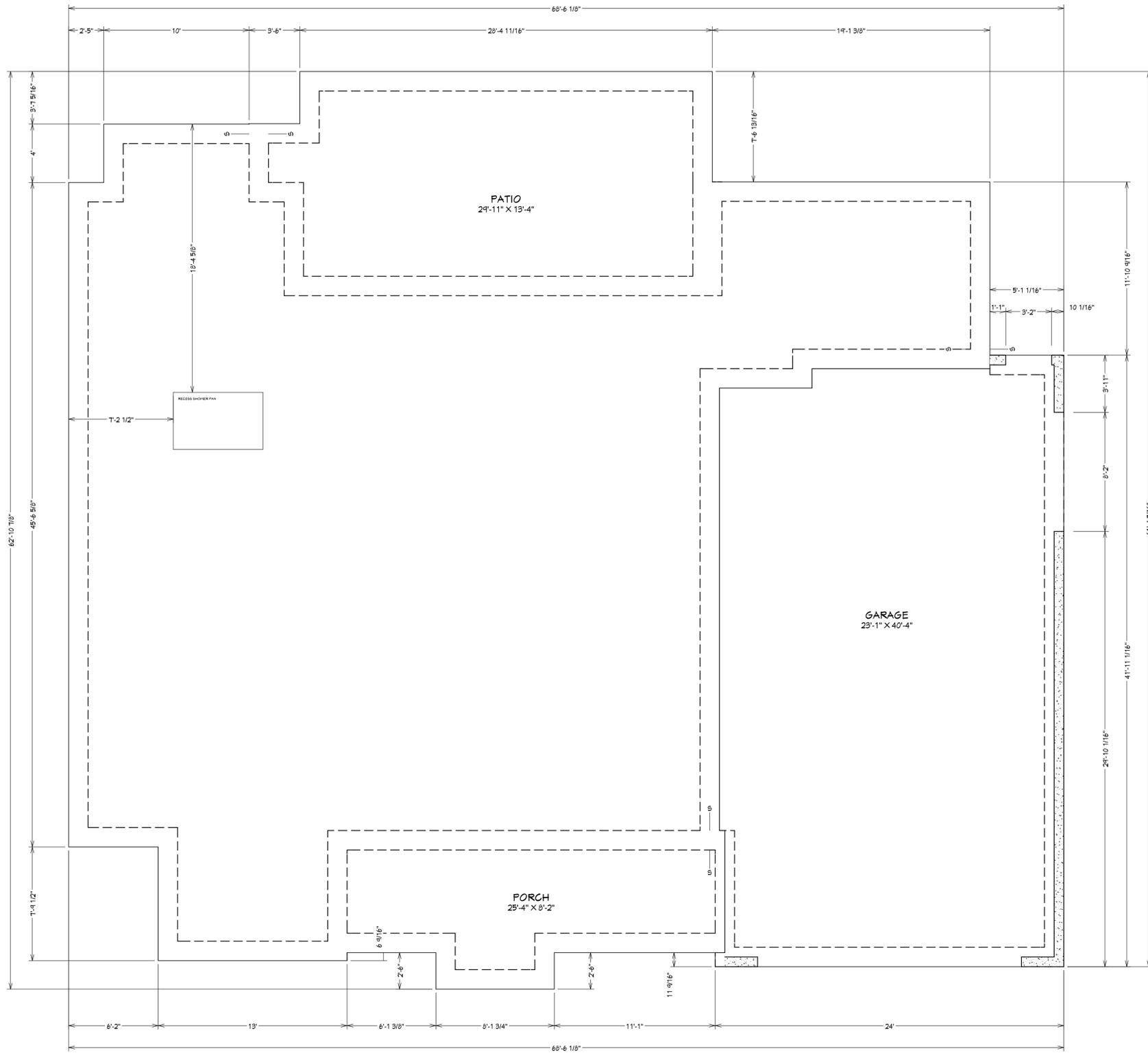
1/4" = 1'

SHEET:

8

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All construction must meet or exceed locally adopted building codes.



All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

FOUNDATION NOTES:

1. Foundation layout is for reference only. Foundation to be designed by engineer.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Foundation Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

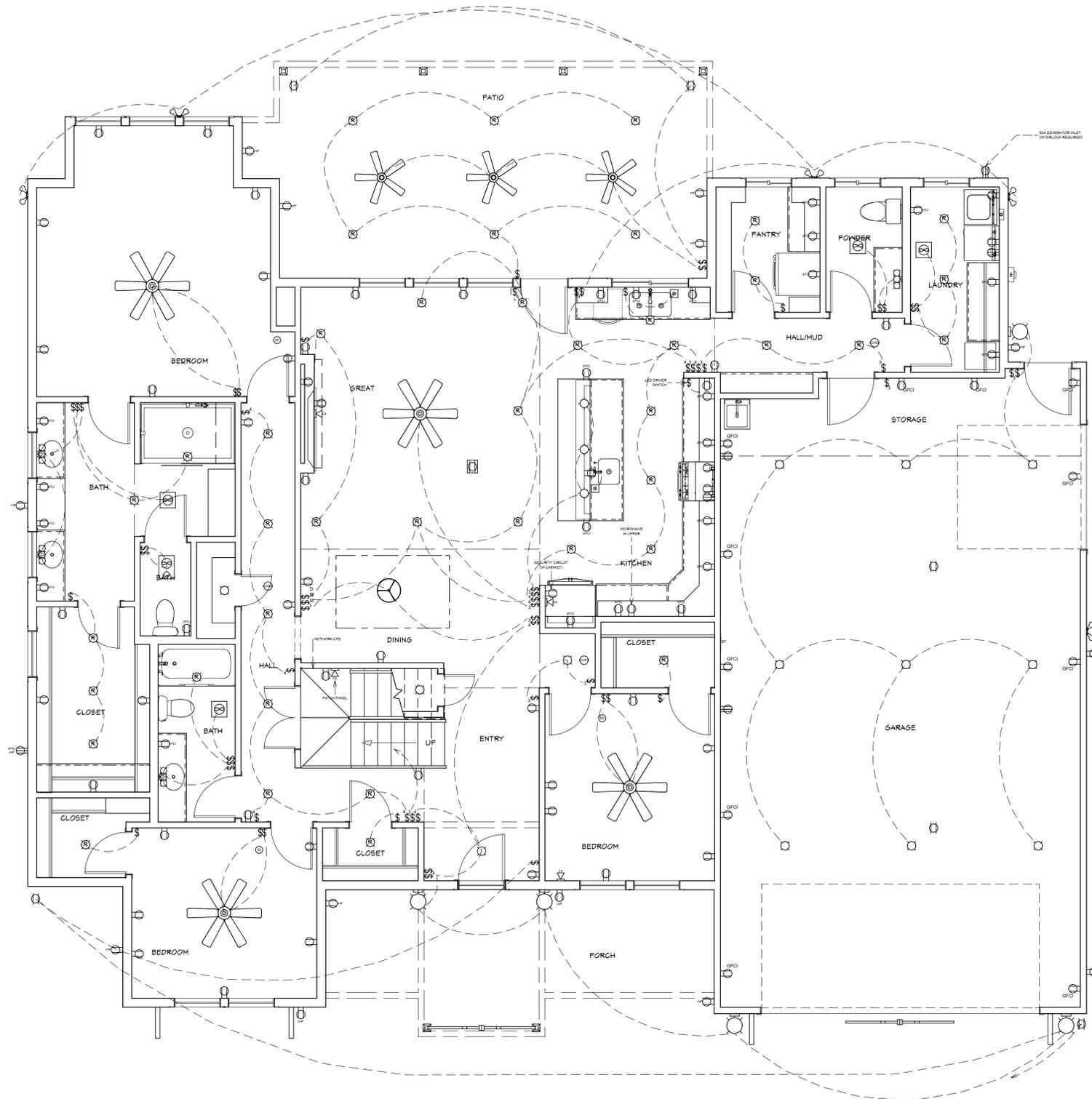
5/14/2024

SCALE:

1/4" = 1'

SHEET:

9



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

1. Verify all electrical locations and fixtures with owner.
2. Arrows indicate connections between floors.
3. All exterior plugs and light fixtures to be water proof on a GFCI circuit.
4. All kitchen, laundry, and garage plugs to be on GFCI circuit.
5. Provide a separate circuit for microwave oven.
6. Provide a separate circuit for Network GPE and security system.
7. All recessed lights in exterior ceilings to be insulation cover rated.
8. Electrical outlet plate gaskets shall be installed on receptacle, switch, and any other boxes in exterior walls.
9. All exhaust to vent to outside air. All exhaust ducts to have dampers. Humidity-sensing fans recommended for bathroom and laundry room.
10. Verify location of make-up air and damper.
11. All ceiling fans and lights to be on standard switches. Ceiling fan locations should use three-conductor Romex.
12. Verify installation of whole-house surge protection system at EP with owner (recommended for variable-speed heat pump).
13. Garage lighting is lamp bases.
14. Exterior architectural and security exterior lighting controlled by interior switches. Verify location of soffit plugs.
15. Final panel location and meter base determined by electrician.
16. All electrical to meet all locally adopted building codes for height, spacing, tamper resistance, etc.

Electrical Service size- 200Amp

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Electrical Plan

homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

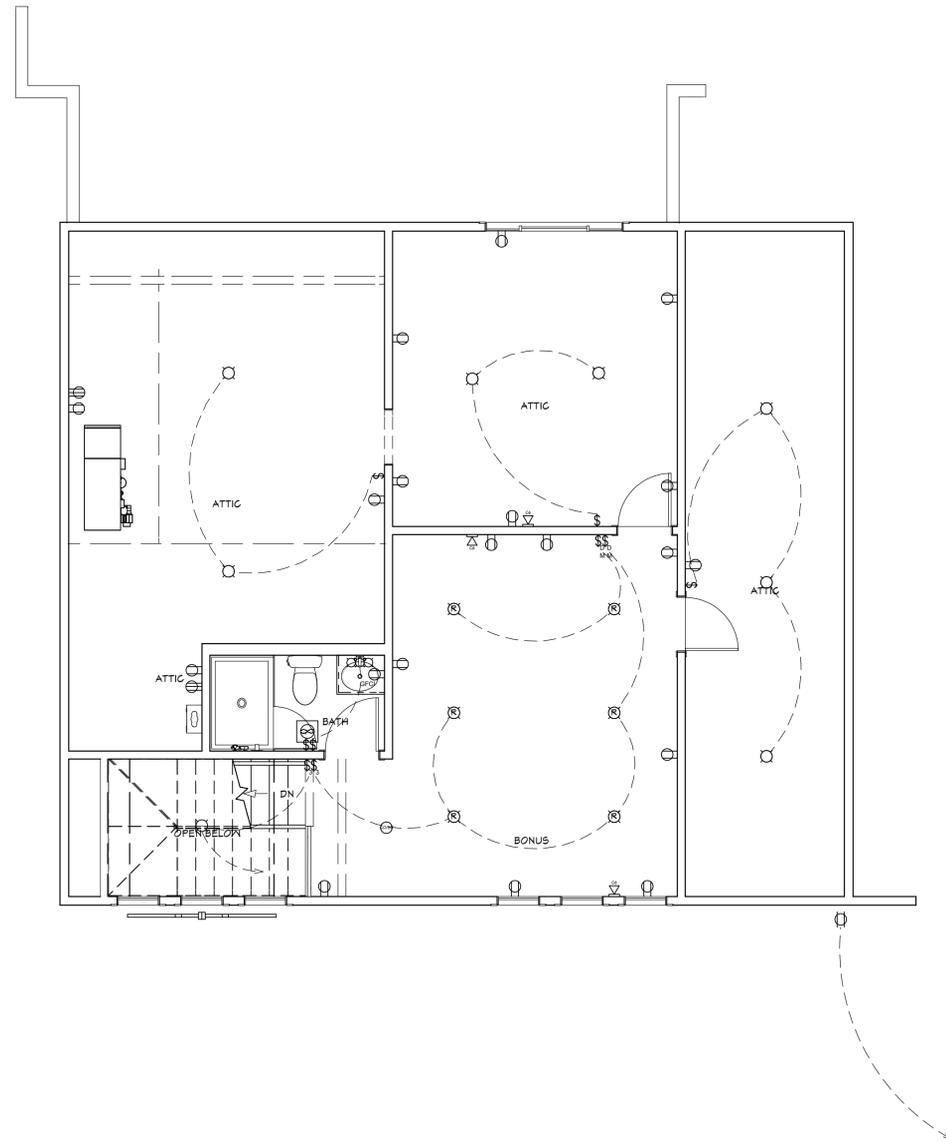
5/14/2024

SCALE:

1/4" = 1'

SHEET:

10



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

SEE PAGE 10



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Electrical Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

11

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All construction must meet or exceed locally adopted building codes.



