



**CASE COVER SHEET**

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

**PLANNING & ZONING CASE NO.**

**PLANNING & ZONING FEE**

**PLATTING APPLICATION**

- MASTER PLAT
- PRELIMINARY PLAT
- FINAL PLAT
- REPLAT
- AMENDING OR MINOR PLAT
- PLAT REINSTATEMENT REQUEST

**SITE PLAN APPLICATION**

- SITE PLAN
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

**ZONING APPLICATION**

- ZONING CHANGE
- SPECIFIC USE PERMIT
- PD DEVELOPMENT PLAN

**OTHER APPLICATION**

- TREE REMOVAL
- VARIANCE REQUEST/SPECIAL EXCEPTIONS

**RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL**

**ARCHITECTURE REVIEW BOARD**

**PLANNING AND ZONING COMMISSION**

**CITY COUNCIL READING #1**

**CITY COUNCIL READING #2**

**CONDITIONS OF APPROVAL**

**NOTES**



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 704 S Alamo  
 SUBDIVISION: Highridge Est LOT: 2 BLOCK: A  
 GENERAL LOCATION: \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C1 CURRENT USE: \_\_\_\_\_  
 PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_  
 ACREAGE: 0.196 LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Jerret Smith  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Jerret Smith CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 9091 Fm 2728 ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Tenele TX 75141 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 469-409-8515 PHONE: \_\_\_\_\_  
 E-MAIL: JSC@Rockwall@yahoo.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

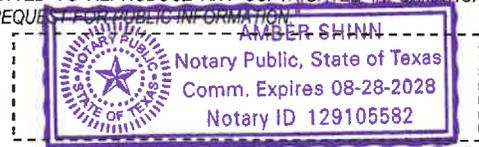
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

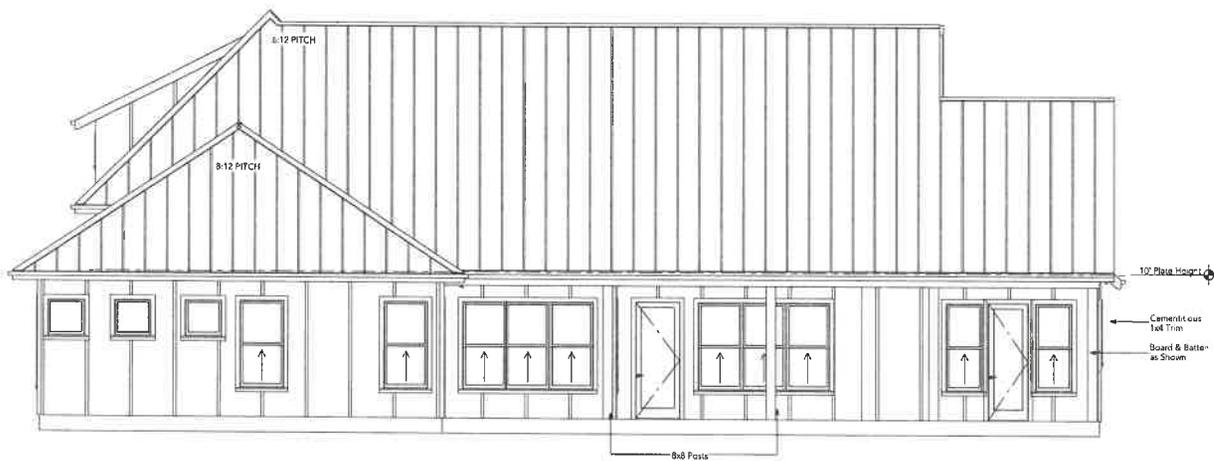
*Jerret Smith*  
*Amber Shinn*



MY COMMISSION EXPIRES 8.28.28



FRONT ELEVATION  
Scale: 1/4" = 1'-0"



REAR ELEVATION  
Scale: 1/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele Drafting  
Roysse City, TX 409-338-1194

DATE:

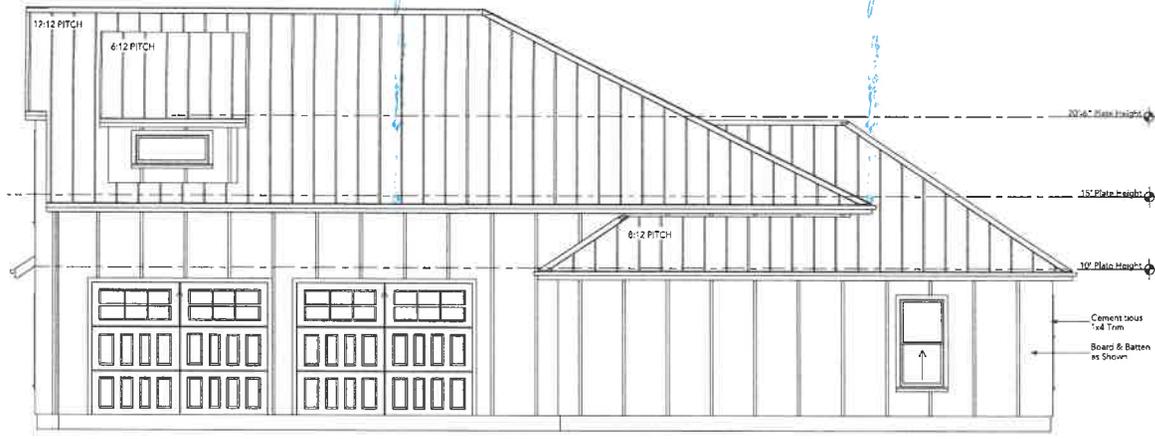
12/11/2024

SCALE:

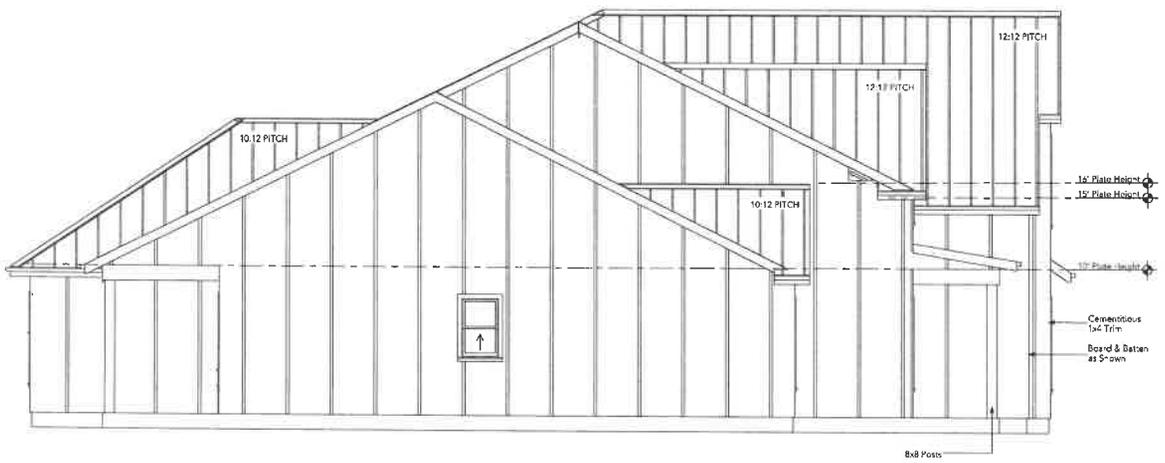
As Noted

SHEET:

A-3



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISION TABLE
NO. DATE BY DESCRIPTION
1 12/24 JCS PREPARE FOR BUILDING PERMIT

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

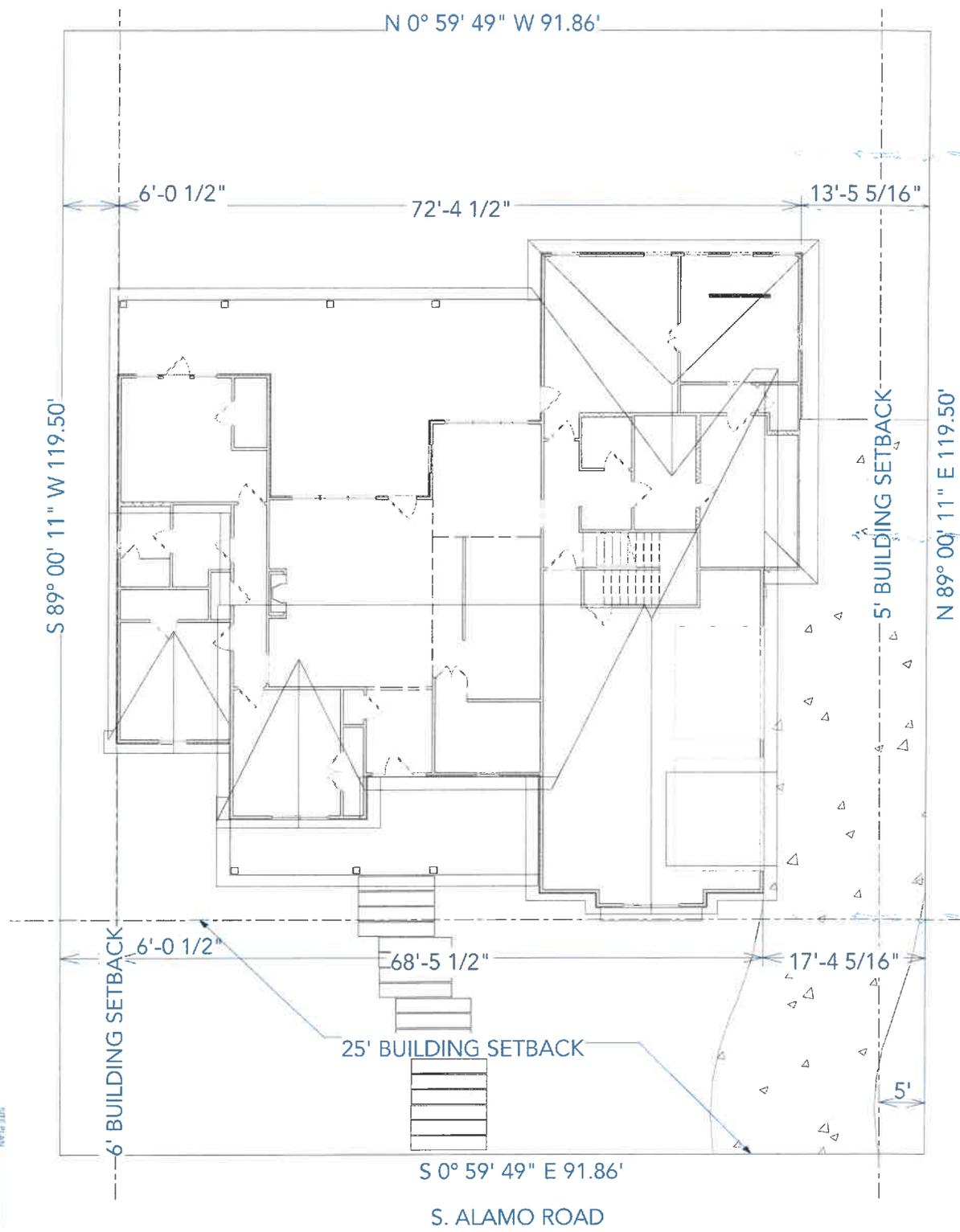
Right & Left Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royce City, TX 469-338-1194

DATE:  
12/11/2024

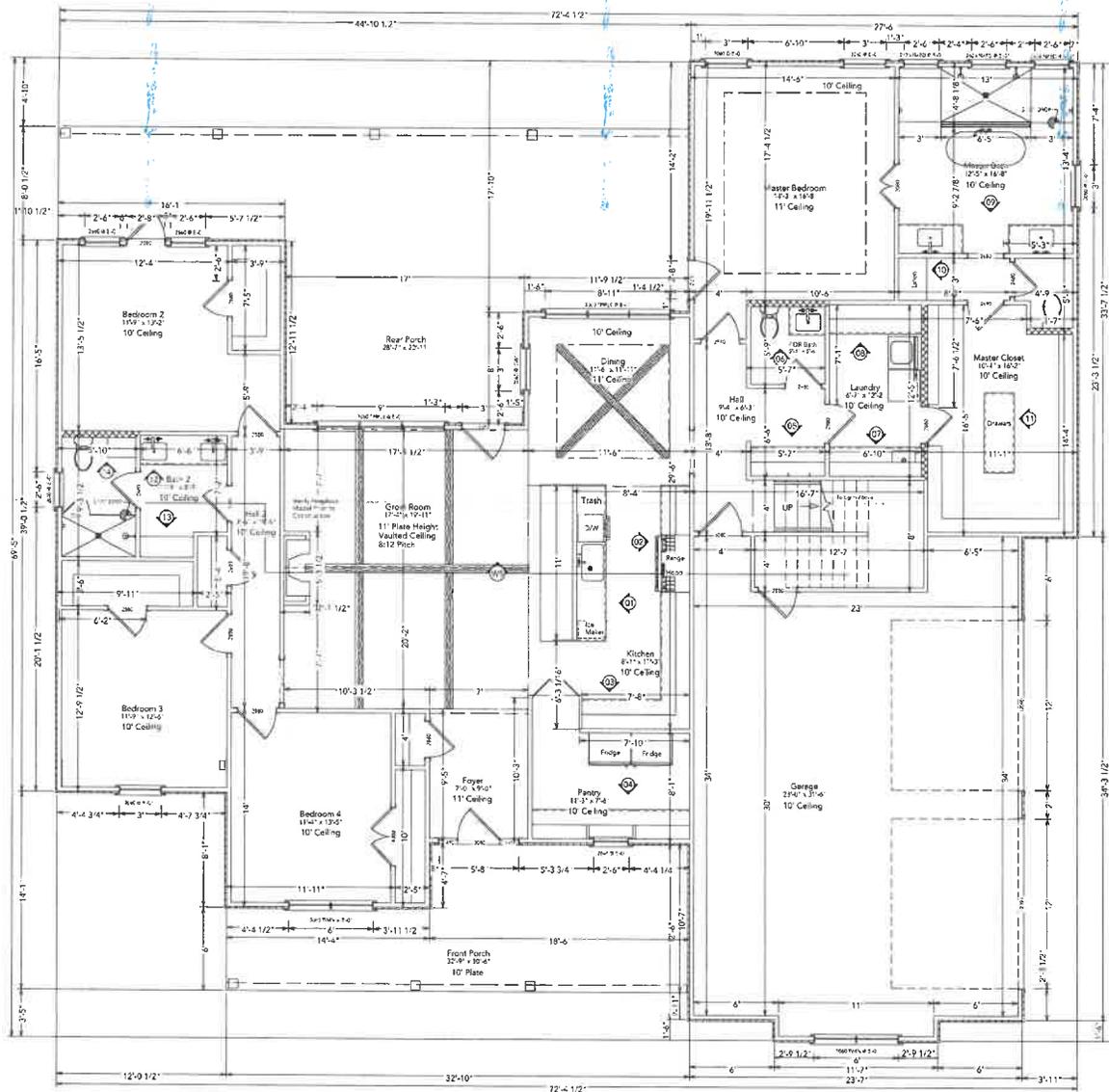
SCALE:  
As Noted

SHEET:  
A-4



SITE PLAN

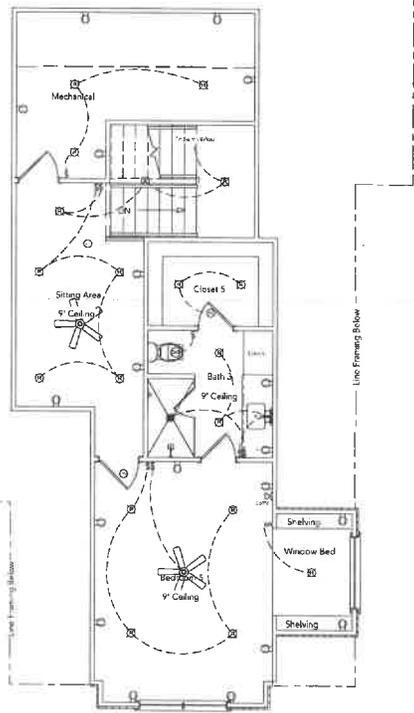
<b>A-2</b>	SHEET:	AS NOTED	SCALE:	DATE:	DRAWINGS PROVIDED BY:	Site Plan	JS Custom Homes, LLC	REVISION TABLE														
				12/11/2024	Chanda Steele Drafting Royse City, TX 469-338-1194	704 S. ALAMO DR. ROCKWALL, TX	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>12/24</td> <td>CAS</td> <td>REDUCE SIZE FOR BUILDING SETBACK</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	DATE	BY	DESCRIPTION	1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK							
#	DATE	BY	DESCRIPTION																			
1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK																			



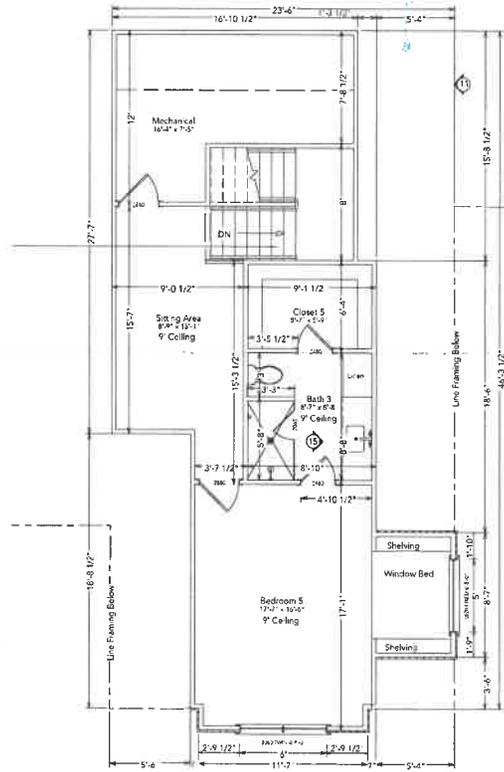
1st FLOOR PLAN

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
<b>Total</b>	<b>-</b>	<b>5,050 s.f.</b>

<p><b>REVISION TABLE</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/27/24</td> <td>CSA</td> <td>REDUCE SIZE EXHIBITING SETBACK.</td> </tr> </tbody> </table>	#	DATE	BY	DESCRIPTION	1	11/27/24	CSA	REDUCE SIZE EXHIBITING SETBACK.	<p><b>JS Custom Homes, LLC</b> 704 S. ALAMO DR. ROCKWALL, TX</p> <hr/> <p><b>1st Floor Plan</b></p> <hr/> <p>DRAWINGS PROVIDED BY: <b>Chanda Steele Drafting</b> Rogers City, TX 469-338-1194</p> <hr/> <p>DATE: <b>12/11/2024</b></p> <hr/> <p>SCALE: <b>As Noted</b></p> <hr/> <p>SHEET: <b>A-5</b></p>
#	DATE	BY	DESCRIPTION						
1	11/27/24	CSA	REDUCE SIZE EXHIBITING SETBACK.						



2nd FLOOR ELECTRICAL  
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Tabulations	
1st Floor	2,635 s.f.
2nd Floor	564 s.f.
Ft. Porch	285 s.f.
Bk Porch	640 s.f.
Mechanical	160 s.f.
Garage	766 s.f.
<b>Total</b>	<b>5,050 s.f.</b>

DATE	BY	DESCRIPTION
12/24	CS	REDUCE LINE FORCE IN ROOMS SETBACK

JS Custom Homes, LLC  
700 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/  
2nd Floor Electrical

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royse City, TX 409-338-1194

DATE:

12/11/2024

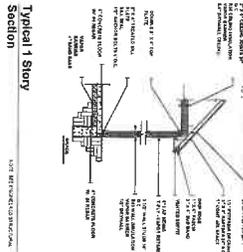
SCALE:

As Noted

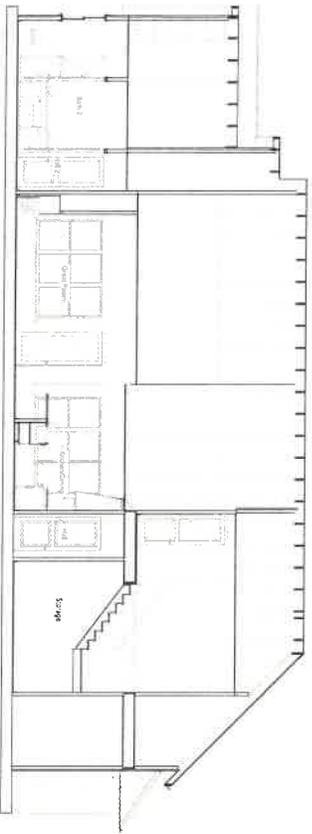
SHEET:

A-6

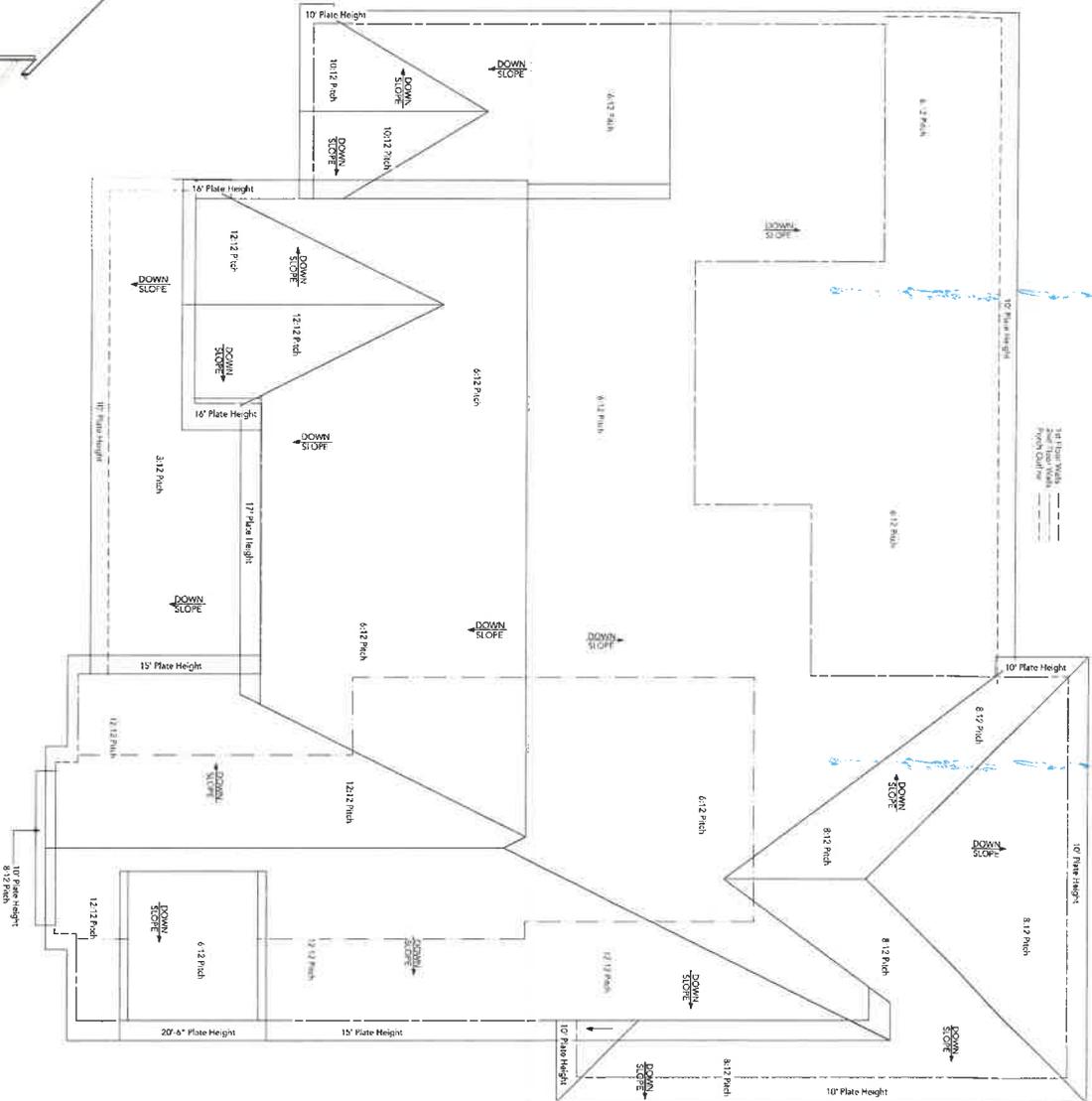
ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ROOFING				
2	CEILING				
3	FLOORING				
4	PAINT				
5	WALLS				
6	DOORS				
7	WINDOWS				
8	STAIRS				
9	BATH				
10	KITCHEN				
11	LIVING				
12	BEDROOM				
13	HALL				
14	CLOSET				
15	LANDSCAPE				
16	CONCRETE				
17	FOUNDATION				
18	PERMITS				
19	INSULATION				
20	MECHANICAL				
21	ELECTRICAL				
22	PLUMBING				
23	ROOFING				
24	CEILING				
25	FLOORING				
26	PAINT				
27	WALLS				
28	DOORS				
29	WINDOWS				
30	STAIRS				
31	BATH				
32	KITCHEN				
33	LIVING				
34	BEDROOM				
35	HALL				
36	CLOSET				
37	LANDSCAPE				
38	CONCRETE				
39	FOUNDATION				
40	PERMITS				
41	INSULATION				
42	MECHANICAL				
43	ELECTRICAL				
44	PLUMBING				
45	ROOFING				
46	CEILING				
47	FLOORING				
48	PAINT				
49	WALLS				
50	DOORS				
51	WINDOWS				
52	STAIRS				
53	BATH				
54	KITCHEN				
55	LIVING				
56	BEDROOM				
57	HALL				
58	CLOSET				
59	LANDSCAPE				
60	CONCRETE				
61	FOUNDATION				
62	PERMITS				
63	INSULATION				
64	MECHANICAL				
65	ELECTRICAL				
66	PLUMBING				
67	ROOFING				
68	CEILING				
69	FLOORING				
70	PAINT				
71	WALLS				
72	DOORS				
73	WINDOWS				
74	STAIRS				
75	BATH				
76	KITCHEN				
77	LIVING				
78	BEDROOM				
79	HALL				
80	CLOSET				
81	LANDSCAPE				
82	CONCRETE				
83	FOUNDATION				
84	PERMITS				
85	INSULATION				
86	MECHANICAL				
87	ELECTRICAL				
88	PLUMBING				
89	ROOFING				
90	CEILING				
91	FLOORING				
92	PAINT				
93	WALLS				
94	DOORS				
95	WINDOWS				
96	STAIRS				
97	BATH				
98	KITCHEN				
99	LIVING				
100	BEDROOM				
101	HALL				
102	CLOSET				
103	LANDSCAPE				
104	CONCRETE				
105	FOUNDATION				
106	PERMITS				
107	INSULATION				
108	MECHANICAL				
109	ELECTRICAL				
110	PLUMBING				
111	ROOFING				
112	CEILING				
113	FLOORING				
114	PAINT				
115	WALLS				
116	DOORS				
117	WINDOWS				
118	STAIRS				
119	BATH				
120	KITCHEN				
121	LIVING				
122	BEDROOM				
123	HALL				
124	CLOSET				
125	LANDSCAPE				
126	CONCRETE				
127	FOUNDATION				
128	PERMITS				
129	INSULATION				
130	MECHANICAL				
131	ELECTRICAL				
132	PLUMBING				
133	ROOFING				
134	CEILING				
135	FLOORING				
136	PAINT				
137	WALLS				
138	DOORS				
139	WINDOWS				
140	STAIRS				
141	BATH				
142	KITCHEN				
143	LIVING				
144	BEDROOM				
145	HALL				
146	CLOSET				
147	LANDSCAPE				
148	CONCRETE				
149	FOUNDATION				
150	PERMITS				



Typical 1 Story Section



Wall Section



Roof Plan/Wall Sections & Schedules

DATE: 12/1/2024	SCALE: As Noted	DRAWINGS PROVIDED BY: Chanda Steele Drafting, Roysie City, TX 469-338-1194	Roof Plan/Wall Sections & Schedules	JS Custom Homes, LLC 704 S. ALAMO DR. ROCKWALL, TX	REVISION TABLE			
					DATE	BY	DESCRIPTION	
SHEET: A-8					1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK







**CORNERSTONE**  
ENGINEERING & SURVEYING  
P.O. BOX 1450  
MARSHFIELD, TX 76668  
PHONE NO. 817-947-9747  
FAX NO. 817-944-9887

GRADING PLAN  
ENGINEERED FOR  
**JS CONSTRUCTION**  
**GROUP ROCKWALL**

BLDG: JS CONSTRUCTION GROUP ROCKWALL	PLAN: GRADING PLAN
ADDITION:	CES JOB NO: CES-240177
ADDRESS: 704 SOUTH ALAMO ROAD	DRAWN BY: EC
LOT: 2	BLOCK: N/A
	CHECKED BY: ML
	CITY: ROCKWALL, TX

SCALE: 1" = 20'

SHEET 01

- NOTE:**
1. SITE PREPARATION MUST COMPLY WITH PROJECT GEOTECHNICAL REPORT SPECIFICATIONS.
  2. REMOVE AND DISCARD ALL VEGETATION WHERE GRADING IS PROPOSED.
  3. SITE DRAINAGE MUST BE WELL DEVELOPED AND DIRECTED AWAY FROM THE FOUNDATION. GRADE SHALL FALL A MINIMUM OF 8 INCHES WITHIN THE FIRST 10 FEET. FLOWLINE SLOPES OF SWALES AND SIDE YARDS SHALL NOT BE LESS THAN 1.25%. NO PONDING OF SURFACE WATER SHALL BE ALLOWED NEAR THE STRUCTURE.
  4. BACKFILL AROUND THE FOUNDATION SHALL BE WITH COHESIVE SOIL.
  5. ROOF DOWNSPOUTS AND DRAINS SHALL BE EXTENDED AND DRAIN AWAY FROM FOUNDATION.
  6. PAVING AND STRUCTURAL DESIGN BY OTHERS.

