



CASE COVER SHEET

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

PLANNING & ZONING CASE NO.

PLANNING & ZONING FEE

PLATTING APPLICATION

MASTER PLAT
PRELIMINARY PLAT
FINAL PLAT
REPLAT
AMENDING OR MINOR PLAT
PLAT REINSTATEMENT REQUEST

SITE PLAN APPLICATION

SITE PLAN
AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING

ZONING APPLICATION

ZONING CHANGE
SPECIFIC USE PERMIT
PD DEVELOPMENT PLAN

OTHER APPLICATION

TREE REMOVAL
VARIANCE REQUEST/SPECIAL EXCEPTIONS

RECORD OF RECOMMENDATIONS, VOTING RECORDS, AND CONDITIONS OF APPROVAL

ARCHITECTURE REVIEW BOARD

PLANNING AND ZONING COMMISSION

CITY COUNCIL READING #1

CITY COUNCIL READING #2

CONDITIONS OF APPROVAL

NOTES



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

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DIRECTOR OF PLANNING: _____

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PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
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- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

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- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
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- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

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- ☐ TREE REMOVAL (\$75.00)
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PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

263 RANCH TRAIL, ROCKWALL, TX 75032

SUBDIVISION

GENERAL LOCATION

LOT

BLOCK

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

R.D. MOORMAN, INC.

☐ APPLICANT

CONTACT PERSON

RYAN MOORMAN

CONTACT PERSON

Felipe Zanotti

ADDRESS

263 RANCH TRAIL

ADDRESS

17727 ADDISON RD.

CITY, STATE & ZIP

Rockwall, TX 75032

CITY, STATE & ZIP

DALLAS, TX, 75287

PHONE

972-977-2110

PHONE

214-430-7927

E-MAIL

RYAN@RDMOORMANINC.COM

E-MAIL

ZANOTTI@ZTXSURFACES.COM

NOTARY VERIFICATION [REQUIRED]

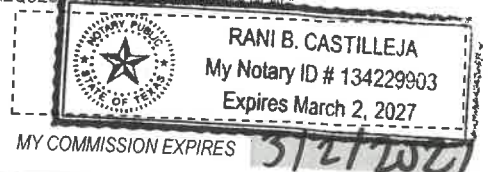
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Moorman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 15th DAY OF May, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

3/2/2027

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance

DOOR SCHEDULE									
DOOR NUMBER	DOOR SIZE	SWING	FRAME	FINISH	DOOR TYPE	GLASS	GLASS TYPE	GLASS FINISH	REMARKS
01	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	
02	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	
03	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	
04	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	
05	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	
06	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	
07	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	
08	10'-0" x 14'-0" OVDH	●	ALUM	STL	●	GLASS	GLASS	GLASS	AUTOMATIC DOOR OPERATOR

PAINT SCHEDULE

DOORS: PAINT W/1 DOORS TO MATCH ADJACENT MATERIAL / W/2 DOORS STAINED AS SELECTED BY OWNER.

FRAMES: PAINT TO MATCH ADJACENT MATERIAL - STOREFRONT FRAMES TO BE DARK BRONZE. EXTERIOR WELDED STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE. INTERIOR STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE. INTERIOR HOLLOW METAL FRAMES - KNOCK-DOWN TYPE/FIELD PAINTED DARK BRONZE.

HARDWARE: BULTI HINGLES (2) PAIR - IVES D-KNUCKLE - DARK BRONZE FINISH. DOOR HARDWARE SETS: ALLEGON, ASSA ABLOY, DORMA, HAGER, SARGENT, SCHAGE, YALE. #1 ENTRY LOCK SET - KEYED. #2 MESSAGE LOCK SET - KEYED. #3 PRIVATE LOCK SET - KEYED. #4 EMERGENCY LOCK/RELEASE SET (R/W TYPE PUSH PAD) - ALL TO BE T.A.S. ACCEPTABLE. #5 STORE ROOM LOCK SET - KEYED. #6 PUSH/PULL W/ KICKPLATE / DEAD BOLT THUMB LATCH. #7 PUSH BUTTON ACCESS CODE, EMERGENCY LOCK/RELEASE SET (PUSH PAD). CLOSER: DOMA #8000 SERIES. THRESHOLD: NATIONAL GUARD PRODUCTS #8950 (JG-15). WEATHERSTRIP: PCLAND #3014V BULB WEATHERSTRIP (HEADER & JAMB SIDES). DOOR TOP DRIP CAP: PENKO #345 - COLOR - DARK BRONZE.

ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	OPEN OFFICE AREA	LVT WOOD - 1/8" x 1" CABINET - GR-1 GLASS	CONCRETE GR-1 RASBLS - GR-2 PAPELCLIN - T-1 / T-2	NONE 1/4" L/STRIP & PAINT - R-1 1/4" L/STRIP & PAINT - R-2	CONCRETE GR-1 2X7 ACQUATE LVT IN 2X4 ACQUATE LVT IN GYPSUM BOARD	DRYN NOTE: OWNER TO SELECT ALL FINAL COLORS AND FINISHES
101	CONFERENCE ROOM	●	●	●	●	
102	BREAKROOM	●	●	●	●	
103	RESTROOM	●	●	●	●	
104	RESTROOM	●	●	●	●	
105	WAREHOUSE	●	●	●	●	

GENERAL NOTES:

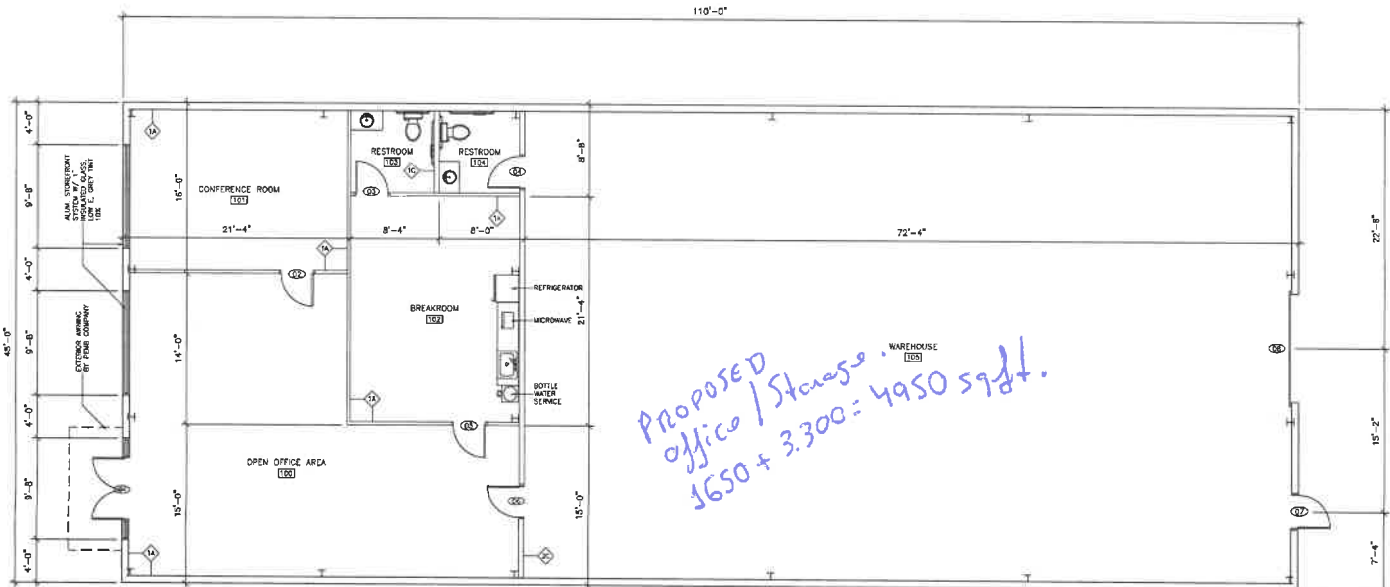
- CONTRACTOR SHALL SCHEDULE AND COORDINATE WORK. VERIFY DELIVERY DATES FOR ANY LONG LEAD ITEMS AND MATERIALS TO ENSURE INSTALLATION IN THEIR PROPER SEQUENCE OF THE JOB.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES FROM THE DRAWINGS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST BUILDING CODES AND ORDINANCES OF THE CITY OF ROCKWALL, TEXAS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSTRUCTION SAFETY CODE - 1004 REQUIREMENTS, ETC. TO ENSURE ALL SUBCONTRACTORS COMPLY WITH THESE REQUIREMENTS.
- PROVIDE 48 HOURS NOTICE TO THE BUILDING OWNER OF ANY WORK WHICH MAY BE NEARBY AND AFFECT THE BUILDING UTILITY SERVICE OR NEARBY WORK OUTSIDE THE BUILDING AREA PRIOR TO CONSTRUCTION.
- PROVIDE ONE YEAR WARRANTY FOR MATERIALS AND WORKMANSHIP.
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- DETAILS ARE USUALLY KEPT ONCE ON THE PLANS OR ELEVATIONS. THE SAME SHALL BE KEPT ON THE PLANS OR ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CLEAN UP AREA AFFECTED BY EACH WORK AND REMOVE DEBRIS AND MATERIALS FROM SITE UPON COMPLETION OF WORK.
- MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES.
- AUTHORITY HAVING JURISDICTION DOES NOT RELIEVE THE CONTRACTOR FROM FULL COMPLIANCE WITH NATIONALLY RECOGNIZED STANDARDS AND GOVERNING ORDINANCES. RESUBMITTALS TO OBTAIN APPROVED PLANS ARE REQUIRED BEFORE FINAL INSTALLATION AND APPROVAL.
- DO NOT USE PAINTS, PRIMERS, SEALERS, OR GLUES THAT EMIT VOLATILE ORGANIC COMPOUNDS (VOC) EXCEPT AS SPECIFIED.
- ALL SUBCONTRACTORS INCLUDING ANY NEARBY WORK WITH JOB SUPERINTENDENT, WORK IS TO BE KEPT WITHIN THE PROPERTY LAYOUT. SUBCONTRACTOR MUST AT-LEAST WORK AT HIS OWN RISK.
- COORDINATE ALL JOINTS IN CONCRETE WITH THE ARCHITECT.
- CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON ALL DOORS AND PROVIDE TWO KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNER.
- CONTRACTOR SHALL SEAL ALL CONTROL, CONSTRUCTION, AND EXPANSION JOINTS IN CONCRETE FINISH.
- CONFORM TO APPLICABLE CODES FOR BOND WORK, SAFETY OF EXISTING STRUCTURES, DUST CONTROL, SERVICE UTILITIES AND DISINFECT HAZARDS.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACTIVITIES.
- PROVIDE, ERECT & MAINTAIN TEMPORARY BARRIERS & ENCLOSURE AT EXISTING OPERANCES.
- MAINTAIN AND PROTECT EXISTING AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS AND DRIVEWAYS WITHOUT PERMIT.
- COORDINATE WITH BUILDING OWNER AND NOTIFY THE ADJACENT PROPERTY OWNER OF ANY WORK WITH ANY EFFECT TO THEIR PROPERTY WITH POTENTIAL NOISE, VIBRATION, OR OBSTRUCTION.
- REMOVAL AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.

GENERAL & FLOOR PLAN NOTES:

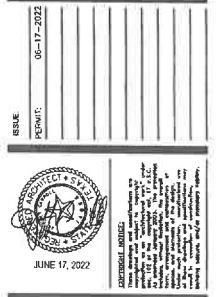
- FIELD VERIFY FLOOR CONDITIONS PREP. LEVEL & SAND FLOORS AS NECESSARY TO PROVIDE COMPLETE INSTALLATION OF FINISH FLOOR.
- STRUCTURAL EXISTING FRAMES BIZES ARE TO BE USED. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE STRUCTURAL ENGINEER & ARCHITECT.
- ALL SUBCONTRACTORS INCLUDING SPRINKLER SUBCONTRACTOR MUST COORDINATE WORK W/ JOB SUPERINTENDENT.
- LEVEL EXISTING CONCRETE W/ SVA LEVELIZED LEVELING COMPOUND IF REQUIRED.
- USE MINIMUM 34 GAUGE STEEL STUDS & 5/8" TYPE "Y" ONLY. USE WATER RESISTANT DMB @ ALL WET LOCATIONS & RESTROOM.
- PROVIDE 8-12 MIN. DATA INSULATION FULL HEIGHT ON ALL EXTERIOR WALLS.
- PROVIDE BACKING FOR ALL WALL MOUNTED & HUNG ITEMS. COORDINATE BACKROOM, RESTROOM & HALLWAYS.
- PROVIDE TYPE RED & SMOOTH TEXTURE ON ALL EXPOSED DRINKING.
- CONFIRM ALL NEW DOOR DRIVING LOCATIONS BEFORE DOOR-DRIVING.
- PROVIDE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" PER ICC @ RESTROOM.