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
502 W. Rusk Street	Single-Family Home	1990	5,422	N/A	Brick and Siding
504 W. Rusk Street	Single-Family Home	1980	2,821	N/A	Brick and Siding
602 W. Rusk Street	Single-Family Home	1979	6,474	N/A	Brick
604 W. Rusk Street	Vacant	N/A	N/A	N/A	N/A
406 W. Kaufman Street	Single-Family Home	1985	2,653	884	Stone
502 W. Kaufman Street	Single-Family Home	1950	1,422	600	Brick
504 W. Kaufman Street	Single-Family Home	1985	1,445	960	Brick
506 W. Kaufman Street	Single-Family Home	1985	1,060	36	Siding
508 W. Kaufman Street	Single-Family Home	1990	3,016	N/A	Brick
510 W. Kaufman Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1981	3,039	620	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



502 W. Rusk Street



504 W. Rusk Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



602 W. Rusk Street



604 W. Rusk Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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406 W. Kaufman Street



502 W. Kaufman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

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504 W. Kaufman Street



506 W. Kaufman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



508 W. Kaufman Street



510 W. Kaufman Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2753-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF BLOCK 20 OF THE LOWE & ALLEN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Paul and Dioselina Curbow for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2753-acre parcel of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 10 (SF-10) District land uses, addressed as 510 W. Kaufman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development*

Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF SEPTEMBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 19, 2024

2nd Reading: September 3, 2024

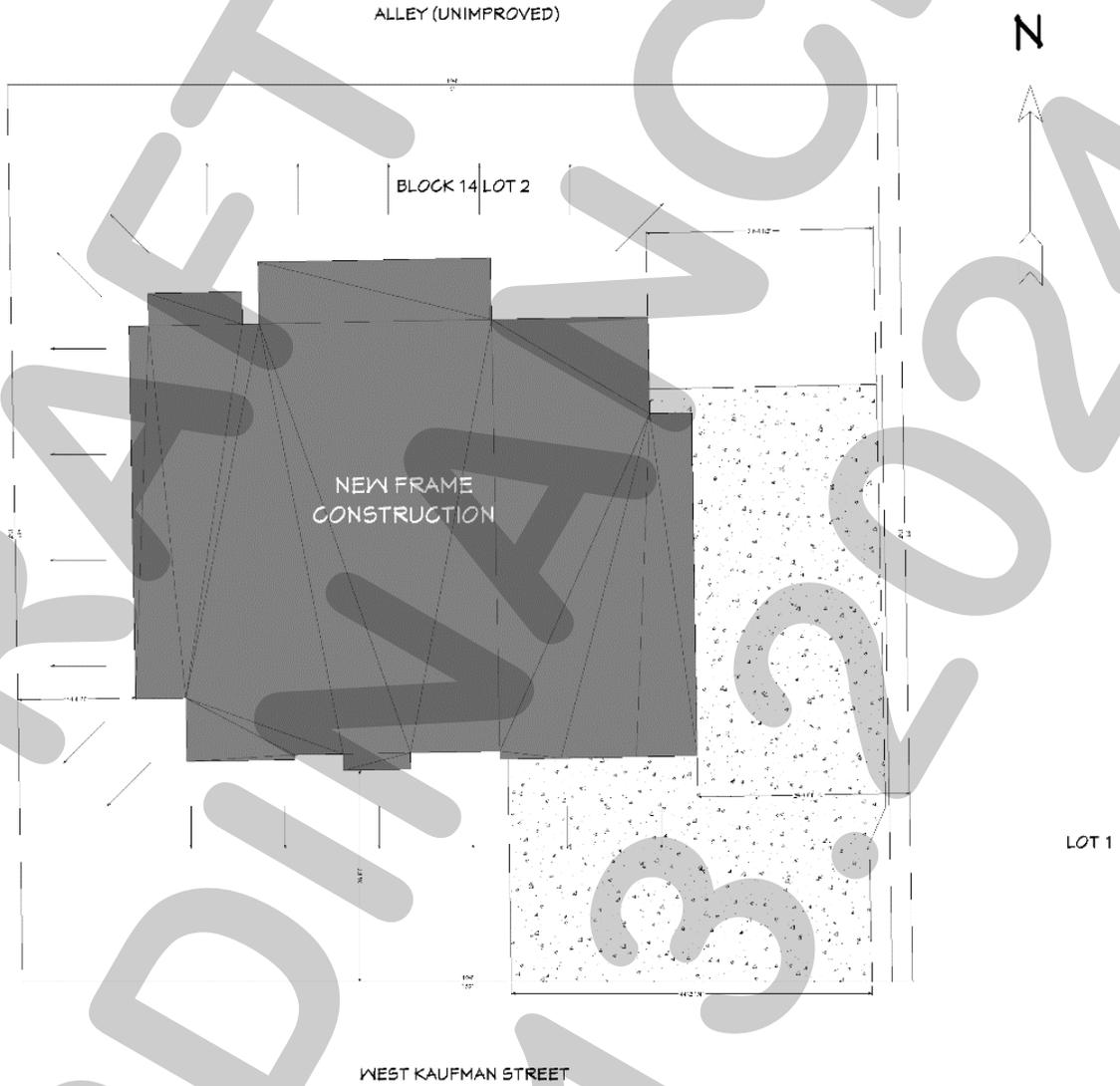
Exhibit 'A':
Location Map

Address: 510 W. Kaufman Street

Legal Description: A portion of Block 20 of the Lowe & Allen Addition



Exhibit 'B':
Residential Plot Plan



**Exhibit 'C':
Building Elevations**

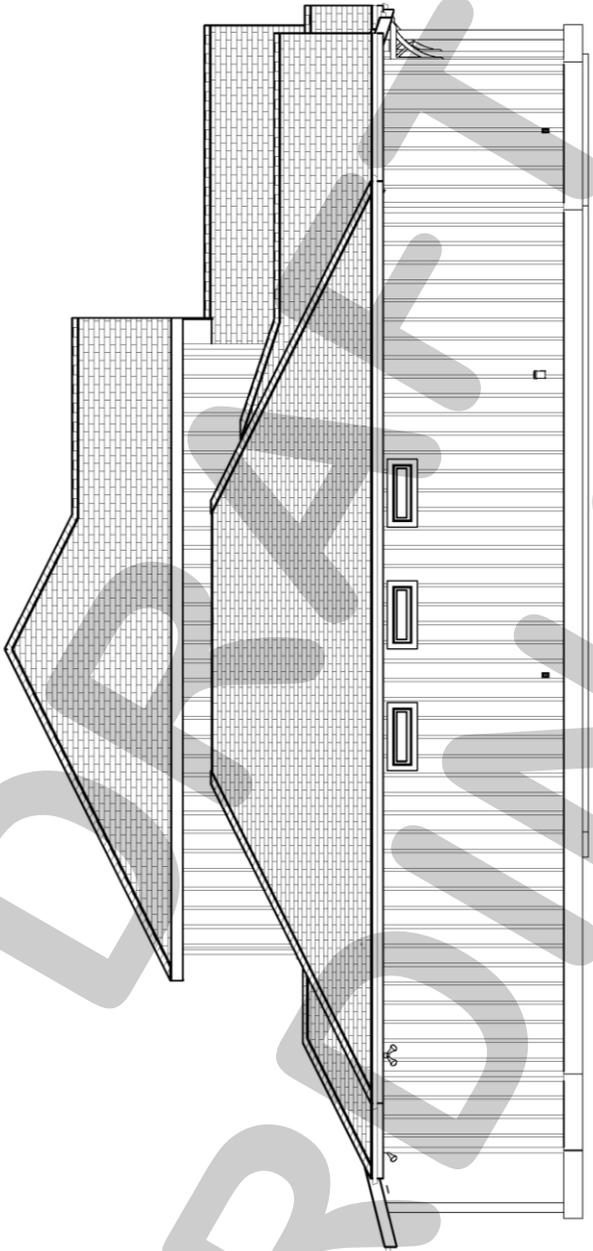


Exterior Elevation Front



Exterior Elevation Back

Exhibit 'C':
Building Elevations



Exterior Elevation Left



Exterior Elevation Right



CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: August 19, 2024
APPLICANT: Paul and Dioselina Curbow
CASE NUMBER: Z2024-031; *Specific Use Permit (SUP) for a Residential Infill at 510 W. Kaufman Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision* on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

BACKGROUND

According to the 1934 Sanborn Maps, the subject property was platted as part of the Lowe & Allen Addition prior to 1934 and after 1911. Per the City's historic zoning maps, the subject property was originally zoned Single-Family 2 (SF-2) District as of January 3, 1972. Between this date and May 16, 1983, the subject property was rezoned from a Single-Family 2 (SF-2) District to a Single-Family 10 (SF-10) District. The subject property is currently vacant.

PURPOSE

The applicants -- *Paul and Dioselina Curbow* -- are requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 510 W. Kaufman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several single-family homes that are situated within the Highwood Subdivision, which consists of 74 residential lots and was established on July 1, 1955. Beyond this is Westway Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this roadway, are more single-family homes situated within the Highwood Subdivision. Beyond this is Highland Drive, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. All of these properties are zoned Single-Family 10 (SF-10) District.

South: Directly south of the subject property is W. Kaufman Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.46-acre parcel of land (*i.e. Block 19 of the Lowe & Allen Addition*) that is developed with a single-family home and is zoned Single-Family 7 (SF-7) District. South of this is W. Rusk Street, which is identified as a P3U (*i.e. principal arterial, three (3) lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property are nine (9) residential lots (*i.e. 302, 304, 402, 404, 406, 502, 504, 506 & 508 W. Kaufman Street*) developed with single-family homes and zoned Single-Family 10 (SF-10) District. Beyond this

is N. West Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this are two (2) parcels of land (*i.e. 202 N. West Street & 201 N. Alamo Street*), developed with commercial businesses (*i.e. Steeli Beans Boutique & Lush Beauty Salon*) that are zoned Downtown (DT) District.

West: Directly west of the subject property are two (2) vacant tracts of land (*i.e. Lot B, Block 85 & 87D, B.F. Boydston Addition & Lot AB, Block 87, B.F. Boydston Addition*) which are zoned Single-Family 10 (SF-10) District. Beyond this is a 0.73-acre parcel of land (*i.e. Lot 1, Block A, S. Sparks Addition*), which is developed with a single-family home and is zoned Single-Family 10 (SF-10) District. West of this is the Walmart Neighborhood Market and a retail shopping center, which is situated on a 10.20-acres tract of land (*i.e. Lots 1, 3 & 4, Wal-Mart Rockwall Addition*) that is zoned Planned Development District 49 (PD-49) for General Retail (GR) District land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is situated within 500-feet of the Highwood Subdivision, which is 100% developed, consists of 74 residential lots, and has been in existence since July 1, 1955. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being adjacent to an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing within close proximity of W. Kaufman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on W. Kaufman Street and W. Rusk Street in a Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) & Two (2) Story	Two (2) Story
Building Orientation	Most homes are oriented toward W. Kaufman Street.	The front elevation of the home will face W. Kaufman Street.
Year Built	1979-1990	N/A
Building SF on Property	1,060 SF – 5,422 SF	4,221 SF
Building Architecture	Single Family Homes and Two (2) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	26-Feet
Side	6- feet	14.4- Feet & 25.9-Feet
Rear	10-Feet	X> 10-Feet
Building Materials	Brick and Siding	Board & Batten Siding
Paint and Color	Red, Tan, White, Brown, Yellow, Gray	N/A
Roofs	Composite Shingles	Asphalt Shingle
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of front-facing garages or no garages.	The garage will be attached and located evenly with the front façade of the home.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant’s proposed garage is located evenly with the front façade of the single-family home;

however, staff should point out that this is not atypical for this area. A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If this Specific Use Permit (SUP) request is approved by the Planning and Zoning Commission and City Council, the garage setback requirement will be waived. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements as stipulated by the Unified Development Code (UDC) for a property in a Single-Family 10 (SF-10) District.