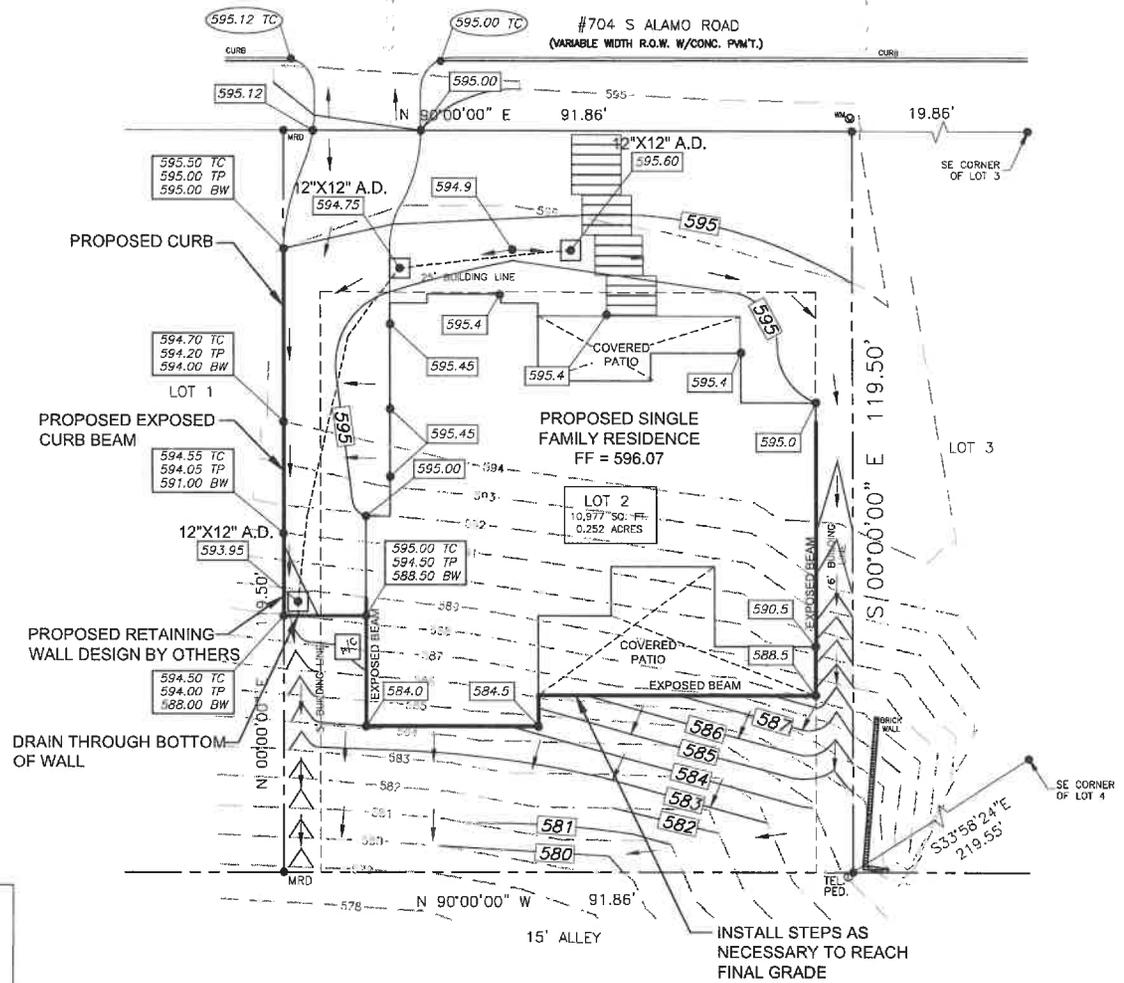
ALL ELEVATIONS ARE BASED ON SURVEY DATA PROVIDED BY THE OWNER AND/OR SURVEYOR. DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR DISCREPANCIES RESULTING FROM SURVEY DATA.

**CAUTION!!!**  
CALL: TEXAS ONE CALL @ 1-800-248-4545  
48 HRS PRIOR TO CONSTRUCTION

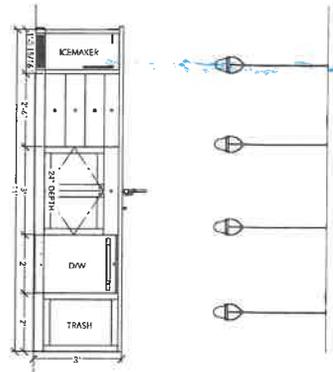
**III CAUTION III**  
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS OWNERS OF THE FACILITIES. THE ENGINEER DOES NOT ACCEPT THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION. DAMAGE BY THE CONTRACTOR TO EXISTING UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE.

**LEGEND**

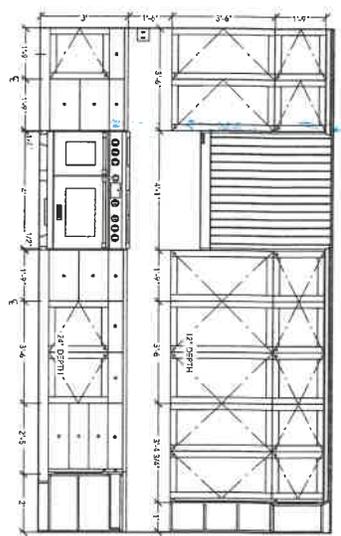
---	EASEMENT
XXX	EXISTING SPOT ELEVATION
XXX	PROPOSED SPOT ELEVATION
---	PROPERTY LINE
XXX	PROPOSED CONTOURS
---	EXISTING CONTOURS
→	PROPOSED FLOW DIRECTION
TW	TOP OF WALL
BW	BOTTOM OF WALL
TC	TOP OF CURB
□	12' x 12' AREA DRAIN



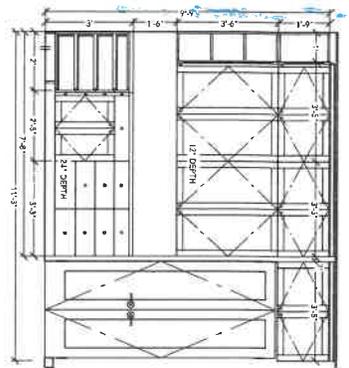
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MITCHELL K. LENAMOND, P.E. 92714 ON 4/16/2025



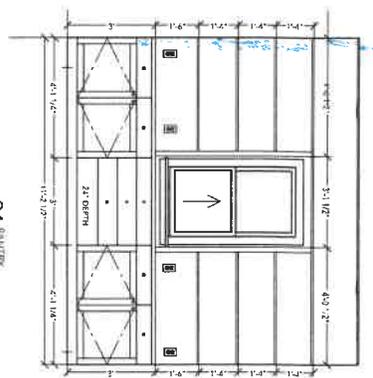
01 KITCHEN ELEVATION



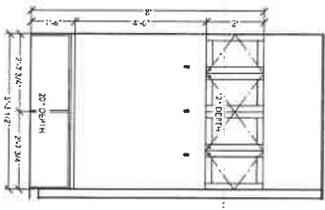
02 KITCHEN ELEVATION



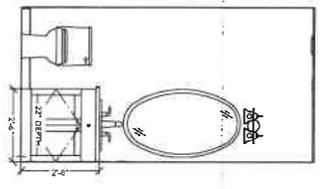
03 KITCHEN ELEVATION



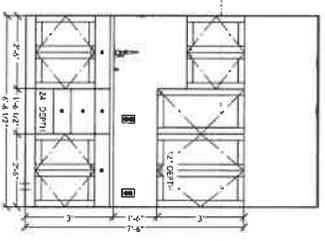
04 KITCHEN ELEVATION



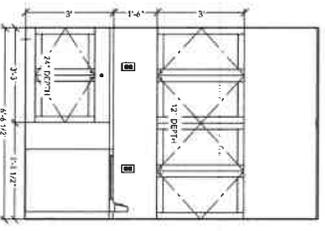
05 HALL TREE



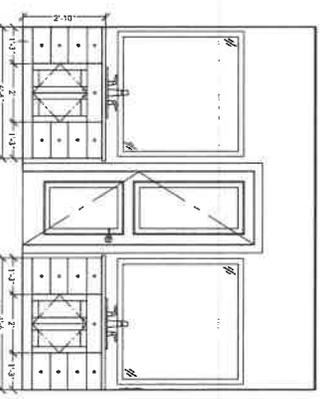
06 BATH



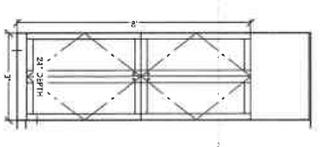
LAUNDRY 07



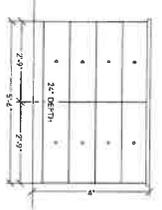
08 LAUNDRY



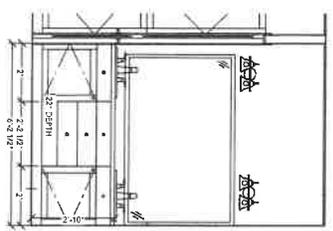
09 MASTER BATH



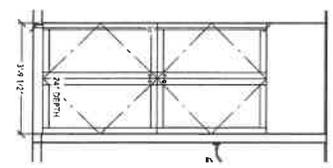
10 MASTER BATH



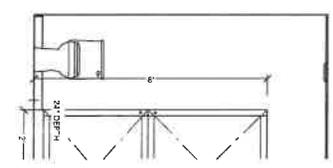
11 MASTER CLOSET



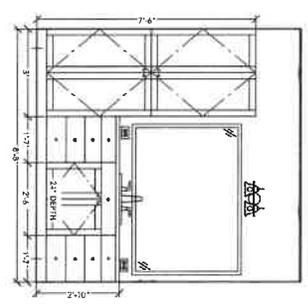
12 BATH



13 BATH



14 BATH



15 BATH

REVISION TABLE			
#	DATE	BY	DESCRIPTION
1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Cabinet Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royse City, TX 469-338-1194

DATE: 12/11/2024  
SCALE: As Noted

SHEET: A-10



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
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- PLAT REINSTATEMENT REQUEST (\$100.00)

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- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
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## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 704 S Alamo  
 SUBDIVISION: Highridge Est LOT: 2 BLOCK: A  
 GENERAL LOCATION: \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C1 CURRENT USE: \_\_\_\_\_  
 PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_  
 ACREAGE: 0.196 LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: Jerret Smith  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Jerret Smith CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 9091 Fm 2728 ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Tenele TX 75141 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 469-409-8515 PHONE: \_\_\_\_\_  
 E-MAIL: JSC@Rockwall@yahoo.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

*Jerret Smith*  
*Amber Shinn*

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

AMBER SHINN  
 Notary Public, State of Texas  
 Comm. Expires 08-28-2028  
 Notary ID 129105582  
 MY COMMISSION EXPIRES 8.28.28

0 20 40 80 120 160 Feet

Z2025-022: SUP for Residential Infill 704 S. Alamo Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

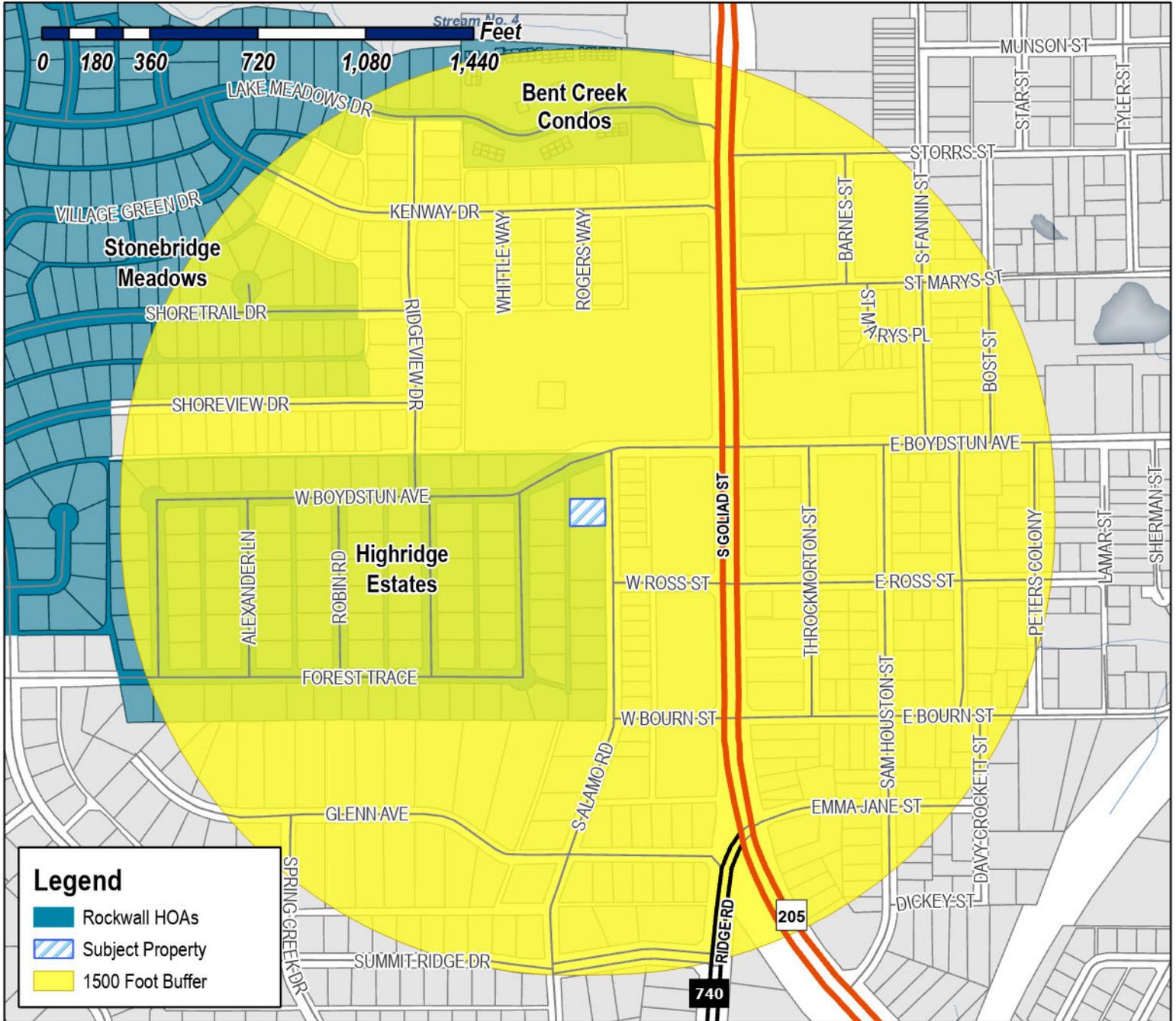




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**Case Number:** Z2025-022  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 704 S. Alamo Road

**Date Saved:** 4/17/2025

For Questions on this Case Call (972) 771-7745

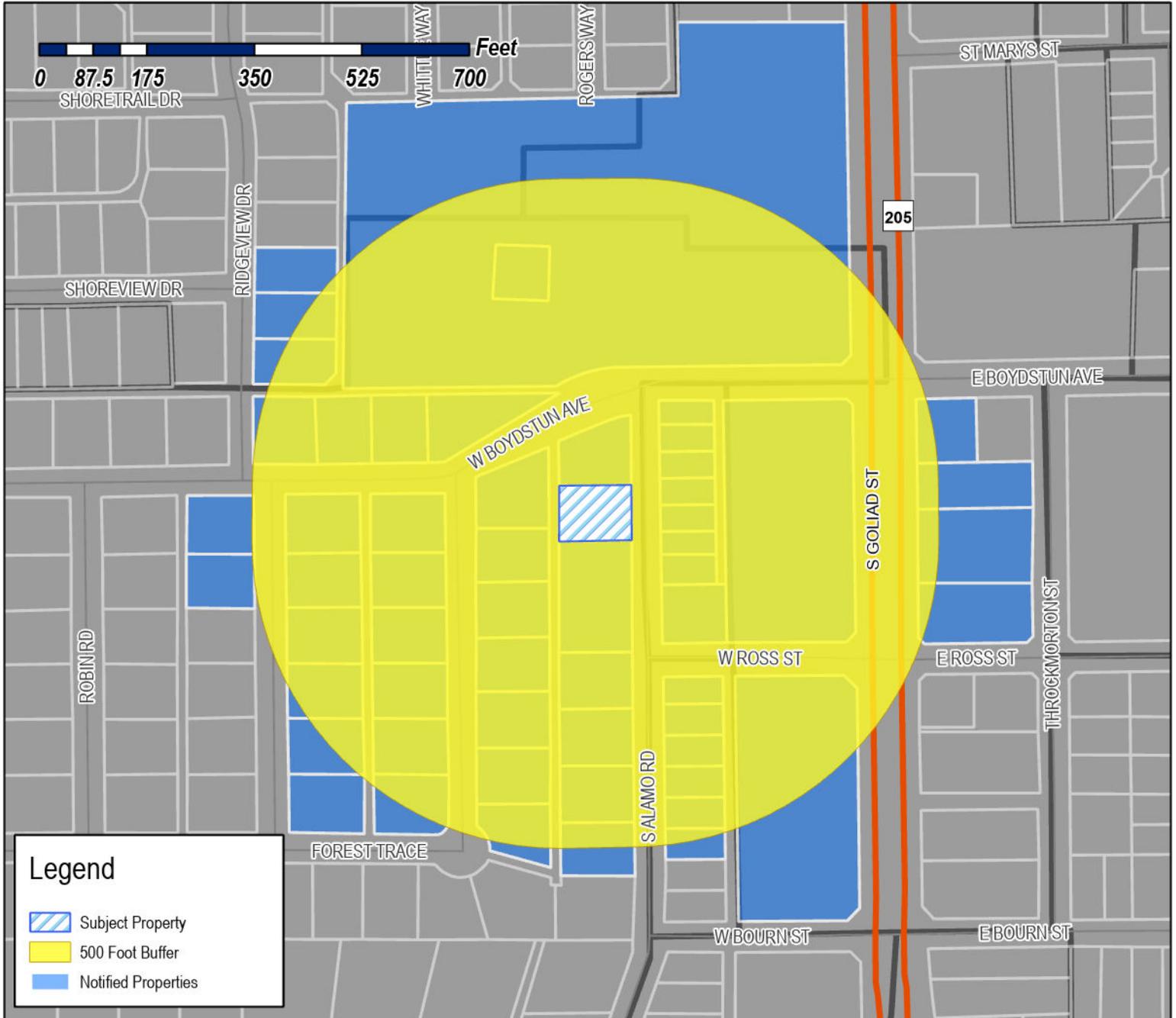




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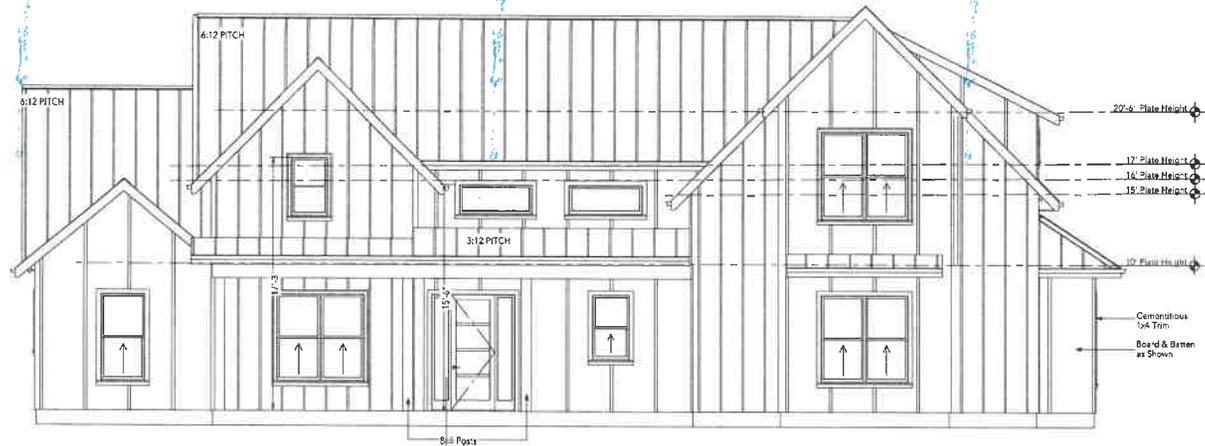


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**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 704 S. Alamo Road

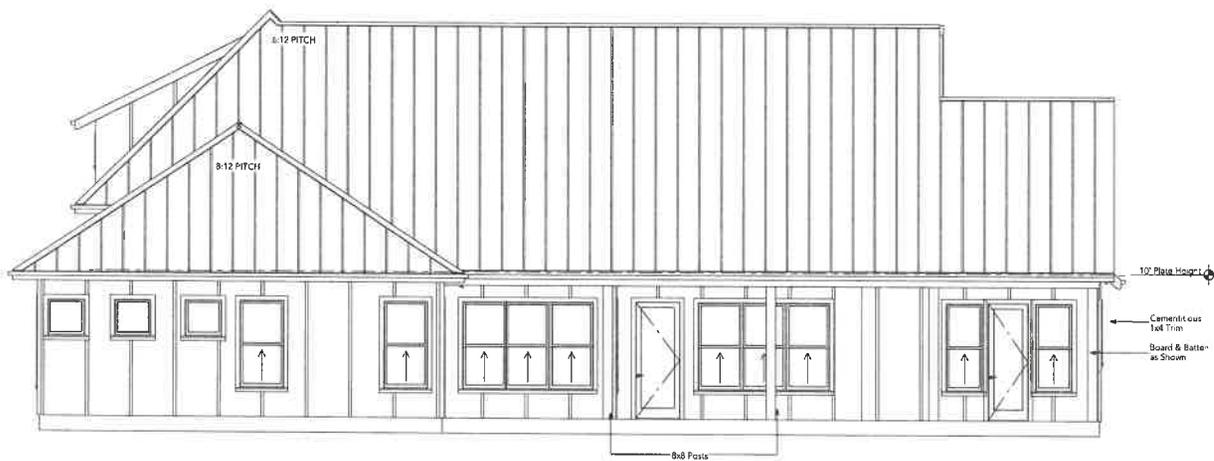
**Date Saved:** 4/17/2025

For Questions on this Case Call: (972) 771-7745





FRONT ELEVATION  
Scale: 1/4" = 1'-0"



REAR ELEVATION  
Scale: 1/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele Drafting  
Roysse City, TX 409-338-1194

DATE:

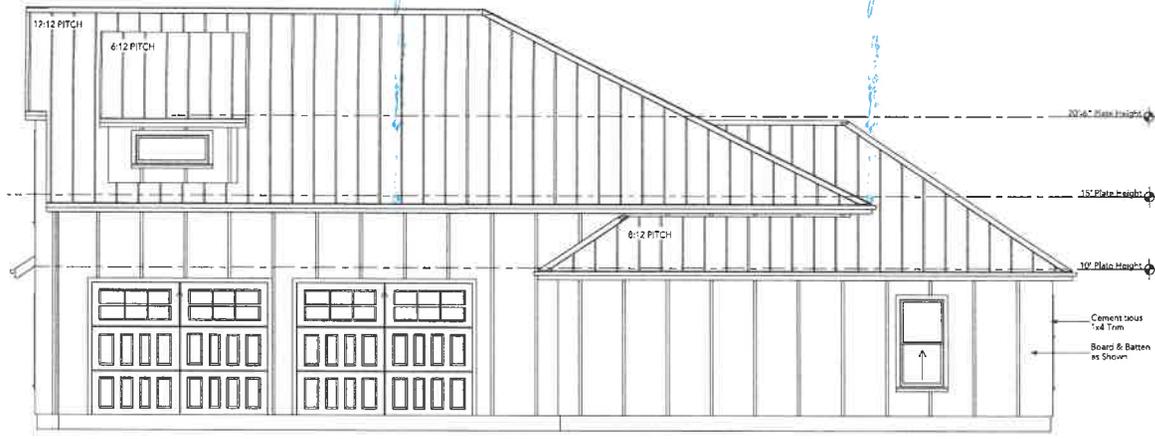
12/11/2024

SCALE:

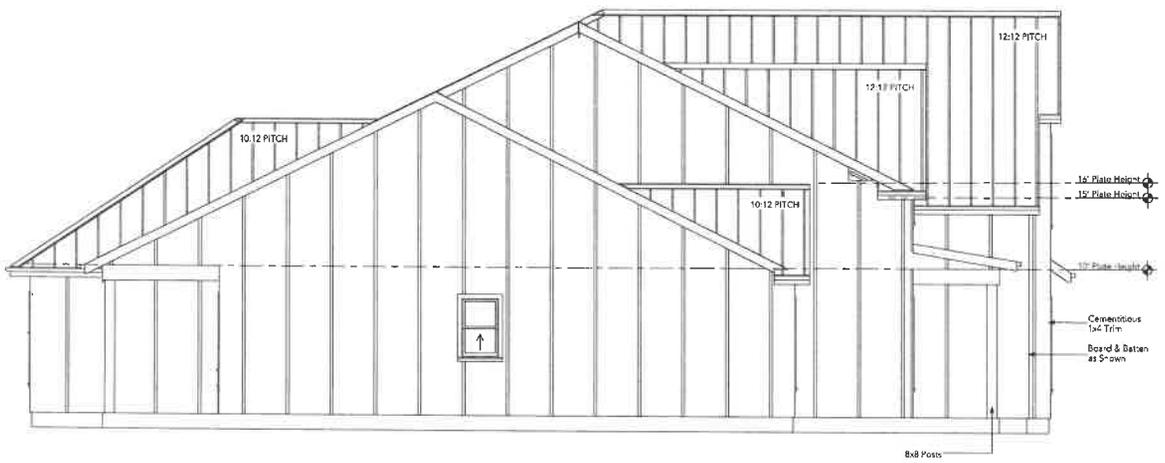
As Noted

SHEET:

A-3



RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

REVISION TABLE
NO. DATE BY DESCRIPTION
1 12/24 TCS PREPARE FOR BUILDING PERMIT

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Right & Left Elevations

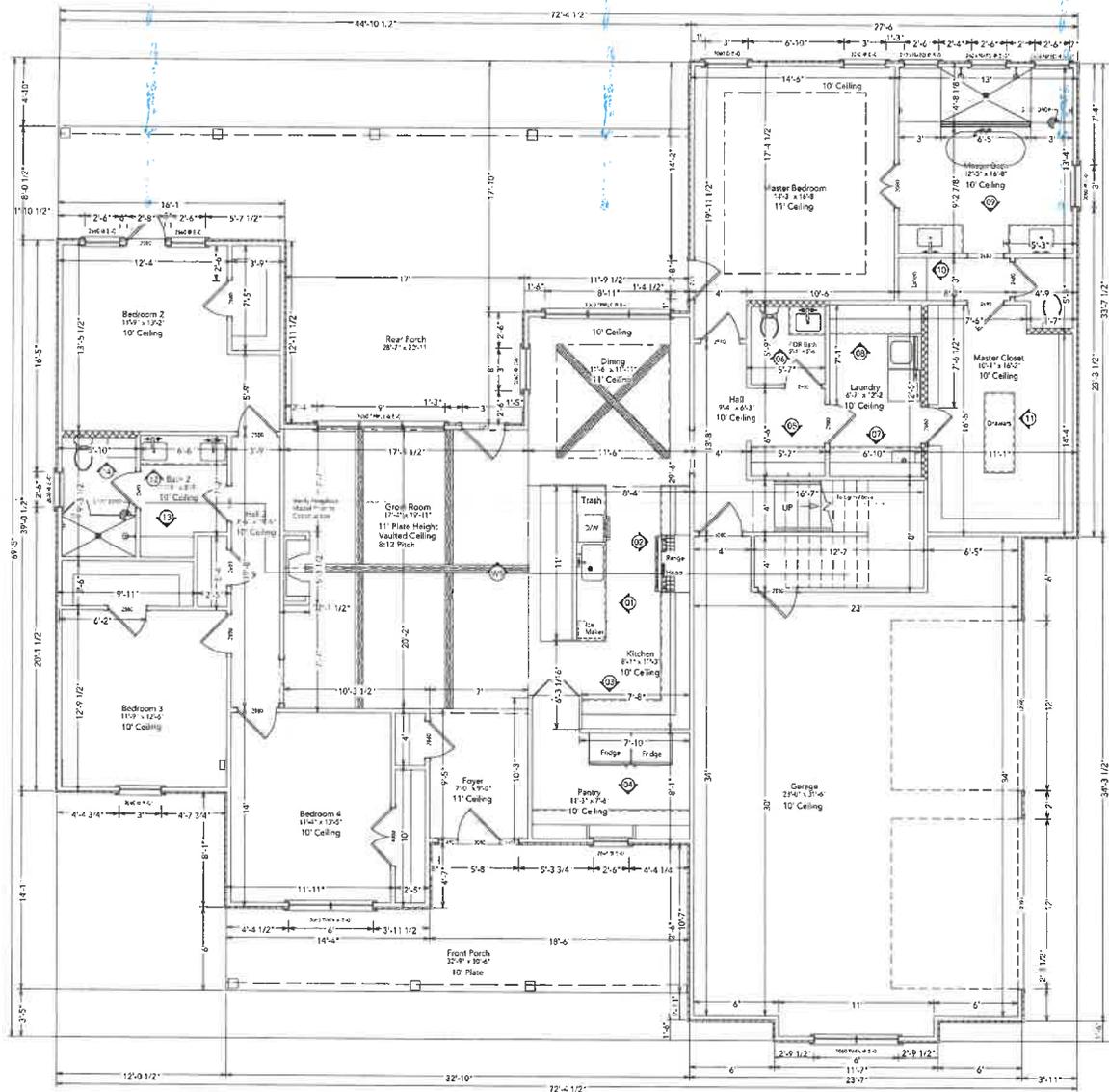
DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royce City, TX 469-238-1194