ITEMS GENERAL CONTRACTOR SHALL VERIFY:

- REFER TO ELECTRICAL PLANS FOR CEILING HEIGHTS & LIGHTING LAYOUT IN ALL AREAS.
- FLOORING MATERIAL SELECTED BY OWNER.
- RENDERING WALL EXTERIORS FROM SEAS TO UNDERPINE OF DOORING.
- ALL INTERIOR WALLS SHALL BE 1/2" AND PAINTED W/ BATH REGULATION.
- ALL COUNTERTOPS & CABINETS SHALL BE PLASTIC LAMINATE FINISH. VERIFY WITH OWNER.
- INTERIOR COLUMNS & OFFICE AREA SHALL BE PAINTED IF EXPOSED. VERIFY WITH OWNER IF THEY SHOULD BE WRAPPED W/ VINYL STRIPS & CAPS. BLD.



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"



NEW OFFICEWAREHOUSE FACILITY FOR
R.D. MOORMAN, INC.
259 Ranch Trail
Rockwall, Texas 75087

R.D. MOORMAN, INC.
RYAN MOORMAN
259 Ranch Trail
Rockwall, TX 75087

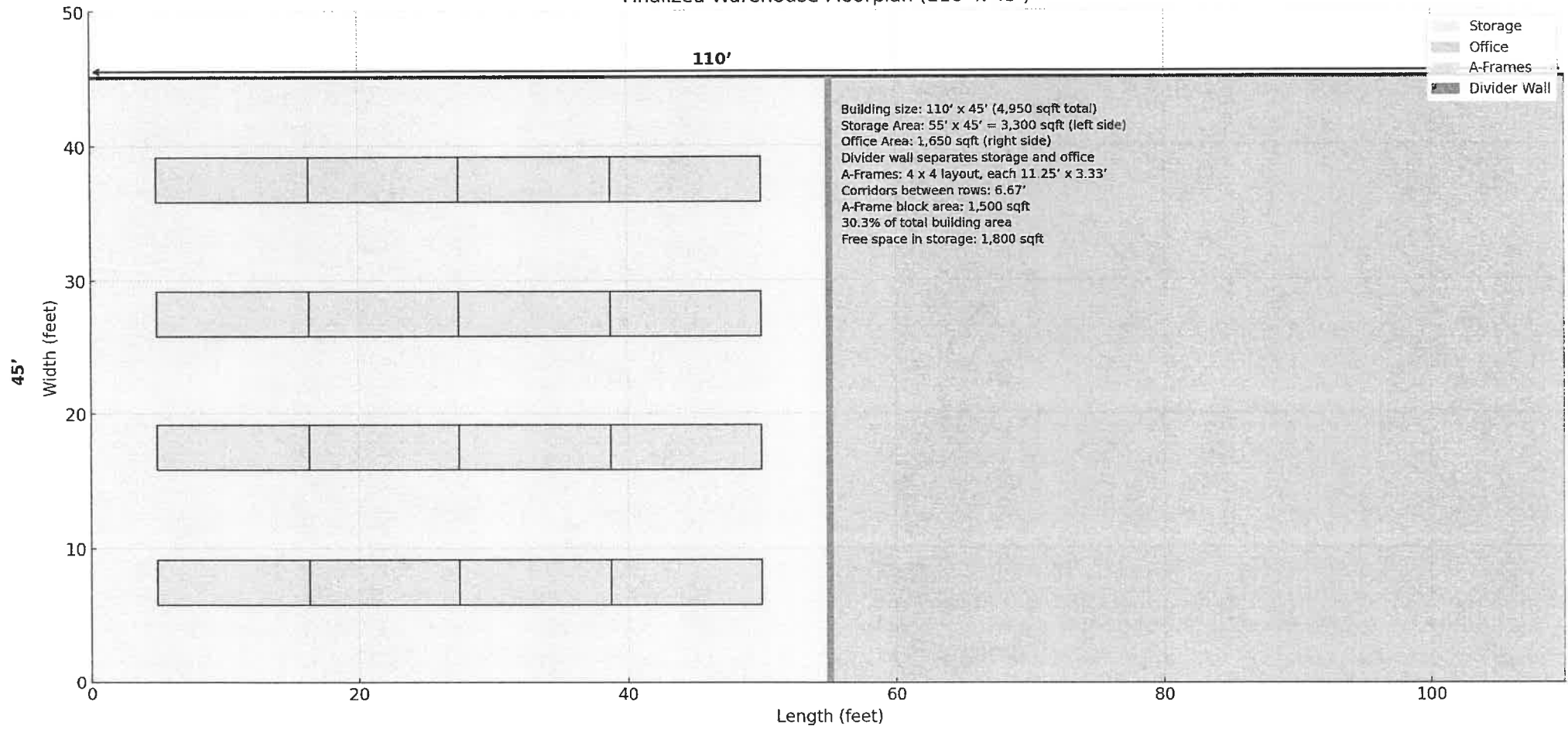


FLOOR PLAN

DATE: JUN 2022
PROJECT NO: 2022085
DRAWN BY: KR
CHECKED BY: JC

A201

Finalized Warehouse Floorplan (110' x 45')





DEVELOPMENT APPLICATION

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Planning and Zoning Department
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CITY ENGINEER: _____

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SUBDIVISION

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R.D. MOORMAN, INC.

☐ APPLICANT

CONTACT PERSON

RYAN MOORMAN

CONTACT PERSON

Felipe Zanotti

ADDRESS

263 Ranch Trail

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17727 ADDISON RD,

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Rockwall, TX 75032

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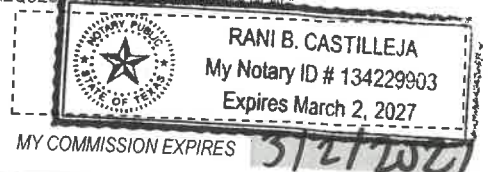
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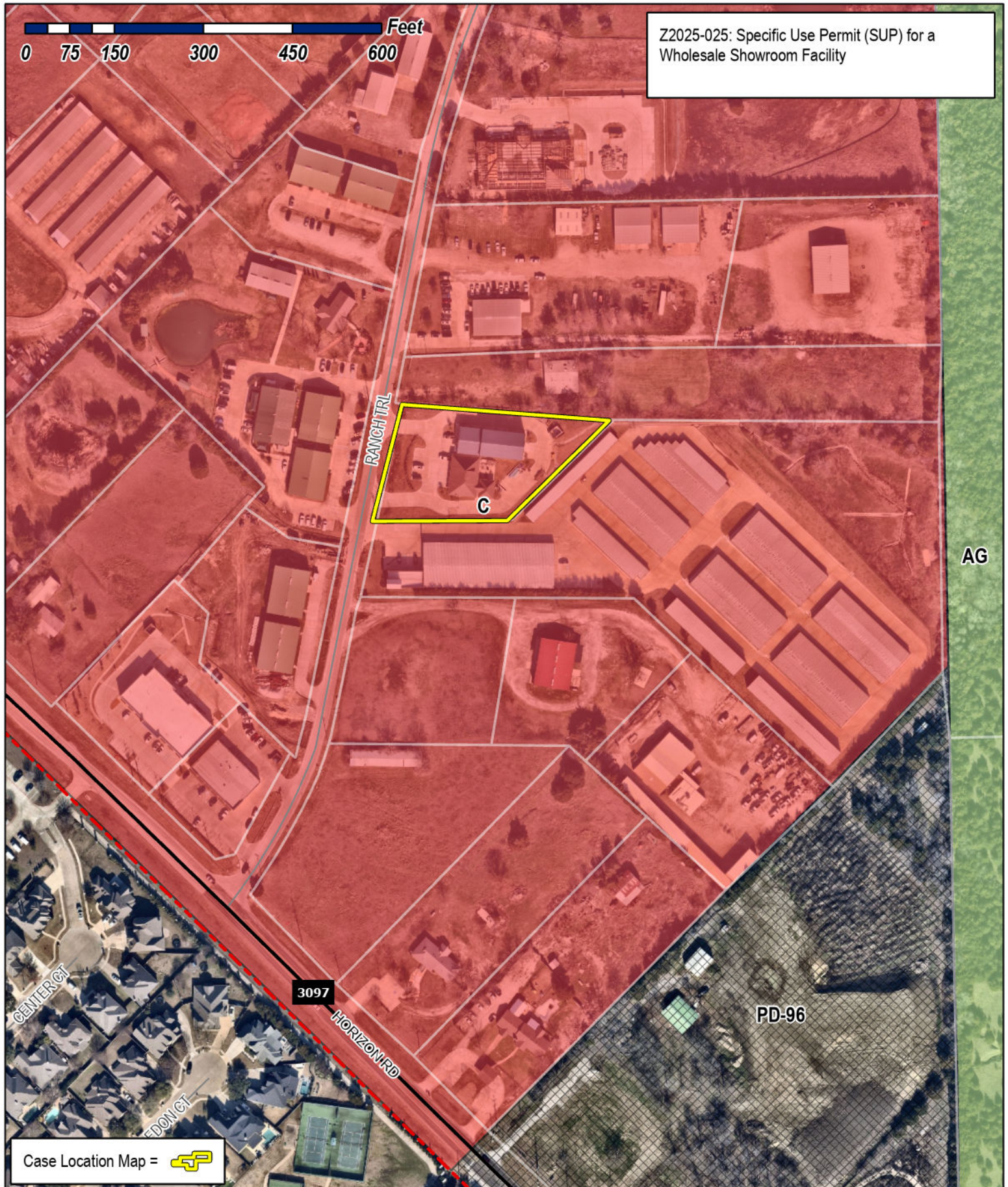
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

3/2/2027



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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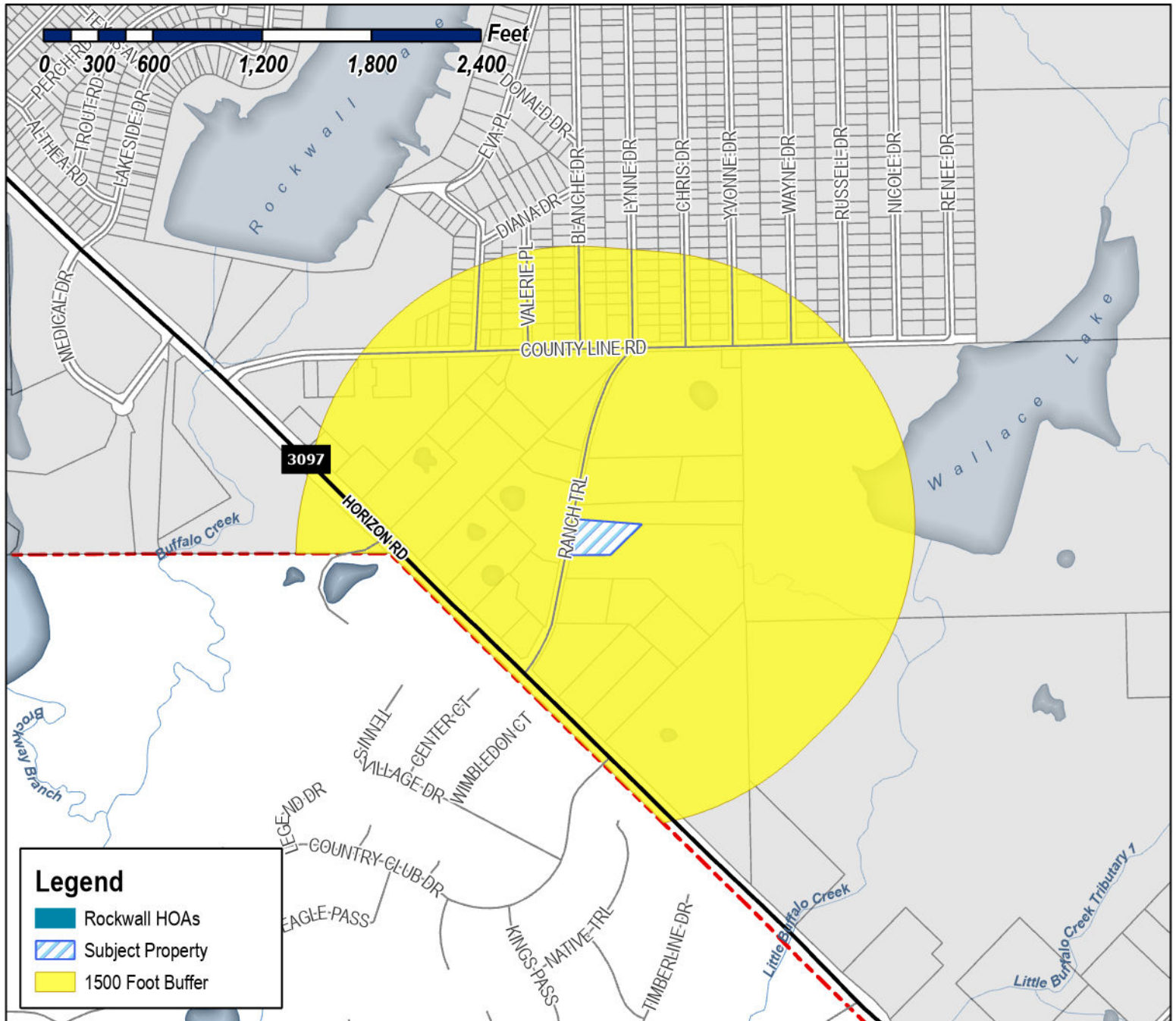