For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along W. Kaufman Street and W. Rusk Street and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On July 23, 2024, staff mailed 63 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows and Bent Creek Condos Homeowners Associations (HOAs) which are the only HOA's located within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice back in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill Adjacent to an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

CONDITIONS OF APPROVAL

On August 13, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 5-0, with Commissioners Thompson and Conway absent.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 510 W. Kaufman St Rockwall, TX 75087

SUBDIVISION Lowe & Allen Block LOT 20 BLOCK -

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING _____ CURRENT USE _____

PROPOSED ZONING _____ PROPOSED USE Single Family Residential

ACREAGE .27 LOTS [CURRENT] _____ LOTS [PROPOSED] _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Paul & Dioselina Carbow

APPLICANT _____

CONTACT PERSON Paul Carbow

CONTACT PERSON _____

ADDRESS 7137 Lanyon dr

ADDRESS _____

CITY, STATE & ZIP Dallas, TX 75227

CITY, STATE & ZIP _____

PHONE 469-623-2192

PHONE _____

E-MAIL pcarbow@dallasisd.org

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

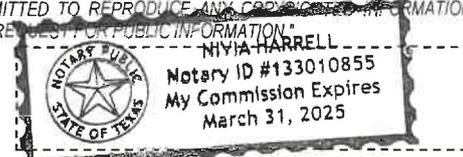
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Paul Carbow [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF July, 2024 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPIED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF July, 2024

OWNER'S SIGNATURE Paul Carbow

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]



MY COMMISSION EXPIRES _____



Z2024-031: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision 510 W. Kaufman Street.



SF-10

W KAUFMAN ST

SF-7

Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

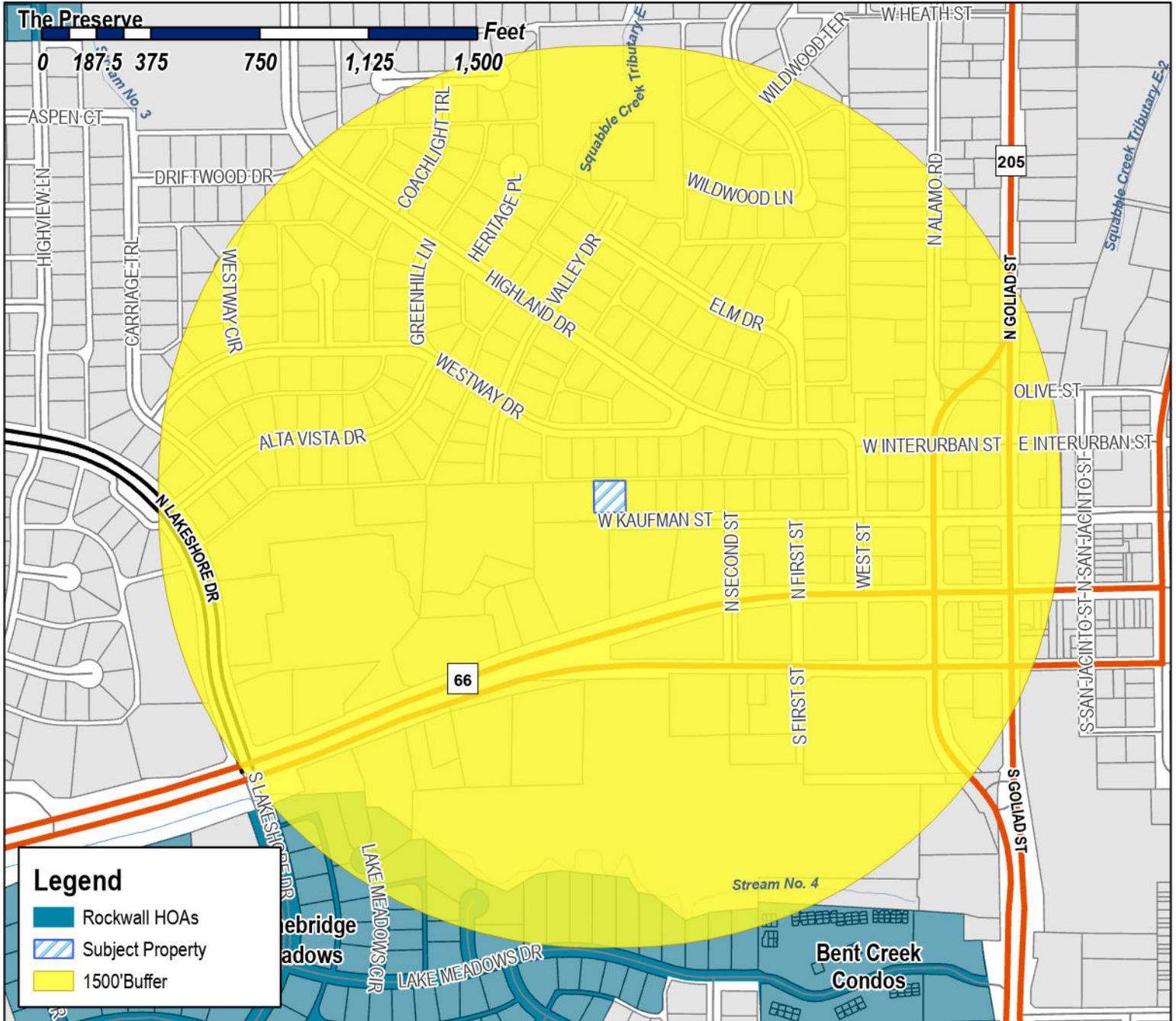




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Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street

Date Saved: 7/12/2024
 For Questions on this Case Call (972) 771-7745



From: [Guevara, Angelica](#)
Cc: [Miller, Ryan](#); [Lee, Henry](#); [Zavala, Melanie](#); [Ross, Bethany](#)
Bcc: [REDACTED]
Subject: Neighborhood Notification Email [Z2024-031]
Date: Wednesday, July 24, 2024 3:06:00 PM
Attachments: [Public Notice \(P&Z\).pdf](#)
[HOA Map \(07.12.2024\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on Friday, July 26, 2024. The Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision at 510 W. Kaufman Street
Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

Thank you,

Angelica Guevara

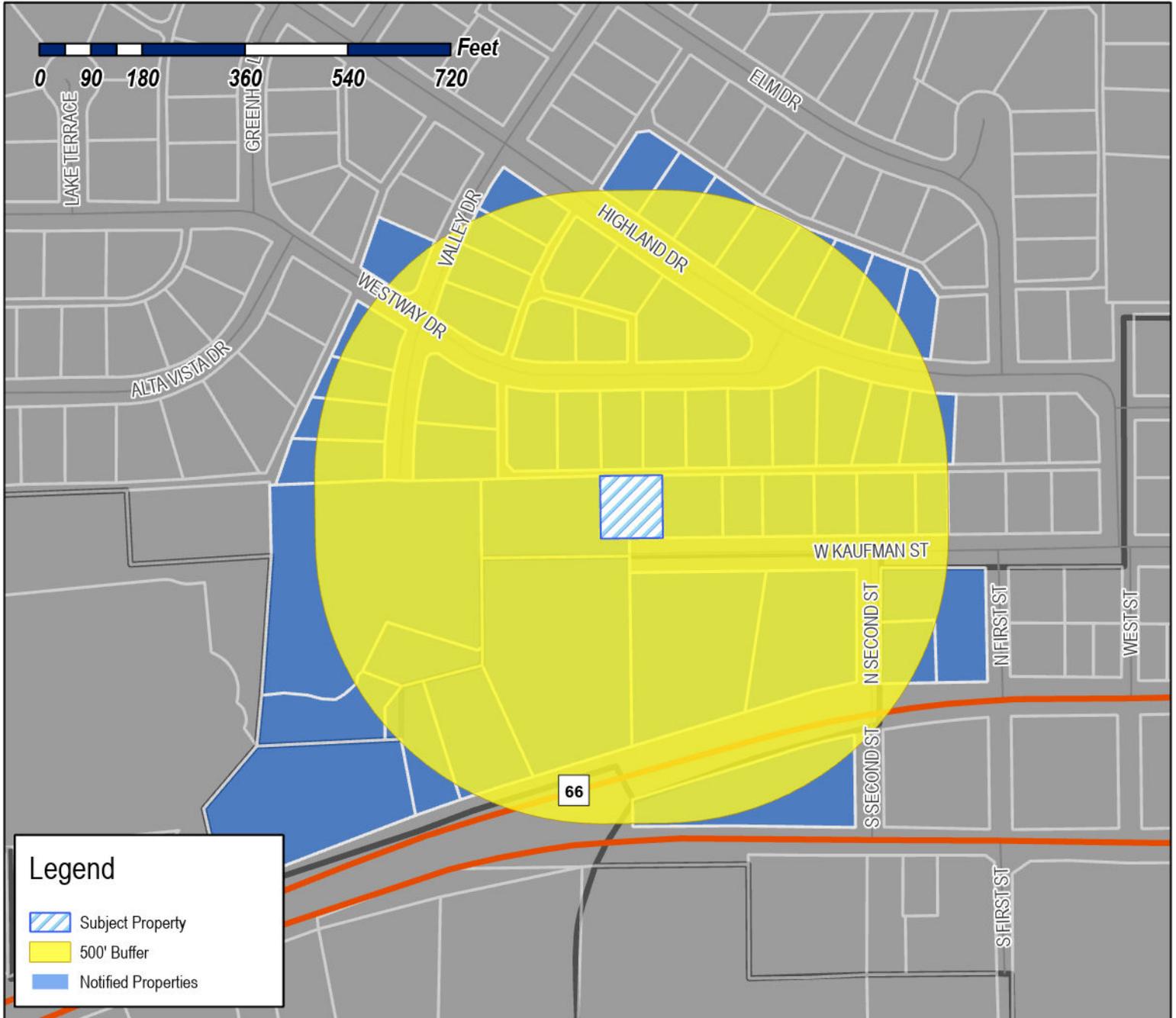
Planning Technician
City of Rockwall Planning & Zoning
385 S. Goliad Street
Rockwall, TX 75087
Office: 972-771-7745
Direct: 972-772-6438



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Legend

-  Subject Property
-  500' Buffer
-  Notified Properties

Case Number: Z2024-031
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 510 W. Kaufman Street



Date Saved: 7/12/2024

For Questions on this Case Call: (972) 771-7745

SPARKS ROBERT & TANA
103 N 1ST ST
ROCKWALL, TX 75087

ASHLEY CHRISTOPHER H
1107 BAY SHORE DRIVE
ROCKWALL, TX 75087

GILLESPIE RICHARD M AND DONNA M
1130 SIERRA PASS
ROCKWALL, TX 75087

RADNEY JAMES AND PATTI
1972 CR 2296
QUINLAN, TX 75474

LINDSEY NOEL
201 VALLEY DR
ROCKWALL, TX 75087

GARRISON DAVID C AND MICHEL J
202 VALLEY DR
ROCKWALL, TX 75087

MCELROY LEAH KIMBERLY
203 VALLEYB DR
ROCKWALL, TX 75087

PHIPPS RICKIE LYNN AND
204 VALLEY DRIVE
ROCKWALL, TX 75087

RSIDENT
205 VALLEY DR
ROCKWALL, TX 75087

MILLS KAY SUSAN
207 VALLEY DR
ROCKWALL, TX 75087

BALL JUSTIN D
2155 CLUBVIEW DR
ROCKWALL, TX 75087

VISTAGE PROPERTIES LLC
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

ALTA VISTA BNB LLC
2701 WHISPERING OAKS
ROCKWALL, TX 75087

RSIDENT
301 VALLEY DR
ROCKWALL, TX 75087

PAINTER MICAH
301 VALLEY DRIVE
ROCKWALL, TX 75087

GREENAWALT M GENE & CLAUDINE
302 VALLEY DR
ROCKWALL, TX 75087

CHAMBERLAIN MARCUS P
304 VALLEY DR
ROCKWALL, TX 75087

EDMINSON JACOB K AND SUSAN C
306 VALLEY DR
ROCKWALL, TX 75087

KLEPPER LINDA C (POLLARD)
307 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
308 VALLEY DR
ROCKWALL, TX 75087

WEBB TEDDY DOUGLAS & AURORA
308 HIGHLAND DRIVE
ROCKWALL, TX 75087

PENCE ALLEE
309 HIGHLAND DRIVE
ROCKWALL, TX 75087

GARCIA JOHN
310 HIGHLAND DRIVE
ROCKWALL, TX 75087

PEOPLES JOHN P
311 HIGHLAND DR
ROCKWALL, TX 75087

GARRETT GERRY B
312 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
313 WESTWAY DR
ROCKWALL, TX 75087