DATE:  
12/11/2024

SCALE:  
As Noted

SHEET:  
A-4

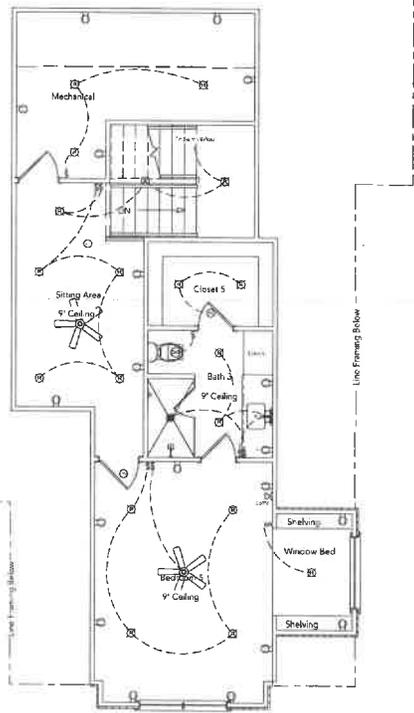




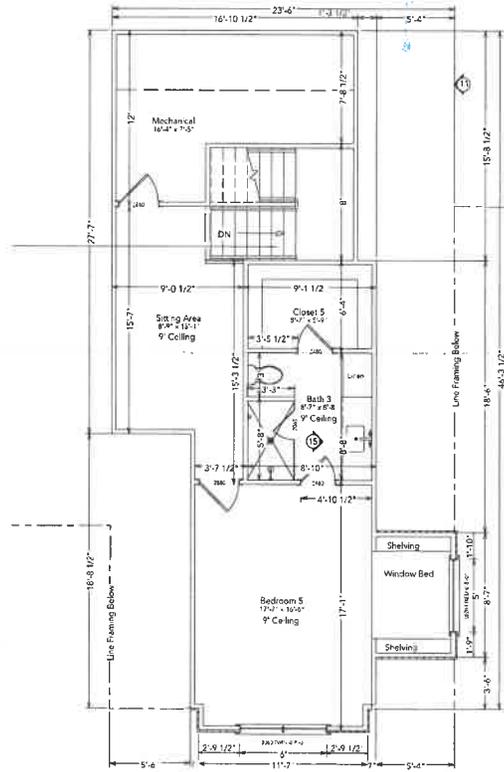
1st FLOOR PLAN

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
<b>Total</b>	<b>-</b>	<b>5,050 s.f.</b>

<p><b>REVISION TABLE</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/27/24</td> <td>CSA</td> <td>REDUCE SIZE EXTERIOR RETAINING WALL</td> </tr> </tbody> </table>	#	DATE	BY	DESCRIPTION	1	11/27/24	CSA	REDUCE SIZE EXTERIOR RETAINING WALL	<p><b>JS Custom Homes, LLC</b> 704 S. ALAMO DR. ROCKWALL, TX</p> <hr/> <p><b>1st Floor Plan</b></p> <hr/> <p>DRAWINGS PROVIDED BY: <b>Chanda Steele Drafting</b> Rogers City, TX 469-338-1194</p> <hr/> <p>DATE: <b>12/11/2024</b></p> <hr/> <p>SCALE: <b>As Noted</b></p> <hr/> <p>SHEET: <b>A-5</b></p>
#	DATE	BY	DESCRIPTION						
1	11/27/24	CSA	REDUCE SIZE EXTERIOR RETAINING WALL						



2nd FLOOR ELECTRICAL  
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Tabulations	
1st Floor	2,635 s.f.
2nd Floor	564 s.f.
Ft. Porch	285 s.f.
Bk Porch	640 s.f.
Mechanical	160 s.f.
Garage	766 s.f.
<b>Total</b>	<b>5,050 s.f.</b>

DATE	BY	DESCRIPTION
12/24	CS	REDUCE LINE FORCE IN ROOMS SETBACK

JS Custom Homes, LLC  
700 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/  
2nd Floor Electrical

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royse City, TX 409-338-1194

DATE:

12/11/2024

SCALE:

As Noted

SHEET:

A-6



# PROJECT COMMENTS



CITY OF ROCKWALL  
385 S. GOLIAD STREET  
ROCKWALL, TEXAS 75087  
PHONE: (972) 771-7700

DATE: 4/24/2025

PROJECT NUMBER: Z2025-022  
PROJECT NAME: SUP for Residential Infill  
SITE ADDRESS/LOCATIONS: 704 S ALAMO RD

CASE CAPTION: Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Angelica Guevara	04/22/2025	Approved w/ Comments

04/22/2025: Z2025-022; Specific Use Permit (SUP) for Residential Infill in an Established Subdivision  
Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road.

I.2 For questions or comments concerning this case please contact Angelica Guevara in the Planning Department at (972) 772-6438 or email [aguevara@rockwall.com](mailto:aguevara@rockwall.com).

M.3 For reference, include the case number (Z2025-022) in the lower right-hand corner of all pages on future submittals.

I.4 According to Subsection 02.03(B) (11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), an Established Subdivision is defined as any subdivision that [1] consists of five (5) or more lots, [2] that is 90% or more developed, and [3] that has been in existence for more than ten (10) years. In this case, the subject property is situated within the Highridge Estates Subdivision which has been in existence since June 1, 1972, consist 97 lots, and is considered to be 98.00% developed.

I.5 Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that "(i)n reviewing the Specific Use Permit (SUP), the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing in the Established Subdivision ... [and] all housing proposed under this section shall be constructed to be architecturally and visually similar or complimentary to the existing housing in the Established Subdivision."

M.6 Building Setbacks. Subsection 07.01, Residential District Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), states that properties in a Single-Family 10 (SF-10) District should have a minimum side setback of 6-feet. In this request, the proposed home has a side setback of 5-feet. This will need to be corrected on the site plan.

M.7 Ordinances. Please review the attached draft ordinance prior to the May 13, 2025 Planning & Zoning Commission meeting, and provide staff with your markups by May 6, 2025.

I.8 Revisions. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 6, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 13, 2025 Planning and Zoning Commission Public Hearing Meeting.

I.9 Planning and Zoning Commission Meeting Dates. The Planning and Zoning Commission Work Session Meeting for this case will be held on April 29, 2025, and the Planning and Zoning Commission Public Hearing Meeting for this case will be held on May 13, 2025.

I.10 City Council Meeting Dates. The projected City Council meeting dates for this case will be May 19, 2025 (1st Reading) and June 2, 2025 (2nd Reading).

I.11 Meeting Times and Place. All meetings will be held at 6:00 PM in the City Council Chambers at 385 S. Goliad Street, Rockwall, Texas 75087. PLEASE NOTE THAT THE APPLICANT OR A REPRESENTATIVE WILL NEED TO BE PRESENT FOR THE CASE TO BE CONSIDERED BY THE PLANNING AND ZONING COMMISSION OR CITY COUNCIL.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	04/22/2025	Approved w/ Comments

04/22/2025: General Items:

- Must meet City's 2023 Standards of Design and Construction
- Impact Fees (Water, Wastewater & Roadway)
- Retaining walls 3' and over must be engineered.
- All retaining walls (18" or taller) must be rock, stone, or stone face. No smooth concrete walls.
- Will need to show A/C concrete pad and also any proposed fencing on the lot with Building Permit.
- Will need to show grading plan with the Building Permit. Grading cannot exceed 4:1 slopes.
- Will need to show how proposed home will be accessing utilities.
- There is an existing 6" sewer main along the Alley available for use.
- There is an existing 16" water main along S. Alamo available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- Driveway must be steel reinforced concrete. (No rock, gravel, or asphalt allowed)
- No gravel or asphalt allowed in any area.
- Additional comments may be provided at time of Building Permit.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	04/23/2025	Approved w/ Comments

04/23/2025: Setbacks are Front - 25', Side - 6 feet, Rear - 10'

- \* Plan indicates 5' Side setback on the right side of the property and needs to be updated to 6'
- \* 45% maximum lot coverage allowed
- \* Maximum height is 36 feet

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	04/24/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	04/23/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	04/21/2025	Approved

No Comments

---

DEPARTMENT

REVIEWER

DATE OF REVIEW

STATUS OF PROJECT

---

PARKS

Travis Sales

04/21/2025

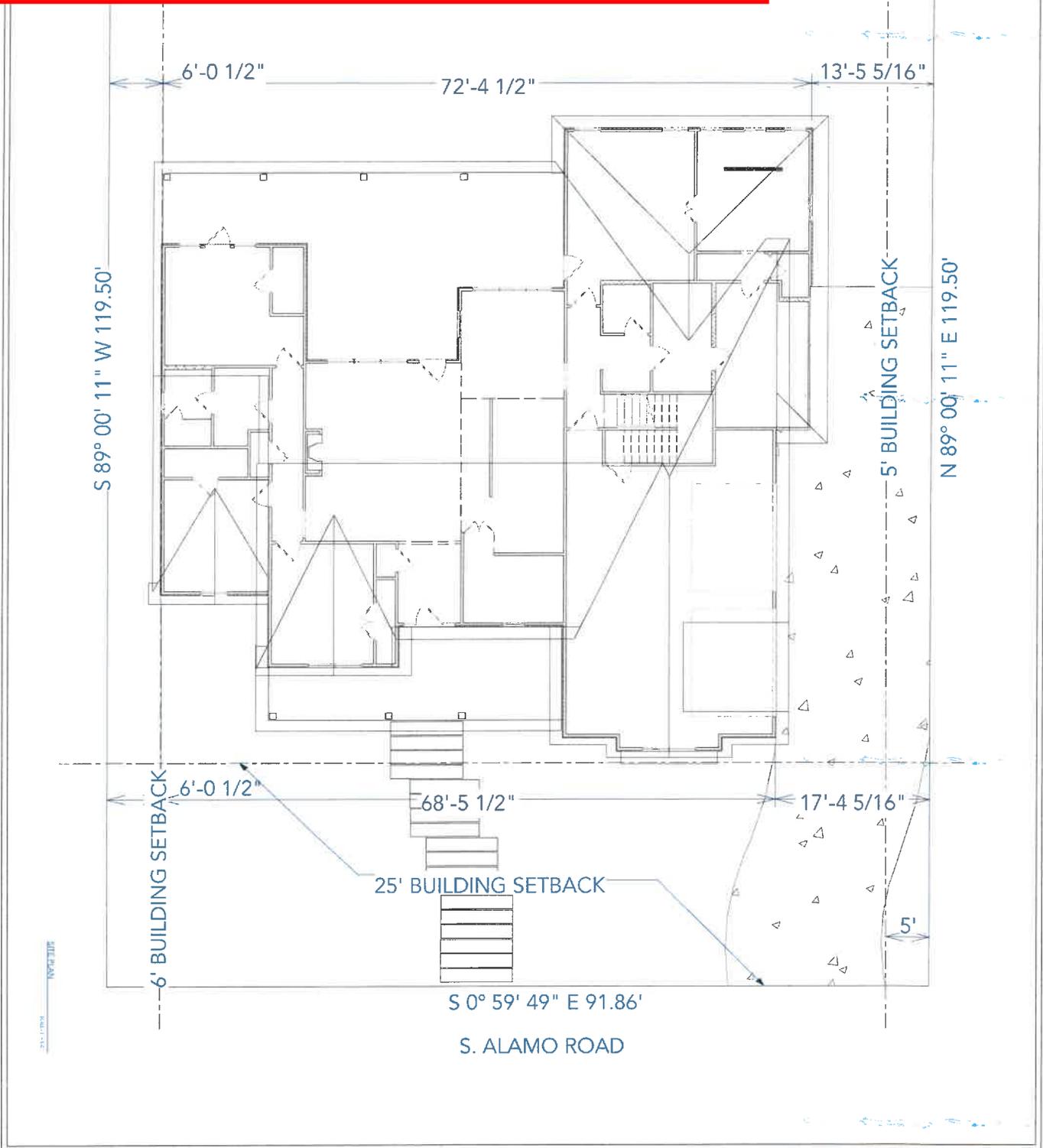
Approved

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No Comments

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A-2	SHEET:	AS NOTED	SCALE:	DATE: 12/11/2024	DRAWINGS PROVIDED BY: Chanda Steele Drafting Royse City, TX 469-338-1194	Site Plan	JS Custom Homes, LLC 704 S. ALAMO DR. ROCKWALL, TX	REVISION TABLE			
								#	DATE	BY	DESCRIPTION
								1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 704 S Alamo  
 SUBDIVISION: Highridge Est LOT: 2 BLOCK: A  
 GENERAL LOCATION: \_\_\_\_\_

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CURRENT ZONING: C1 CURRENT USE: \_\_\_\_\_  
 PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_  
 ACREAGE: 0.196 LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

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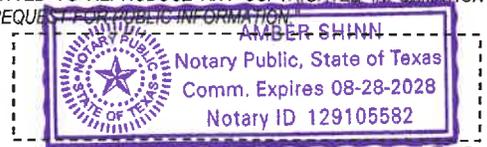
OWNER: Jerret Smith  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Jerret Smith CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 9091 Fm 2728 ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Tenelle TX 75141 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 469-409-8515 PHONE: \_\_\_\_\_  
 E-MAIL: JSC@Rockwall@yahoo.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

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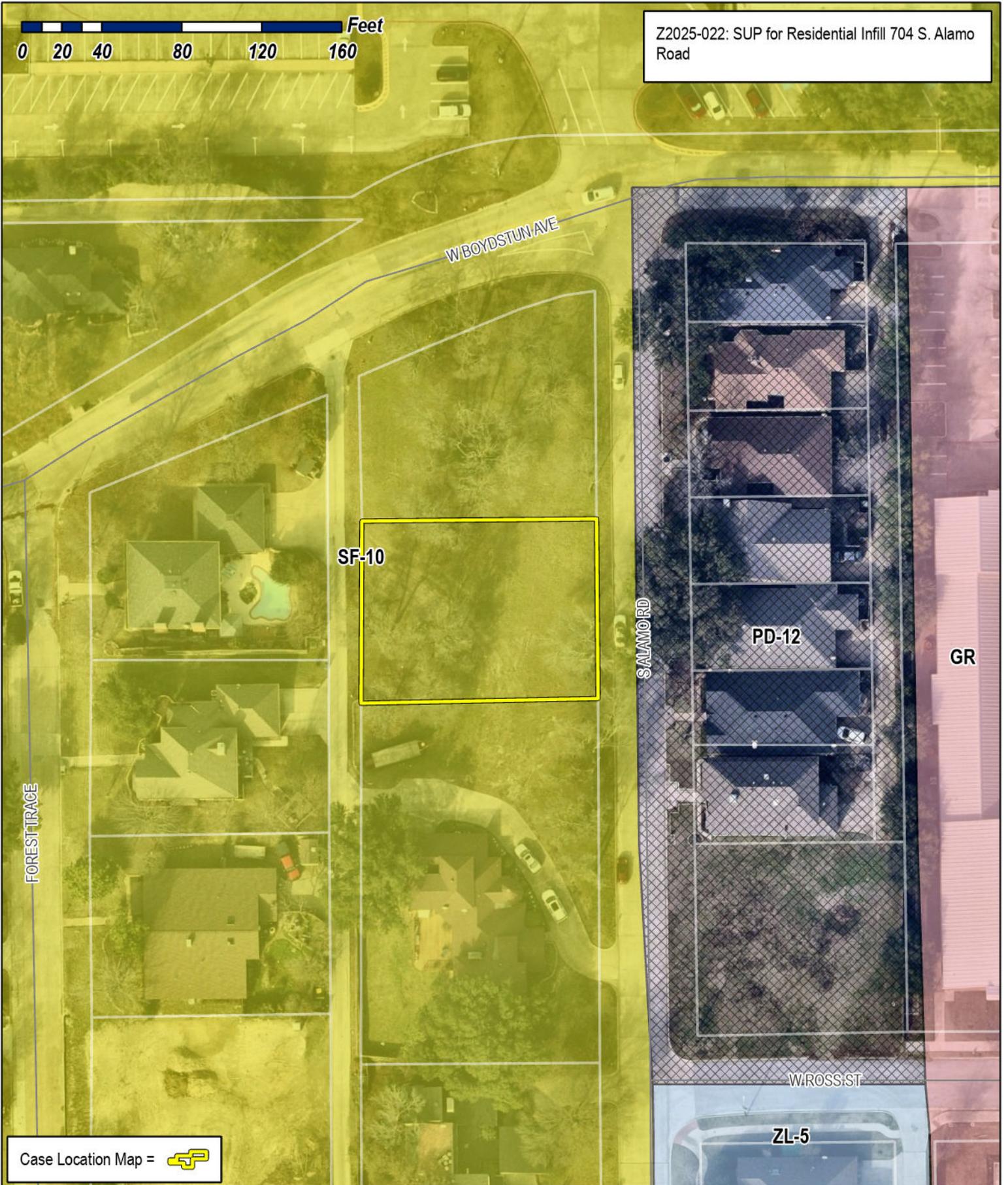
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025  
 OWNER'S SIGNATURE: [Signature]



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Amber Shinn MY COMMISSION EXPIRES: 8.28.28

0 20 40 80 120 160 Feet

Z2025-022: SUP for Residential Infill 704 S. Alamo Road



Case Location Map = 



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385 S. Goliad Street  
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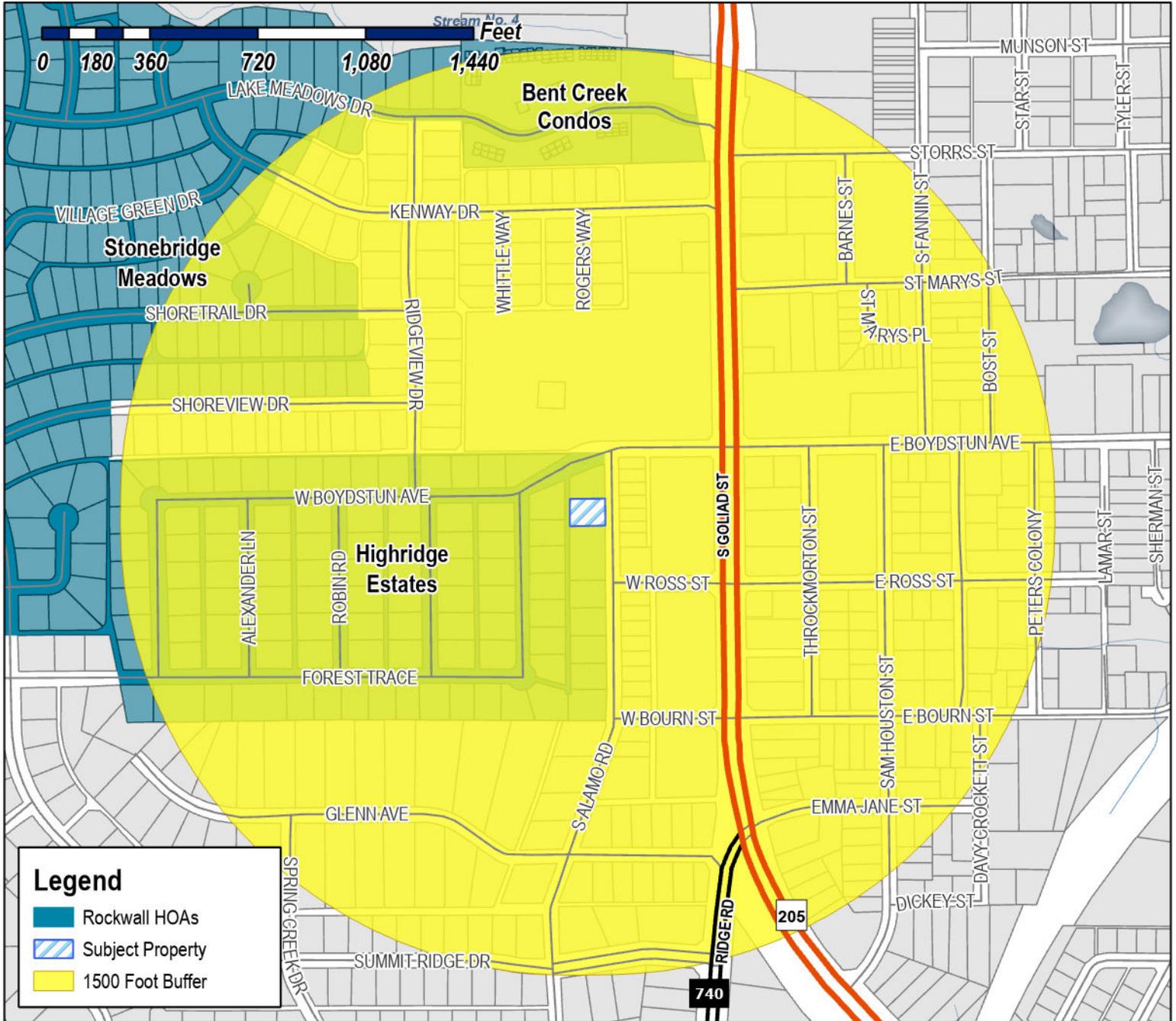




# City of Rockwall

Planning & Zoning Department  
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(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2025-022  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 704 S. Alamo Road

**Date Saved:** 4/17/2025  
 For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2025-022]  
**Date:** Wednesday, April 23, 2025 3:19:35 PM  
**Attachments:** [Public Notice \(04.21.2025\).pdf](#)  
[HOA Map \(04.17.2025\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, April 25, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, May 13, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, May 19, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-022: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

Thank you,

*Melanie Zavala*

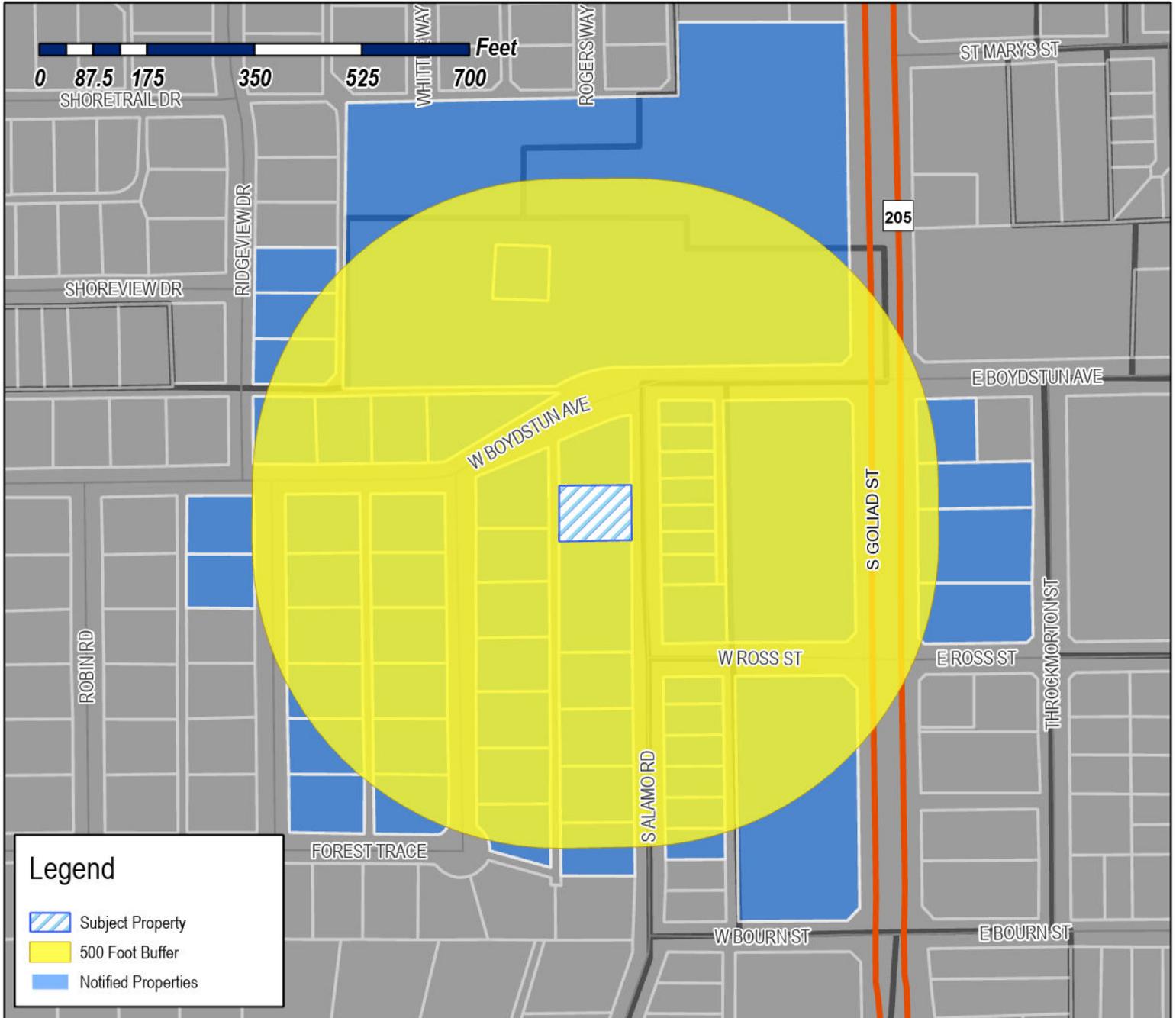
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-022  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 704 S. Alamo Road

**Date Saved:** 4/17/2025

For Questions on this Case Call: (972) 771-7745



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road**

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 19, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

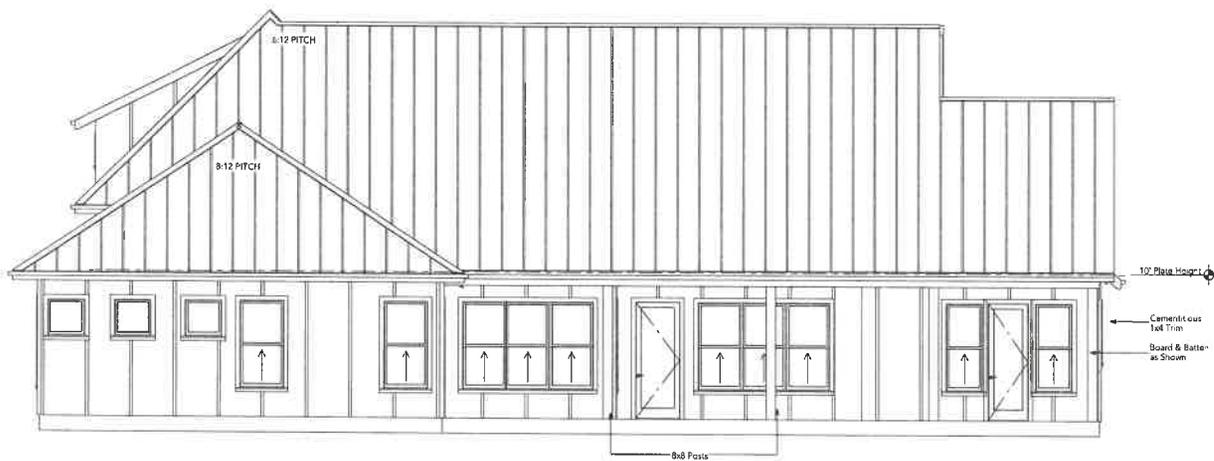
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION  
Scale: 1/4" = 1'-0"



REAR ELEVATION  
Scale: 1/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele Drafting  
Roysse City, TX 409-338-1194

DATE:

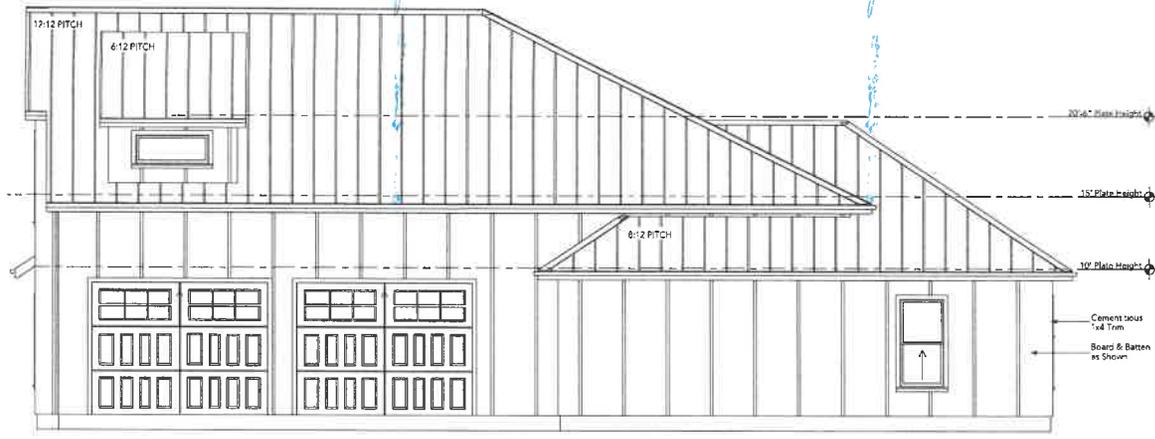
12/11/2024

SCALE:

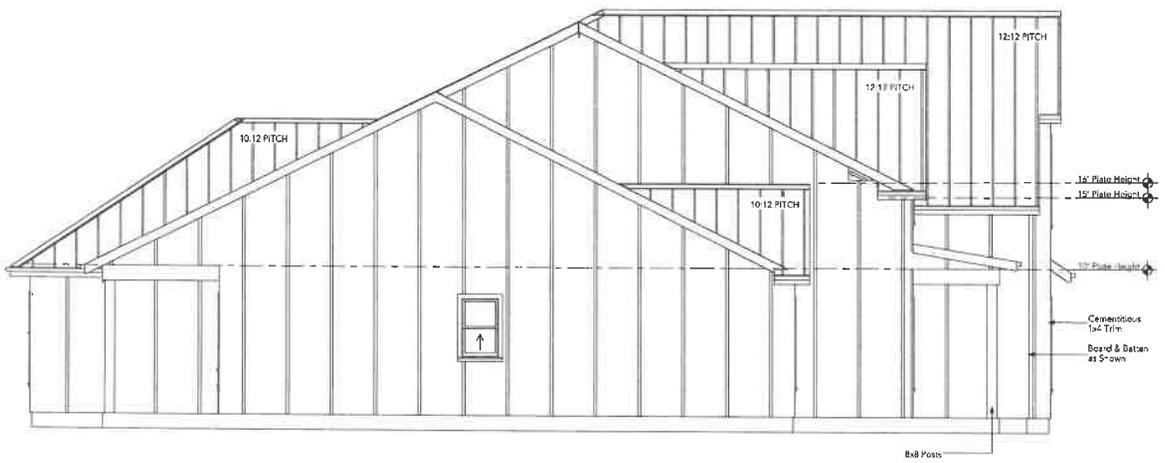
As Noted

SHEET:

A-3



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISION TABLE
NO. DATE BY DESCRIPTION
1 12/24 JCS PRELIMINARY
2 12/24 JCS PRELIMINARY

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Right & Left Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royce City, TX 469-338-1194

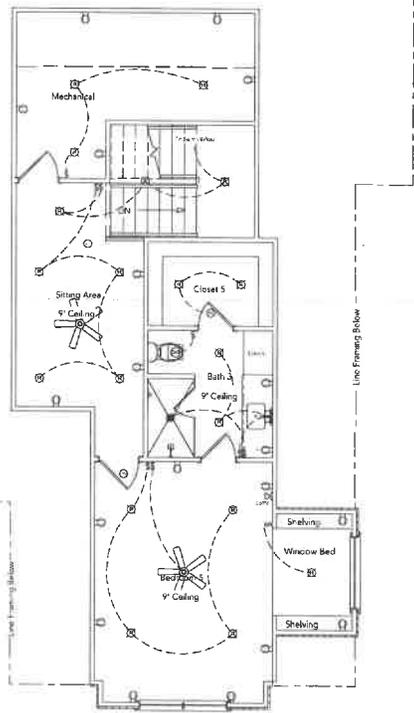
DATE:  
12/11/2024

SCALE:  
As Noted

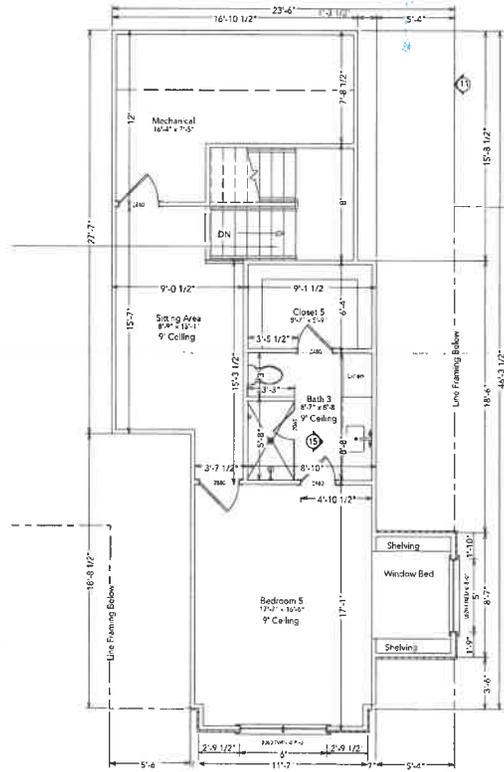
SHEET:  
A-4







2nd FLOOR ELECTRICAL  
SCALE: 1/8" = 1'-0"



2nd FLOOR PLAN  
SCALE: 1/8" = 1'-0"

Tabulations	
1st Floor	2,635 s.f.
2nd Floor	564 s.f.
Ft. Porch	285 s.f.
Bk Porch	640 s.f.
Mechanical	160 s.f.
Garage	766 s.f.
<b>Total</b>	<b>5,050 s.f.</b>

DATE	BY	DESCRIPTION
12/24	CS	REDUCE LINE FRAME SETBACK

JS Custom Homes, LLC  
700 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/  
2nd Floor Electrical

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royse City, TX 409-338-1194

DATE:

12/11/2024

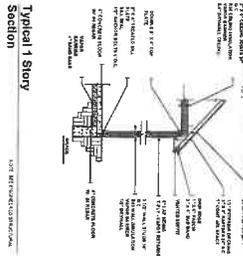
SCALE:

As Noted

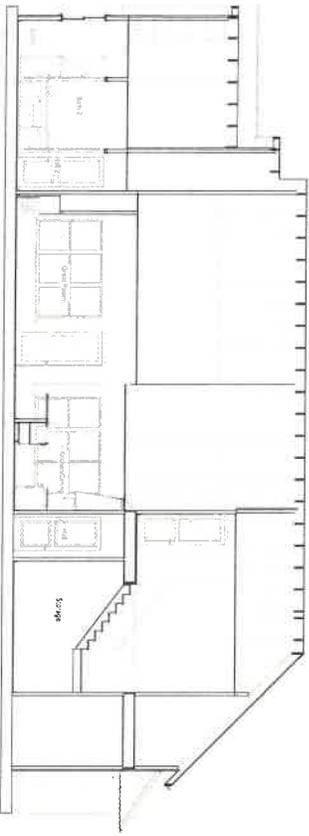
SHEET:

A-6

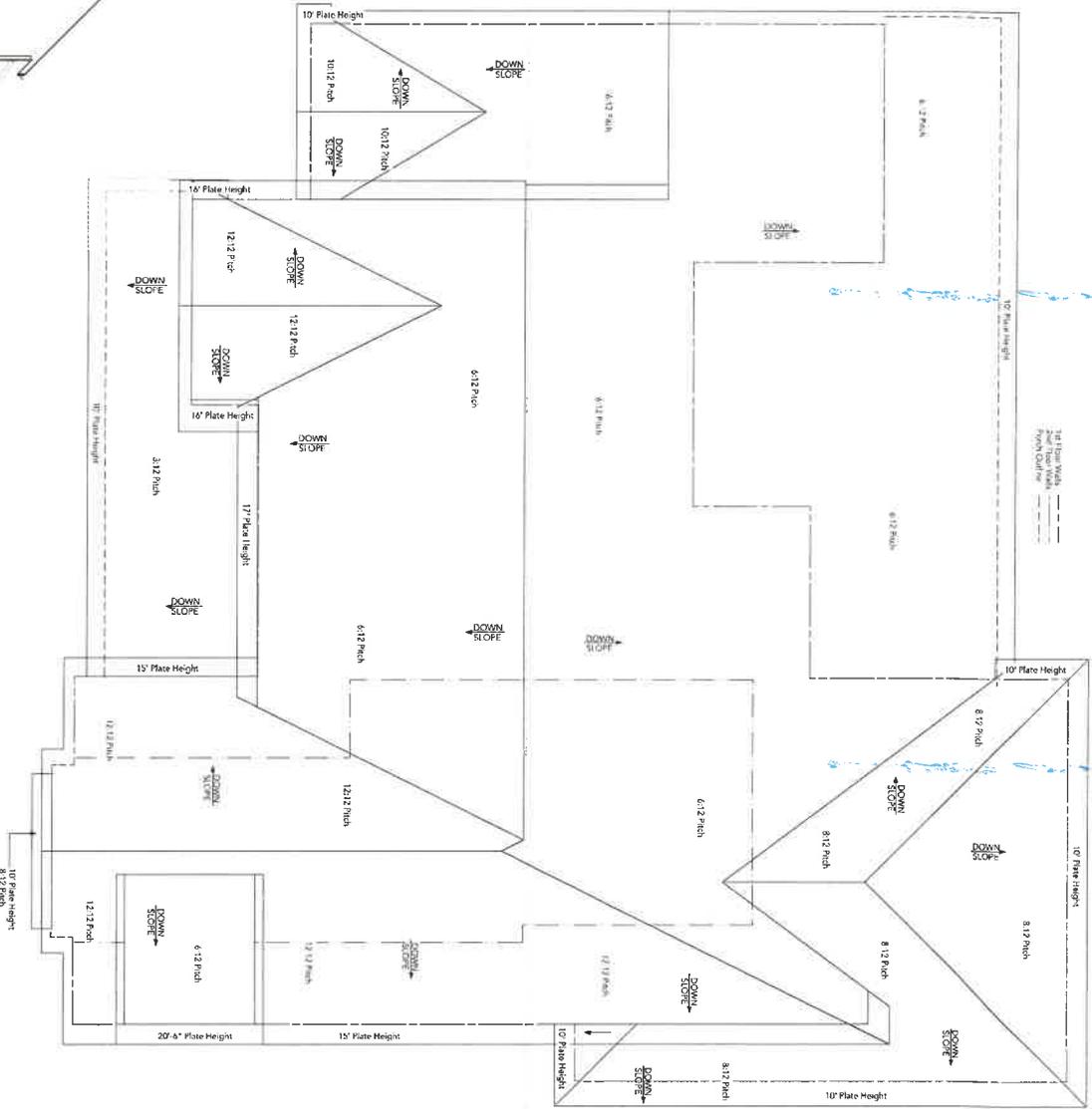
ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ROOFING				
2	CEILING				
3	FLOORING				
4	WALLS				
5	DOORS				
6	WINDOWS				
7	STAIRS				
8	MECHANICAL				
9	ELECTRICAL				
10	PLUMBING				
11	PAINT				
12	LANDSCAPE				
13	CONCRETE				
14	FOUNDATION				
15	ROOF STRUCTURE				
16	WALL STRUCTURE				
17	FLOOR STRUCTURE				
18	MECHANICAL				
19	ELECTRICAL				
20	PLUMBING				
21	PAINT				
22	LANDSCAPE				
23	CONCRETE				
24	FOUNDATION				
25	ROOF STRUCTURE				
26	WALL STRUCTURE				
27	FLOOR STRUCTURE				
28	MECHANICAL				
29	ELECTRICAL				
30	PLUMBING				
31	PAINT				
32	LANDSCAPE				
33	CONCRETE				
34	FOUNDATION				
35	ROOF STRUCTURE				
36	WALL STRUCTURE				
37	FLOOR STRUCTURE				
38	MECHANICAL				
39	ELECTRICAL				
40	PLUMBING				
41	PAINT				
42	LANDSCAPE				
43	CONCRETE				
44	FOUNDATION				
45	ROOF STRUCTURE				
46	WALL STRUCTURE				
47	FLOOR STRUCTURE				
48	MECHANICAL				
49	ELECTRICAL				
50	PLUMBING				
51	PAINT				
52	LANDSCAPE				
53	CONCRETE				
54	FOUNDATION				
55	ROOF STRUCTURE				
56	WALL STRUCTURE				
57	FLOOR STRUCTURE				
58	MECHANICAL				
59	ELECTRICAL				
60	PLUMBING				
61	PAINT				
62	LANDSCAPE				
63	CONCRETE				
64	FOUNDATION				
65	ROOF STRUCTURE				
66	WALL STRUCTURE				
67	FLOOR STRUCTURE				
68	MECHANICAL				
69	ELECTRICAL				
70	PLUMBING				
71	PAINT				
72	LANDSCAPE				
73	CONCRETE				
74	FOUNDATION				
75	ROOF STRUCTURE				
76	WALL STRUCTURE				
77	FLOOR STRUCTURE				
78	MECHANICAL				
79	ELECTRICAL				
80	PLUMBING				
81	PAINT				
82	LANDSCAPE				
83	CONCRETE				
84	FOUNDATION				
85	ROOF STRUCTURE				
86	WALL STRUCTURE				
87	FLOOR STRUCTURE				
88	MECHANICAL				
89	ELECTRICAL				
90	PLUMBING				
91	PAINT				
92	LANDSCAPE				
93	CONCRETE				
94	FOUNDATION				
95	ROOF STRUCTURE				
96	WALL STRUCTURE				
97	FLOOR STRUCTURE				
98	MECHANICAL				
99	ELECTRICAL				
100	PLUMBING				



Typical 1 Story Section



WALL SECTION



ROOF PLAN

DATE: 12/1/2024	DRAWINGS PROVIDED BY: Chanda Steele Drafting Roysie City, TX 469-338-1194	Roof Plan/Wall Sections & Schedules	JS Custom Homes, LLC 704 S. ALAMO DR. ROCKWALL, TX	REVISION TABLE			
				DATE	DESCRIPTION		
SCALE: As Noted				1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK
SHEET: A-8							



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
701 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
702 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
703 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
704 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
705 S. Alamo Road	Single-Family Home	1983	2,224	N/A	Brick
706 S. Alamo Road	Single-Family Home	1981	4,374	N/A	Brick and Siding
707 S. Alamo Road	Single-Family Home	1982	2,126	N/A	Brick and Siding
710 S. Alamo Road	Single-Family Home	1981	4,957	N/A	Brick and Stucco
804 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
806 S. Alamo Road	Single-Family Home	2007	3,745	N/A	Brick
808 S. Alamo Road	Single-Family Home	2015	3,814	N/A	Brick
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, & Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick

AVERAGES:      1989      3,583      90



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

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701 S. Alamo Road



702 S. Alamo Road



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

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703 S. Alamo Road



704 S. Alamo



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



705 S. Alamo Road



706 S. Alamo Road



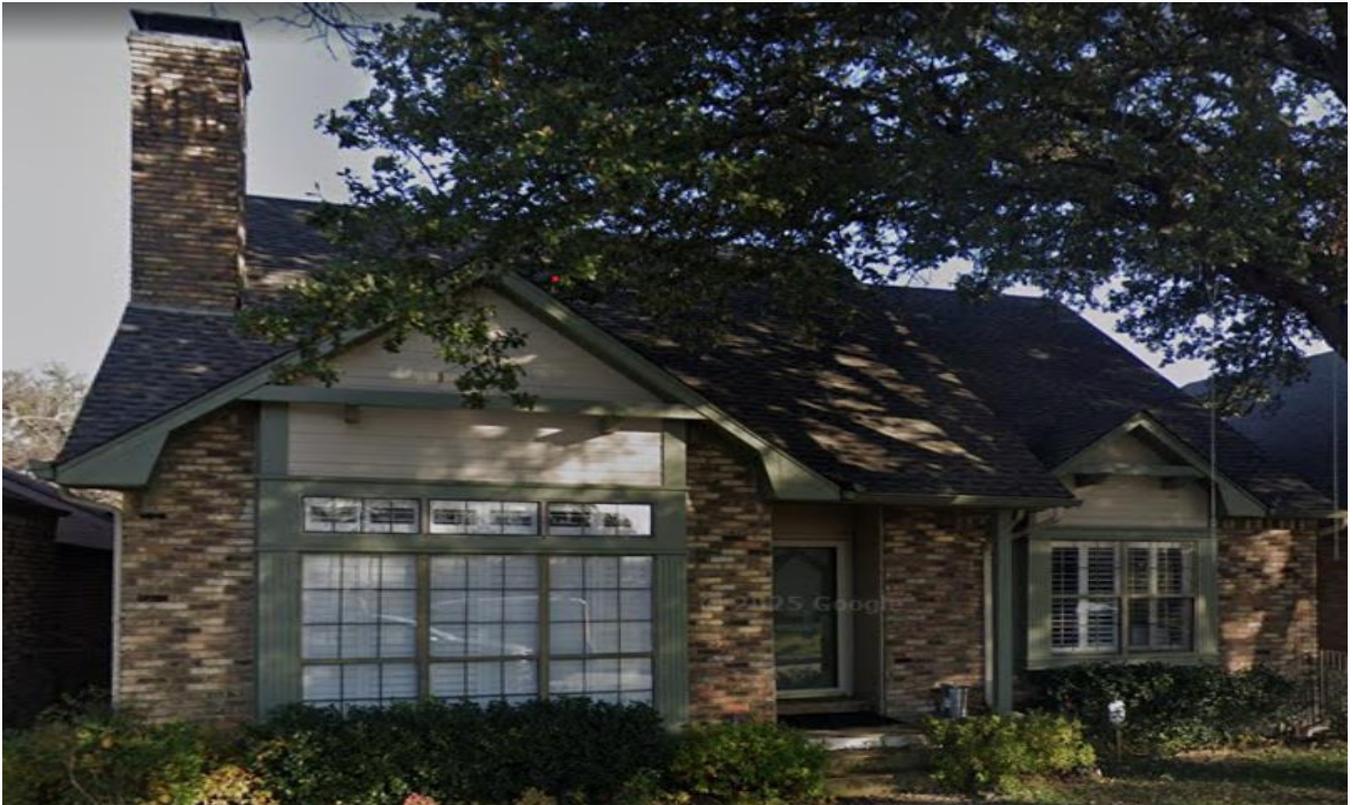
# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



707 S. Alamo Road



710 S. Alamo Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



804 S. Alamo Road



806 S. Alamo Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



808 S. Alamo Road



703 Forest Trace



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



705 Forest Trace



707 Forest Trace



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



709 Forest Trace



711 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1960-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, HIGHRIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF JUNE, 2025.

\_\_\_\_\_  
Trace Johannesen, Mayor

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, City Secretary

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: May 19, 2025

2<sup>nd</sup> Reading: June 2, 2025

**Exhibit 'A':  
Location Map**

Address: 704 S. Alamo Road

Legal Description: Lot 2, Block A, Highridge Addition

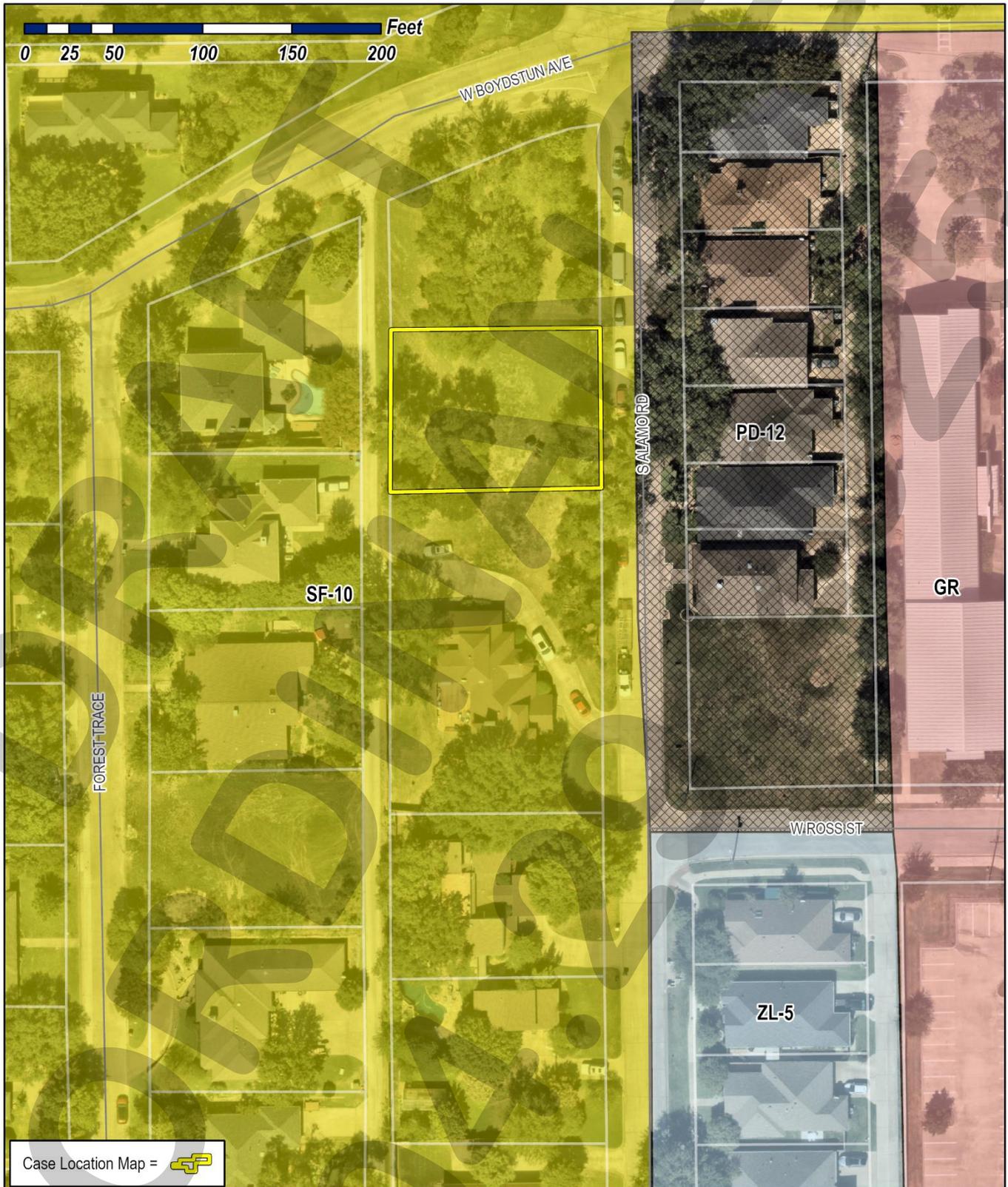


Exhibit 'B':  
Residential Plot Plan

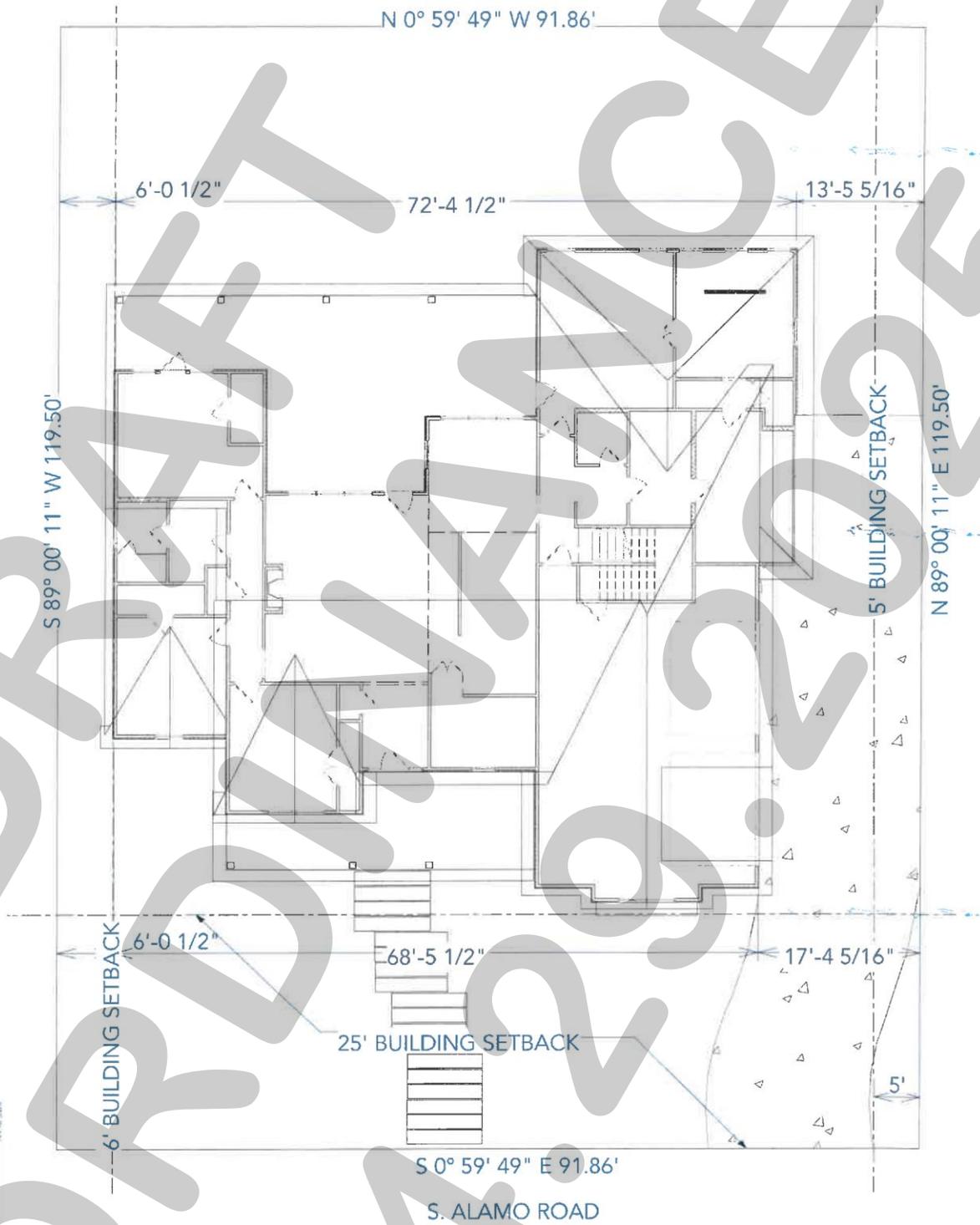
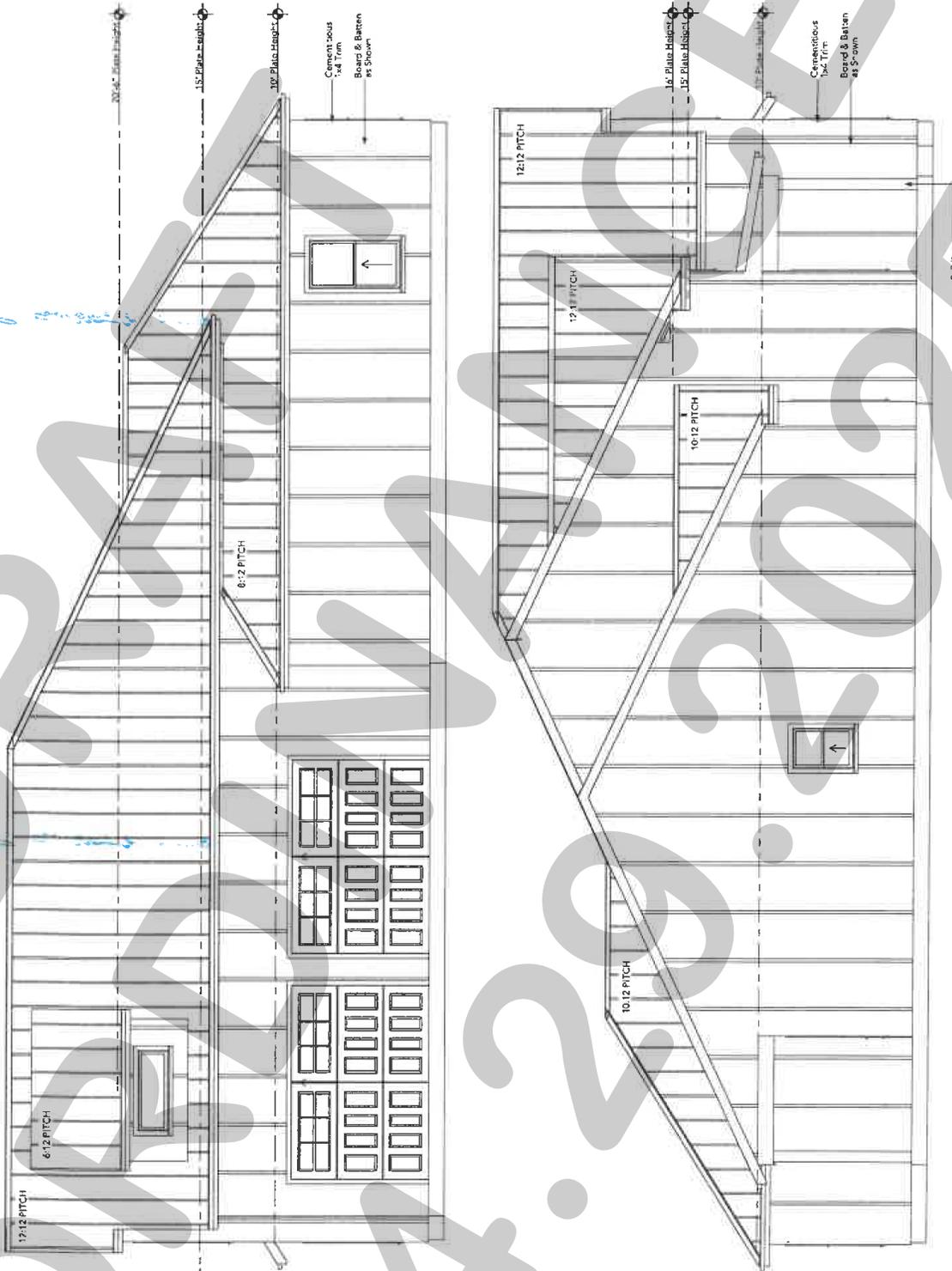


Exhibit 'C':  
Building Elevations



**Exhibit 'C':  
Building Elevations**





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** May 13, 2025  
**APPLICANT:** Jerret R. Smith  
**CASE NUMBER:** Z2025-022; *Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

### **BACKGROUND**

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation. On December 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0; however, on December 16, 2024, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 6-0. The stated reason for the denial was due to the applicant not being present at the meeting. On March 25, 2025, the Planning and Zoning Commission approved a motion by a vote of 7-0, permitting the applicant to resubmit the original request prior to the standard one (1) year waiting period.