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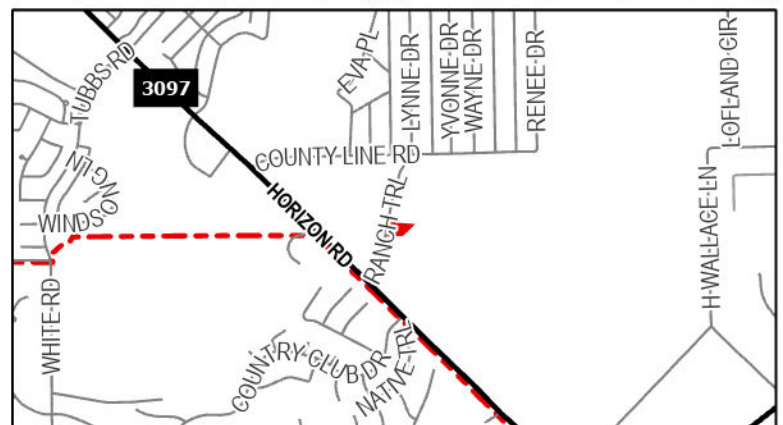
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Case Number: Z2025-025
Case Name: Specific Use Permit (SUP) for Wholesale Showroom Facility
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 263 Ranch Trail

Date Saved: 5/16/2025
For Questions on this Case Call (972) 771-7745

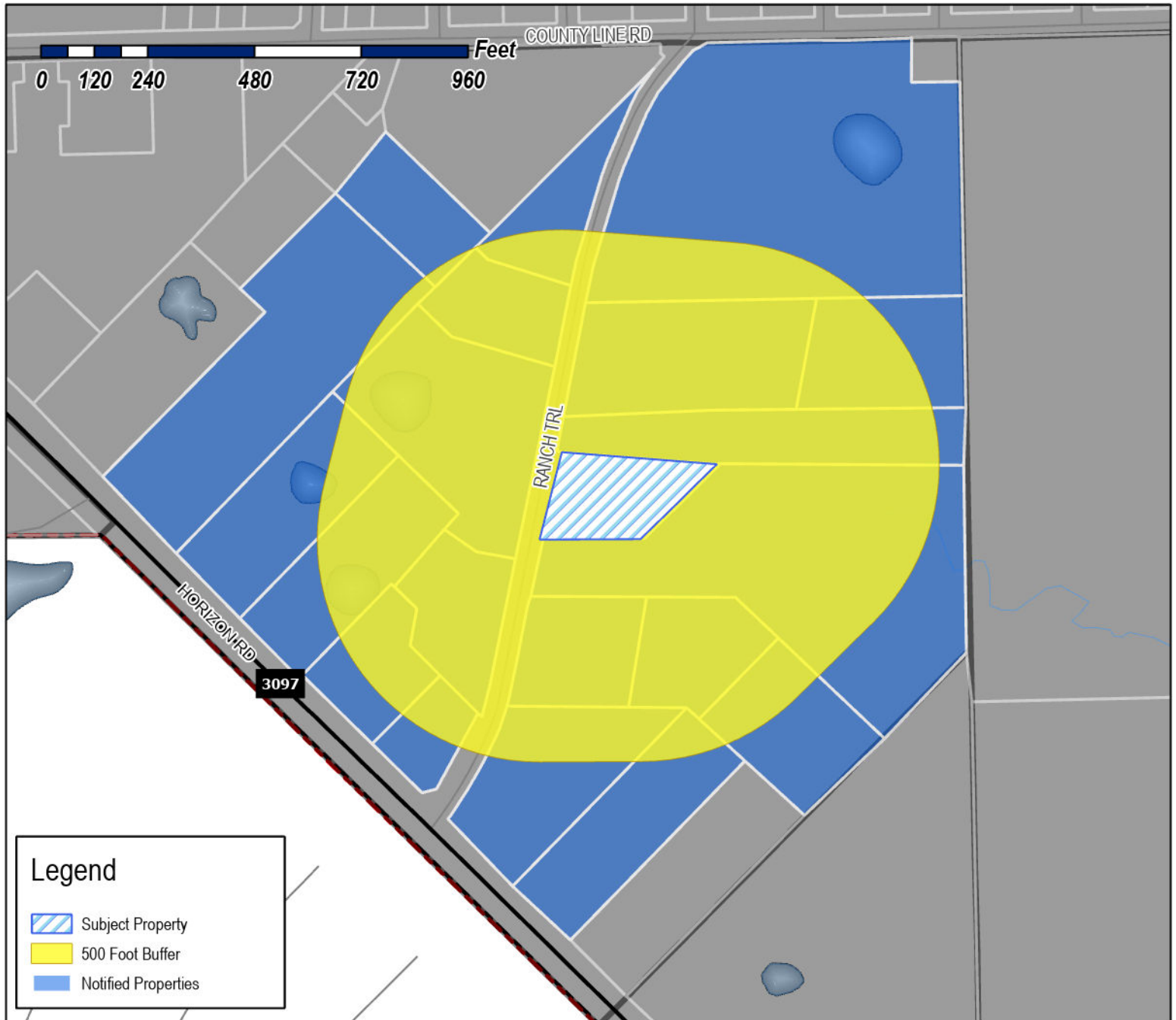




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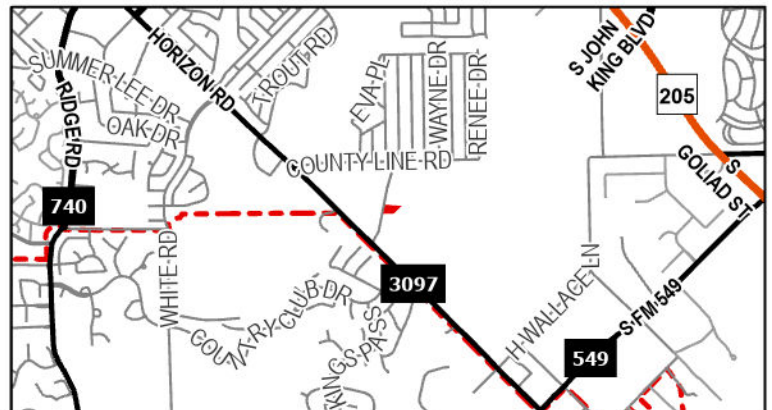
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RIDGE POINTE HORIZON LP 102 S GOLIAD #200 ROCKWALL, TX 75087	GLOBAL HOLDINGS INTERNATIONAL BUSINESS TRUST KELLI CHRISTINE HAYNIE - TRUSTEE 10500 LAKELINE MALL DR APT 5605 AUSTIN, TX 78717	ZALOMANTE LLC 1690 LYNN LN LUCAS, TX 75002
5543 FM3097 LLC 1809 BRISTOL LANE ROCKWALL, TX 75032	DOMINGUEZ SALVADOR AND DIANA DOMINGUEZ 1948 FREDIANO LN MCLENDON CHISHOLM, TX 75032	RESIDENT 196-224 RANCH TRL ROCKWALL, TX 75087
RESIDENT 207 RANCH TRL ROCKWALL, TX 75087	RESIDENT 209 RANCH TRL ROCKWALL, TX 75087	RESIDENT 231 RANCH TRL ROCKWALL, TX 75087
PATRIOT PAWS SERVICE DOGS LORI STEVENS 254 RANCH TRL ROCKWALL, TX 75032	RESIDENT 259 RANCH TRAIL ROCKWALL, TX 75087	HEATH #23 INVESTMENT, LLC 2712 IH 30 MESQUITE, TX 75150
RESIDENT 285 RANCH TRL ROCKWALL, TX 75087	RESIDENT 295 RANCH TRAIL ROCKWALL, TX 75087	RESIDENT 315 RANCH TRAIL ROCKWALL, TX 75087
RANCH TRAIL VENTURES LLC 315 RANCH TRAIL ROCKWALL, TX 75032	RAAA REAL ESTATE LLC 3508 McFarlin Blvd Dallas, TX 75205	KUMAR ATUL 3508 MCFARLIN BLVD DALLAS, TX 75205
CPIV-354 RANCH TRAIL LLC 354/356 RANCH TRL ROCKWALL, TX 75032	RESIDENT 354-356 RANCH TRL ROCKWALL, TX 75087	RESIDENT 382 RANCH TRL ROCKWALL, TX 75087
RESIDENT 405 RANCH TRL ROCKWALL, TX 75087	TRUMAN HEIGHTS LLC 4741 PARKWOOD DR ROCKWALL, TX 75032	DIVAGOZ PROPERTIES LLC 494 Lynne Dr Rockwall, TX 75032
BIG LEAGUE SPORTS ACADEMY INC 5508 FOREST LANE DALLAS, TX 75230	RESIDENT 5573 FM3097 ROCKWALL, TX 75087	RESIDENT 5627 HORIZON RD ROCKWALL, TX 75087
RESIDENT 5653 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 HORIZON RD ROCKWALL, TX 75087

HORIZON ROAD SELF STORAGE LLC
5763 S State Highway 205 Ste 100
Rockwall, TX 75032

RESIDENT
5811 FM3097
ROCKWALL, TX 75087

HOMEBANK TEXAS
P O BOX 909
SEAGOVILLE, TX 75159

KUMAR ATUL
3508 MCFARLIN BLVD
DALLAS, TX 75205

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance

DOOR SCHEDULE											
DOOR NUMBER	DOOR SIZE	SWING	FRAME	FINISH	DOOR TYPE	GLASS	GLASS TYPE	GLASS FINISH	GLASS SETTING	DOOR MATERIAL	REMARKS
01	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●						
02	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
03	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
04	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
05	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
06	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
07	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
08	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
09	3'-0" x 7'-0" = 1 3/4"	●	HA	WD	●						
10	10'-0" x 14'-0" OVDH	●	HA	STL	●						AUTOMATIC DOOR OPERATOR

PAINT SCHEDULE

DOORS: PAINT W/1 DOORS TO MATCH ADJACENT MATERIAL / W/2 DOORS STAINED AS SELECTED BY OWNER.

FRAMES: PAINT TO MATCH ADJACENT MATERIAL - STOREFRONT FRAMES TO BE DARK BRONZE. EXTERIOR WELDED STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE. INTERIOR STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE. INTERIOR HOLLOW METAL FRAMES - KNOCK-DOWN TYPE/FIELD PAINTED DARK BRONZE.

HARDWARE: BULTI HINGLES (2) PAIR - IVES D-KNUCKLE - DARK BRONZE FINISH. DOOR HARDWARE SETS: ALLEGON, ASSA ABLOY, DORMA, HAGER, SARGENT, SCHAGE, YALE. #1 ENTRY LOCK SET - KEYED. #2 MESSAGE LOCK SET - KEYED. #3 PRIVATE LOCK SET - KEYED. #4 EMERGENCY LOCK/RELEASE SET (R/W TYPE PUSH PAD) - ALL TO BE T.A.S. ACCEPTABLE. #5 STORE ROOM LOCK SET - KEYED. #6 PUSH/PULL W/ KICKPLATE / DEAD BOLT THUMB LATCH. #7 PUSH BUTTON ACCESS CODE, EMERGENCY LOCK/RELEASE SET (PUSH PAD). CLOSER: DOMA #8000 SERIES. THRESHOLD: NATIONAL GUARD PRODUCTS #8950 (JG-15). WEATHERSTRIP: PCLAND #3014V BULB WEATHERSTRIP (HEADER & JAMB SIDES). DOOR TOP DRIP CAP: PENKO #345 - COLOR - DARK BRONZE.

ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	OPEN OFFICE AREA	●	●	●	●	
101	CONFERENCE ROOM	●	●	●	●	
102	BREAKROOM	●	●	●	●	
103	RESTROOM	●	●	●	●	
104	RESTROOM	●	●	●	●	
105	WAREHOUSE	●	●	●	●	

GENERAL NOTES:

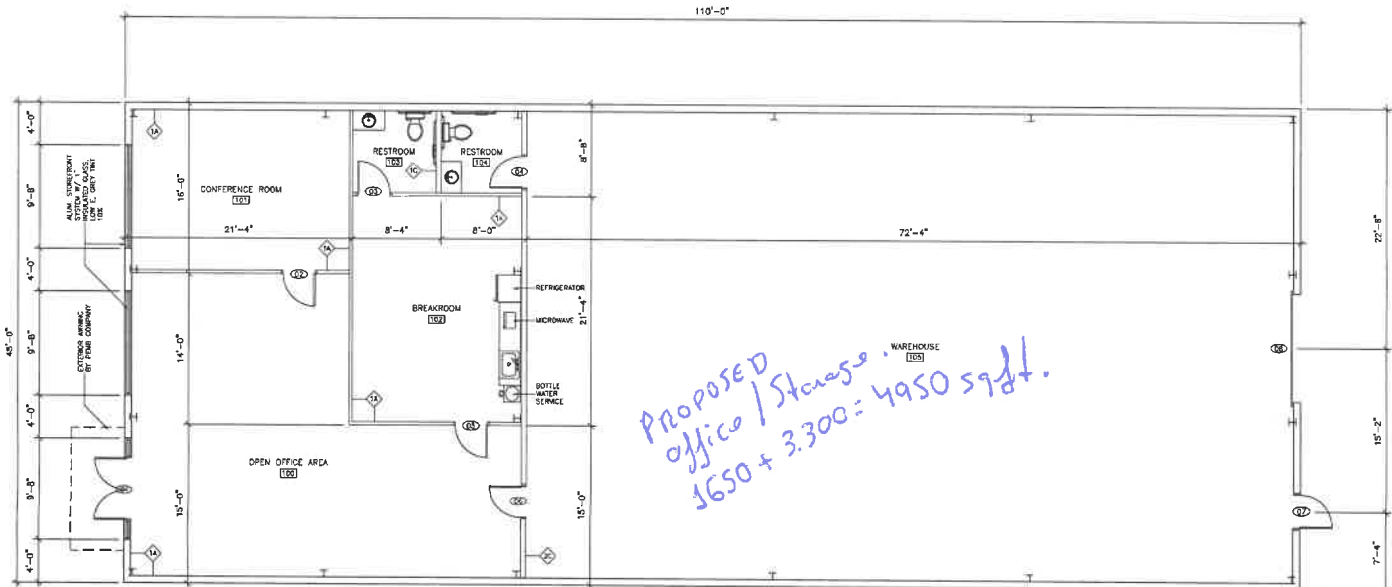
- CONTRACTOR SHALL SCHEDULE AND COORDINATE WORK. VERIFY DELIVERY DATES FOR ANY LONG LEAD ITEMS AND MATERIALS TO ENSURE INSTALLATION IN THEIR PROPER SEQUENCE OF THE JOB.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES FROM THE DRAWINGS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST BUILDING CODES AND ORDINANCES, INCLUDING THE LATEST EDITIONS OF THE CONSTRUCTION SAFETY CODE - 100A, REQUIREMENTS, ETC., TO ENSURE ALL SUBCONTRACTORS COMPLY WITH THESE REQUIREMENTS.
- PROVIDE 48 HOURS NOTICE TO THE BUILDING OWNER OF ANY WORK WHICH MAY BE NEARBY OR AFFECT THE BUILDING UTILITY SERVICE OR NEARBY WORK OUTSIDE THE IMMEDIATE AREA PRIOR TO CONSTRUCTION.
- PROVIDE ONE YEAR WARRANTY FOR MATERIALS AND WORKMANSHIP.
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- DETAILS ARE USUALLY KEYED ONCE ON THE PLANS OR ELEVATIONS. THE SAME SHALL BE USED FOR THE CONSTRUCTION THROUGHOUT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CLEAN UP AREA AFFECTED BY EACH WORK AND REMOVE DEBRIS AND MATERIALS FROM SITE UPON COMPLETION OF WORK.
- MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES.
- AUTHORITY HAVING JURISDICTION DOES NOT RELIEVE THE CONTRACTOR FROM FULL COMPLIANCE WITH NATIONALLY RECOGNIZED STANDARDS AND GOVERNING ORDINANCES. RESUBMITTALS TO OBTAIN APPROVED PLANS ARE REQUIRED BEFORE FINAL INSTALLATION AND APPROVAL.
- DO NOT USE PAINTS, PRIMERS, SEALERS, OR GLUES THAT EMIT FLAMMABLE FUMES OR VOLATILE COMPOUNDS. SUCH ITEMS SHALL BE RESPONSIBLE TO VERIFY THE MATERIALS HE IS USING AND COMPLY WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR THEIR USE.
- ALL SUBCONTRACTORS INCLUDING ANY NEARBY WORK WITH JOB SUPERINTENDENT, IF WORK IS TO BE NEARBY OR AFFECT THE BUILDING UTILITY SERVICE, MUST ALL-LODGE WORK AT HIS OWN RISK.
- COORDINATE ALL JOINTS IN CONCRETE WITH THE ARCHITECT.
- CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON ALL WORK AND PROVIDE TWO KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNER.
- CONTRACTOR SHALL SEAL ALL CONTROL, CONSTRUCTION, AND EXPANSION JOINTS IN CONCRETE FINISH.
- CONFORM TO APPLICABLE CODES FOR BOND WORK, SAFETY OF EXISTING STRUCTURES, DUST CONTROL, SERVICE UTILITIES AND DISINFECT HAZARDS.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACTIVITIES.
- PROVIDE, ERECT & MAINTAIN TEMPORARY BARRIERS & ENCLOSURE AT EXISTING OPERATIONS.
- MAINTAIN AND PROTECT EXISTING AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS AND DRIVEWAYS WITHOUT PERMIT.
- COORDINATE WITH BUILDING OWNER AND NOTIFY THE ADJACENT PROPERTY OWNERS OF ANY WORK WHICH MAY AFFECT THEIR PROPERTY WITH POTENTIAL NOISE, VIBRATION, OR OBSTRUCTION.
- REMOVAL AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.

GENERAL & FLOOR PLAN NOTES:

- FIELD VERIFY FLOOR CONDITIONS. PREP. LEVEL & SAND FLOORS AS NECESSARY TO PROVIDE COMPLETE INSTALLATION OF FINISH FLOOR.
- STRUCTURAL EXISTING FRAMES BIZES ARE TO BE USED. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE STRUCTURAL ENGINEER & ARCHITECT.
- ALL SUBCONTRACTORS INCLUDING SPRINKLER SUBCONTRACTOR MUST COORDINATE WORK W/ JOB SUPERINTENDENT.
- LEVEL EXISTING CONCRETE W/ S/A LEVELIZED LEVELING COMPOUND IF REQUIRED.
- USE MINIMUM 34 GAUGE STEEL STUDS & 5/8" TYPE "Y" ONLY. USE WATER RESISTANT DMB @ ALL WET LOCATIONS & RESTROOM.
- PROVIDE 8-12 MIN. DATA INSULATION FULL HEIGHT ON ALL EXTERIOR WALLS.
- PROVIDE BACKING FOR ALL WALL MOUNTED & HUNG ITEMS. COORDINATE BACKROOM, RESTROOM & HALLWAYS.
- PROVIDE TYPE RED & SMOOTH TEXTURE ON ALL EXPOSED DRINKING.
- CONFORM ALL NEW DOOR DRINKING LOCATIONS TO CODE REQUIREMENTS.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY PER ICC @ RESTROOM.

ITEMS GENERAL CONTRACTOR SHALL VERIFY:

- REFER TO ELECTRICAL PLANS FOR CEILING HEIGHTS & LIGHTING LAYOUT IN ALL AREAS.
- FLOORING MATERIAL SELECTED BY OWNER.
- RENDERING WALL EXTERIORS FROM SEAS TO UNDERPINE OF DECKING.
- ALL INTERIOR WALLS SHALL BE 1/2" AND PAINTED W/ BATH REGULATION.
- ALL COUNTERTOPS & CABINETS SHALL BE PLASTIC LAMINATE FINISH. VERIFY WITH OWNER.
- INTERIOR COLUMNS & OFFICE AREA SHALL BE PAINTED IF EXPOSED. VERIFY WITH OWNER IF THEY SHOULD BE WRAPPED W/ VINYL STRIPS & CAPS. BRG.



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

ISSUE: 06-17-2022
PROJECT: R.D. MOORMAN, INC.

DATE: JUN 17, 2022

PROJECT NO: 2022085

DRAWN BY: KR

CHECKED BY: JC

NEW OFFICE WAREHOUSE FACILITY FOR
R.D. MOORMAN, INC.
259 Ranch Trail
Rockwall, Texas 75087

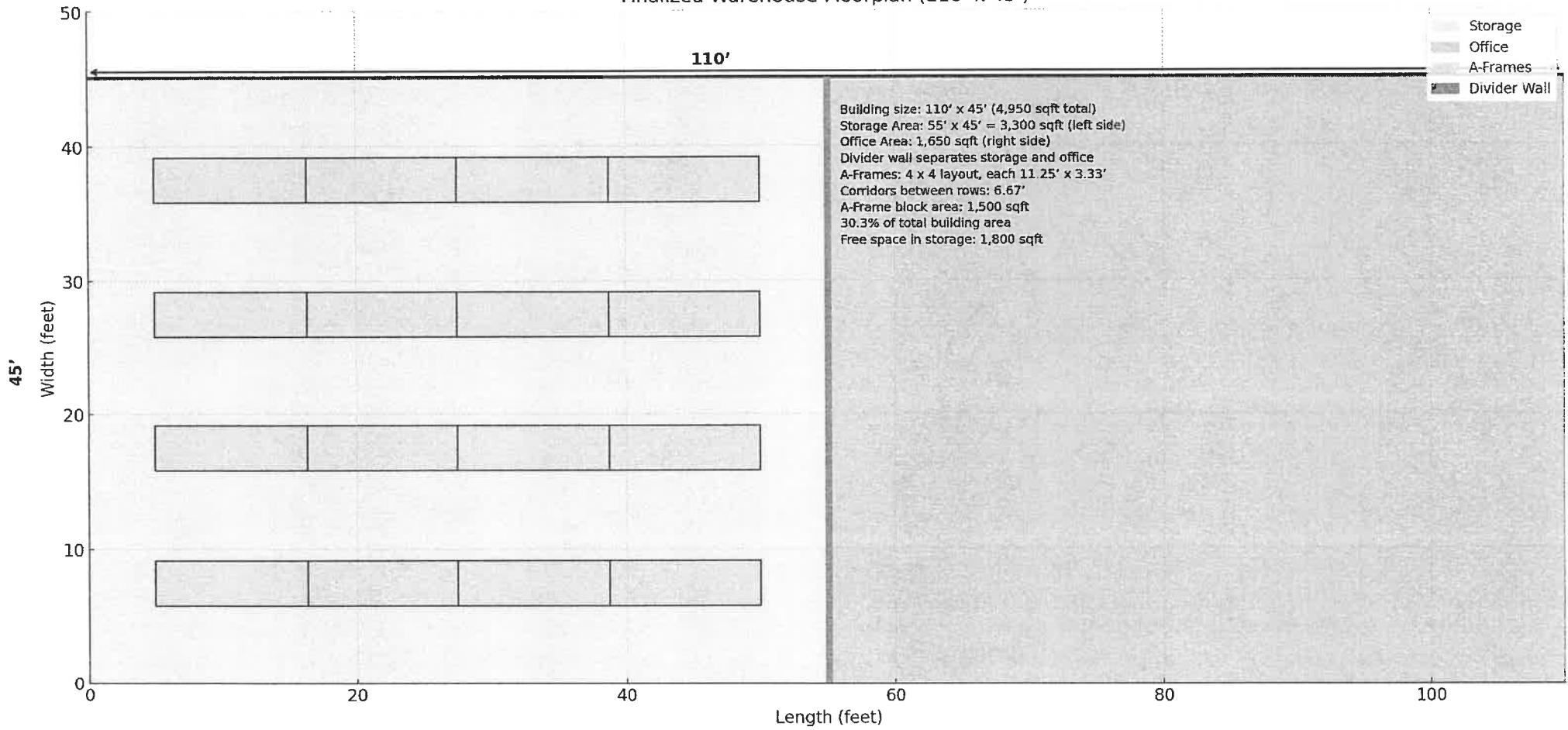
7501 Telemonte 30
Rockwall, TX 75087
F 972-752-8888
E 972-752-8888

FLOOR PLAN

DATE: JUN 2022
PROJECT NO: 2022085
DRAWN BY: KR
CHECKED BY: JC

A201

Finalized Warehouse Floorplan (110' x 45')



PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 5/23/2025

PROJECT NUMBER: Z2025-025
PROJECT NAME: SUP for a Showroom/Warehouse
SITE ADDRESS/LOCATIONS: 263 Ranch Trail

CASE CAPTION: Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
	Henry Lee	05/23/2025	Needs Review

05/23/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail.

I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.

M.3 For reference, include the case number (Z2025-025) in the lower right-hand corner of all pages on future submittals.

I.4 A Wholesale Showroom Facility is defined as a "...establishment that primarily consists of sales offices and sample display areas for products and/or services delivered or performed off-premises. Catalog and telephone sales facilities are appropriate. Incidental retail sales of products associated with the primary products and/or services are permitted. Warehousing facilities shall be incidental to the primary use and shall not exceed 50% of the total floor area." In this case, the applicant is requesting a tile and stone showroom facility that will incorporate Office and Warehousing in conformance with the Wholesale Showroom Facility definition.

I.5 The subject property is zoned Commercial (C) District. In a Commercial (C) District, a Wholesale Showroom Facility requires the approval of a Specific Use Permit (SUP). The SUP requirement is in place "...to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In this case, the City Council -- pending a recommendation from the Planning and Zoning Commission -- must determine if the proposed Wholesale Showroom Facility is compatible with the surrounding businesses.

M.6 In accordance with the Wholesale Showroom Facility definition detailed in comment I.4, the total floor area shall not incorporate more than 50% of Warehousing. In this case, there is 66.67% of the total floor area being proposed as Warehousing. Given this, a new floor plan must be provided that reduces the Warehousing to 50% or 2,475 SF.

M.7 Please review the attached Draft Ordinance prior to the May 27, 2025 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than June 3, 2025. In reviewing the Draft Ordinance, please pay close attention to the operational conditions.