DEL CASTILLO LUIS
314 HIGHLAND DRIVE
ROCKWALL, TX 75087

HARVEY JAMES
315 WESTWAY DRIVE
ROCKWALL, TX 75087

BURTON NORVELLA KAY
316 HIGHLAND DR
ROCKWALL, TX 75087

PURNELL MICHAEL & DEBORAH
317 HIGHLAND DR
ROCKWALL, TX 75087

BUTLER PAUL DAVID
317 WESTWAY DRIVE
ROCKWALL, TX 75087

STACEY MARY
318 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
319 WESTWAY DR
ROCKWALL, TX 75087

HARRELL GRANT E
319 HIGHLAND DR
ROCKWALL, TX 75087

RSIDENT
320 HIGHLAND DR
ROCKWALL, TX 75087

CONFIDENTIAL
321 HIGHLAND DR
ROCKWALL, TX 75087

RANDOLPH JILL FOX
321 WESTWAY DRIVE
ROCKWALL, TX 75087

GOODMAN MORGAN AND AMANDA
322 HIGHLAND DRIVE
ROCKWALL, TX 75087

ROGERS OLIVER G
322 WESTWAY DR
ROCKWALL, TX 75087

RICE KAREN
323 WESTWAY DRIVE
ROCKWALL, TX 75087

DAFFRON SYBIL ANNETTE
324 WESTWAY DRIVE
ROCKWALL, TX 75087

RSIDENT
325 WESTWAY DR
ROCKWALL, TX 75087

KOVAR RACHAEL A
404 WEST KAUFMAN STREET
ROCKWALL, TX 75087

PICKETT GINA
406 W KAUFMAN ST
ROCKWALL, TX 75087

ALLEN ROBERT G DDS
406 W RUSK ST
ROCKWALL, TX 75087

ROAN-NUNN MABEL PEGGY ESTATE
419 N. TEXAS ST.
EMORY, TX 75440

CANUP PAUL RICHARD AND VICTORIA ANN
REVOCABLE LIVING TRUST
PAUL RICHARD CANUP AND VICTORIA ANN
CANUP CO-TRUSTEES
4268 AIRLINE RD
LONGVIEW, TX 75605

MCVANEY JEFFREY AND MORGAN
4761 SECRET CV
ROCKWALL, TX 75032

SPAFFORD SARAH
494 DOWELL RD
ROCKWALL, TX 75032

RSIDENT
502 W KAUFMAN
ROCKWALL, TX 75087

SMITH MARY SUE
502 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
504 W KAUFMAN
ROCKWALL, TX 75087

RSIDENT
504 W RUSK
ROCKWALL, TX 75087

RSIDENT
506 W KAUFMAN
ROCKWALL, TX 75087

BARKER FRED D & JANICE
508 WEST KAUFMAN ST
ROCKWALL, TX 75087

RSIDENT
510 W KAUFMAN ST
ROCKWALL, TX 75087

CANUP DAVID & PATRICIA
602 W RUSK ST
ROCKWALL, TX 75087

RSIDENT
604 W RUSK
ROCKWALL, TX 75087

RUSK STREET DEVELOPMENT LP
636 HANBY LN
ROCKWALL, TX 75032

RSIDENT
702 W RUSK
ROCKWALL, TX 75087

CURBOW PAUL AND DIOSELINA
7137 LANYON DRIVE
DALLAS, TX 75227

STATE HIGHWAY DEPT
I 30 RT 3 L L LOFLAND
ROCKWALL, TX 75087

STEGER ANA WADE LIFE ESTATE &
DIANA WADE CHAPMAN, CYNDIE SUE PATRICK
& O L STEGER III
PO BOX 478
ROCKWALL, TX 75087

Case No. Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name:

M Gene and Candace Greenwalt

Address:

302 Valley Dr 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Hold a public hearing to discuss and consider a request by Paul and Dioselina Curbow for the approval of a Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision on a 0.2753-acre tract of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 510 W. Kaufman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, August 13, 2024 at 6:00 PM, and the City Council will hold a public hearing on Monday, August 19, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Angelica Guevara
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, August 19, 2024 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2024-031: SUP for Residential Infill Adjacent to an Established Subdivision

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Four horizontal grey bars for providing reasons for response]

Name: [Grey bar for name]

Address: [Grey bar for address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

HIGHWOOD ADDITION
VOL. 50, PG. 618
D.R.R.C.T.

BLOCK 14

LOT 4

LOT 5

LOT 6

1/2" I.R.F.
(CONTROL MONUMENT)

3/8" I.R.F.
0.8' NORTH
OF PLAT COR.

15' ALLEY (UNIMPROVED)
EAST 109.00'

1/2" I.R.S.

EAST
112.15'

1/2" I.R.S.

0.7'

5.5'

12.4'

FRAME
SHED

12.2'

CHAIN LINK
FENCE

0.6'

S 01'00"00" E
110.00'

PROPERTY LINE ALONG FENCE AS CALLED BY PLAT
N 01'00"00" W
110.00'

LOT 2

LOT 1

DAMP CANUP, ET UX
VOL. 149, PG. 140
D.R.R.C.T.

1/2" I.R.S.

WEST 109.00'

1/2" I.R.S.

EAST
112.15'

PRIVATE DRIVE

STREET EXITS

WEST KAUFMAN STREET
(60' R.O.W.)
(ASPHALT PAVING)



TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:
This is to certify that I have, this date, made a careful and accurate survey
on the ground of property located on Kaufman Street in the City of
Rockwall, Texas, described as follows:

Lot 2 of REPLAT OF PART OF BLOCK "26" IN THE LOWE AND ALLEN ADDITION,
an addition to the City of Rockwall, Rockwall County, Texas, according to the
plat thereof recorded in Cabinet A, Page B, Plat Records, Rockwall County, Texas.

"THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN ACCORDING TO THE
FLOOD PLAIN MAP OF THE CITY OF ROCKWALL COMMUNITY PANEL
NO. 480547 0005 C. MAP DATED 6/16/92 (ZONE "X")."

THERE ARE NO ENCROACHMENTS, CONFLICTS OR PROTUSIONS, EXCEPT AS SHOWN.

The plat hereon is a representation of an on the ground survey as dated thereabove, the
lines and dimensions of said property being indicated, the size, location and type of buildings
and improvements are as shown, all improvements being within the boundaries of the property
set back from property lines the distance indicated, all easements and other matters of record
of which I have been advised are as shown hereon. This survey was performed in connection
with the transaction described in C.F. No. 200007710 of Rockwall County Abstract & Title Company.
Use of this survey for any other purpose or by any other parties shall be at their own risk and
the undersigned is not responsible to any others for any loss resulting therefrom.

Registered Professional
Land Surveyor

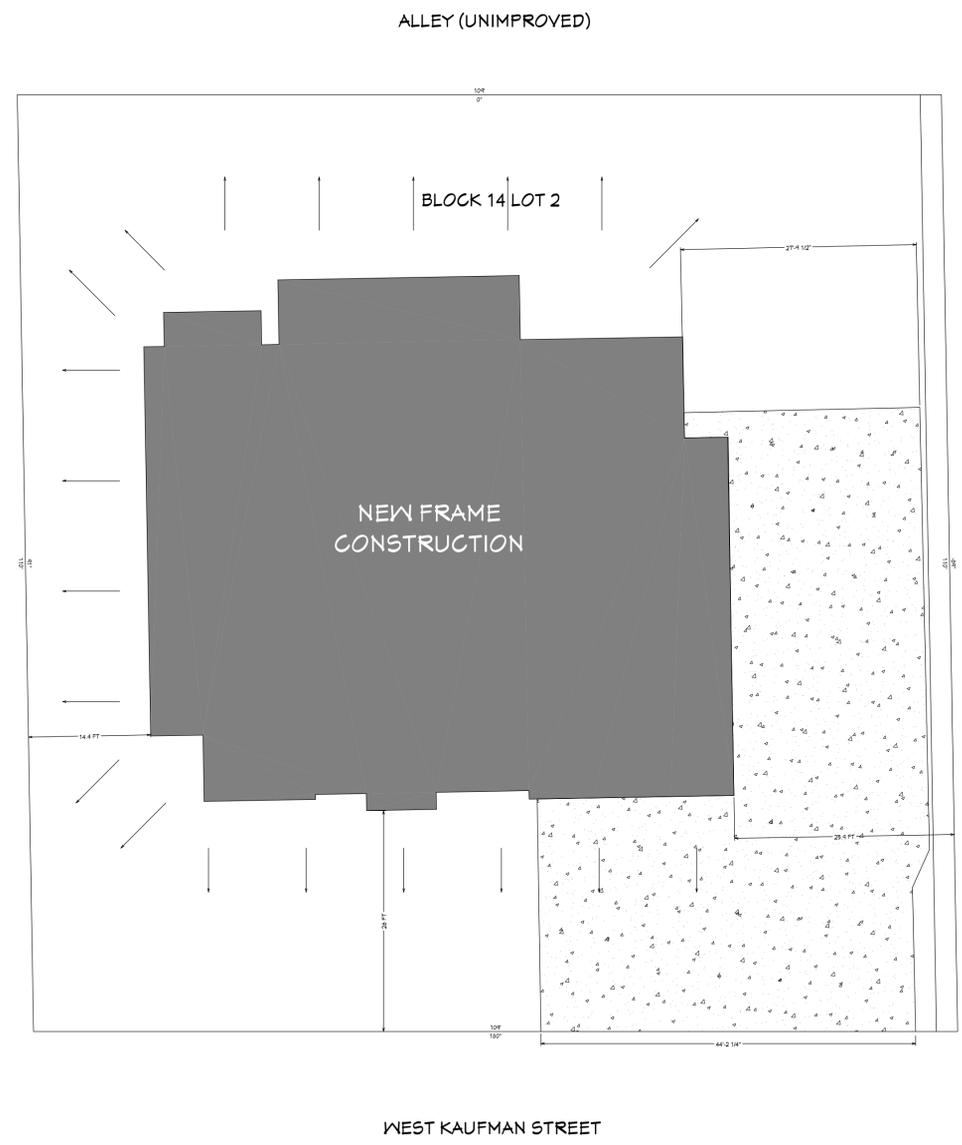
[Signature]

Daniel A. Smith, R.P.L.S. No. 4645

1" PIPE END.
(CONTROL MONUMENT)

Daniel A. Smith Land Surveying, Inc.
309 N. GALLOWAY, SUITE 107
Mesquite, Texas 75149
(972) 216-3334 fax (972) 216-8922

Job No. 4872-B Scale: 1" = 20'
Date: 07/25/00 Drawn by: AWK



GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

SITE NOTES:

1. Confirm zoning setbacks.



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Plot Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1" = 10'

SHEET:

12

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1	Project Overview
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All construction must meet or exceed locally adopted building codes.



www.homemadedesign.net

NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kauffman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

4

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

1. All exterior columns/posts to be built from 2x4 studs, wrapped by Zip System wall sheathing.
2. All brackets, gable accent, and corbels to be cedar.
3. All corner boards, fascia, soffit, frieze & trim to be composite material.
4. Entire exterior to be SmartSide composite lap unless specified otherwise.