### **PURPOSE**

The applicant -- *Jerret R. Smith* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 704 S. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant parcel of land (*i.e. Lot 1, Block A, Highridge Estates Addition*) zoned Single-Family 10 (SF-10) District. Beyond this is W. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is First Baptist Church of Rockwall (*i.e. Lot 1, Block A, First Baptist Church Addition Phase 3*) which is situated on a 9.43-acre tract of land and is zoned both Single-Family 10 (SF-10) District and General Retail (GR) District.

South: Directly south of the subject property are six (6) parcels of land (*i.e. 706, 710, 804, 806, 808, & 810 S. Alamo Road*) developed with single-family homes that are within the Highridge Estates Subdivision. Beyond this is the Spong Subdivision, which consists of five (5) lots developed with single-family homes. All of these parcels are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S. Alamo Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the Amachris Subdivision, which consists of seven (7) lots developed with single-family homes and is zoned Planned Development District 12 (PD-12). Beyond this is a 1.9192-acre parcel of land (*i.e. Lot 2, Block 1, Goliad Place Addition*), which consists of the First Baptist Church Student Ministry and is zoned General Retail (GR) District.

West: Directly west of the subject property are six (6) parcels of land (*i.e. 703, 705, 707, 711, 713, & 715 Forest Trace*) developed with single-family homes and one (1) vacant parcel of land (*i.e. 709 Forest Trace*). Beyond this is Forest Trace, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the remainder of the Highridge Estates Subdivision, which consists of 99 lots and is zoned Single-Family District 10 (SF-10) District.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is situated within the Highridge Subdivision, which is 98.00% developed, consists of 97 residential lots, and has been in existence since June 1, 1972. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing along Forest Trace and S. Alamo Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Alamo Road and in Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	The homes along S. Alamo face onto S. Alamo Road.	The front elevation of the home will face S. Alamo Road.
Year Built	1978- 2015	N/A
Building SF on Property	2,126 SF – 4,957 SF	5,059 SF
Building Architecture	Single Family Homes and Four (4) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	25-Feet
Side	6-Feet	6-Feet
Rear	10-Feet	X>10-Feet
Building Materials	Brick, Siding, Stone and Stucco	Board and Batten Siding
Paint and Color	Brown, Red, White, Orange	N/A
Roofs	Composite Shingles	Board and Batten
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of rear entry garages or no garages.	The proposed home will incorporate a j-swing garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Alamo Road and Forest Trace and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On April 18, 2025, staff mailed 66 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows, Bent Creek Condos, and Highridge Estates Homeowners Associations (HOAs), which are the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 704 S Alamo  
 SUBDIVISION: Highridge Est LOT: 2 BLOCK: A  
 GENERAL LOCATION: \_\_\_\_\_

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: C1 CURRENT USE: \_\_\_\_\_  
 PROPOSED ZONING: \_\_\_\_\_ PROPOSED USE: \_\_\_\_\_  
 ACREAGE: 0.196 LOTS [CURRENT]: \_\_\_\_\_ LOTS [PROPOSED]: \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

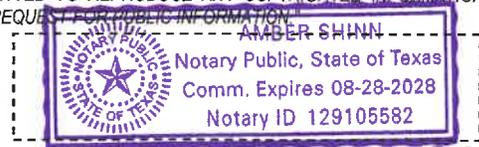
OWNER: Jerret Smith  APPLICANT: \_\_\_\_\_  
 CONTACT PERSON: Jerret Smith CONTACT PERSON: \_\_\_\_\_  
 ADDRESS: 9091 Fm 2728 ADDRESS: \_\_\_\_\_  
 CITY, STATE & ZIP: Tenele TX 75141 CITY, STATE & ZIP: \_\_\_\_\_  
 PHONE: 469-409-8515 PHONE: \_\_\_\_\_  
 E-MAIL: JSC@Rockwall@yahoo.com E-MAIL: \_\_\_\_\_

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

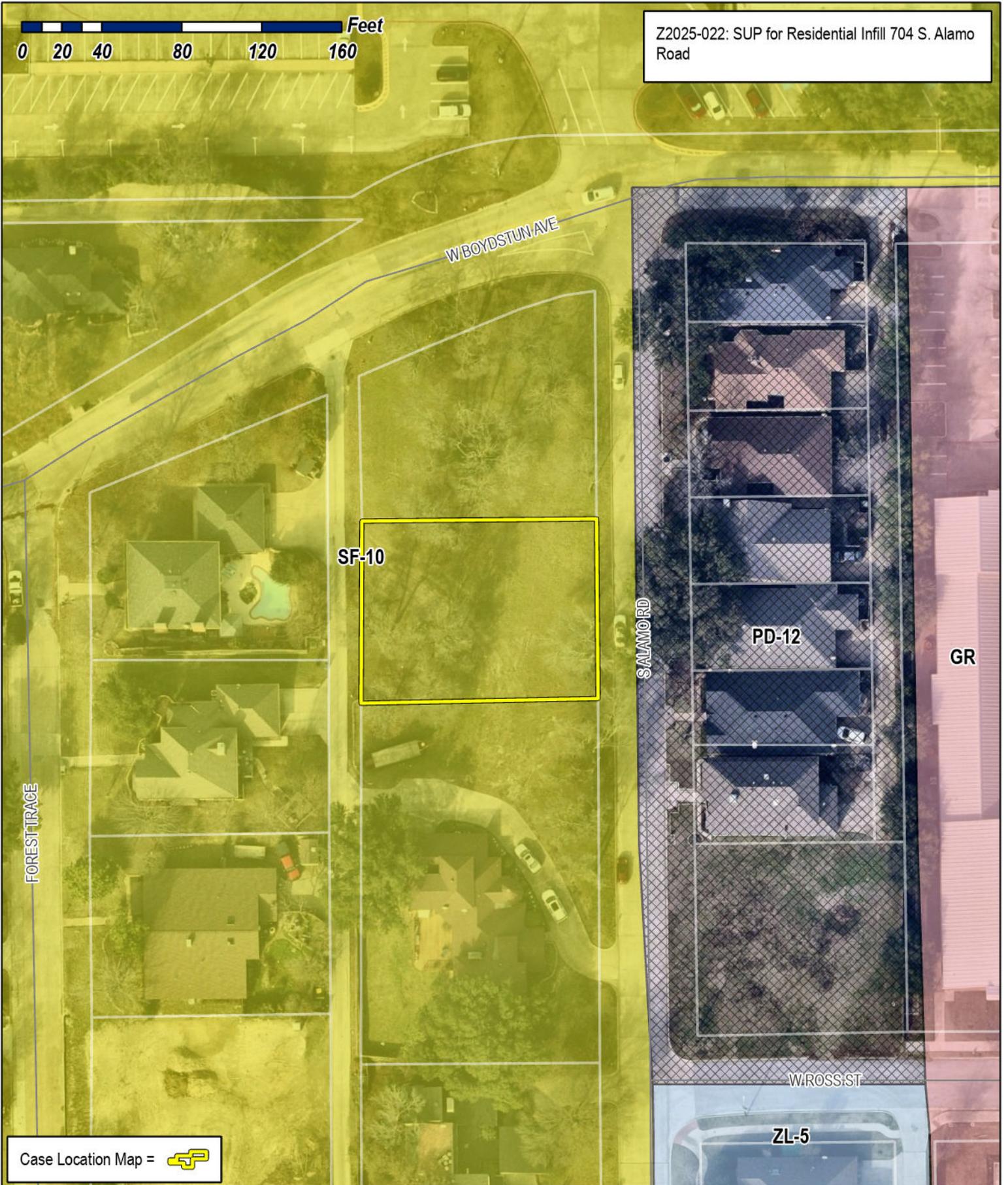
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025  
 OWNER'S SIGNATURE: Jerret Smith



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Amber Shinn MY COMMISSION EXPIRES: 8.28.28

0 20 40 80 120 160 Feet

Z2025-022: SUP for Residential Infill 704 S. Alamo Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

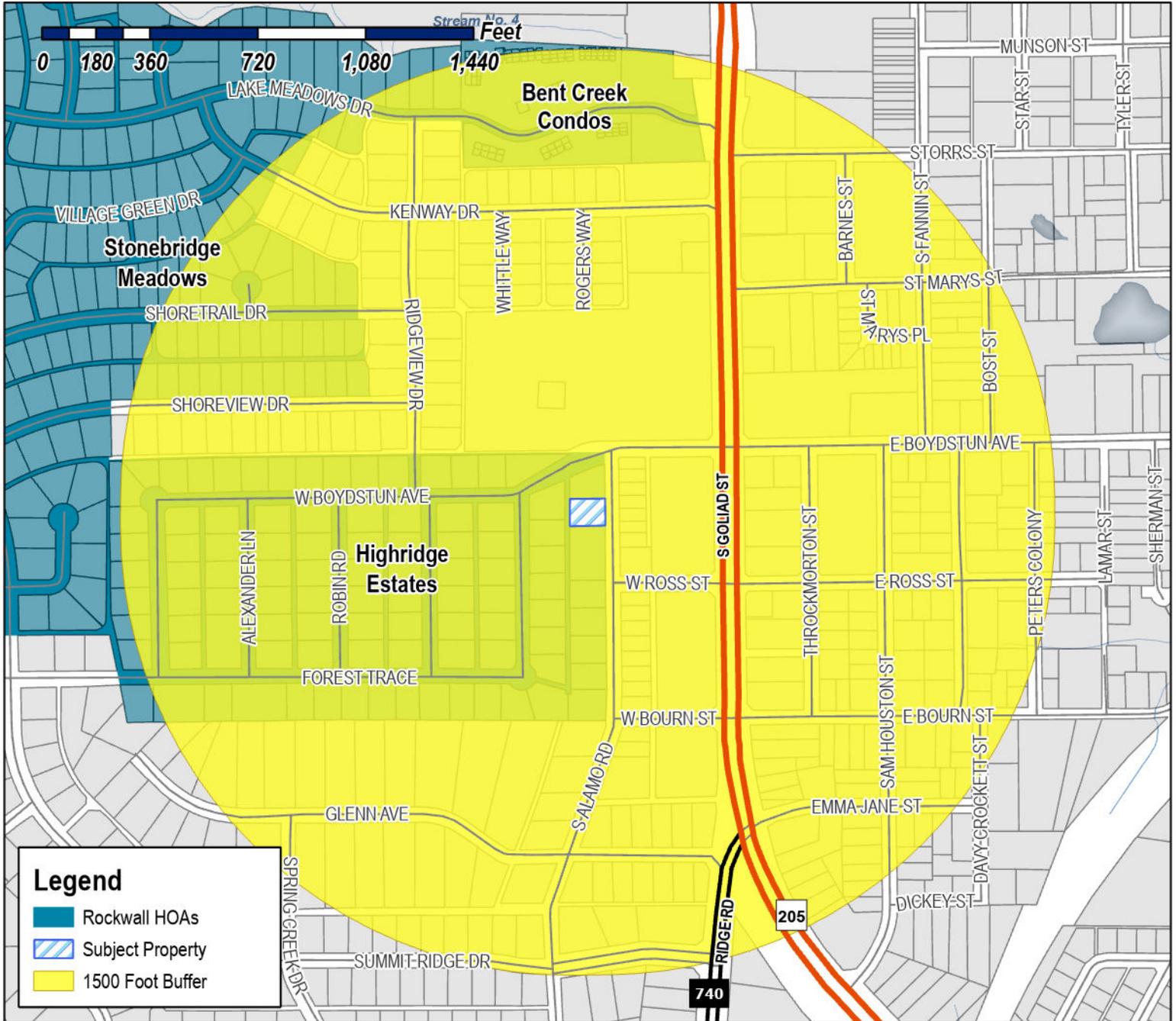




# City of Rockwall

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**Case Number:** Z2025-022  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 704 S. Alamo Road

**Date Saved:** 4/17/2025

For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2025-022]  
**Date:** Wednesday, April 23, 2025 3:19:35 PM  
**Attachments:** [Public Notice \(04.21.2025\).pdf](#)  
[HOA Map \(04.17.2025\).pdf](#)

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HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, April 25, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, May 13, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, May 19, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-022: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

Thank you,

*Melanie Zavala*

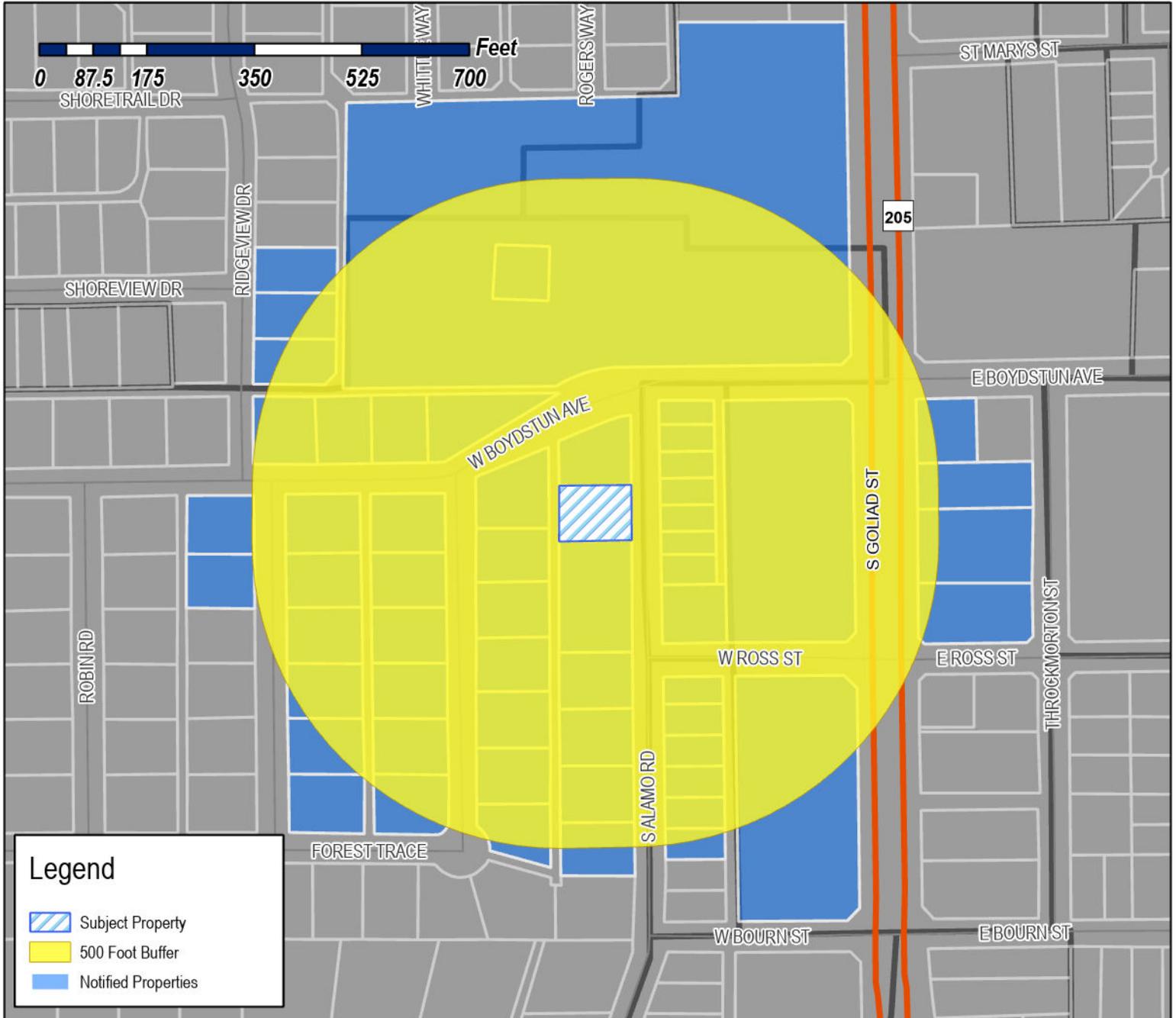
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-022  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 704 S. Alamo Road

**Date Saved:** 4/17/2025

For Questions on this Case Call: (972) 771-7745



# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road**

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 19, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road**

Please place a check mark on the appropriate line below:

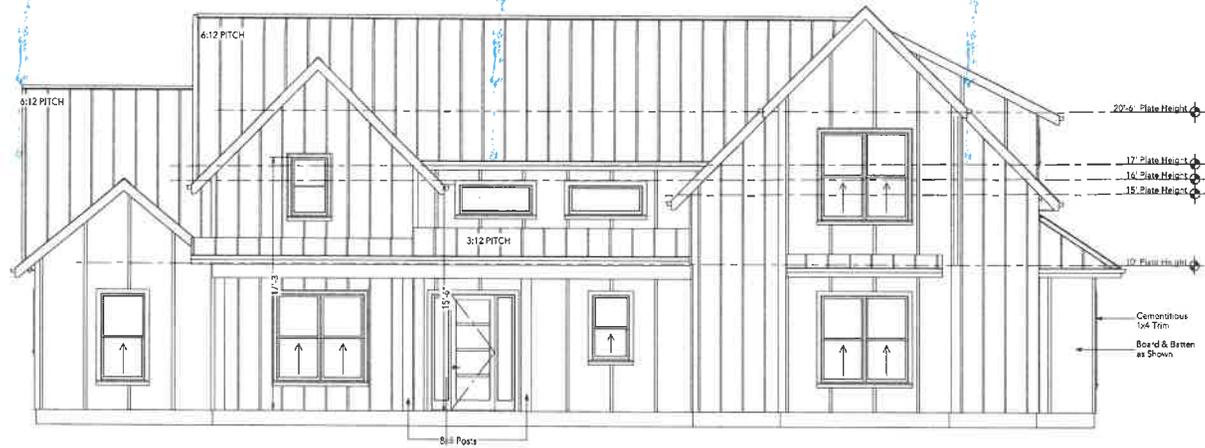
- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

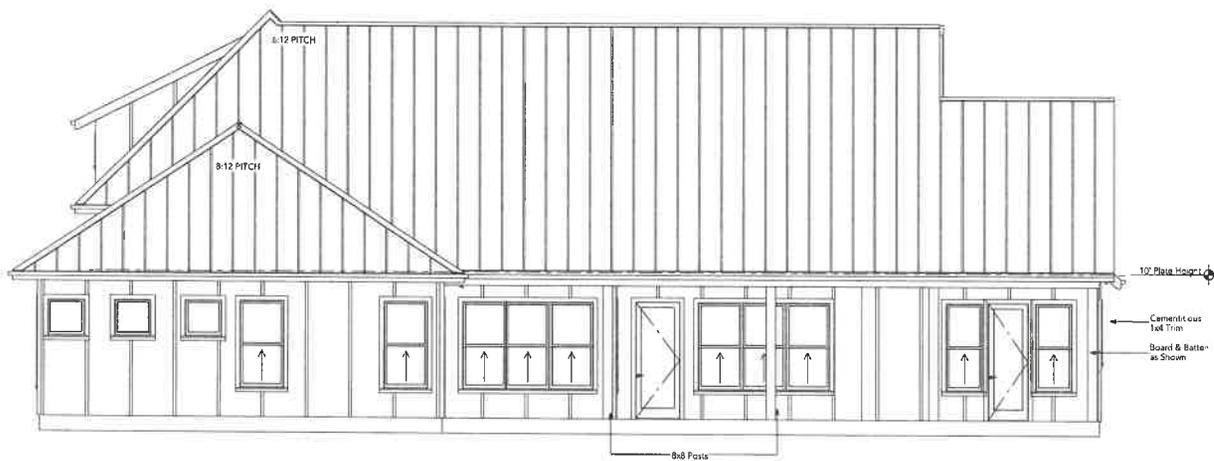
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION  
Scale: 1/4" = 1'-0"



REAR ELEVATION  
Scale: 1/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele Drafting  
Royse City, TX 409-338-1194

DATE:

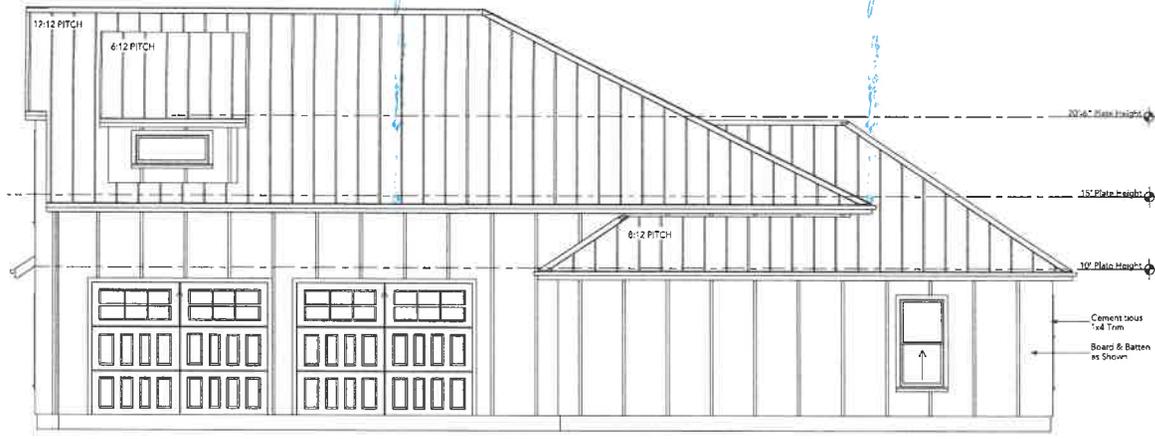
12/11/2024

SCALE:

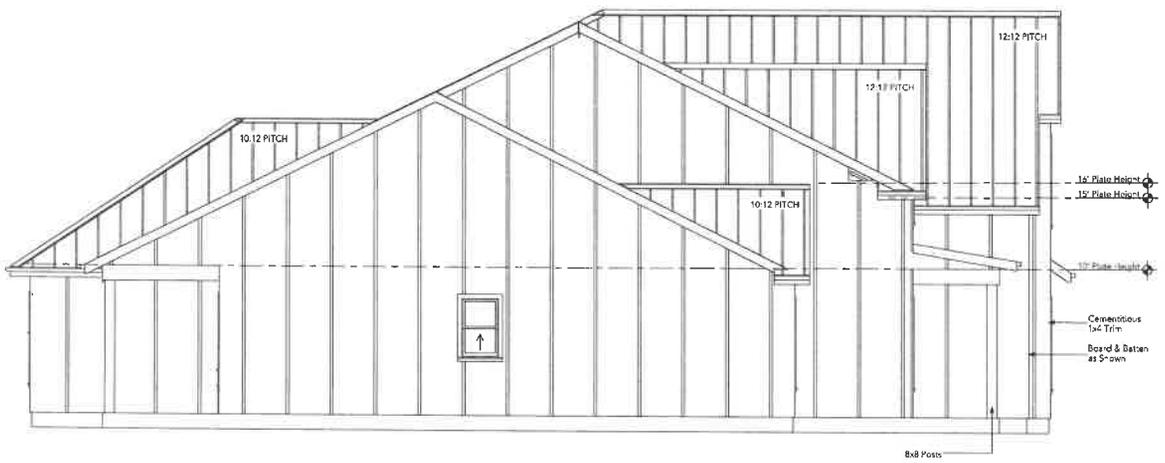
As Noted

SHEET:

A-3



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISION TABLE
NO. DATE BY DESCRIPTION
1 12/24 TCS PREPARE FOR BUILDING PERMIT

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Right & Left Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royce City, TX 469-338-1194

DATE:

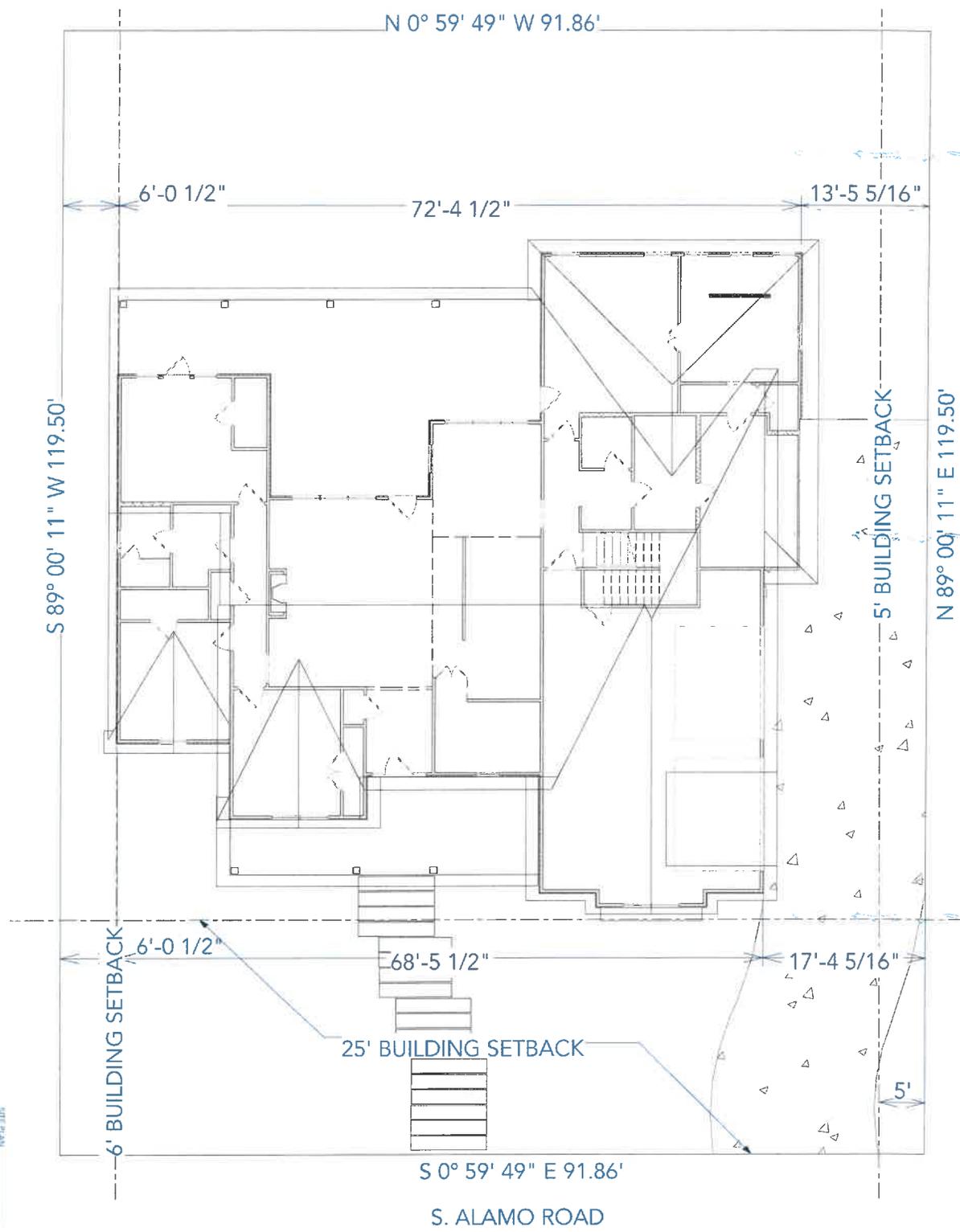
12/11/2024

SCALE:

As Noted

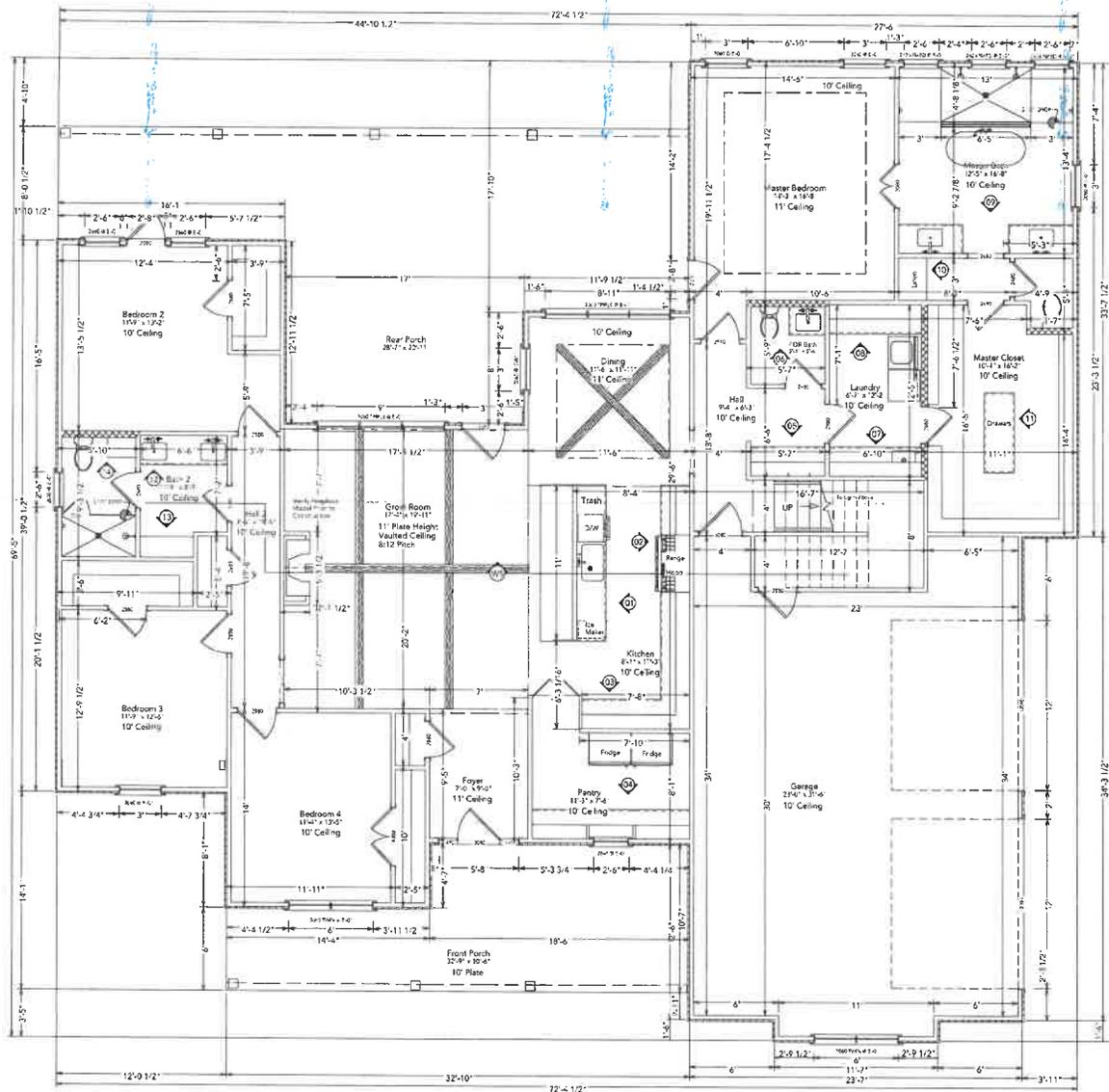
SHEET:

A-4



SITE PLAN

<b>A-2</b>	SHEET:	AS NOTED	SCALE:	DATE:	DRAWINGS PROVIDED BY:	Site Plan	JS Custom Homes, LLC	REVISION TABLE																			
				12/11/2024	Chanda Steele Drafting Royse City, TX 469-338-1194	S. ALAMO ROAD	704 S. ALAMO DR. ROCKWALL, TX	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>12/24</td> <td>CAS</td> <td>REDUCE SIZE FOR BUILDING SETBACK</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	#	DATE	BY	DESCRIPTION	1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK											
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1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK																								

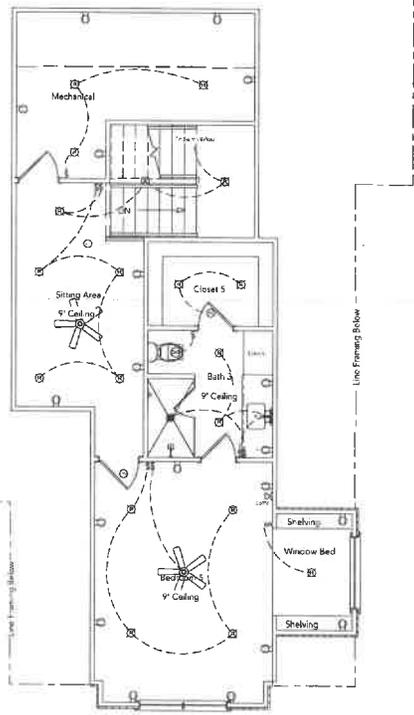


1st FLOOR PLAN

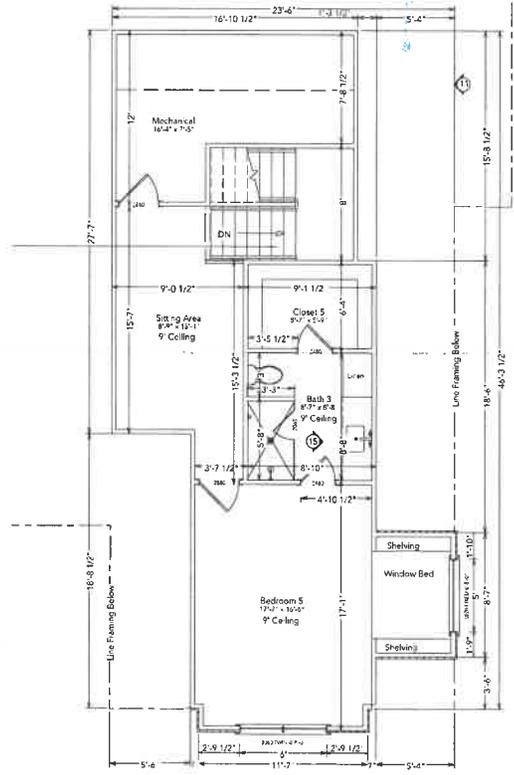
SCALE: 1/8" = 1'-0"

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
<b>Total</b>	<b>-</b>	<b>5,050 s.f.</b>

<p><b>REVISION TABLE</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/27/24</td> <td>CSA</td> <td>REDUCE SIZE EXTERIOR RETAINING WALL</td> </tr> </tbody> </table>	#	DATE	BY	DESCRIPTION	1	11/27/24	CSA	REDUCE SIZE EXTERIOR RETAINING WALL	<p><b>JS Custom Homes, LLC</b> 704 S. ALAMO DR. ROCKWALL, TX</p> <hr/> <p><b>1st Floor Plan</b></p> <hr/> <p>DRAWINGS PROVIDED BY: <b>Chanda Steele Drafting</b> Rogers City, TX 469-338-1194</p> <hr/> <p>DATE: <b>12/11/2024</b></p> <hr/> <p>SCALE: <b>As Noted</b></p> <hr/> <p>SHEET: <b>A-5</b></p>
#	DATE	BY	DESCRIPTION						
1	11/27/24	CSA	REDUCE SIZE EXTERIOR RETAINING WALL						



2nd FLOOR ELECTRICAL



2nd FLOOR PLAN

Tabulations	
1st Floor	2,635 s.f.
2nd Floor	564 s.f.
Ft. Porch	285 s.f.
Bk Porch	640 s.f.
Mechanical	160 s.f.
Garage	766 s.f.
<b>Total</b>	<b>5,050 s.f.</b>

DATE	BY	DESCRIPTION
12/24	CS	REDUCE LINE FORCE IN ROOMS SETBACK

JS Custom Homes, LLC  
700 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/  
2nd Floor Electrical

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royse City, TX 409-338-1194

DATE:

12/11/2024

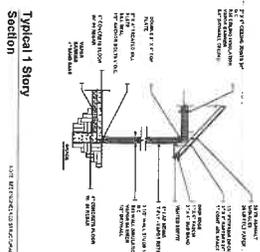
SCALE:

As Noted

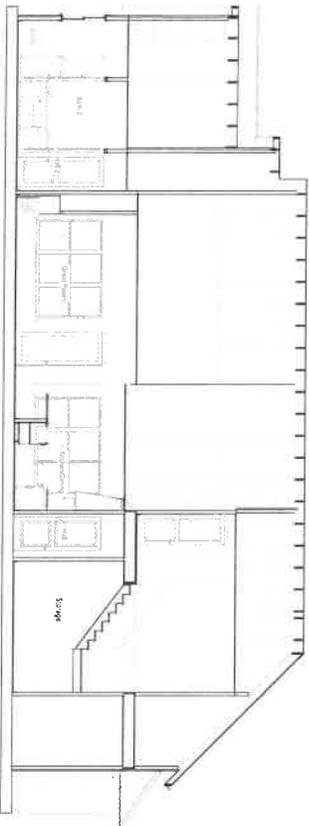
SHEET:

A-6

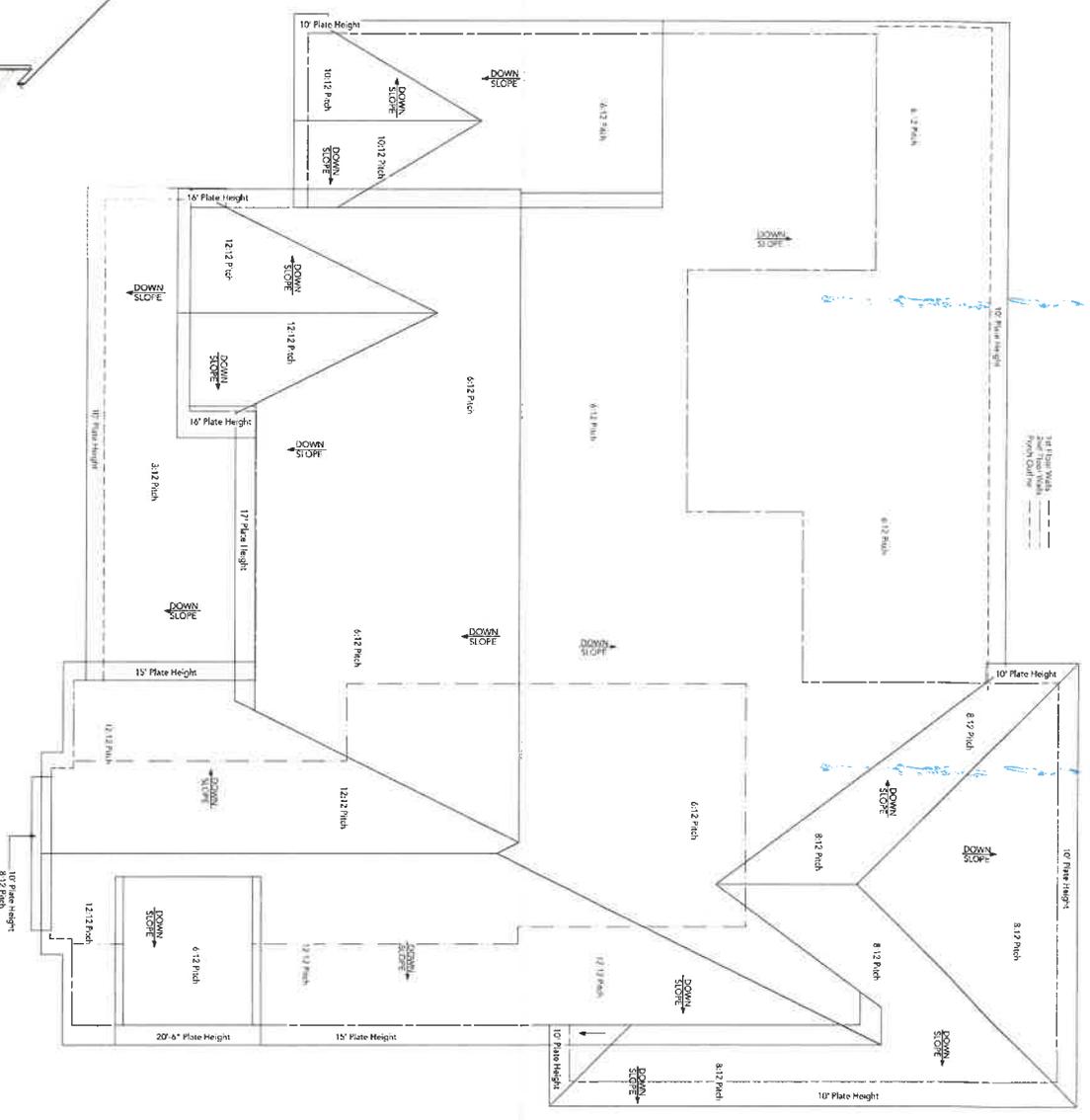
ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ROOFING				
2	CEILING				
3	FLOORING				
4	PAINT				
5	WALLS				
6	DOORS				
7	WINDOWS				
8	STAIRS				
9	BATH				
10	KITCHEN				
11	LIVING				
12	DINING				
13	BEDROOM				
14	BEDROOM				
15	BEDROOM				
16	BEDROOM				
17	BEDROOM				
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47	BEDROOM				
48	BEDROOM				
49	BEDROOM				
50	BEDROOM				



Typical 1 Story Section



Wall Section



Roof Plan/Wall Sections & Schedules

<b>A-8</b> SHEET:	SCALE: As Noted	DATE: 12/1/2024	DRAWINGS PROVIDED BY: <b>Chanda Steele Drafting</b> Roysie City, TX 409-338-1194	<b>Roof Plan/Wall Sections &amp; Schedules</b>	<b>JS Custom Homes, LLC</b> 704 S. ALAMO DR. ROCKWALL, TX	REVISION TABLE	
						DATE 12/24	BY CAS



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
701 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
702 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
703 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
704 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
705 S. Alamo Road	Single-Family Home	1983	2,224	N/A	Brick
706 S. Alamo Road	Single-Family Home	1981	4,374	N/A	Brick and Siding
707 S. Alamo Road	Single-Family Home	1982	2,126	N/A	Brick and Siding
710 S. Alamo Road	Single-Family Home	1981	4,957	N/A	Brick and Stucco
804 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
806 S. Alamo Road	Single-Family Home	2007	3,745	N/A	Brick
808 S. Alamo Road	Single-Family Home	2015	3,814	N/A	Brick
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, & Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick
AVERAGES:		1989	3,583	90	



## CITY OF ROCKWALL

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701 S. Alamo Road



702 S. Alamo Road



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

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703 S. Alamo Road



704 S. Alamo



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

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705 S. Alamo Road



706 S. Alamo Road



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

**PLANNING AND ZONING DEPARTMENT**

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707 S. Alamo Road



710 S. Alamo Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



804 S. Alamo Road



806 S. Alamo Road



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



808 S. Alamo Road



703 Forest Trace



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



705 Forest Trace



707 Forest Trace



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



709 Forest Trace



711 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1960-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, HIGHRIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF JUNE, 2025.

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: May 19, 2025

2<sup>nd</sup> Reading: June 2, 2025

**Exhibit 'A':**  
**Location Map**

Address: 704 S. Alamo Road

Legal Description: Lot 2, Block A, Highridge Addition

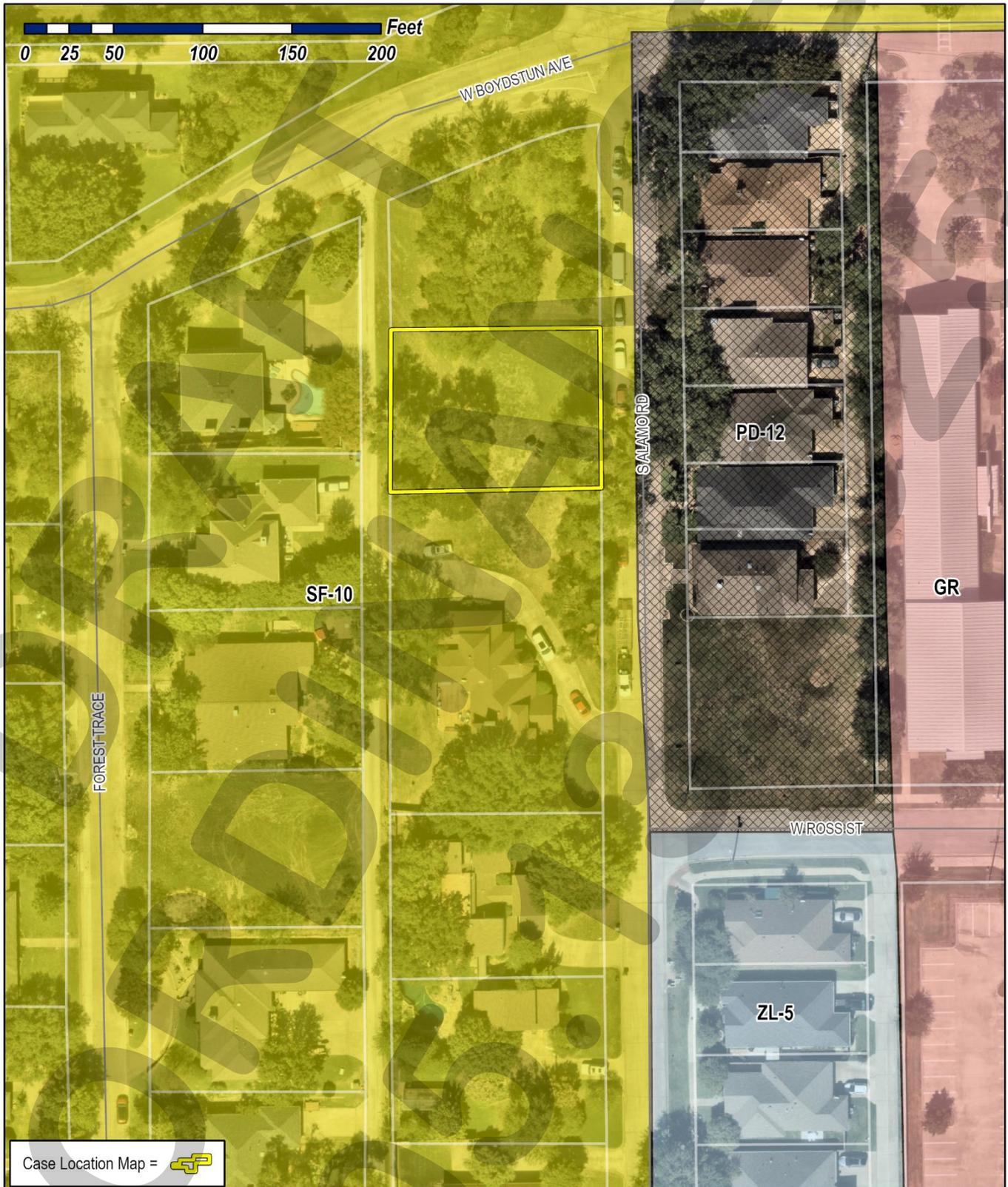


Exhibit 'B':  
Residential Plot Plan

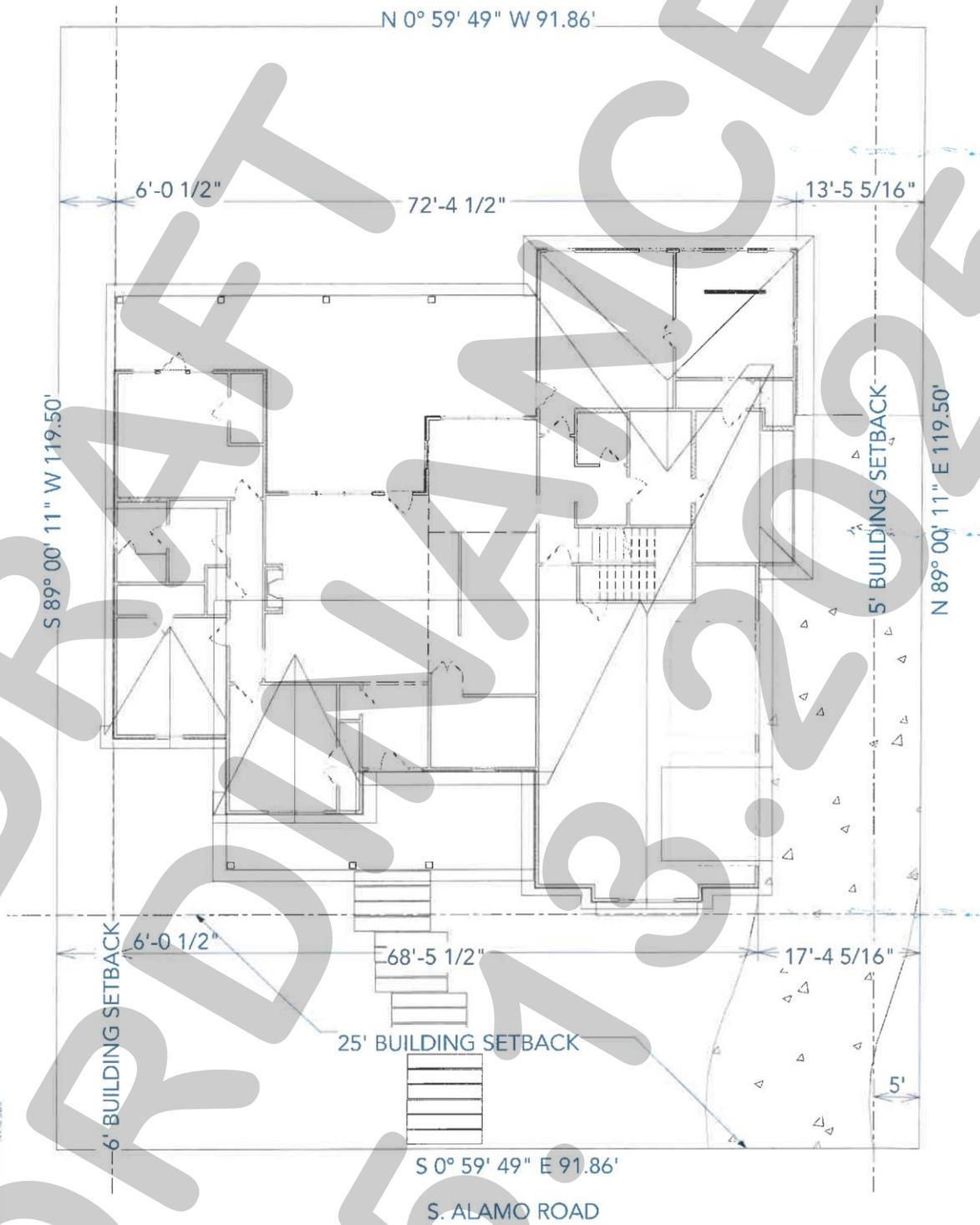
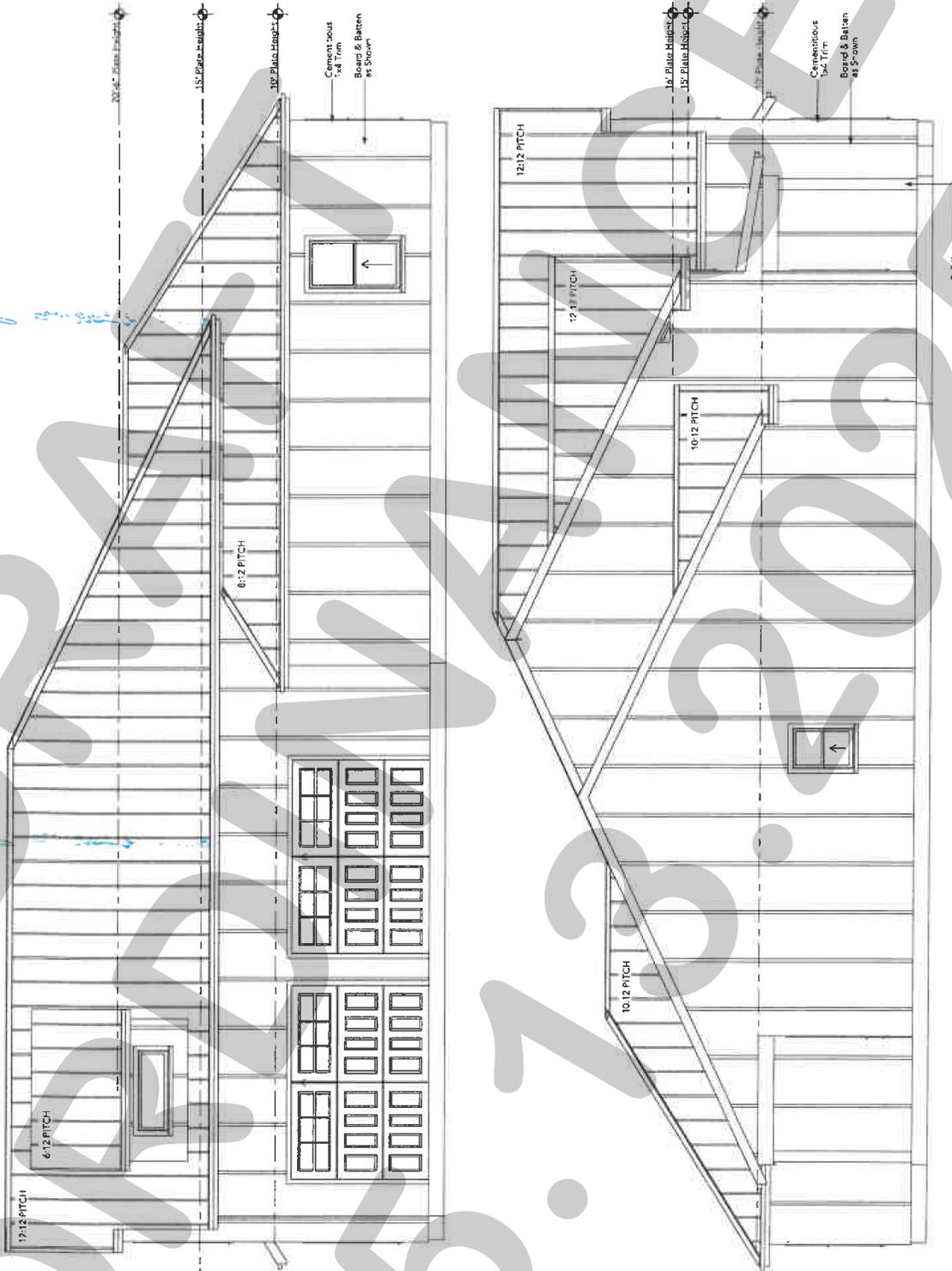


Exhibit 'C':  
Building Elevations



Exhibit 'C':  
Building Elevations





# CITY OF ROCKWALL

## CITY COUNCIL CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Mayor and City Council  
**DATE:** May 19, 2025  
**APPLICANT:** Jerret R. Smith  
**CASE NUMBER:** Z2025-022; *Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road*

---

### SUMMARY

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. According to the January 3, 1972 *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District. Sometime between January 3, 1972 and May 16, 1983, the subject property was rezoned to Single-Family 10 (SF-10) District, and has remained zoned Single-Family 10 (SF-10) District since this change. The subject property has remained vacant since its annexation. On December 10, 2024, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 6-0; however, on December 16, 2024, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 6-0. The stated reason for the denial was due to the applicant not being present at the meeting. On March 25, 2025, the Planning and Zoning Commission approved a motion by a vote of 7-0, permitting the applicant to resubmit the original request prior to the standard one (1) year waiting period.

### PURPOSE

The applicant -- *Jerret R. Smith* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 704 S. Alamo Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a vacant parcel of land (*i.e. Lot 1, Block A, Highridge Estates Addition*) zoned Single-Family 10 (SF-10) District. Beyond this is W. Boydston Avenue, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this is First Baptist Church of Rockwall (*i.e. Lot 1, Block A, First Baptist Church Addition Phase 3*) which is situated on a 9.43-acre tract of land and is zoned both Single-Family 10 (SF-10) District and General Retail (GR) District.