I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional

information that is requested. Revisions for this case will be due on June 3, 2025; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the June 10, 2025, Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 27, 2025.

I.9 The projected City Council meeting dates for this case will be June 16, 2025 (1st Reading) and July 7, 2025 (2nd Reading).

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	05/22/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	05/22/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	05/20/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	05/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	05/19/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	05/19/2025	Approved
No Comments			



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

263 RANCH TRAIL, ROCKWALL, TX 75032

SUBDIVISION

GENERAL LOCATION

LOT

BLOCK

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

R.D. MOORMAN, INC

CONTACT PERSON

RYAN MOORMAN

ADDRESS

263 RANCH TRAIL

CITY, STATE & ZIP

Rockwall, TX 75032

PHONE

972-977-2110

E-MAIL

RYAN@RDMOORMANINC.COM

☐ APPLICANT

CONTACT PERSON

Felipe Zanotti

ADDRESS

17727 ADDISON RD,

CITY, STATE & ZIP

DALLAS, TX, 75287

PHONE

214-430-7927

E-MAIL

ZANOTTI@ZTXSURFACES.COM

NOTARY VERIFICATION [REQUIRED]

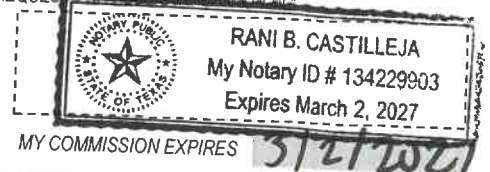
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Moorman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 15th DAY OF May, 2025

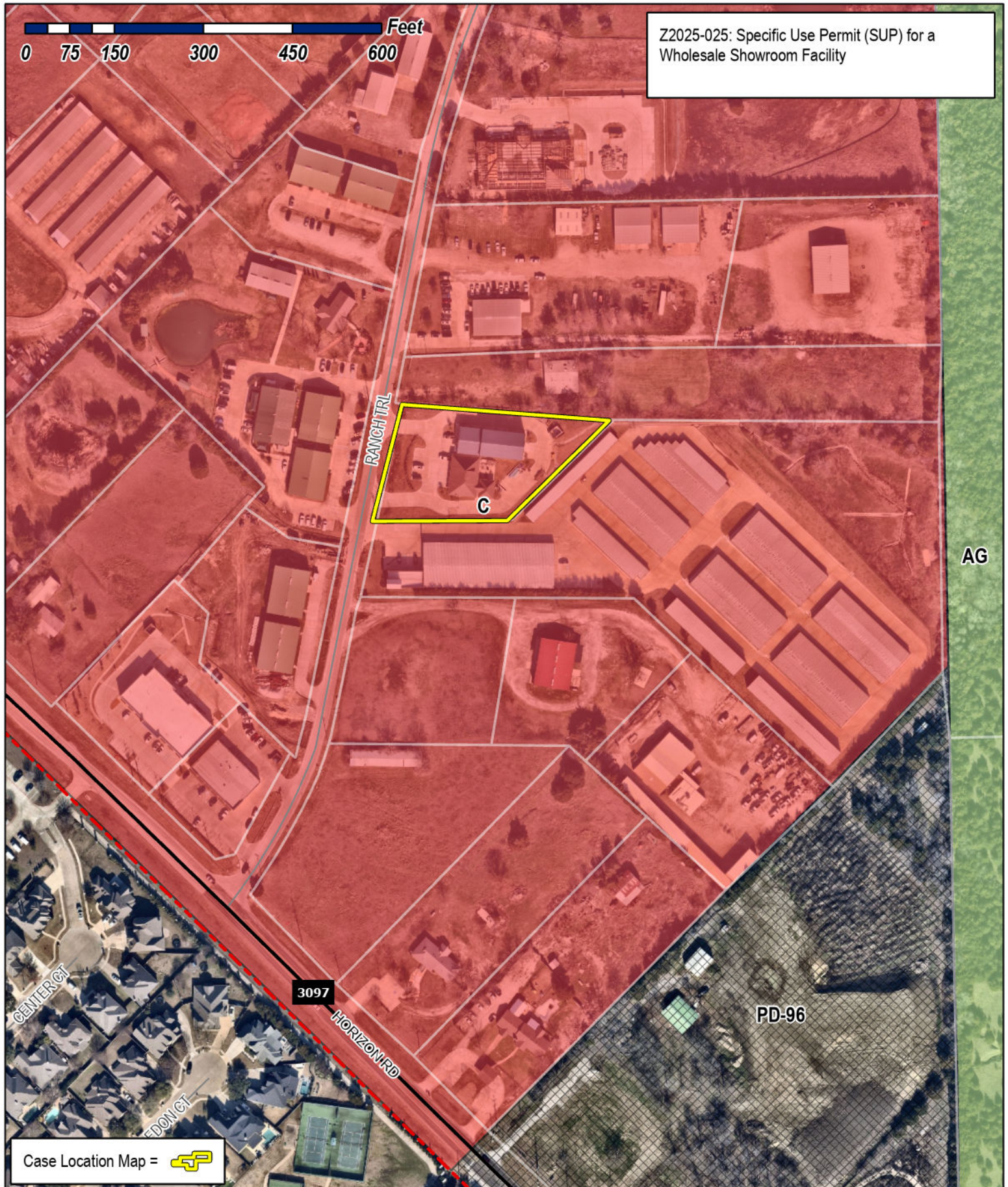
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

3/2/2027



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

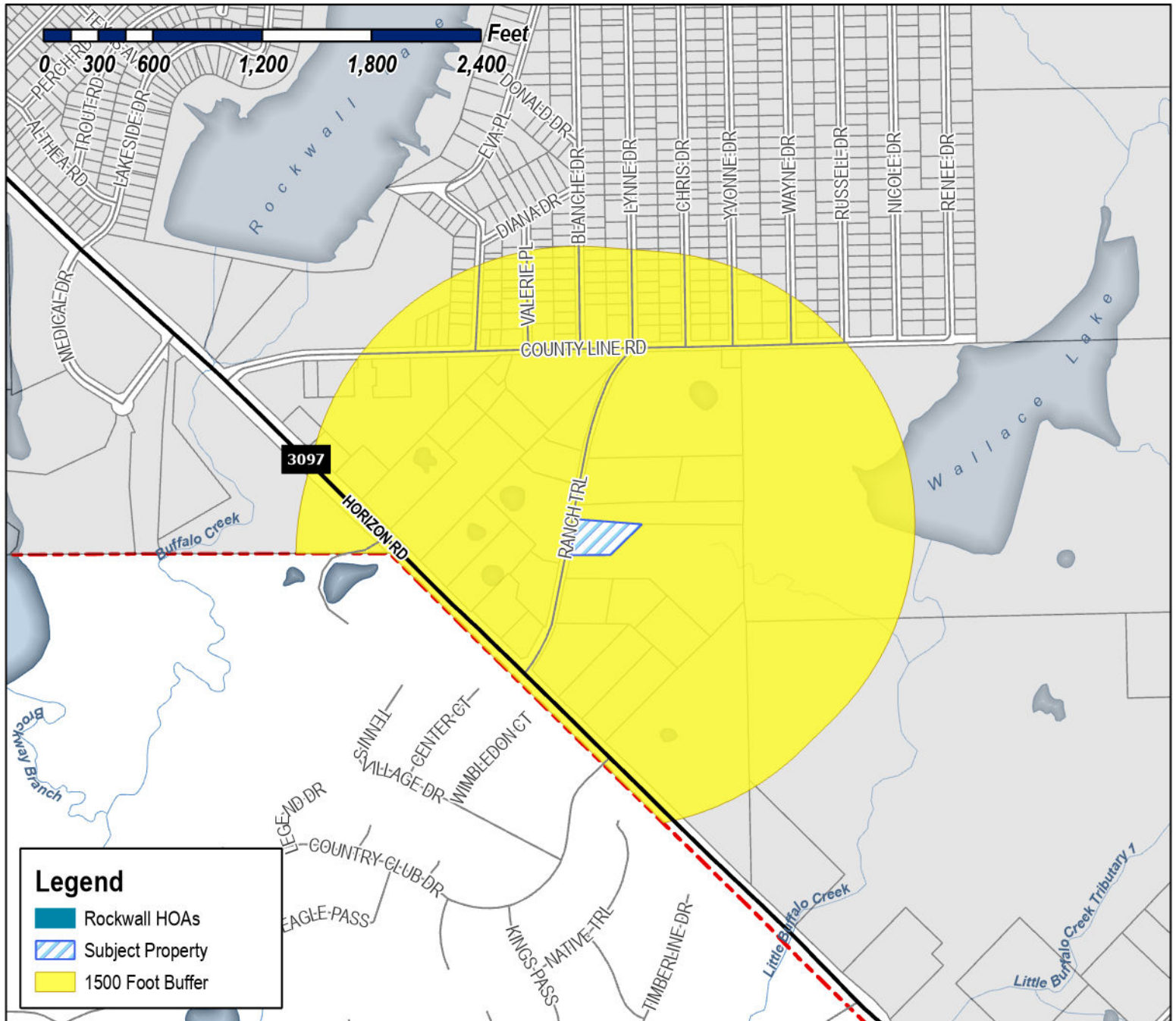




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Case Number: Z2025-025
Case Name: Specific Use Permit (SUP) for Wholesale Showroom Facility
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 263 Ranch Trail

Date Saved: 5/16/2025
For Questions on this Case Call (972) 771-7745

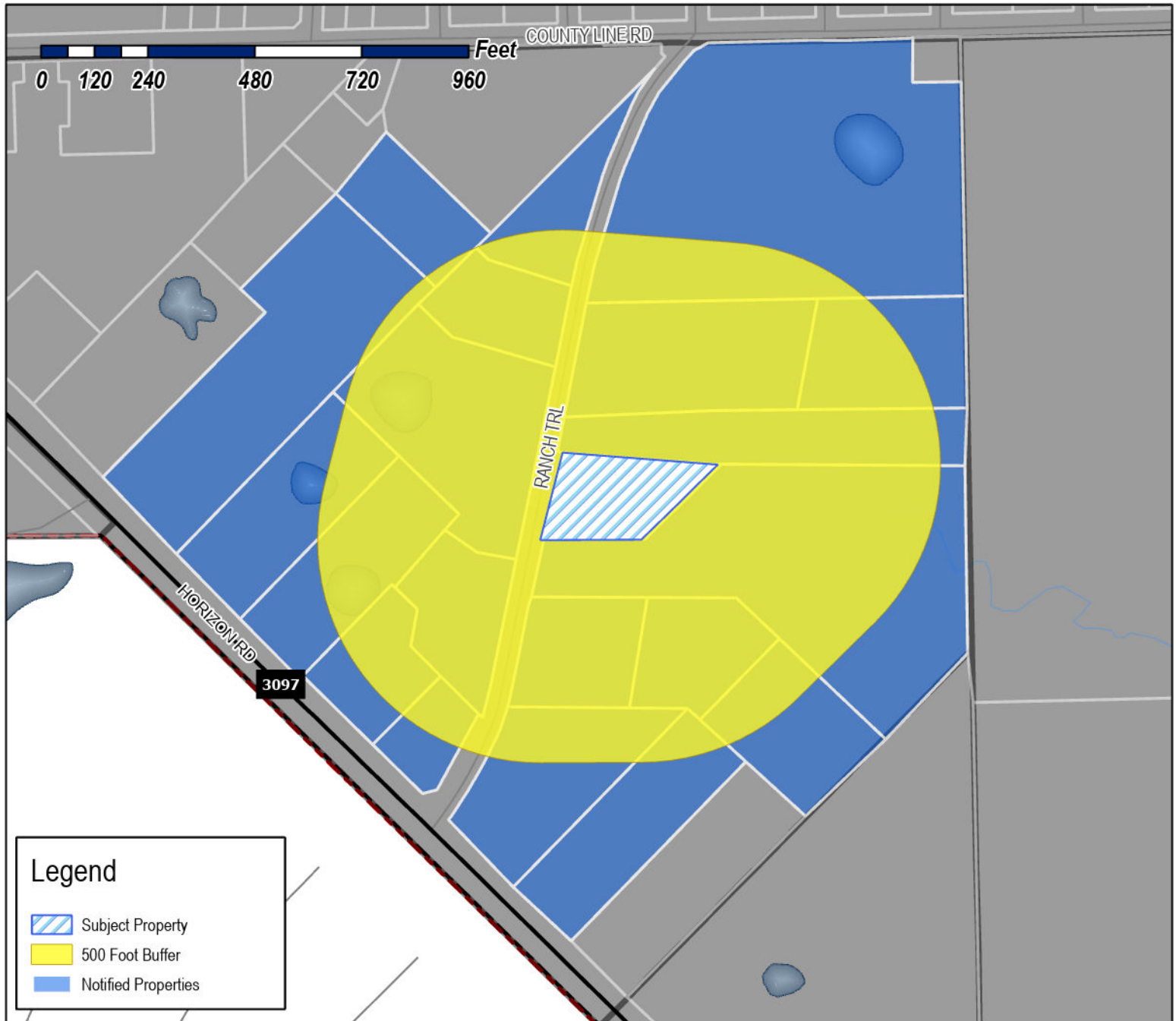




City of Rockwall

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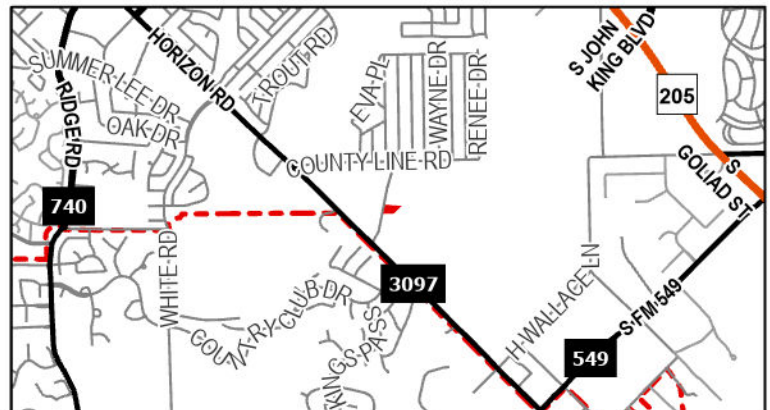
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For Questions on this Case Call: (972) 771-7745