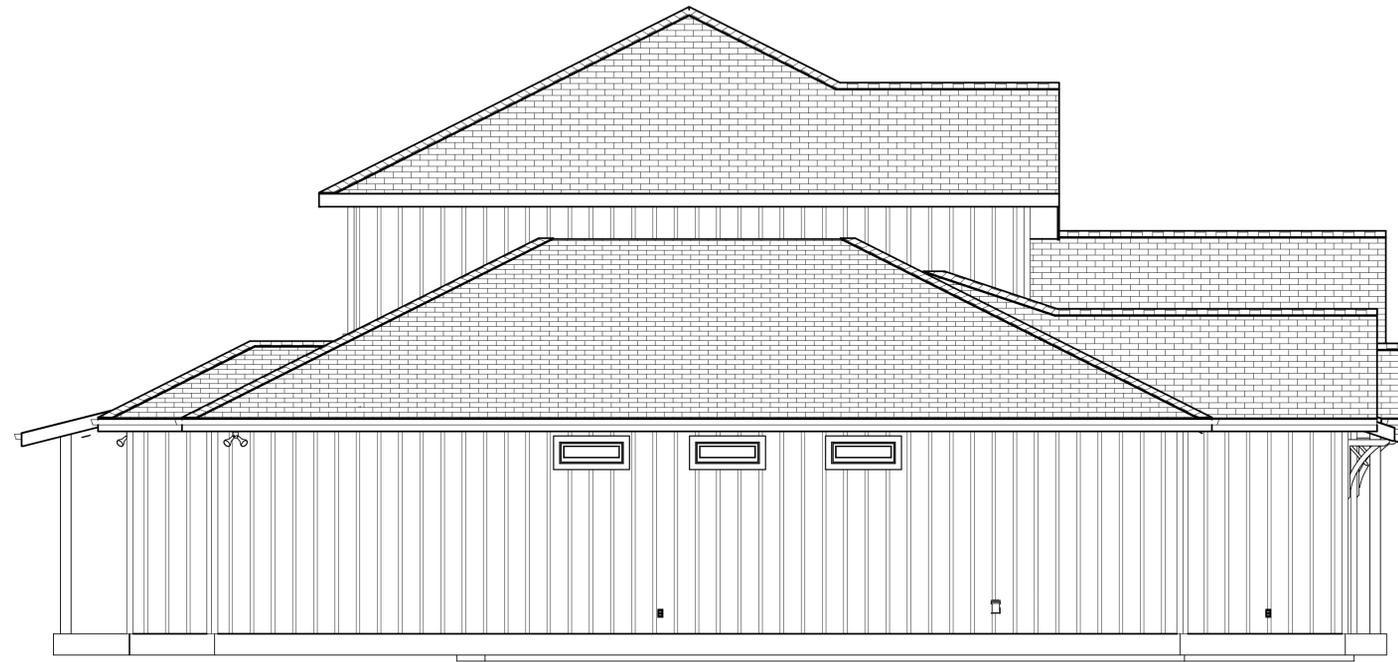
Exterior Elevation Front



Exterior Elevation Back

All construction must meet or exceed locally adopted building codes.

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Exterior Elevation Left



Exterior Elevation Right

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

EXTERIOR NOTES:

SEE PAGE 4



NUMBER	DATE	REVISED BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Exterior Elevations

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

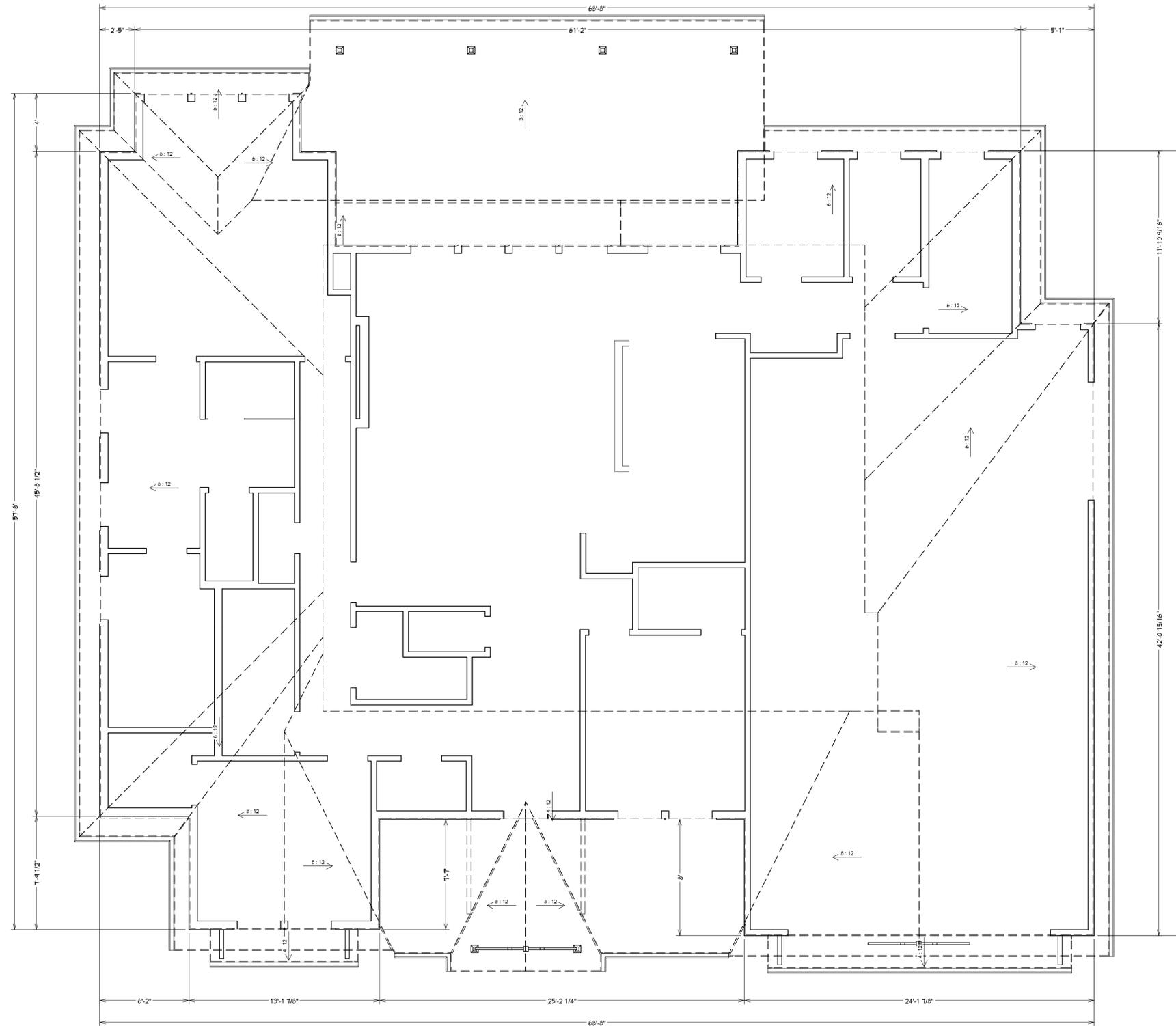
SCALE:

1/4" = 1'

SHEET:

5

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Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

1. There are multiple pitches on the roof. See labels on each roof plane.
2. Roof surfaces to be composition asphalt shingle unless specified otherwise in elevations.
3. Roof surface area: ~5037 sq. ft.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331.6093

DATE:

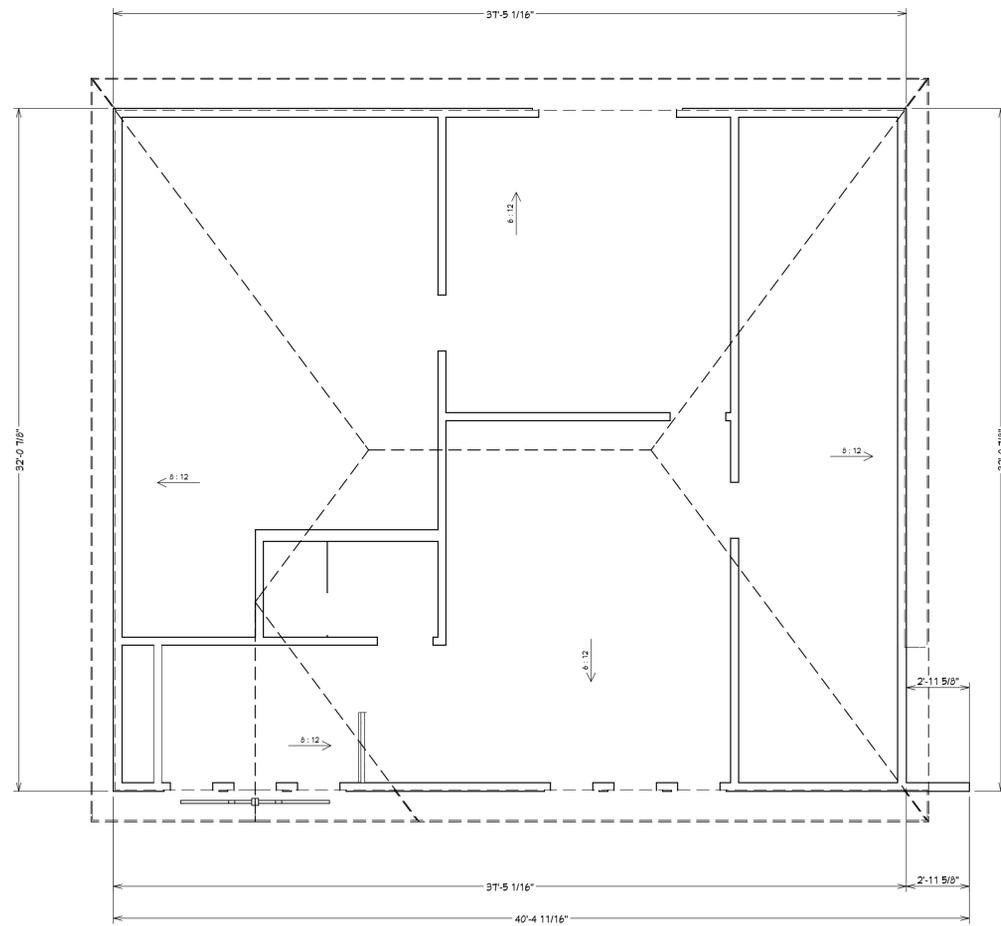
5/14/2024

SCALE:

1/4" = 1'

SHEET:

7



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ROOF NOTES:

SEE PAGE 7



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Roof Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

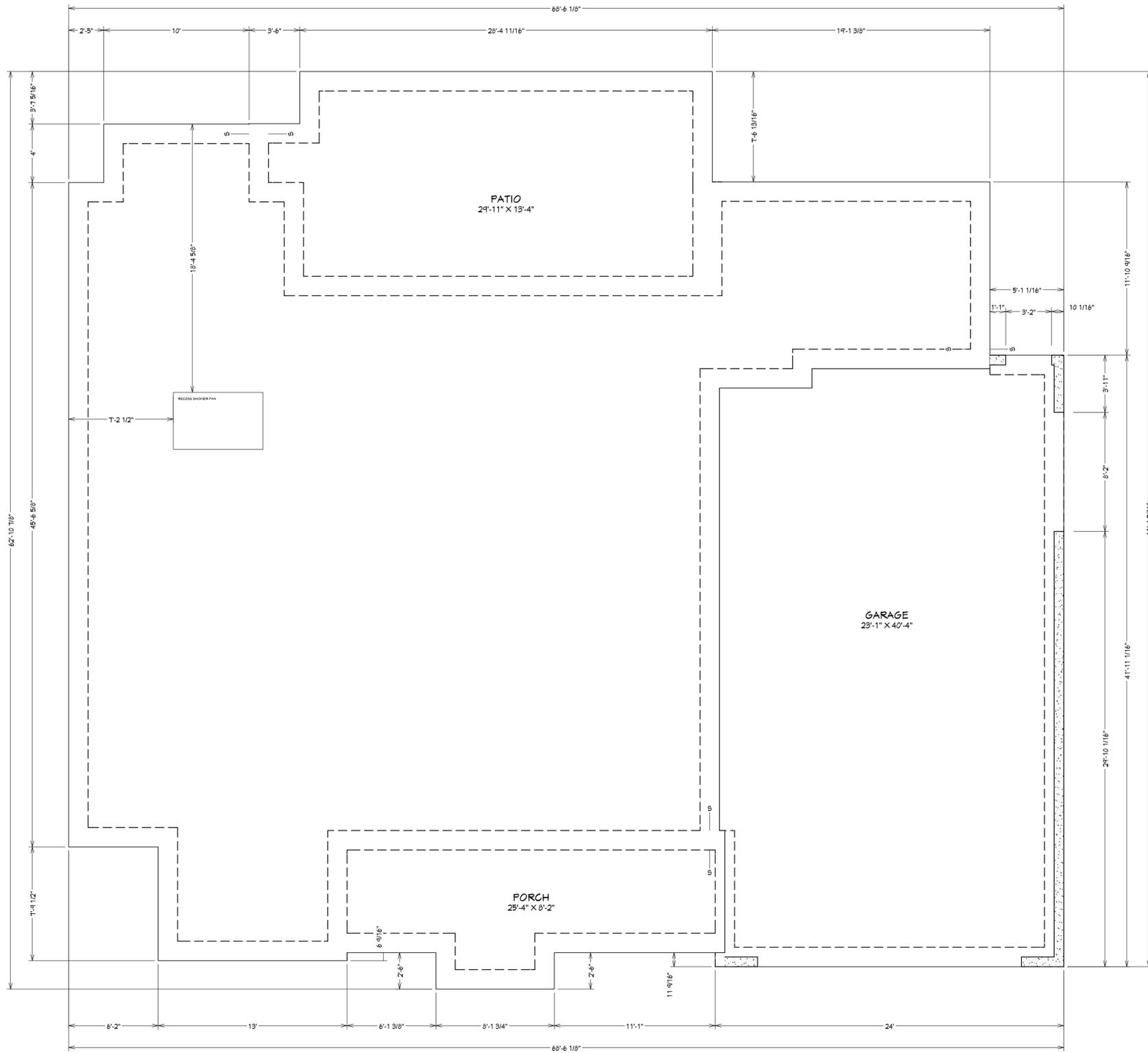
1/4" = 1'

SHEET:

8

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All construction must meet or exceed locally adopted building codes.