South: Directly south of the subject property are six (6) parcels of land (*i.e. 706, 710, 804, 806, 808, & 810 S. Alamo Road*) developed with single-family homes that are within the Highridge Estates Subdivision. Beyond this is the Spong Subdivision, which consists of five (5) lots developed with single-family homes. All of these parcels are zoned Single-Family 10 (SF-10) District. South of this is Glenn Avenue, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S. Alamo Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the Amachris Subdivision, which consists of seven (7) lots developed with single-family homes and is zoned Planned Development District 12 (PD-12). Beyond this is a 1.9192-acre parcel of land (*i.e. Lot 2, Block 1, Goliad Place Addition*), which consists of the First Baptist Church Student Ministry and is zoned General Retail (GR) District.

West: Directly west of the subject property are six (6) parcels of land (*i.e. 703, 705, 707, 711, 713, & 715 Forest Trace*) developed with single-family homes and one (1) vacant parcel of land (*i.e. 709 Forest Trace*). Beyond this is Forest Trace, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this is the remainder of the Highridge Estates Subdivision, which consists of 99 lots and is zoned Single-Family District 10 (SF-10) District.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B) (11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is situated within the Highridge Subdivision, which is 98.00% developed, consists of 97 residential lots, and has been in existence since June 1, 1972. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being within an established subdivision, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing along Forest Trace and S. Alamo Road compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on S. Alamo Road and in Close Proximity to the Subject Property	Proposed Housing
Building Height	One (1) and Two (2) Story	Two (2) Story
Building Orientation	The homes along S. Alamo face onto S. Alamo Road.	The front elevation of the home will face S. Alamo Road.
Year Built	1978- 2015	N/A
Building SF on Property	2,126 SF – 4,957 SF	5,059 SF
Building Architecture	Single Family Homes and Four (4) Vacant Lots	Comparable Architecture to the surrounding Single-Family Homes
Building Setbacks:		
Front	20-Feet	25-Feet
Side	6-Feet	6-Feet
Rear	10-Feet	X>10-Feet
Building Materials	Brick, Siding, Stone and Stucco	Board and Batten Siding
Paint and Color	Brown, Red, White, Orange	N/A
Roofs	Composite Shingles	Board and Batten
Driveways/Garages	Driveways all front the same street the single-family home faces. Homes consist of rear entry garages or no garages.	The proposed home will incorporate a j-swing garage.

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the subject property, staff has provided photos of the properties along S. Alamo Road and Forest Trace and also provided the proposed building elevations in the attached packet. The approval of this request is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission and a finding that the proposed house will not have a negative impact on the existing subdivision.

## **NOTIFICATIONS**

On April 18, 2025, staff mailed 66 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Stonebridge Meadows, Bent Creek Condos, and Highridge Estates Homeowners Associations (HOAs), which are the only HOAs within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices back regarding the applicant's request.

## **CONDITIONS OF APPROVAL**

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

## **PLANNING AND ZONING COMMISSION**

On May 13, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the Specific Use Permit (SUP) by a vote of 4-0, with Commissioners Thompson and Hustings absent, and one (1) vacant seat.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

704 S Alamo

SUBDIVISION

Highridge Est

LOT

2

BLOCK

A

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

C1

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

0.196

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Jerret Smith

APPLICANT

CONTACT PERSON

Jerret Smith

CONTACT PERSON

ADDRESS

9091 Fm 2728

ADDRESS

CITY, STATE & ZIP

Tenelle TX 75141

CITY, STATE & ZIP

PHONE

469-409-8515

PHONE

E-MAIL

JSC@Rockwall@yahoo.com

E-MAIL

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jerret Smith [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

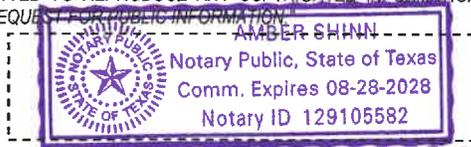
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF April, 2025

OWNER'S SIGNATURE

*Jerret Smith*  
*Amber Shinn*

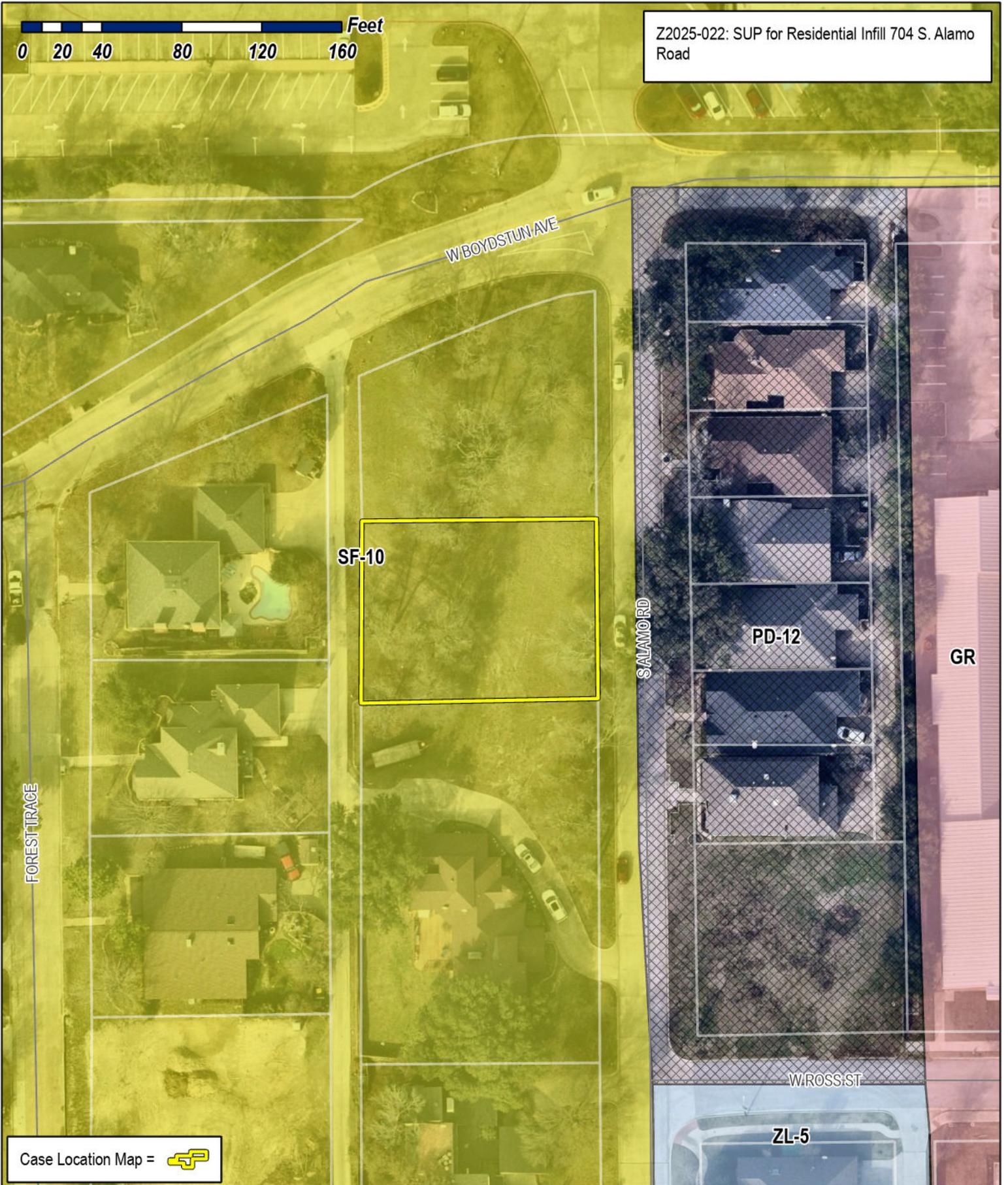
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 8.28.28

0 20 40 80 120 160 Feet

Z2025-022: SUP for Residential Infill 704 S. Alamo Road



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

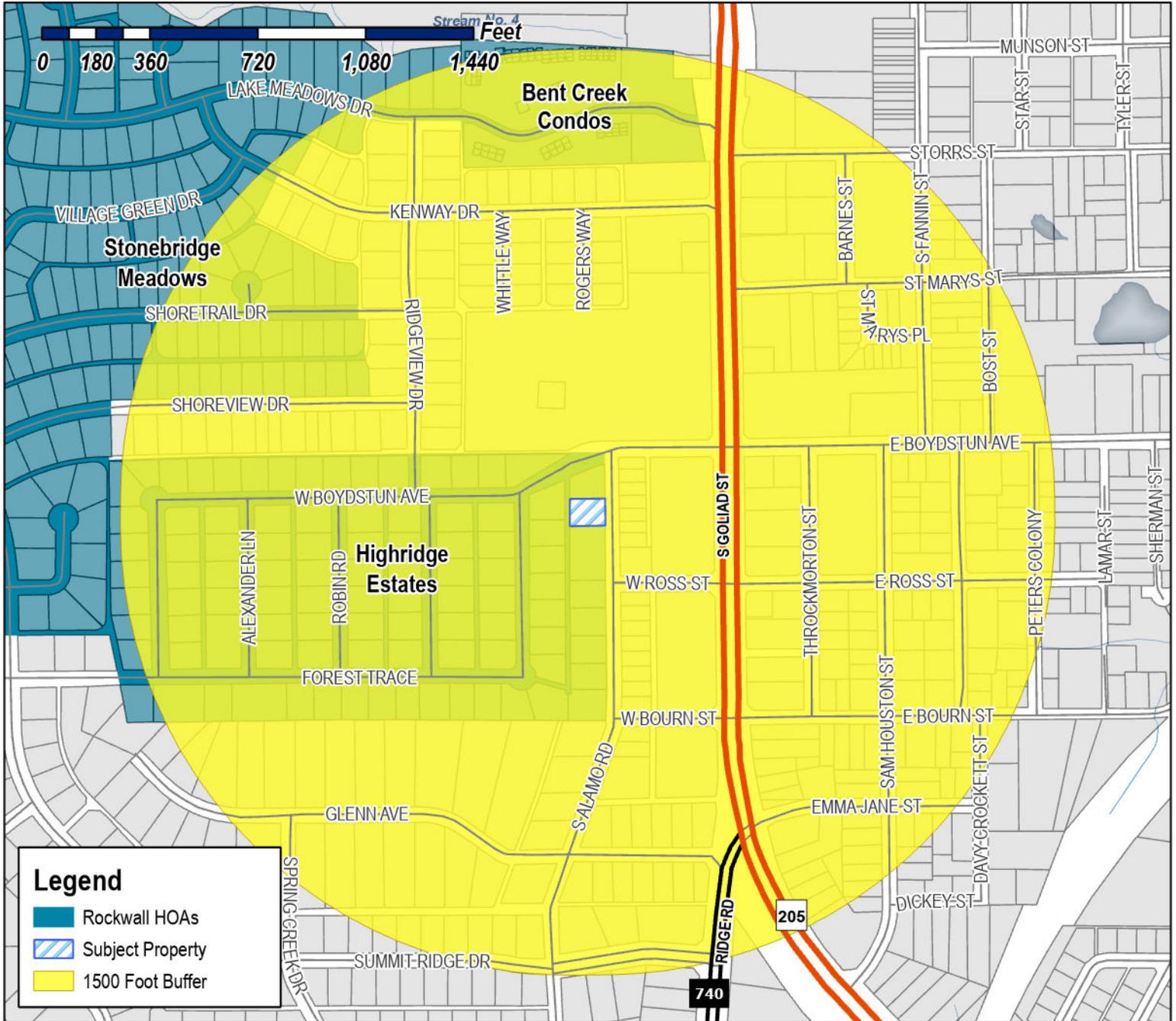




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Case Number:** Z2025-022  
**Case Name:** SUP For Residential Infill  
**Case Type:** Zoning  
**Zoning:** Single-Family 10 (SF-10) District  
**Case Address:** 704 S. Alamo Road

**Date Saved:** 4/17/2025

For Questions on this Case Call (972) 771-7745



**From:** [Zavala, Melanie](#)  
**Cc:** [Miller, Ryan](#); [Lee, Henry](#); [Ross, Bethany](#); [Guevara, Angelica](#)  
**Subject:** Neighborhood Notification Program [Z2025-022]  
**Date:** Wednesday, April 23, 2025 3:19:35 PM  
**Attachments:** [Public Notice \(04.21.2025\).pdf](#)  
[HOA Map \(04.17.2025\).pdf](#)

---

HOA/Neighborhood Association Representative:

Per your participation in the [Neighborhood Notification Program](#), you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on [Friday, April 25, 2025](#). The Planning and Zoning Commission will hold a public hearing on [Tuesday, May 13, 2025 at 6:00 PM](#), and the City Council will hold a public hearing on [Monday, May 19, 2025 at 6:00 PM](#). Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

-  
Z2025-022: SUP for a Residential Infill

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a [Specific Use Permit \(SUP\)](#) for Residential Infill in an Established Subdivision on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

Thank you,

*Melanie Zavala*

Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
[Planning & Zoning Rockwall](#)  
972-771-7745 Ext. 6568



BAUMANN HARRY EDWARD  
10 WATERS EDGE CT  
HEATH, TX 75032

FIRST BAPTIST CHURCH OF ROCKWALL  
108 W ROSS ST  
ROCKWALL, TX 75087

FLEMING LINDA  
1116 SQUAW VALLEY  
ROCKWALL, TX 75087

MCCAMPBELL CHARLES C & PATRICIA S  
1203 WYNDEN CREEK DR  
HOUSTON, TX 77056

OTTO IRIS  
1502 S 1st St Ste 3  
Garland, TX 75040

TIJERINA MANUEL  
1713 MISSION DR  
GARLAND, TX 75042

BARNHILL BARNEY M  
202 DARTBROOK  
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP  
202 N SAN JACINTO ST  
ROCKWALL, TX 75087

RUESS JOHN CHARLES & KATHY LEA  
202 W BOYDSTUN ST  
ROCKWALL, TX 75087

VEST JEREMY DEREK  
204 W BOYDSTUN AVE  
ROCKWALL, TX 75087

REX AND PATTY PREDDY FAMILY TRUST OF 2011  
REX M PREDDY AND PATTI S PREDDY- TRUSTEES  
206 WEST BOYDSTUN AVE  
ROCKWALL, TX 75087

JUSTICE BLAKE AND CHELSEA  
208 BOYDSTUN AVE  
ROCKWALL, TX 75087

BOYDSTON CEMETERY  
C/O JOHN R HANEY  
308 S FANNIN ST  
ROCKWALL, TX 75087

HOGUE NEVA MAE  
513 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
515 RIDGEVIEW DR  
ROCKWALL, TX 75087

ROGGE CONNIE PENNINGTON  
517 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
602 S GOLIAD  
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL  
610 S GOLIAD ST  
ROCKWALL, TX 75087

THE SCUDDER FAMILY LIVING TRUST  
664 Sorita Cir  
Heath, TX 75032

REED DARLENE  
701 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
702 S ALAMO DR  
ROCKWALL, TX 75087

CRESPO DENYS AND HALEY  
703 FOREST TRACE  
ROCKWALL, TX 75087

JOHNSON ROBERT M AND CATHY  
703 RIDGEVIEW DRIVE  
ROCKWALL, TX 75087

RESIDENT  
703 S ALAMO  
ROCKWALL, TX 75087

FREED SARAH  
704 FOREST TRACE  
ROCKWALL, TX 75087

PASSON BRETT A & LAURIE J  
704 RIDGEVIEW DR  
ROCKWALL, TX 75087

SMITH JERRET R & ALICIA N  
704 S ALAMO RD  
ROCKWALL, TX 75087

CULLINS JENNIFER L  
705 FOREST TRACE  
ROCKWALL, TX 75087

SCHLUMPF REVOCABLE TRUST  
C/O ROBERT LOUIS AND  
705 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
705 S ALAMO  
ROCKWALL, TX 75087

GREER JOSEPH CARLTON III AND CORI  
705 SOUTH GOLIAD STREET  
ROCKWALL, TX 75087

KIM LYNN & TODD J MOUNCE  
706 FOREST TRACE  
ROCKWALL, TX 75087

REYNOLDS MICHAEL EUGENE & FRANCES S  
706 RIDGEVIEW DRIVE  
ROCKWALL, TX 75087

MILLS CHARLES O  
706 S ALAMO RD  
ROCKWALL, TX 75087

WRIGHT MELISSA ANN &  
DAVID SCOTT  
707 FOREST TRCE  
ROCKWALL, TX 75087

BRADFORD KENNETH AND LESLIE  
707 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
707 S ALAMO  
ROCKWALL, TX 75087

KELEMEN ANNA V AND  
MATTHEW BURBRIDGE  
708 FOREST TRACE  
ROCKWALL, TX 75087

RESIDENT  
709 FOREST TRACE  
ROCKWALL, TX 75087

FALCON ANN L & LEONARD  
709 RIDGEVIEW DR  
ROCKWALL, TX 75087

RESIDENT  
709 S ALAMO  
ROCKWALL, TX 75087

PERSYN KYLE AND LINDSEY  
710 FOREST TRACE  
ROCKWALL, TX 75087

BRYANT KRISTI & BRENT  
710 S ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
710 S GOLIAD ST  
ROCKWALL, TX 75087

SMITH MARY  
711 FOREST TRACE  
ROCKWALL, TX 75087

CONWAY SCOTT A & DEIRDRE M  
711 RIDGEVIEW  
ROCKWALL, TX 75087

POPP KATHLEEN  
711 S ALAMO  
ROCKWALL, TX 75087

MILLER FRANK R  
711 S GOLIAD ST  
ROCKWALL, TX 75087

GRAY JIM  
712 FOREST TRACE  
ROCKWALL, TX 75087

HILLMAN DORIANN AND  
JOEL OTT  
713 FOREST TRACE  
ROCKWALL, TX 75087

COHEN MARK A  
713 RIDGEVIEW DR  
ROCKWALL, TX 75087

SHERA DEBORAH K  
713 S ALAMO RD  
ROCKWALL, TX 75087

COLLETT CYNTHIA DAVISS  
714 FOREST TRCE  
ROCKWALL, TX 75087

DELBOSQUE ROLOLFO & LORENA P  
715 FOREST TRCE  
ROCKWALL, TX 75087

RESIDENT  
715 S ALAMO RD  
ROCKWALL, TX 75087

WATSON RONNIE BILL AND BARBARA JEAN  
801 S ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
802 S GOLIAD  
ROCKWALL, TX 75087

TALLEY CRAIG J AND JAMIE S  
803 S ALAMO RD  
ROCKWALL, TX 75087

RESIDENT  
804 S ALAMO DR  
ROCKWALL, TX 75087

LOTT JOHN DOUGLAS AND CYNTHIA  
805 S ALAMO RD  
ROCKWALL, TX 75087

FRENCH SHARON K LIVING TRUST  
SHARON K FRENCH, TRUSTEE  
806 SOUTH ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
807 S ALAMO RD  
ROCKWALL, TX 75087

KELLY RYAN AND  
LACEY WALLACE  
808 S ALAMO ROAD  
ROCKWALL, TX 75087

RESIDENT  
809 ALAMO RD  
ROCKWALL, TX 75087

SHIELDS MIKE AND DEBBIE  
811 S ALAMO RD  
ROCKWALL, TX 75087

CONFIDENTIAL  
PO BOX 1816  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

## Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Hold a public hearing to discuss and consider a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, and addressed as 704 S. Alamo Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, May 13, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, May 19, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, May 19, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

## Case No. Z2025-022: Specific Use Permit (SUP) for a Residential Infill at 704 S. Alamo Road

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

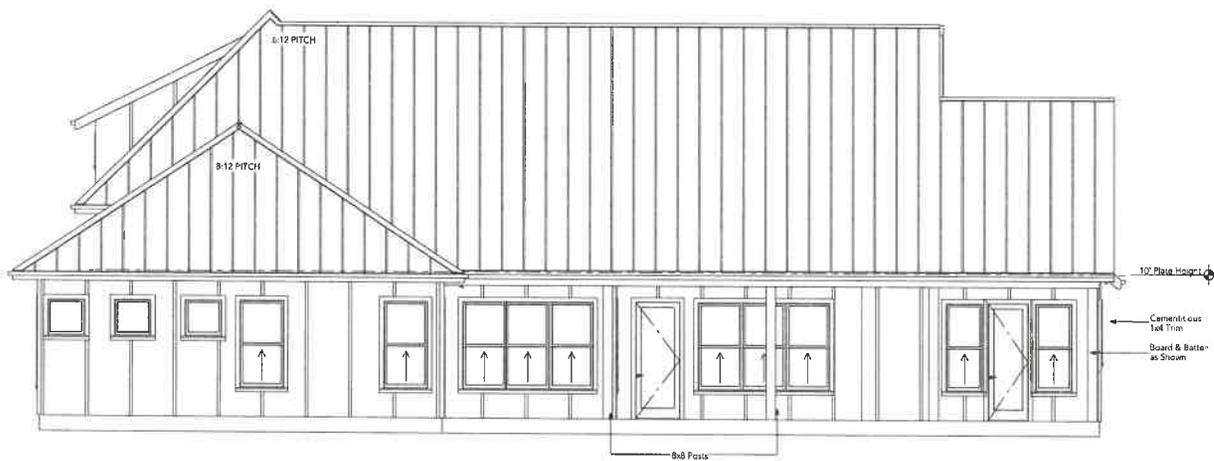
Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



FRONT ELEVATION  
Scale: 1/4" = 1'-0"



REAR ELEVATION  
Scale: 1/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION
1	12/24	CS	REDUCE SIZE FOR BUILDING SETBACK

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Front & Rear Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele Drafting  
Royse City, TX 409-338-1194

DATE:

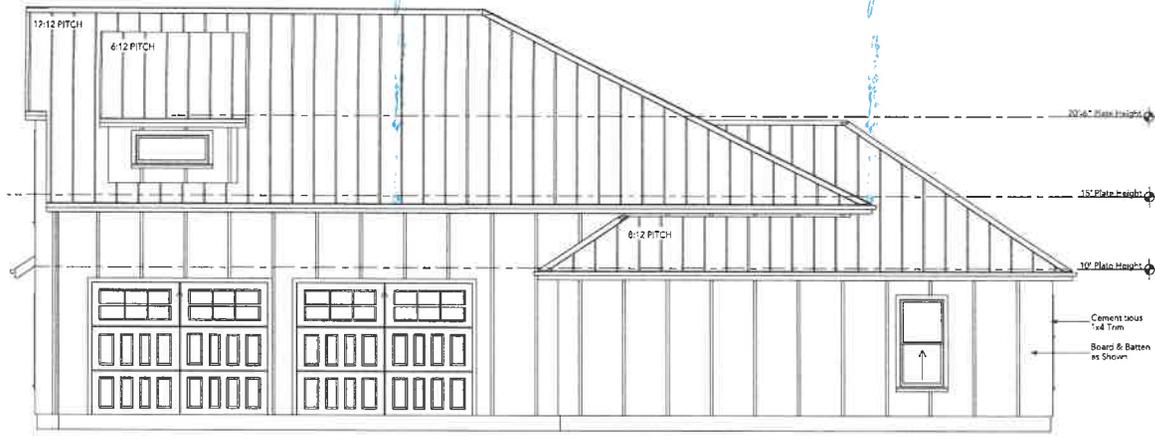
12/11/2024

SCALE:

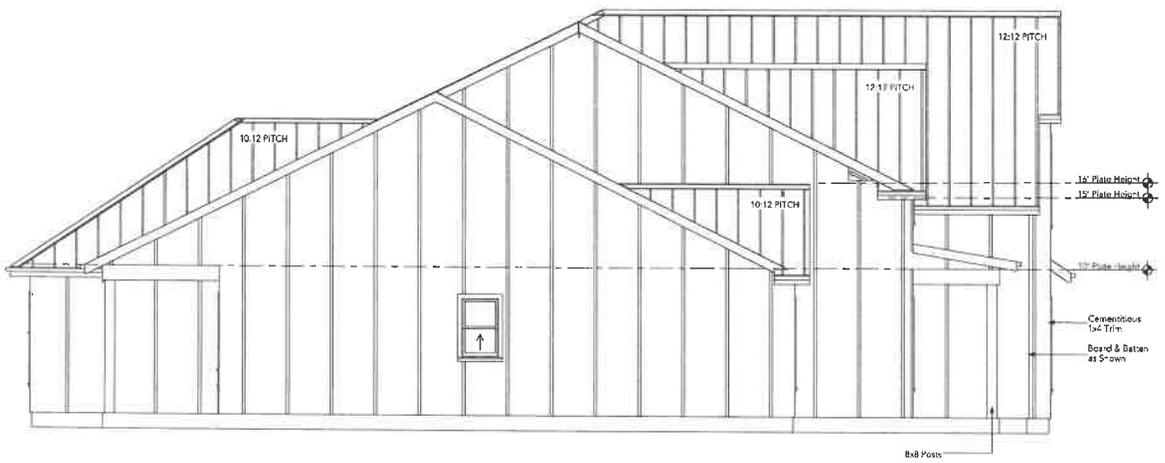
As Noted

SHEET:

A-3



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISION TABLE
NO. DATE BY DESCRIPTION
1 12/24 CAS PREPARE FOR BUILDING PERMIT

JS Custom Homes, LLC  
704 S. ALAMO DR. ROCKWALL, TX

Right & Left Elevations

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royce City, TX 469-238-1194

DATE:

12/11/2024

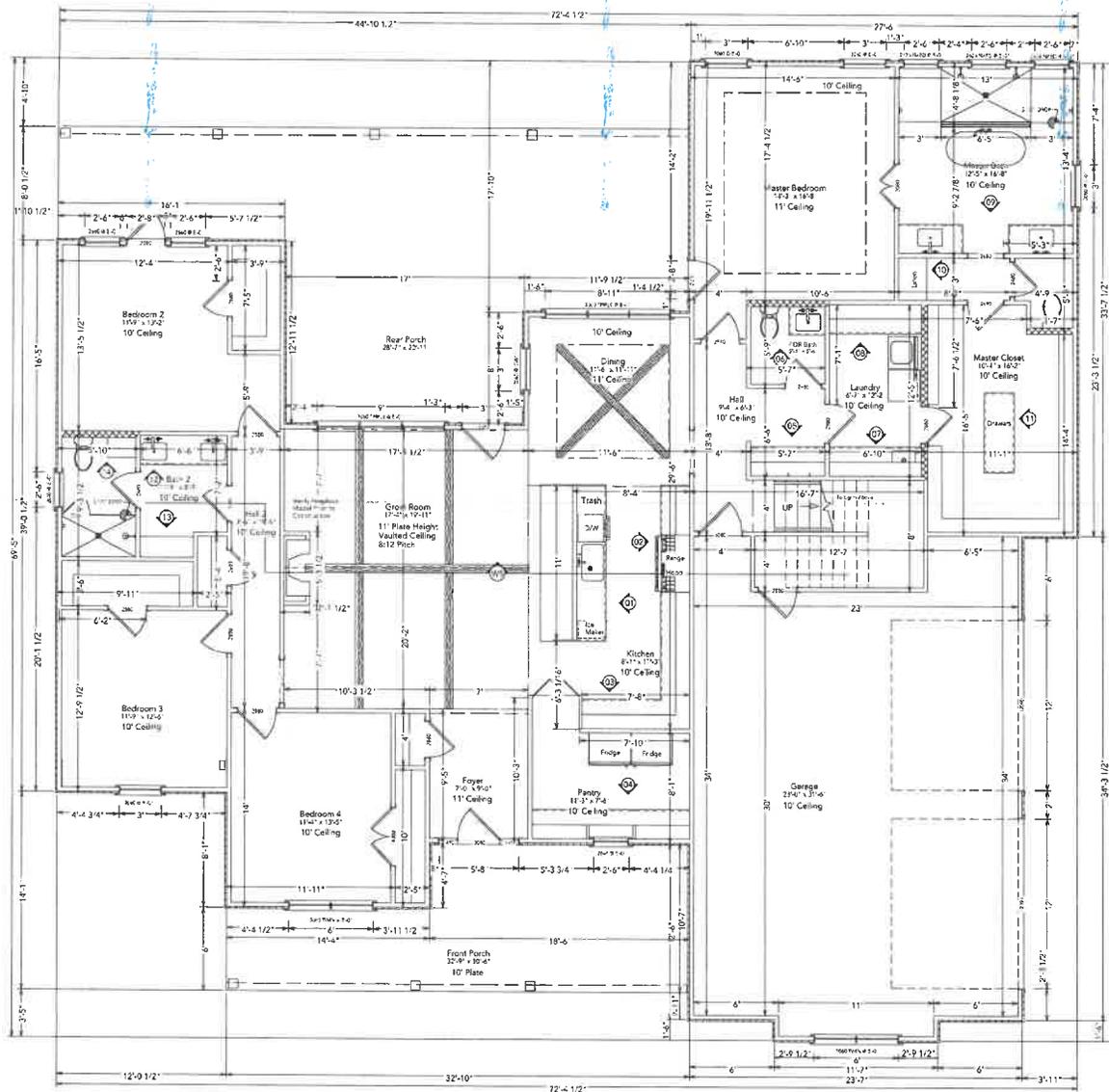
SCALE:

As Noted

SHEET:

A-4

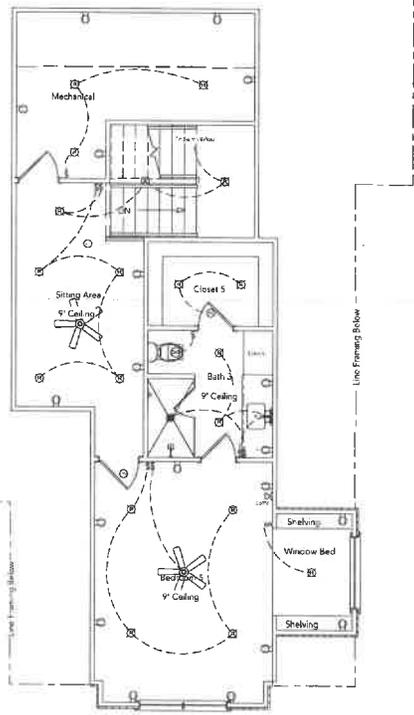




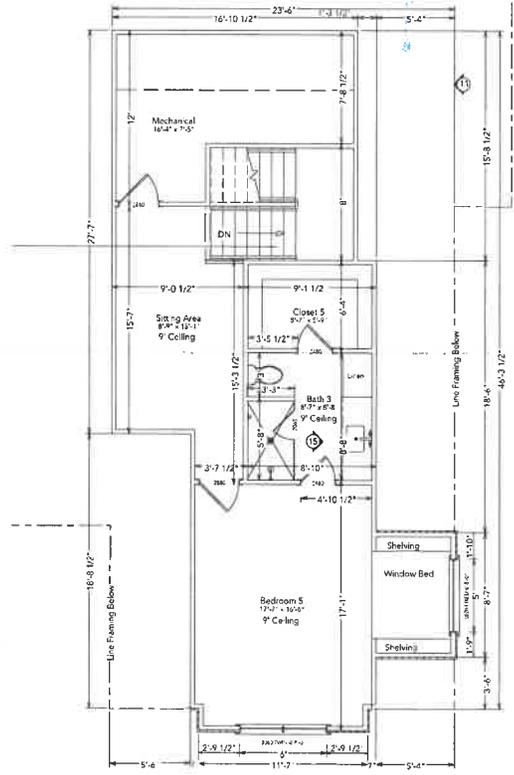
1st FLOOR PLAN

Tabulations		
1st Floor	-	2,635 s.f.
2nd Floor	-	564 s.f.
Ft. Porch	-	285 s.f.
Bk Porch	-	640 s.f.
Mechanical	-	160 s.f.
Garage	-	766 s.f.
<b>Total</b>	<b>-</b>	<b>5,050 s.f.</b>

<p><b>REVISION TABLE</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>11/27/24</td> <td>CSA</td> <td>REDUCE SIZE EXTERIOR RETAINING WALL</td> </tr> </tbody> </table>	#	DATE	BY	DESCRIPTION	1	11/27/24	CSA	REDUCE SIZE EXTERIOR RETAINING WALL	<p><b>JS Custom Homes, LLC</b> 704 S. ALAMO DR. ROCKWALL, TX</p> <hr/> <p><b>1st Floor Plan</b></p> <hr/> <p>DRAWINGS PROVIDED BY: <b>Chanda Steele Drafting</b> Rogers City, TX 469-338-1194</p> <hr/> <p>DATE: <b>12/11/2024</b></p> <hr/> <p>SCALE: <b>As Noted</b></p> <hr/> <p>SHEET: <b>A-5</b></p>
#	DATE	BY	DESCRIPTION						
1	11/27/24	CSA	REDUCE SIZE EXTERIOR RETAINING WALL						



2nd FLOOR ELECTRICAL



2nd FLOOR PLAN

Tabulations	
1st Floor	2,635 s.f.
2nd Floor	564 s.f.
Ft. Porch	285 s.f.
Bk Porch	640 s.f.
Mechanical	160 s.f.
Garage	766 s.f.
<b>Total</b>	<b>5,050 s.f.</b>

DATE	BY	DESCRIPTION
12/24	CS	REDUCE LINE FORCE IN ROOMS SETBACK

JS Custom Homes, LLC  
700 S. ALAMO DR. ROCKWALL, TX

2nd Floor Plan/  
2nd Floor Electrical

DRAWINGS PROVIDED BY:  
Chanda Steele  
Drafting  
Royse City, TX 409-338-1194

DATE:

12/11/2024

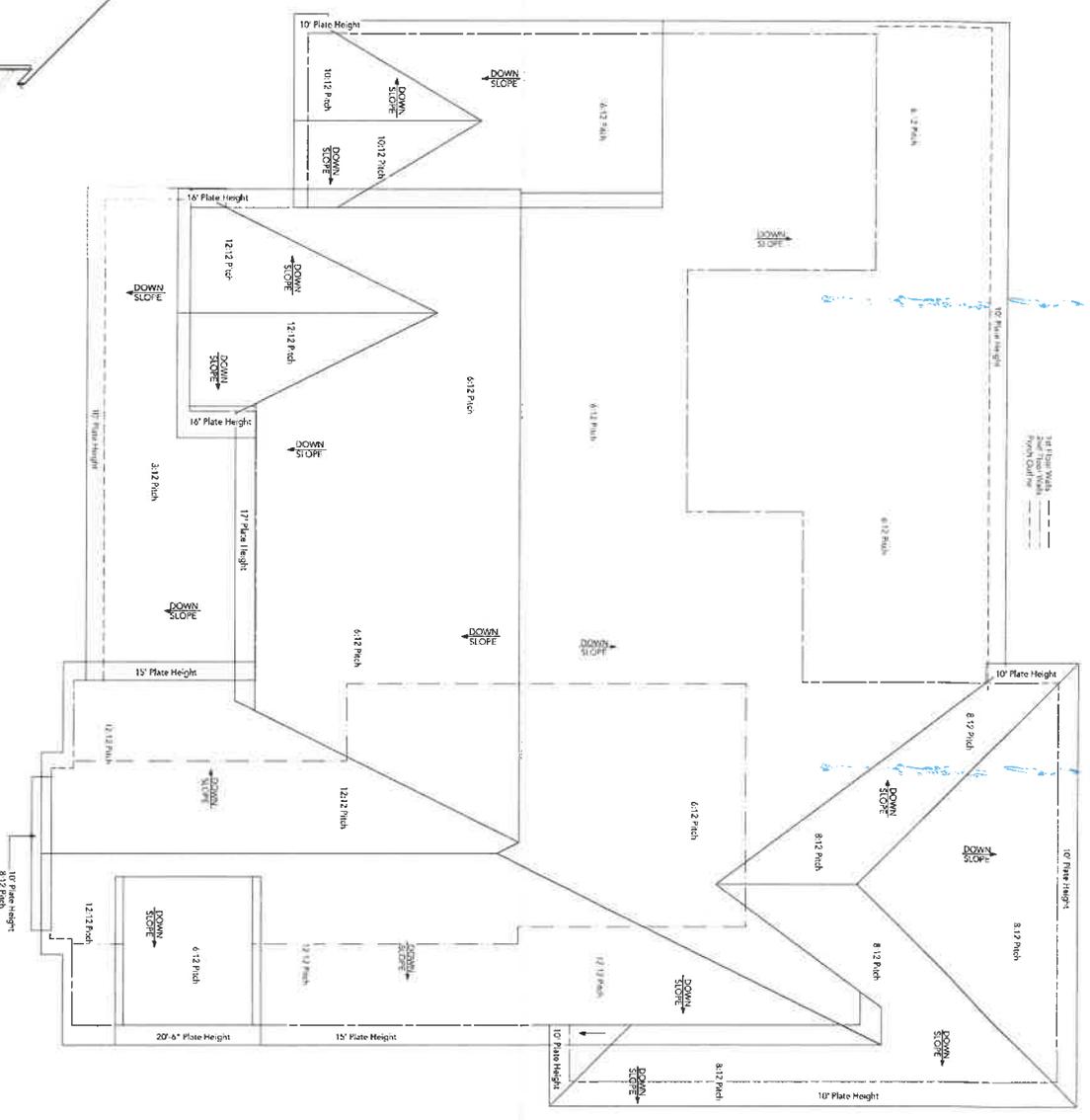
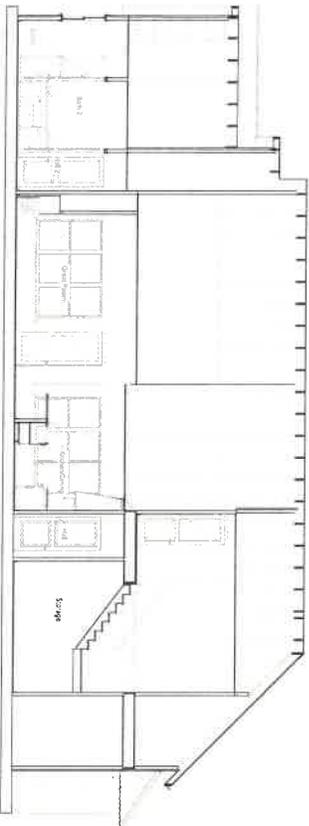
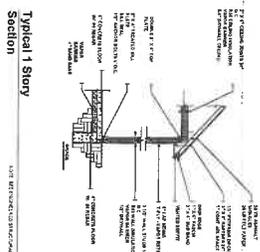
SCALE:

As Noted

SHEET:

A-6

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	ROOFING				
2	CEILING				
3	FLOORING				
4	PAINT				
5	WALLS				
6	DOORS				
7	WINDOWS				
8	STAIRS				
9	BATH				
10	KITCHEN				
11	LIVING				
12	DINING				
13	BEDROOM				
14	BEDROOM				
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17	BEDROOM				
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48	BEDROOM				
49	BEDROOM				
50	BEDROOM				



DATE: 12/1/2024	SCALE: As Noted	DRAWINGS PROVIDED BY: Chanda Steele Drafting, Roysie City, TX 409-338-1194	Roof Plan/Wall Sections & Schedules	JS Custom Homes, LLC 704 S. ALAMO DR. ROCKWALL, TX	REVISION TABLE			
					DATE	BY	DESCRIPTION	
SHEET: A-8					1	12/24	CAS	REDUCE SIZE FOR BUILDING SETBACK



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	ACCESSORY BUILDING	EXTERIOR MATERIALS
701 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
702 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
703 S. Alamo Road	Single-Family Home	1983	2,467	N/A	Brick
704 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
705 S. Alamo Road	Single-Family Home	1983	2,224	N/A	Brick
706 S. Alamo Road	Single-Family Home	1981	4,374	N/A	Brick and Siding
707 S. Alamo Road	Single-Family Home	1982	2,126	N/A	Brick and Siding
710 S. Alamo Road	Single-Family Home	1981	4,957	N/A	Brick and Stucco
804 S. Alamo Road	Vacant	N/A	N/A	N/A	N/A
806 S. Alamo Road	Single-Family Home	2007	3,745	N/A	Brick
808 S. Alamo Road	Single-Family Home	2015	3,814	N/A	Brick
703 Forest Trace	Single-Family Home	1978	4,730	N/A	Brick
705 Forest Trace	Single-Family Home	2003	4,085	N/A	Brick and Stone
707 Forest Trace	Single-Family Home	1976	3,346	90	Brick, Stone, & Siding
709 Forest Trace	Vacant	N/A	N/A	N/A	N/A
711 Forest Trace	Single-Family Home	1985	3,540	N/A	Brick

AVERAGES:      1989              3,583              90



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



701 S. Alamo Road



702 S. Alamo Road



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

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703 S. Alamo Road



704 S. Alamo



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705 S. Alamo Road



706 S. Alamo Road



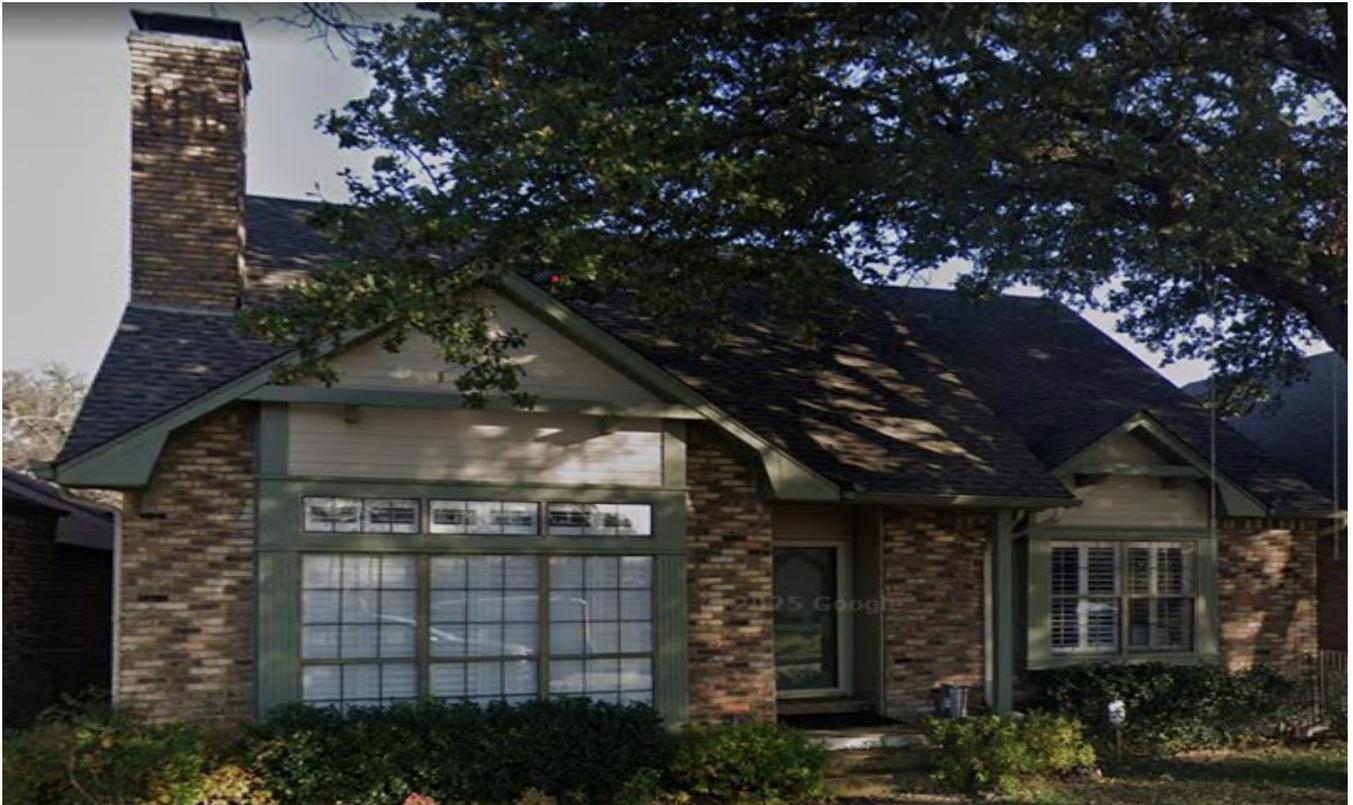
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707 S. Alamo Road



710 S. Alamo Road



# CITY OF ROCKWALL

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804 S. Alamo Road



806 S. Alamo Road



# CITY OF ROCKWALL

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808 S. Alamo Road



703 Forest Trace



# CITY OF ROCKWALL

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705 Forest Trace



707 Forest Trace



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2025-022

**PLANNING AND ZONING DEPARTMENT**

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709 Forest Trace



711 Forest Trace

CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-3XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW FOR THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1960-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, HIGHRIDGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jerret R. Smith for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1960-acre parcel of land identified as Lot 2, Block A, Highridge Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 704 S. Alamo Road, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development

Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>ND</sup> DAY OF JUNE, 2025.

\_\_\_\_\_  
Tim McCallum, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: May 19, 2025

2<sup>nd</sup> Reading: June 2, 2025

**Exhibit 'A':  
Location Map**

Address: 704 S. Alamo Road

Legal Description: Lot 2, Block A, Highridge Addition

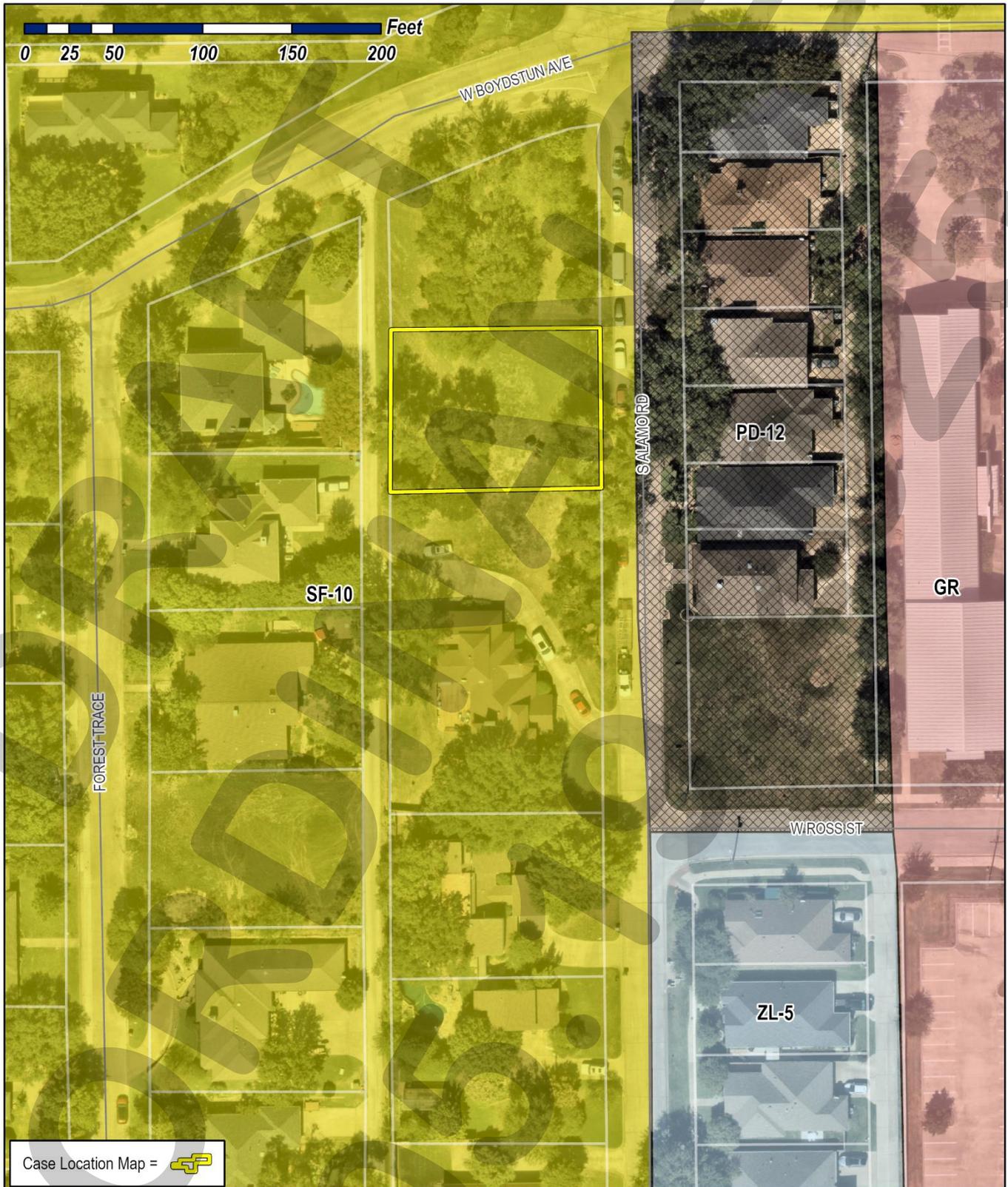


Exhibit 'B':  
Residential Plot Plan

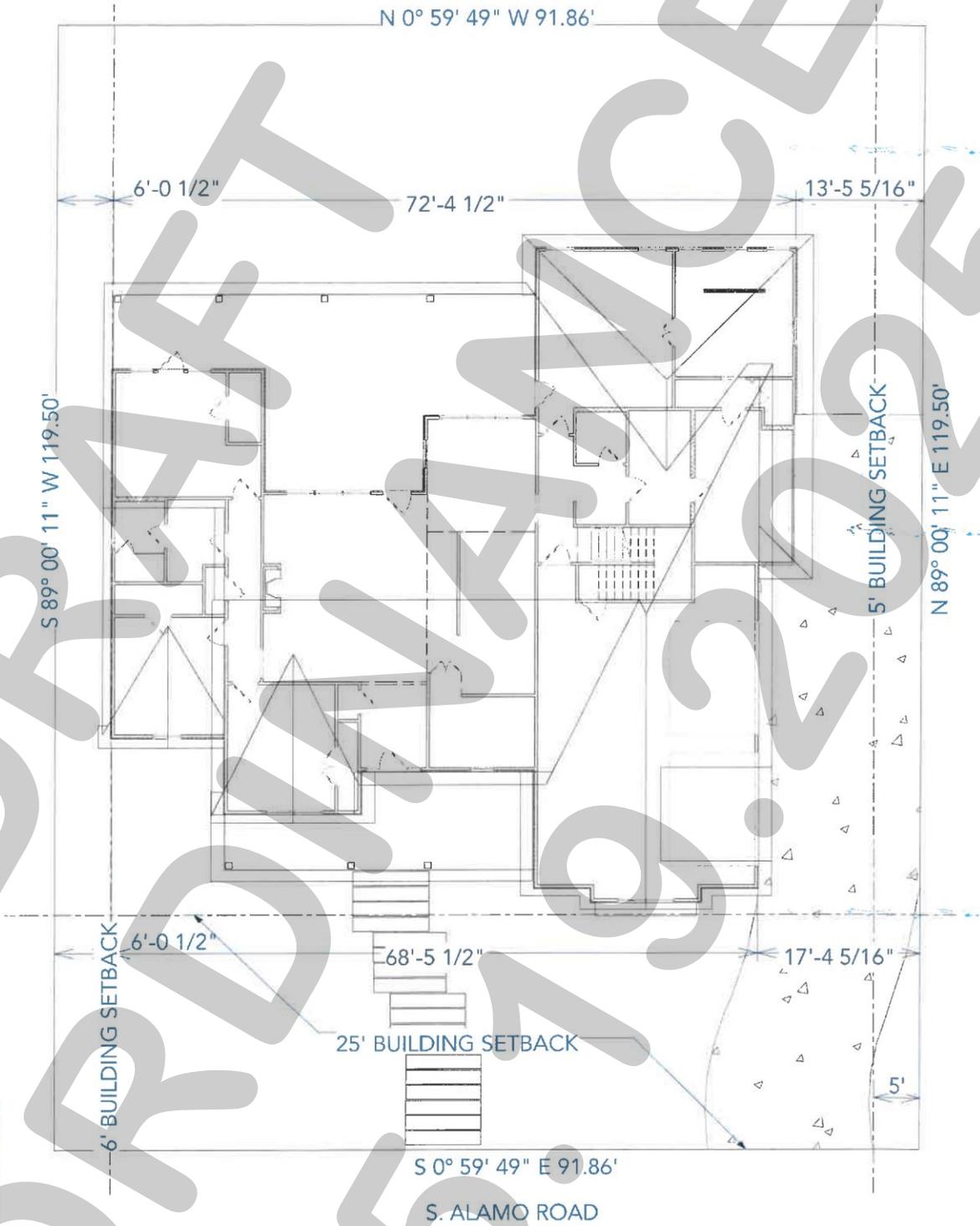
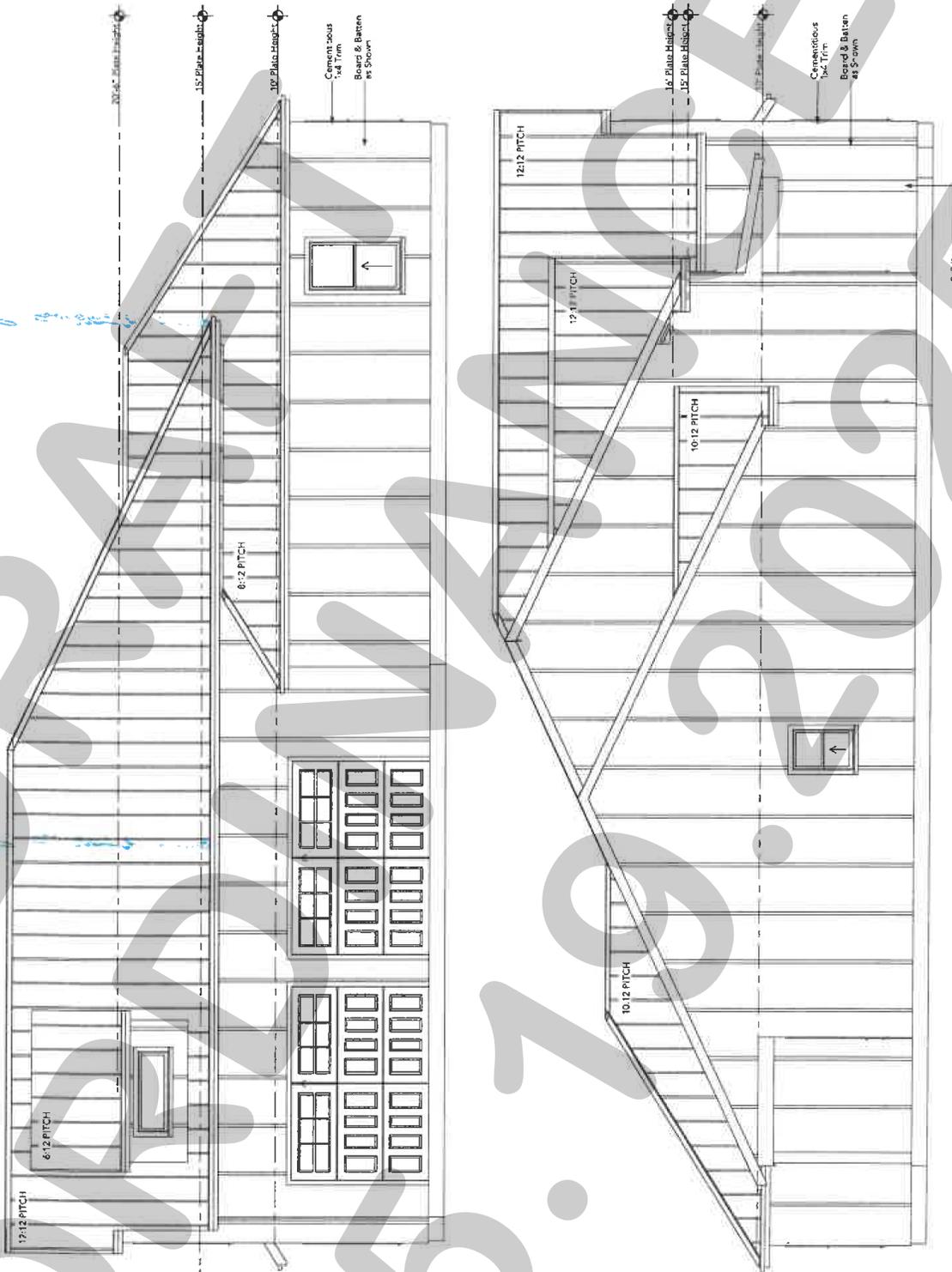


Exhibit 'C':  
Building Elevations



**Exhibit 'C':  
Building Elevations**





May 28, 2025

TO: Jerret Smith  
9091 FM 2728  
Terrell, TX 75161

FROM: Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

SUBJECT: Z2025-022; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 704 S. Alamo Road*

Mr. Smith:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was denied by the City Council on December 16, 2024. The following is a record of all voting records:

*Planning and Zoning Commission*

On May 13, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the *Specific Use Permit (SUP)* by a vote of 4-0, with Commissioners Thompson and Hustings absent, and one (1) vacant seat.

*City Council*

On May 19, 2025, the City Council approved a motion to deny the *Specific Use Permit (SUP)* by a vote of 7-0.

According to Subsection 02.05, *City Council Action*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he City Council may deny a request for a zoning change, Specific Use Permit (SUP), or text amendment with or without prejudice. If a request or amendment is denied with prejudice, a new application may not be submitted for the same lot or tract of land -- or any portion thereof -- for a period of one (1) year unless the request is for a more restrictive or less intense land use than the previously denied request ... If a request or amendment is denied without prejudice, no restrictions on resubmitting an application shall apply (i.e. an application for the same request may be filed at the applicant's discretion). A failure to indicate a denial is with or without prejudice in making a motion to deny a request or amendment shall be considered a denial with prejudice." Should you have any questions or concerns regarding the denial of your site plan or the site planning process, please feel free to contact me a (972) 772-6438.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ague', is written over the signature line.

Angelica Guevara, *Planning Technician*  
City of Rockwall Planning and Zoning Department