RIDGE POINTE HORIZON LP 102 S GOLIAD #200 ROCKWALL, TX 75087	GLOBAL HOLDINGS INTERNATIONAL BUSINESS TRUST KELLI CHRISTINE HAYNIE - TRUSTEE 10500 LAKELINE MALL DR APT 5605 AUSTIN, TX 78717	ZALOMANTE LLC 1690 LYNN LN LUCAS, TX 75002
5543 FM3097 LLC 1809 BRISTOL LANE ROCKWALL, TX 75032	DOMINGUEZ SALVADOR AND DIANA DOMINGUEZ 1948 FREDIANO LN MCLENDON CHISHOLM, TX 75032	RESIDENT 196-224 RANCH TRL ROCKWALL, TX 75087
RESIDENT 207 RANCH TRL ROCKWALL, TX 75087	RESIDENT 209 RANCH TRL ROCKWALL, TX 75087	RESIDENT 231 RANCH TRL ROCKWALL, TX 75087
PATRIOT PAWS SERVICE DOGS LORI STEVENS 254 RANCH TRL ROCKWALL, TX 75032	RESIDENT 259 RANCH TRAIL ROCKWALL, TX 75087	HEATH #23 INVESTMENT, LLC 2712 IH 30 MESQUITE, TX 75150
RESIDENT 285 RANCH TRL ROCKWALL, TX 75087	RESIDENT 295 RANCH TRAIL ROCKWALL, TX 75087	RESIDENT 315 RANCH TRAIL ROCKWALL, TX 75087
RANCH TRAIL VENTURES LLC 315 RANCH TRAIL ROCKWALL, TX 75032	RAAA REAL ESTATE LLC 3508 McFarlin Blvd Dallas, TX 75205	KUMAR ATUL 3508 MCFARLIN BLVD DALLAS, TX 75205
CPIV-354 RANCH TRAIL LLC 354/356 RANCH TRL ROCKWALL, TX 75032	RESIDENT 354-356 RANCH TRL ROCKWALL, TX 75087	RESIDENT 382 RANCH TRL ROCKWALL, TX 75087
RESIDENT 405 RANCH TRL ROCKWALL, TX 75087	TRUMAN HEIGHTS LLC 4741 PARKWOOD DR ROCKWALL, TX 75032	DIVAGOZ PROPERTIES LLC 494 Lynne Dr Rockwall, TX 75032
BIG LEAGUE SPORTS ACADEMY INC 5508 FOREST LANE DALLAS, TX 75230	RESIDENT 5573 FM3097 ROCKWALL, TX 75087	RESIDENT 5627 HORIZON RD ROCKWALL, TX 75087
RESIDENT 5653 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 HORIZON RD ROCKWALL, TX 75087

HORIZON ROAD SELF STORAGE LLC
5763 S State Highway 205 Ste 100
Rockwall, TX 75032

RESIDENT
5811 FM3097
ROCKWALL, TX 75087

HomeBank Texas
P O BOX 909
SEAGOVILLE, TX 75159

KUMAR ATUL
3508 MCFARLIN BLVD
DALLAS, TX 75205

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility

Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 10, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 16, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance

ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CILING	REMARKS
		LVT WOOD - 10' @ T-1 CARPET - CM-1 CEILING - PAINT -	PANELING - RP-1 PANELING - T-1 / T-2 MPC	PAINTED & PAINT - P-1 PAINTED & PAINT - P-2 POCKETDOOR	2X4 ACQUATIC LAY IN OPTIMUM BOARD OPEN	NOTE: OWNER TO SELECT ALL FINAL COLORS AND FINISHES
100	OPEN OFFICE AREA	●	●	●	●	
101	CONFERENCE ROOM	●	●	●	●	
102	BREAK ROOM	●	●	●	●	
103	REST ROOM	●	●	●	●	
104	REST ROOM	●	●	●	●	
105	WAREHOUSE	●	●	●	●	

- ITEMS GENERAL CONTRACTOR SHALL VERIFY:
1. REFER TO ELECTRICAL PLANS FOR CEILING HEIGHTS & LIGHTING LAYOUT IN ALL AREAS.
 2. FLOORING MATERIAL SELECTED BY OWNER
 3. DEMANDING WALL EXTENDS FROM SLAB TO UNDERSIDE OF DECKING
 4. ALL INTERIOR WALLS SHALL BE T.B.F. AND PAINTED W/ BATT INSULATION
 5. ALL COUNTERTOPS & CABINETS SHALL BE PLASTIC LAMINATE FINISH. VERIFY WITH OWNER.
 6. INTERIOR COLUMNS @ OFFICE AREA SHALL BE PAINTED IF EXPOSED. VERIFY WITH OWNER IF THEY SHOULD BE WRAPPED W. WIL. STUDS & CYP. BRD.



NEW OFFICE/WAREHOUSE FACILITY FOR
R.D. MOORMAN, INC.
259 Ranch Trail
Rockwall, Texas 75032

R.D. MOORMAN, INC.
RYAN MOORMAN
259 Ranch Trail
Rockwall, TX. 75082



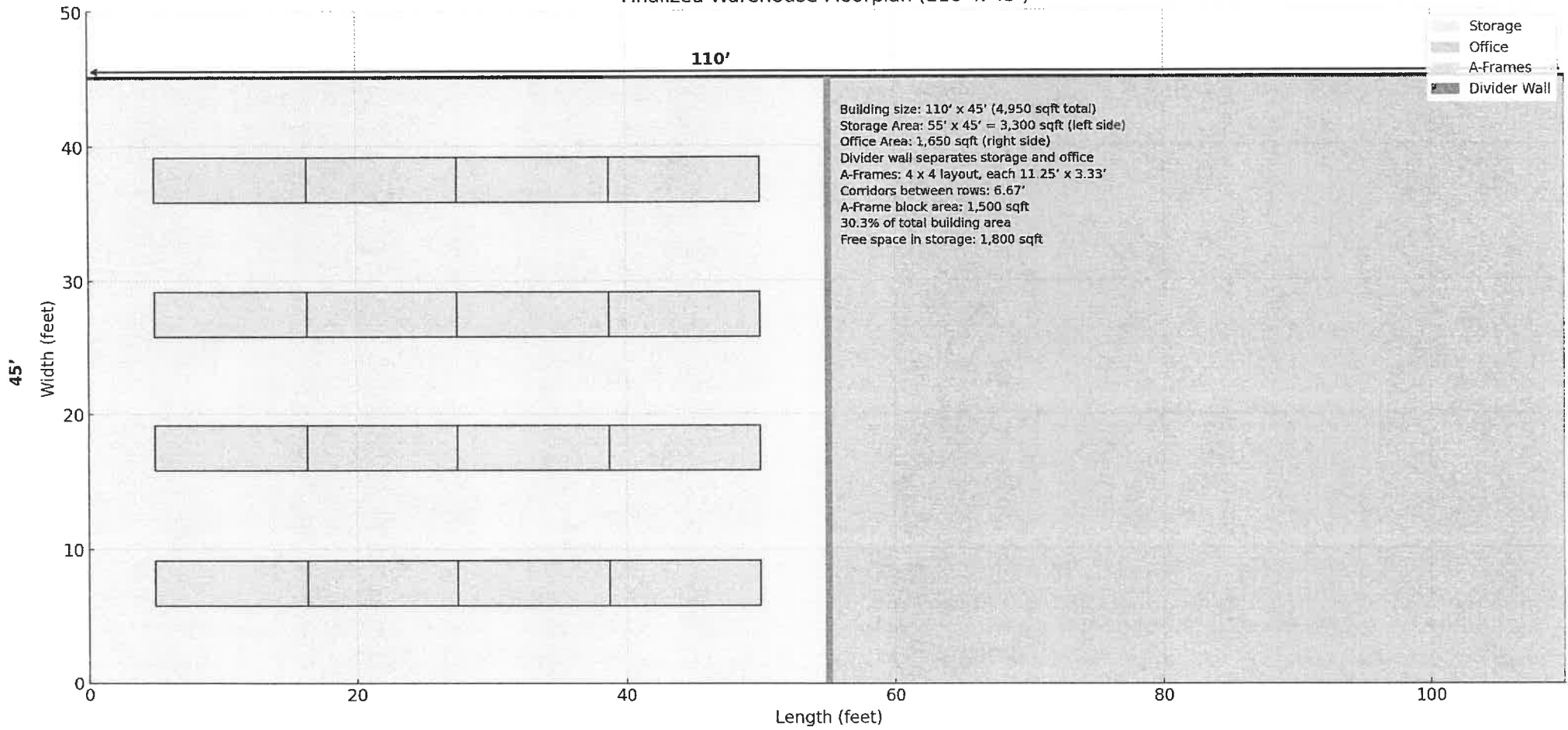
carroll
architects

750 E. Interstate 30
Suite 110
Rockwall, TX 75087
Tel: 972-792-5085

FLOOR PLAN

DATE: JUN 22 2022 SHEET NO: A201
PROJECT NO: 2022065
DRAWN BY: KR
CHECKED BY: JC

Finalized Warehouse Floorplan (110' x 45')



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *WHOLESALE SHOWROOM FACILITY* ON A 1.2220-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 26 OF THE RAINBOW ACRES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a *Wholesale Showroom Facility* on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Wholesale Showroom Facility* on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Wholesale Showroom Facility* shall not utilize more than 50% of the total floor area for *Warehousing*.
- 3) There shall be no *Outside Storage* on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF JULY, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

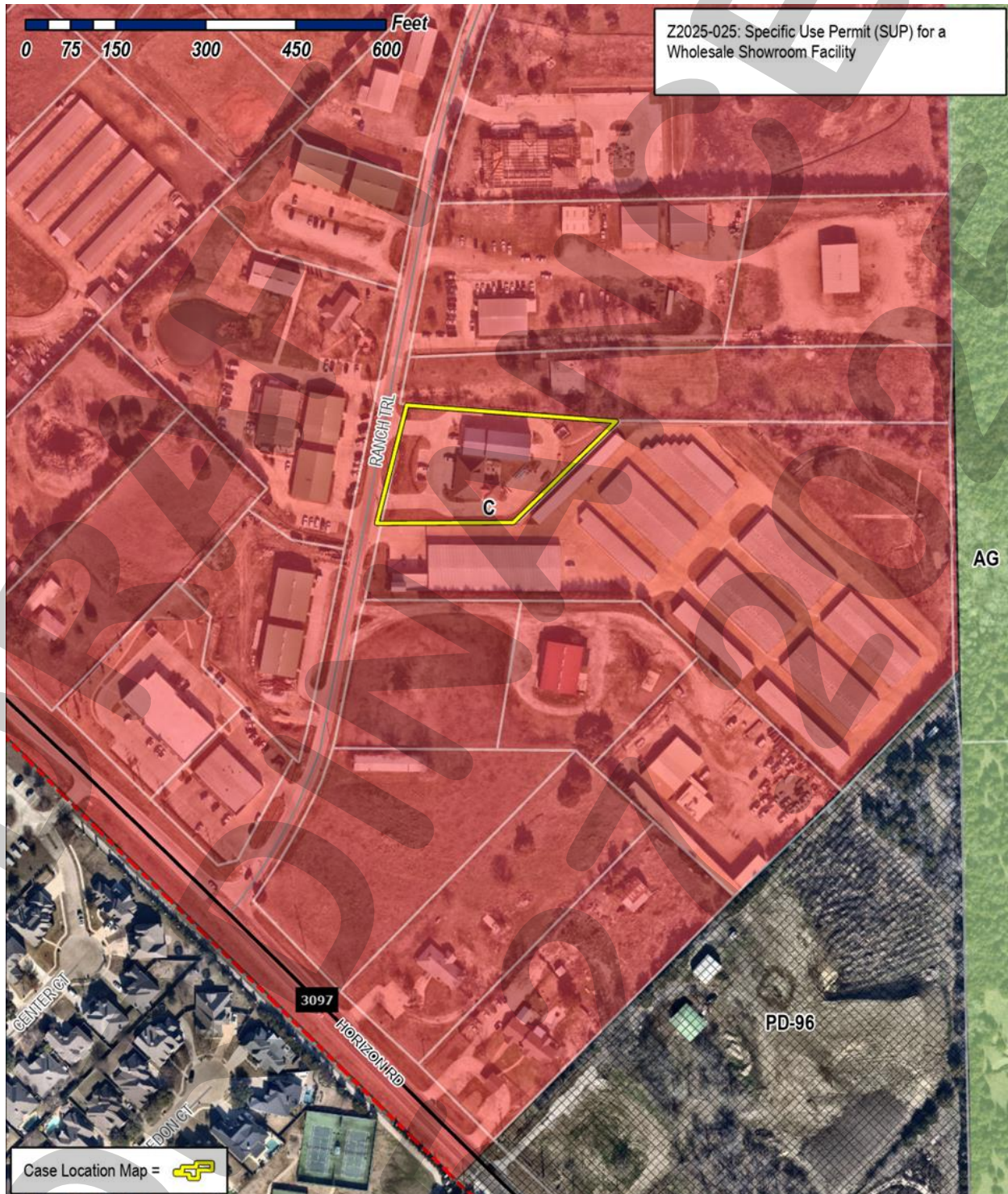
Frank J. Garza, *City Attorney*

1st Reading: June 16, 2025

2nd Reading: July 7, 2025

Exhibit 'A':
Location Map

LEGAL DESCRIPTION: Lot 26 of the Rainbow Acres Addition
ADDRESS: 263 Ranch Trail





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: June 10, 2025
APPLICANT: Felipe Zanotti
CASE NUMBER: Z2025-025; *Specific Use Permit (SUP) for a Wholesale Showroom Facility*