All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

FOUNDATION NOTES:

1. Foundation layout is for reference only. Foundation to be designed by engineer.

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REVISION TABLE	NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Foundation Detail

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

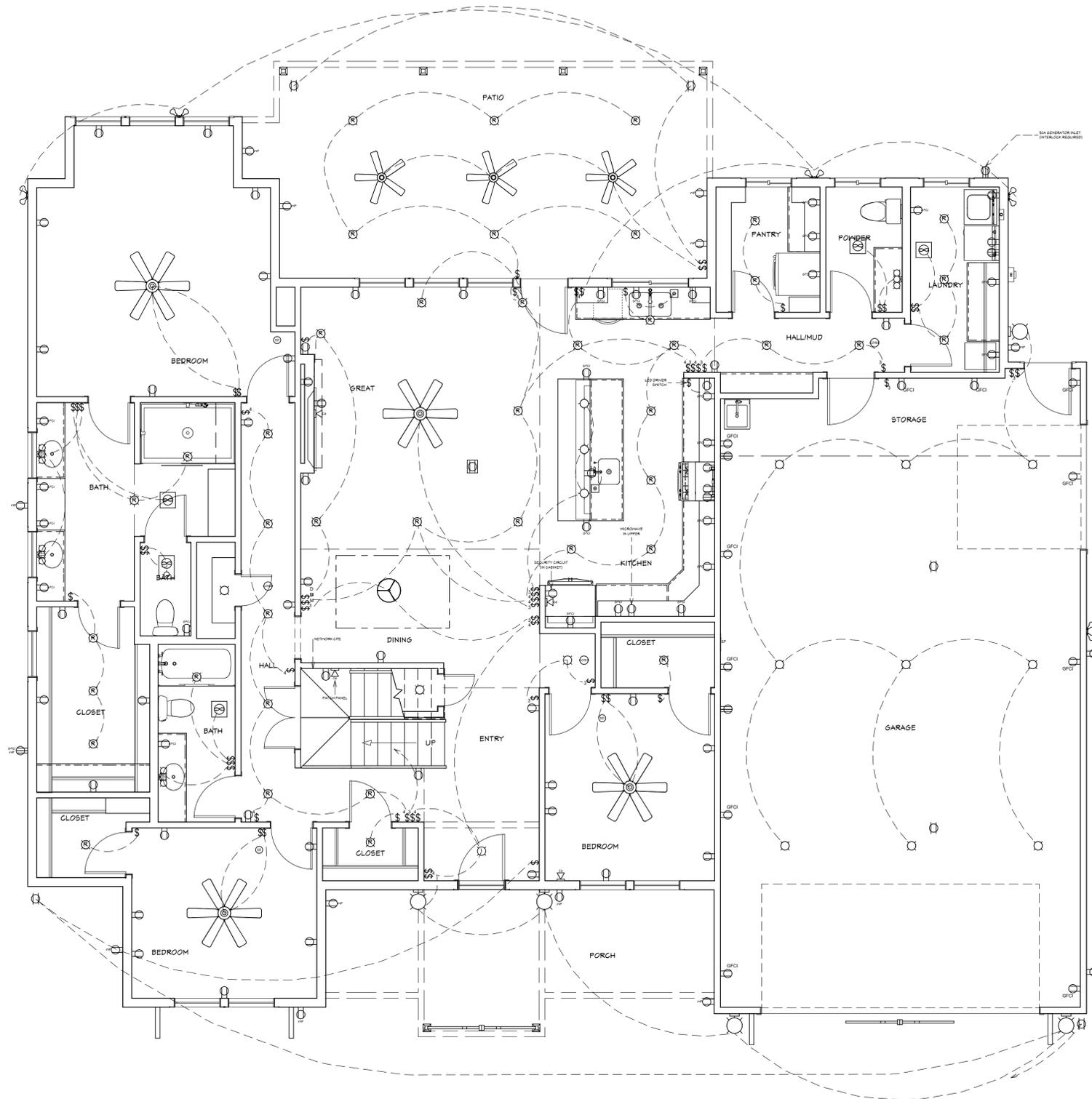
5/14/2024

SCALE:

1/4" = 1'

SHEET:

9



Level 1

All construction must meet or exceed locally adopted building codes.

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

1. Verify all electrical locations and fixtures with owner.
2. Arrows indicate connections between floors.
3. All exterior plugs and light fixtures to be water proof on a GFCI circuit.
4. All kitchen, laundry, and garage plugs to be on GFCI circuit.
5. Provide a separate circuit for microwave oven.
6. Provide a separate circuit for Network GPE and security system.
7. All recessed lights in exterior ceilings to be insulation cover rated.
8. Electrical outlet plate gaskets shall be installed on receptacle, switch, and any other boxes in exterior walls.
9. All exhaust to vent to outside air. All exhaust ducts to have dampers. Humidity-sensing fans recommended for bathroom and laundry room.
10. Verify location of make-up air and damper.
11. All ceiling fans and lights to be on standard switches. Ceiling fan locations should use three-conductor Romex.
12. Verify installation of whole-house surge protection system at EP with owner (recommended for variable-speed heat pump).
13. Garage lighting is lamp bases.
14. Exterior architectural and security exterior lighting controlled by interior switches. Verify location of soffit plugs.
15. Final panel location and meter base determined by electrician.
16. All electrical to meet all locally adopted building codes for height, spacing, tamper resistance, etc.

Electrical Service size- 200Amp

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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REVISION TABLE	NUMBER	DATE	REVISED BY	DESCRIPTION

DRAWN FOR:
Paul Curbow
510 W. Kauffman
Rockwall, TX 75227
469-623-2192

Electrical Plan

homeMADE Design
David B. Lawson, Designer
david@homemadedesign.net | 940-331-6093

DATE:

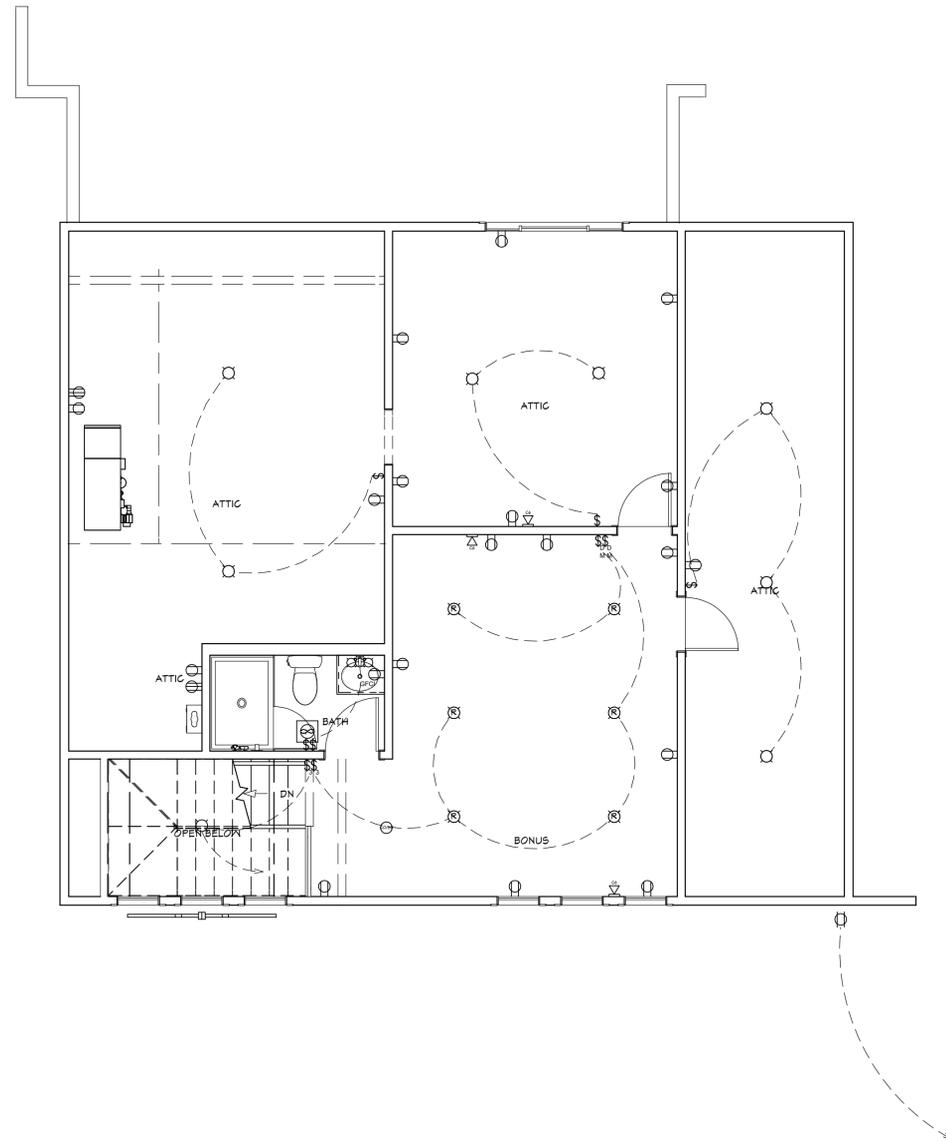
5/14/2024

SCALE:

1/4" = 1'

SHEET:

10



Level 2

GENERAL NOTES:

1. All penetrations in top or bottom plates for plumbing or electrical runs to be sealed. See electrical notes for additional specifications.
2. All linear dimensions located on exterior walls originate at outside of veneer.
3. All linear dimensions located on interior walls originate at framing layer.

ELECTRICAL NOTES:

SEE PAGE 10



NUMBER	DATE	REVISION BY	DESCRIPTION

DRAWN FOR:
 Paul Curbow
 510 W. Kaufman
 Rockwall, TX 75227
 | 469-623-2192

Electrical Plan

DRAWINGS PROVIDED BY:
homeMADE Design
 David B. Lawson, Designer
 david@homemadedesign.net | 940-331-6093

DATE:

5/14/2024

SCALE:

1/4" = 1'

SHEET:

11

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All construction must meet or exceed locally adopted building codes.