SUMMARY

Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

BACKGROUND

On October 25, 1962 -- *prior to the date of annexation* -- the subject property was established by final plat as part of Lots 14 & 16 of the Rainbow Acres Addition. The subject property was annexed by *Ordinance No. 04-34* on May 17, 2004. On September 7, 2004, the City Council approved a zoning change [Case No. Z2024-027; *Ordinance No. 04-50*] changing the zoning of the subject property from an Agricultural (AG) District to a Commercial (C) District. In 2017, the City Council approved a replat [Case No. P2017-050] to subdivide the subject property (*i.e. Lots 22 & 23 of the Rainbow Acres Addition*) from the adjacent property in order for a *Mini-Warehouse Facility* to be developed on Lot 23. On September 10, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-031] for the purpose of constructing a 4,950 SF office building, and converting the existing 2,366 SF single-family home into an office building. Associated with the site plan was a variance for the horizontal articulation; however, this request failed to get a supermajority vote, failing 4-2 with Commissioners Womble and Welch dissenting and Commissioner Moeller absent. The applicant appealed the variance denial to the City Council, where the City Council denied the appeal on November 7, 2019 by a vote of 7-0. After this denial the applicant proceeded with converting the existing single-family home into an office building, but abandoned the request to add a new 4,950 SF office building to the subject property. On May 11, 2021 the Planning and Zoning Commission approved a site plan [Case No. SP2021-012] to allow the construction of a 4,950 SF *Office Building* on the subject property. On February 21, 2023, the City Council approved a replat [Case No. P2023-001] that establish the subject property as Lot 26 of the Rainbow Acres Addition.

PURPOSE

The applicant -- *Felipe Zanotti* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *Wholesale Showroom Facility* in a Commercial (C) District on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 263 Ranch Trail. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 2.00-acre parcel of land (*i.e. part of Lot 16 of the Rainbow Acres Addition*) developed with a 2,601 SF *Office Building*. Beyond this is a 2.04-acre parcel of land (*i.e. Lot 17 of the Rainbow Acres Addition*) developed with four (4) commercial structures. Following this is a 9.76-acre parcel of land (*i.e. Lot 18 and the S. part of Lot 19 of the Rainbow Acres Addition*) that has a 13,516 SF *Office Building* under construction. All of these properties are zoned Commercial (C) District. North of this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 7.473-acre parcel of land (i.e. Lot 25 of the Rainbow Acres Addition) developed with a *Mini-Warehouse Facility*. Beyond this is a vacant 1.50-acre parcel of land (i.e. Lot 12 of the Rainbow Acres Addition). Following this is a 2.491-acre parcel of land (i.e. Lot 20 of the Rainbow Acres Addition) with a standalone 2,832 SF storage building. All of these properties are zoned Commercial (C) District. South of this is Horizon Road [FM-3097], which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 7.489-acre parcel of land (i.e. Lot 25 of the Rainbow Acres Addition) developed with a *Mini-Warehouse Facility* zoned Commercial (C) District. Beyond this is a vacant 131.39-acre tract of land (i.e. Tract 43-01 of the W. W. Ford Survey, Abstract No. 80 [commonly referred to as the Wallace Tract]) zoned Agricultural (AG) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 63 lots is zoned Planned Development District 51 (PD-51) for Single Family Estate 1.5 (SFE-1.5) District.

West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is 3.466-acre parcel of land (i.e. Lot 1, Block A, Patriot Paws Addition) developed with *Animal Boarding Facility* (i.e. Patriot Paws). Following this are two (2) parcels of land (i.e. Lots 1-2 of the Rainbow Acres Addition) developed with residential homes. West of this is a 4.97-acre tract of land (i.e. Tract 26 of the W. W. Ford Survey, Abstract No. 80) developed with a *Mini-Warehouse Facility*. All of these properties are zoned Commercial (C) District. Beyond this is Horizon Road [FM-3097], which is identified as a A4D (i.e. arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a zoning exhibit requesting a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* on the subject property. Existing on the subject property is a 2,797 SF *Office Building* that was converted from a single-family home in 2018, and a 4,950 SF *Office Building* that was constructed in 2022. Based on the floor plan

provided by the applicant, the 4,950 SF *Office Building* will be split into *Office* and *Warehousing* in order to accommodate the requested *Wholesale Showroom Facility*.

CONFORMANCE WITH THE CITY'S CODES

Subsection 02.01(J), *Wholesale, Distribution, and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Wholesale Showroom Facility* as “(a)n establishment that primarily consists of sales offices and sample display areas for products and/or services delivered or performed off-premises...retail sales of products associated with the primary products and/or services are permitted. Warehousing facilities shall be incidental to the primary use and shall not exceed 50% of the total floor area.” In this case, the applicant's proposed use falls under this classification, and the provided floor plan indicates that 50% of the total floor area will be for *Warehousing*. According to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Wholesale Showroom Facility* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that the *Wholesale Showroom Facility* land use is not appropriate within all of the City's commercial areas, and that the City Council should have discretionary oversight with regard to this land use and their impacts within these types of districts.

STAFF ANALYSIS

According to Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district.” In review of the surrounding land uses, many of the adjacent uses are either offices or legally non-conforming warehouse land uses. Based on this, the proposed *Wholesale Showroom Facility* appears to blend with the adjacent established land uses. Staff should note, that the proposed *Wholesale Showroom Facility* is being utilized in a similar manner as the previous tenant (*i.e. Office and Storage*). Given this, the subject property conforms to the parking standards outlined within the Unified Development Code (UDC). All that being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *Southwest Residential District* and is situated within an area that is identified as a *Transitional Area*. According to the district, the *Transitional Area* is defined as, “...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties...” In this case, this the proposed *Wholesale Showroom Facility* appears to be blend with the adjacent land uses within the *Transitional Area* along Ranch Trail. In addition, the *Wholesale Showroom Facility* will be required to meet the current Unified Development Code (UDC) standards.

NOTIFICATIONS

On May 20, 2025, staff mailed 34 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). There were no Homeowner's Associations (HOA's) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was drafted, staff had not received any notices returned concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* within a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:

- (a) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The *Wholesale Showroom Facility* shall not utilize more than 50.00% of the total floor area for *Warehousing*.
 - (c) There shall be no *Outside Storage* on the *Subject Property*.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

263 RANCH TRAIL, ROCKWALL, TX 75032

SUBDIVISION

GENERAL LOCATION

LOT

BLOCK

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

R.D. MOORMAN, INC.

☐ APPLICANT

CONTACT PERSON

RYAN MOORMAN

CONTACT PERSON

Felipe Zanotti

ADDRESS

263 RANCH TRAIL

ADDRESS

17727 ADDISON RD.

CITY, STATE & ZIP

Rockwall, TX 75032

CITY, STATE & ZIP

DALLAS, TX, 75287

PHONE

972-977-2110

PHONE

214-430-7927

E-MAIL

RYAN@RDMOORMANINC.COM

E-MAIL

ZANOTTI@ZTXSURFACES.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Moorman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

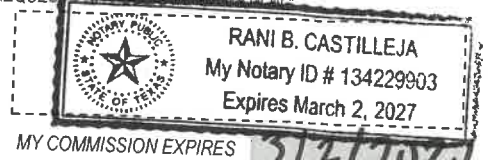
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 15th DAY OF May, 2025

OWNER'S SIGNATURE

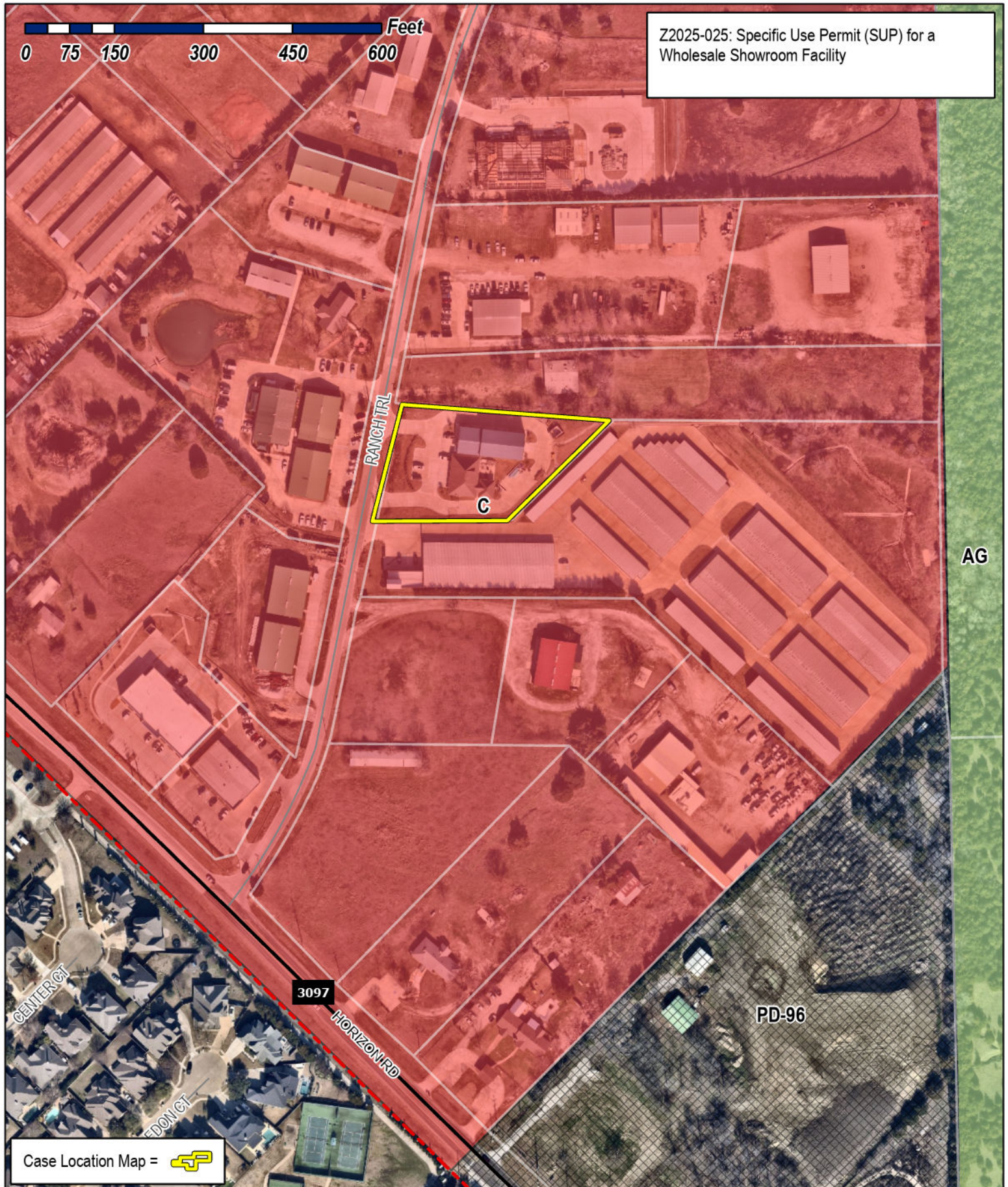
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Rani B. Castilleja