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
502 W. Rusk Street	Single-Family Home	1990	5,422	N/A	Brick and Siding
504 W. Rusk Street	Single-Family Home	1980	2,821	N/A	Brick and Siding
602 W. Rusk Street	Single-Family Home	1979	6,474	N/A	Brick
604 W. Rusk Street	Vacant	N/A	N/A	N/A	N/A
406 W. Kaufman Street	Single-Family Home	1985	2,653	884	Stone
502 W. Kaufman Street	Single-Family Home	1950	1,422	600	Brick
504 W. Kaufman Street	Single-Family Home	1985	1,445	960	Brick
506 W. Kaufman Street	Single-Family Home	1985	1,060	36	Siding
508 W. Kaufman Street	Single-Family Home	1990	3,016	N/A	Brick
510 W. Kaufman Street	Vacant	N/A	N/A	N/A	N/A
AVERAGES:		1981	3,039	620	



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



502 W. Rusk Street



504 W. Rusk Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



602 W. Rusk Street



604 W. Rusk Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



406 W. Kaufman Street



502 W. Kaufman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



504 W. Kaufman Street



506 W. Kaufman Street



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2024-031

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



508 W. Kaufman Street



510 W. Kaufman Street

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2753-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF BLOCK 20 OF THE LOWE & ALLEN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Paul and Dioselina Curbow for the approval of a *Specific Use Permit (SUP)* for *Residential Infill Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.2753-acre parcel of land identified as a portion of Block 20 of the Lowe & Allen Addition, City of Rockwall, Rockwall County, Texas, zoned for Single-Family 10 (SF-10) District land uses, addressed as 510 W. Kaufman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development*

Standards, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF SEPTEMBER, 2024.**

Trace Johannesen, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: August 19, 2024

2nd Reading: September 3, 2024

Exhibit 'A':
Location Map

Address: 510 W. Kaufman Street

Legal Description: A portion of Block 20 of the Lowe & Allen Addition

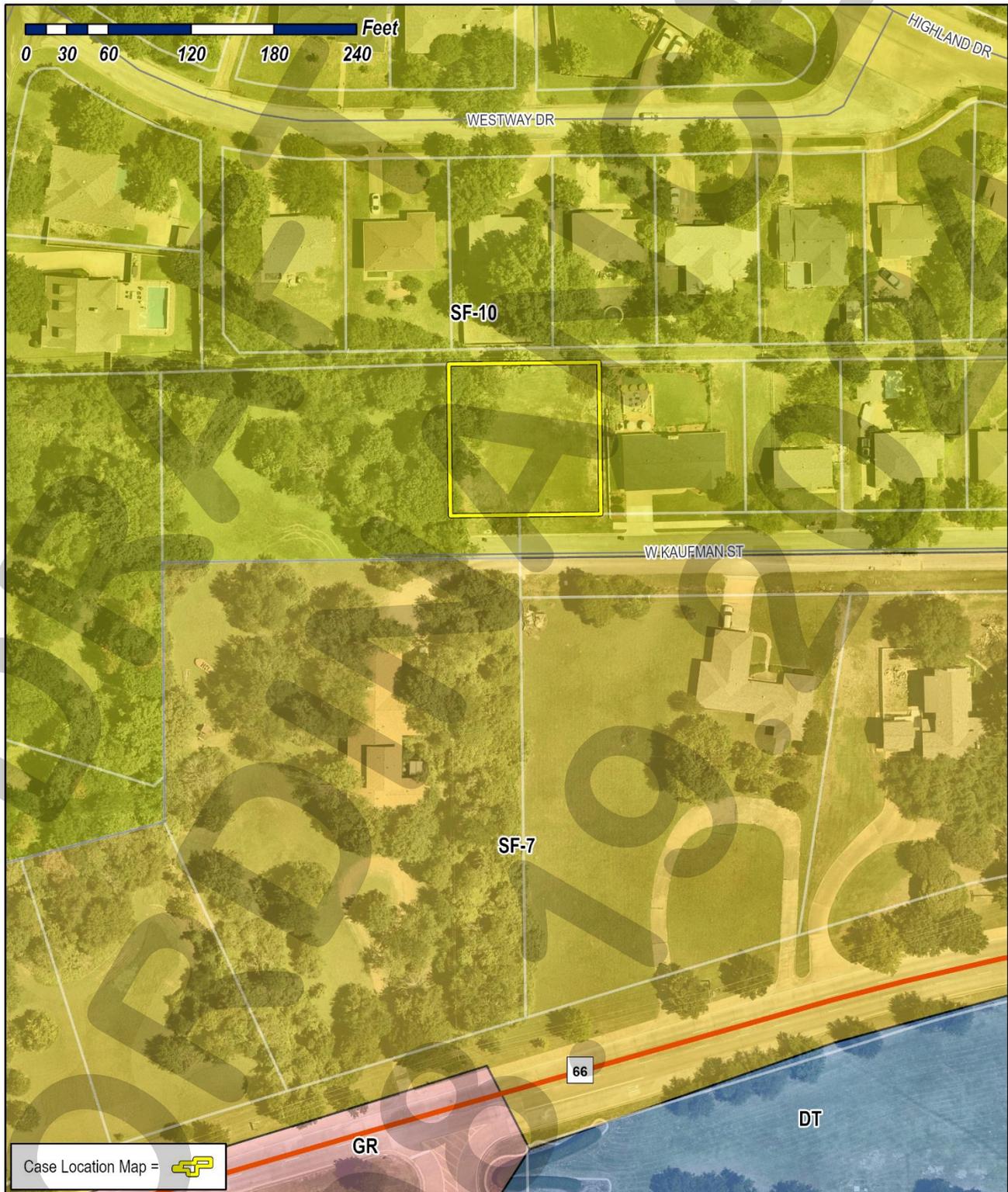
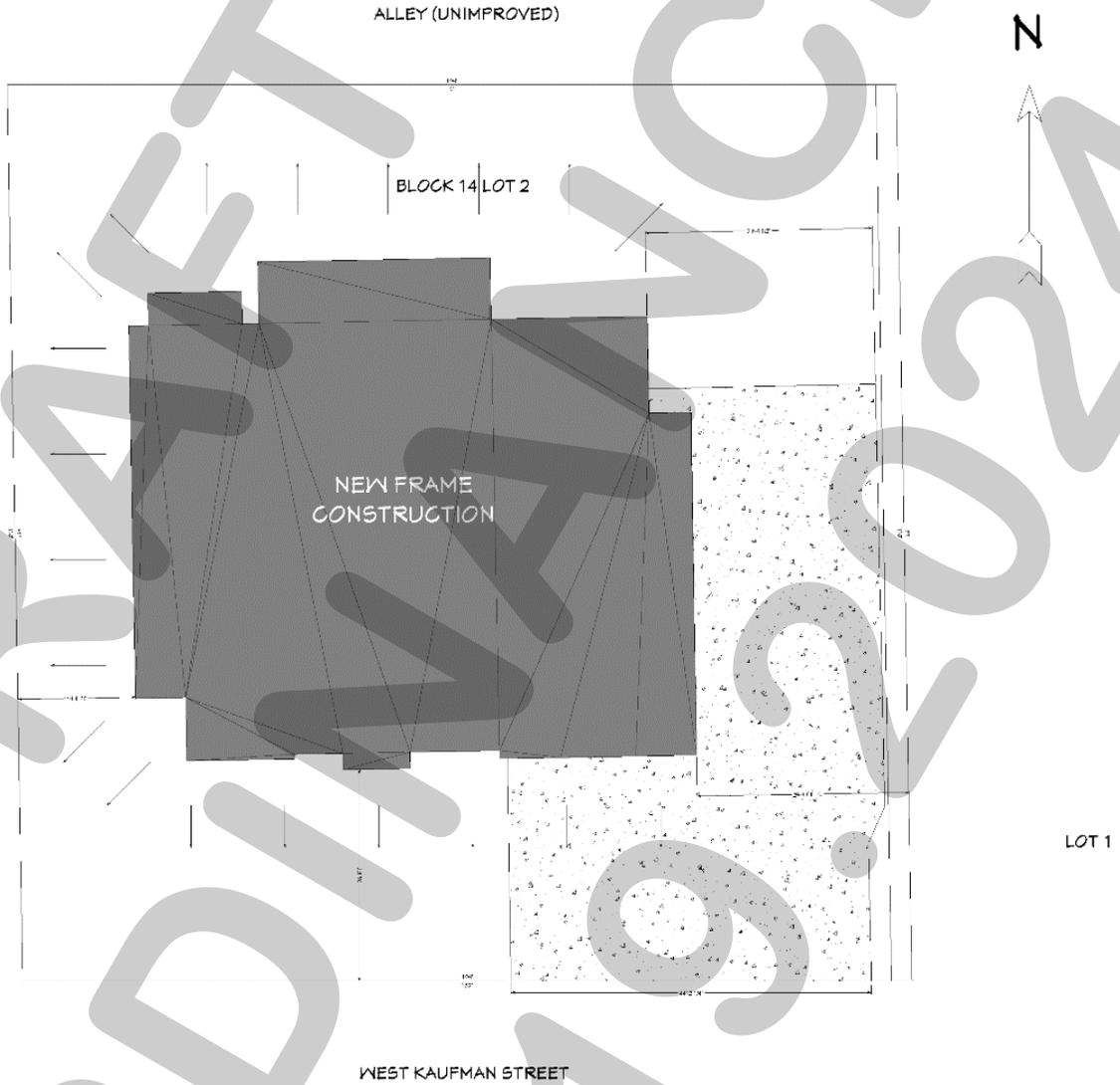


Exhibit 'B':
Residential Plot Plan



**Exhibit 'C':
Building Elevations**

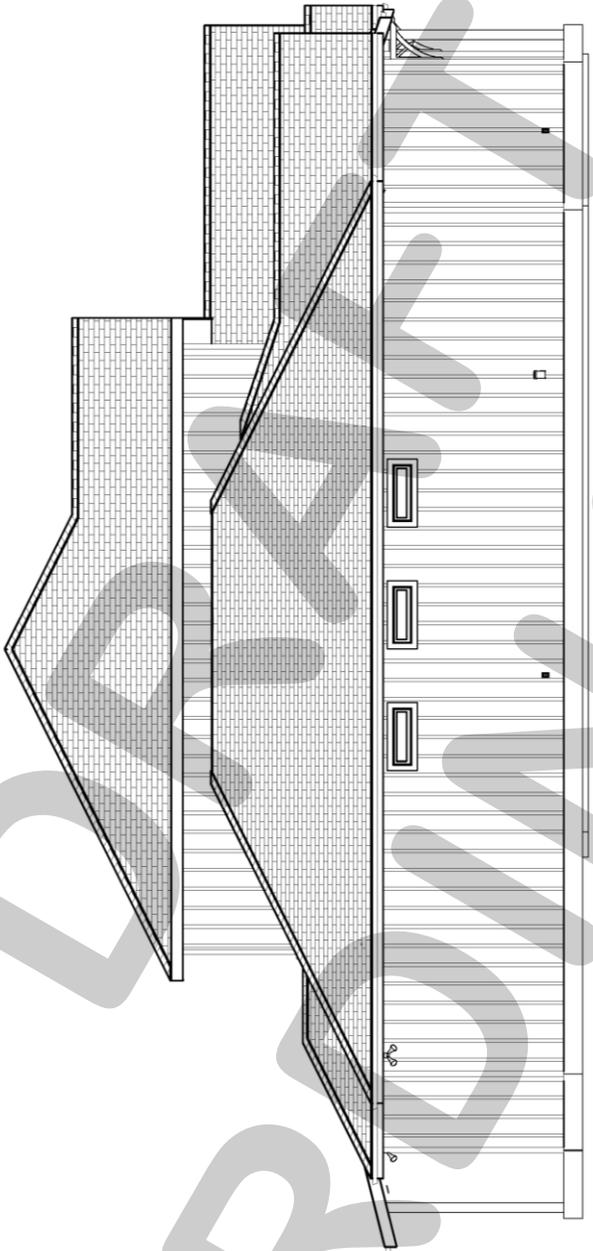


Exterior Elevation Front

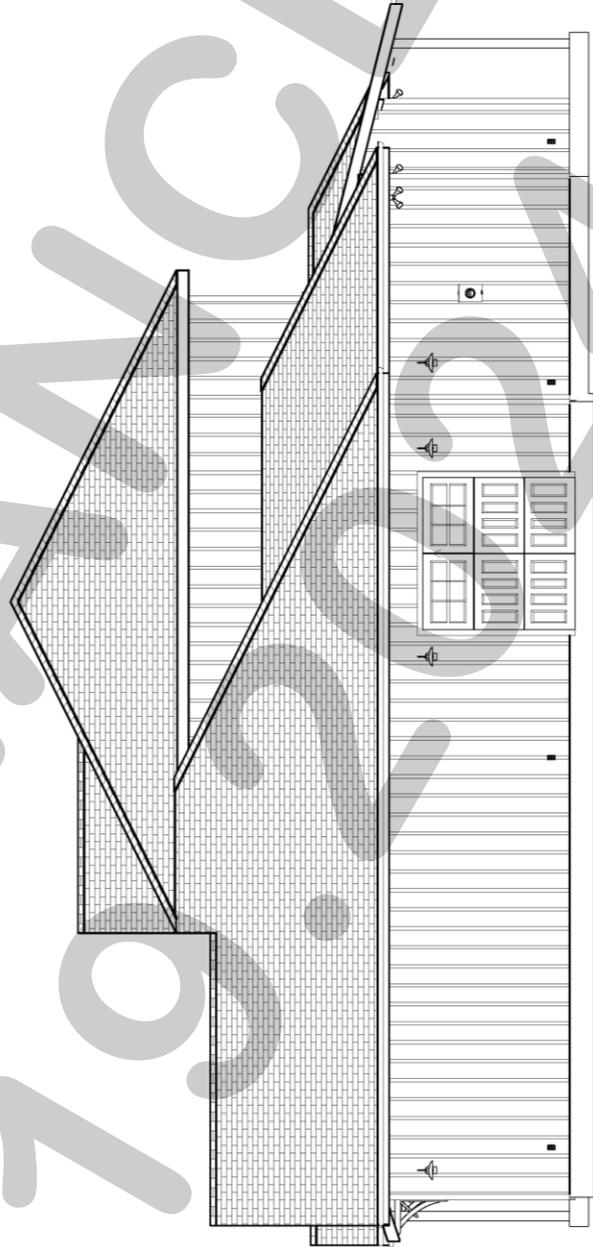


Exterior Elevation Back

Exhibit 'C':
Building Elevations



Exterior Elevation Left



Exterior Elevation Right



September 11, 2024

TO: Paul and Dioselina Curbow
7137 Lanyon Drive
Dallas, TX 75227

FROM: Angelica Guevara
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2024-031; *Specific Use Permit (SUP) For Residential Infill Adjacent to an Established Subdivision at 510 W. Kaufman Street*

Mr. & Mrs. Curbow:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on September 3, 2024. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
- (a) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

Planning and Zoning Commission

On August 13, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 5-0, with Commissioners Thompson and Conway absent.

City Council

On August 19, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

On September 3, 2024, the City Council approved a motion to approve the Specific Use Permit (SUP) by a vote of 7-0.

Included with this letter is a copy of *Ordinance No. 24-34, S-341*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me a (972) 772-6438.

Sincerely,



Angelica Guevara, *Planning Technician*
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 24-34

SPECIFIC USE PERMIT NO. S-341

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2753-ACRE PARCEL OF LAND, IDENTIFIED AS A PORTION OF BLOCK 20 OF THE LOWE & ALLEN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

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WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

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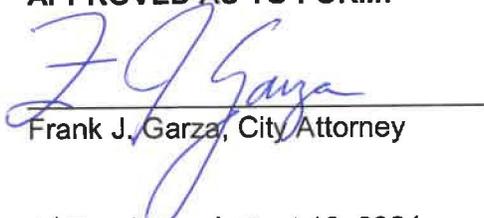
Trace Johannesen, Mayor

ATTEST:



Kristy Teague, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: August 19, 2024

2nd Reading: September 3, 2024

**Exhibit 'A':
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Address: 510 W. Kaufman Street

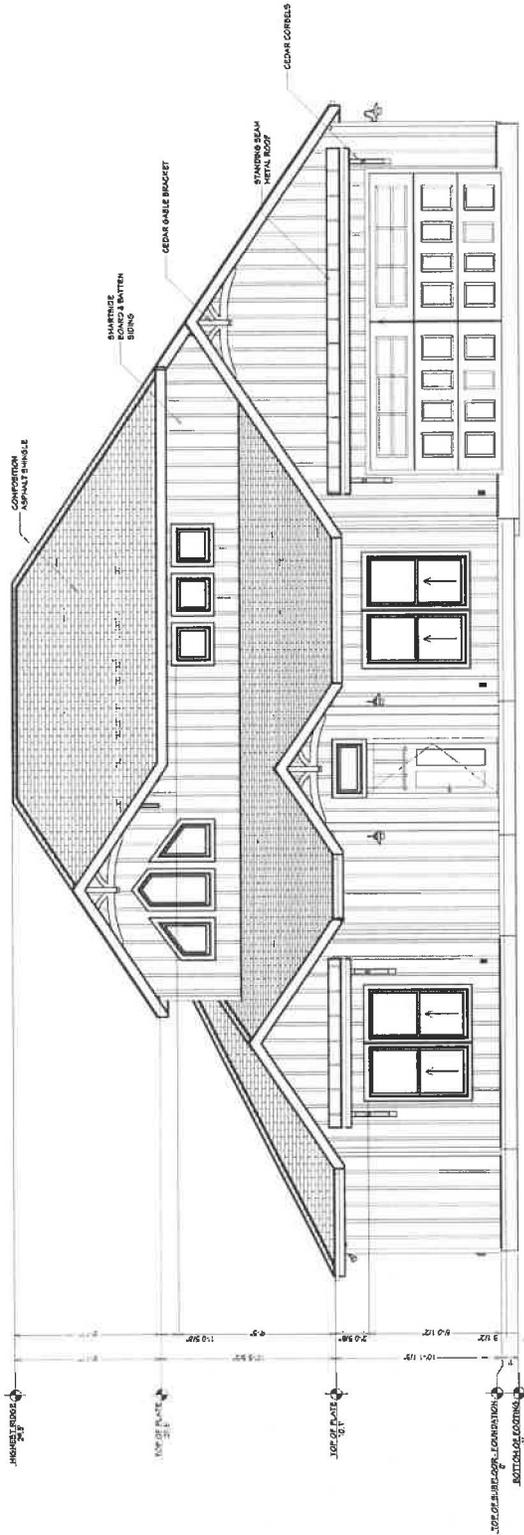
Legal Description: A portion of Block 20 of the Lowe & Allen Addition



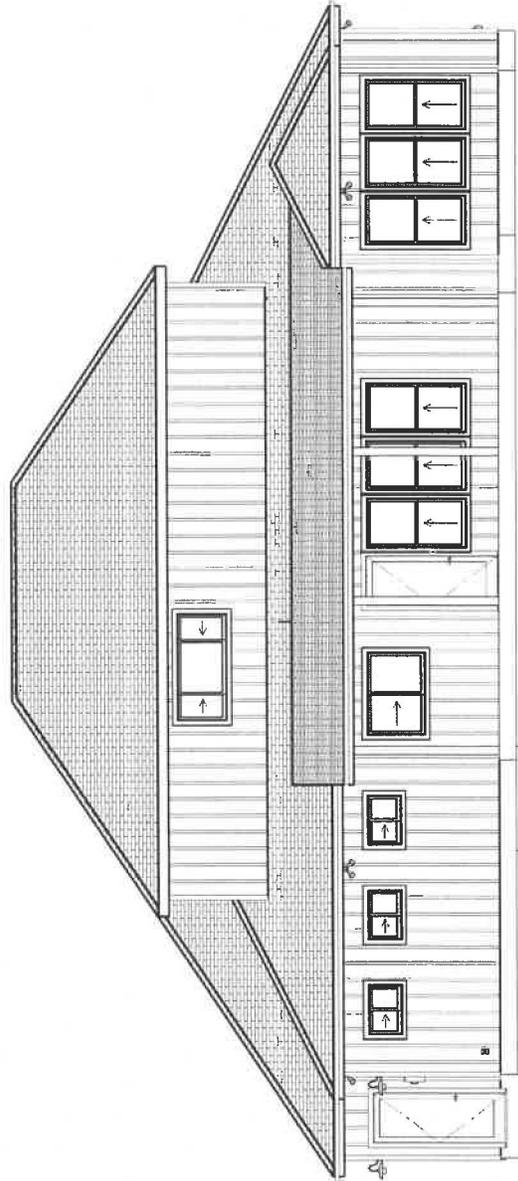
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Building Elevations**

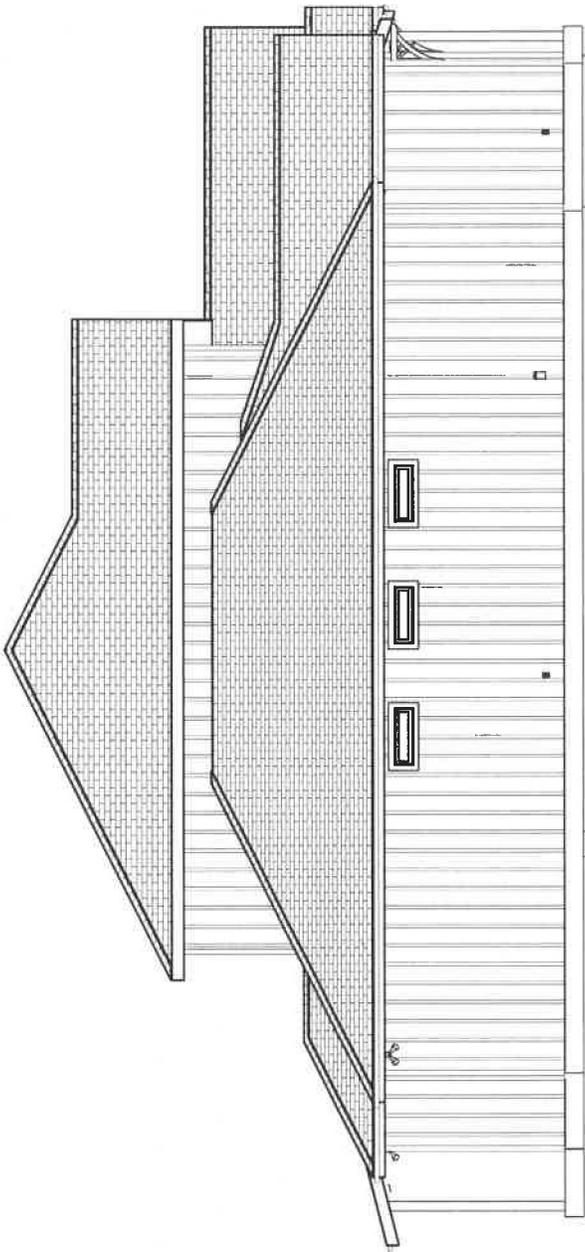


Exterior Elevation Front

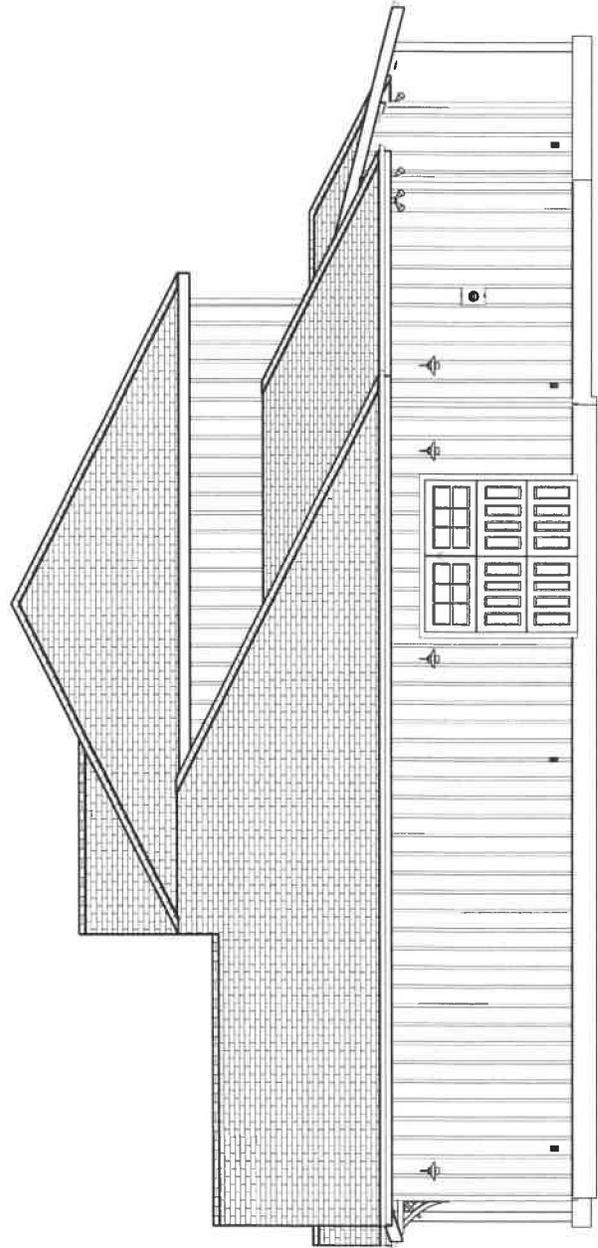


Exterior Elevation Back

Exhibit 'C':
Building Elevations



Exterior Elevation Left



Exterior Elevation Right