MY COMMISSION EXPIRES

3/2/2027



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

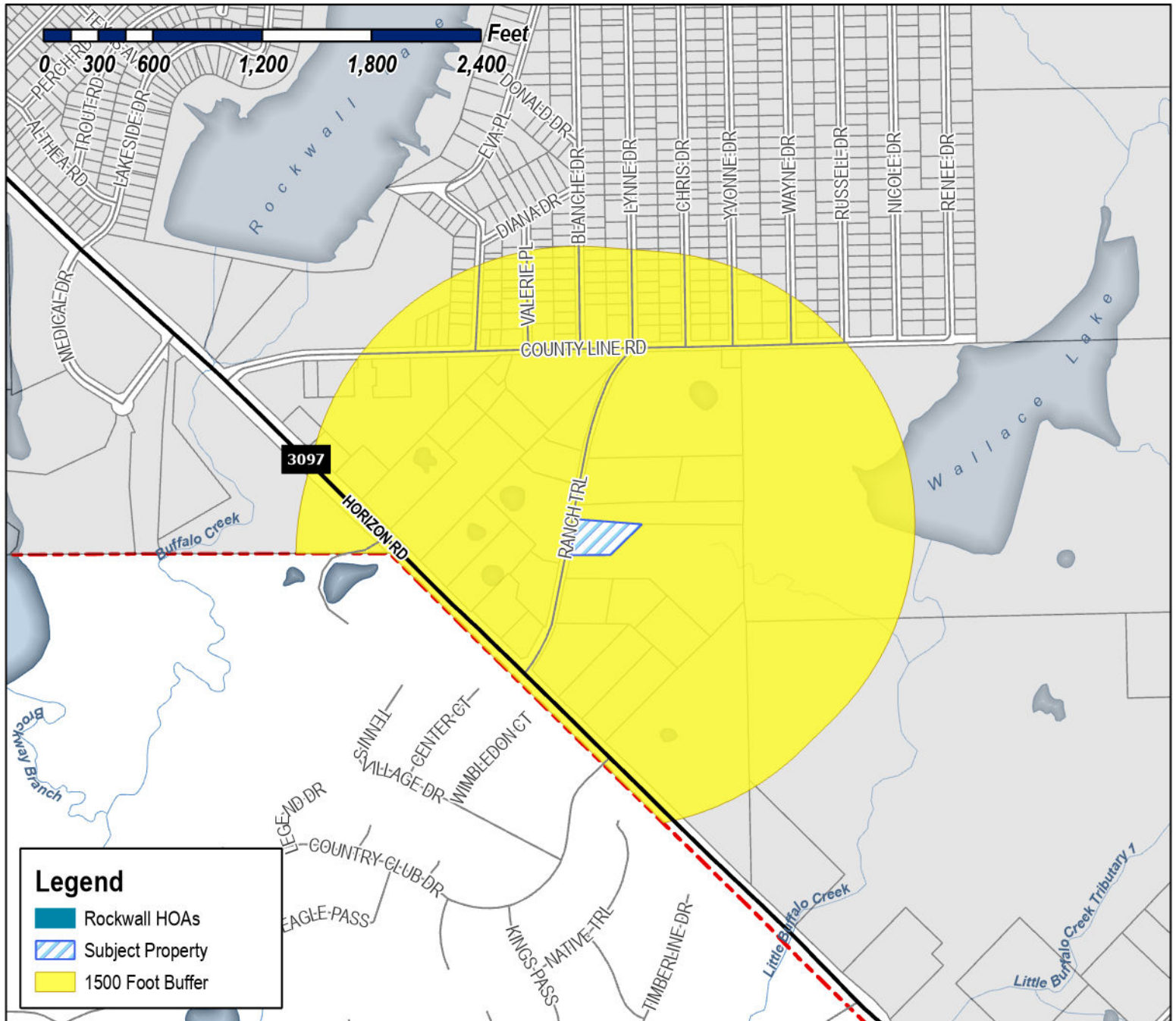




City of Rockwall

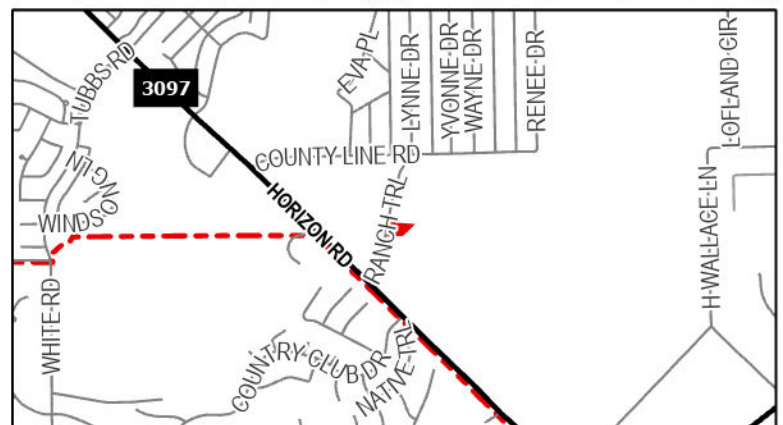
Planning & Zoning Department
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Case Number: Z2025-025
Case Name: Specific Use Permit (SUP) for Wholesale Showroom Facility
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 263 Ranch Trail

Date Saved: 5/16/2025
For Questions on this Case Call (972) 771-7745

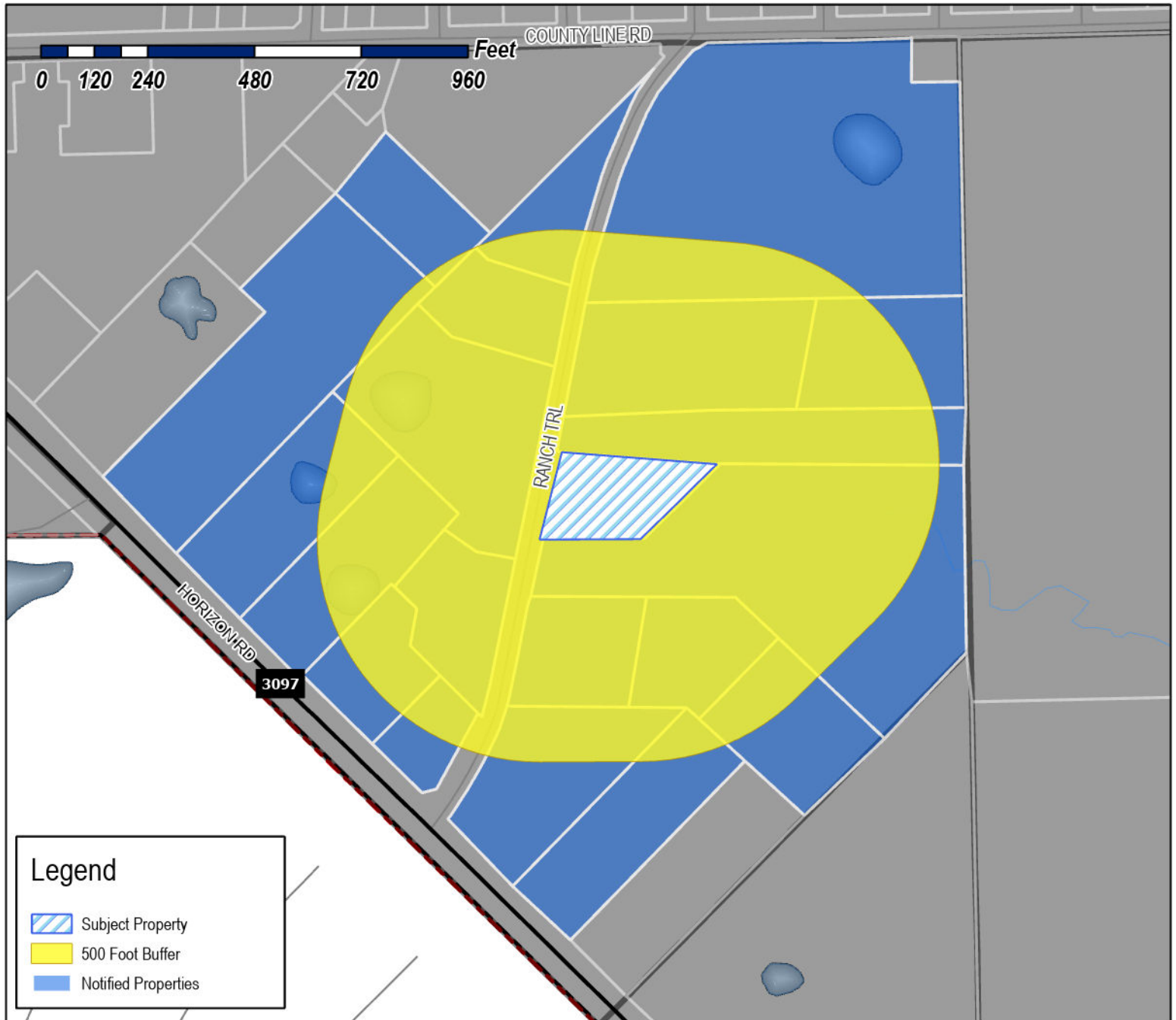




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

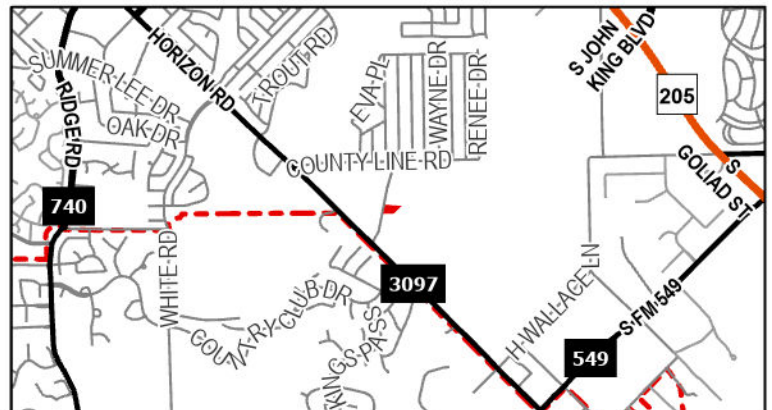
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Case Number: Z2025-025
Case Name: Specific Use Permit (SUP) for Wholesale Showroom Facility
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 263 Ranch Trail

Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



RIDGE POINTE HORIZON LP 102 S GOLIAD #200 ROCKWALL, TX 75087	GLOBAL HOLDINGS INTERNATIONAL BUSINESS TRUST KELLI CHRISTINE HAYNIE - TRUSTEE 10500 LAKELINE MALL DR APT 5605 AUSTIN, TX 78717	ZALOMANTE LLC 1690 LYNN LN LUCAS, TX 75002
5543 FM3097 LLC 1809 BRISTOL LANE ROCKWALL, TX 75032	DOMINGUEZ SALVADOR AND DIANA DOMINGUEZ 1948 FREDIANO LN MCLENDON CHISHOLM, TX 75032	RESIDENT 196-224 RANCH TRL ROCKWALL, TX 75087
RESIDENT 207 RANCH TRL ROCKWALL, TX 75087	RESIDENT 209 RANCH TRL ROCKWALL, TX 75087	RESIDENT 231 RANCH TRL ROCKWALL, TX 75087
PATRIOT PAWS SERVICE DOGS LORI STEVENS 254 RANCH TRL ROCKWALL, TX 75032	RESIDENT 259 RANCH TRAIL ROCKWALL, TX 75087	HEATH #23 INVESTMENT, LLC 2712 IH 30 MESQUITE, TX 75150
RESIDENT 285 RANCH TRL ROCKWALL, TX 75087	RESIDENT 295 RANCH TRAIL ROCKWALL, TX 75087	RESIDENT 315 RANCH TRAIL ROCKWALL, TX 75087
RANCH TRAIL VENTURES LLC 315 RANCH TRAIL ROCKWALL, TX 75032	RAAA REAL ESTATE LLC 3508 McFarlin Blvd Dallas, TX 75205	KUMAR ATUL 3508 MCFARLIN BLVD DALLAS, TX 75205
CPIV-354 RANCH TRAIL LLC 354/356 RANCH TRL ROCKWALL, TX 75032	RESIDENT 354-356 RANCH TRL ROCKWALL, TX 75087	RESIDENT 382 RANCH TRL ROCKWALL, TX 75087
RESIDENT 405 RANCH TRL ROCKWALL, TX 75087	TRUMAN HEIGHTS LLC 4741 PARKWOOD DR ROCKWALL, TX 75032	DIVAGOZ PROPERTIES LLC 494 Lynne Dr Rockwall, TX 75032
BIG LEAGUE SPORTS ACADEMY INC 5508 FOREST LANE DALLAS, TX 75230	RESIDENT 5573 FM3097 ROCKWALL, TX 75087	RESIDENT 5627 HORIZON RD ROCKWALL, TX 75087
RESIDENT 5653 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 HORIZON RD ROCKWALL, TX 75087

HORIZON ROAD SELF STORAGE LLC
5763 S State Highway 205 Ste 100
Rockwall, TX 75032

RESIDENT
5811 FM3097
ROCKWALL, TX 75087

HOMEBANK TEXAS
P O BOX 909
SEAGOVILLE, TX 75159

KUMAR ATUL
3508 MCFARLIN BLVD
DALLAS, TX 75205

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility

Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 10, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 16, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

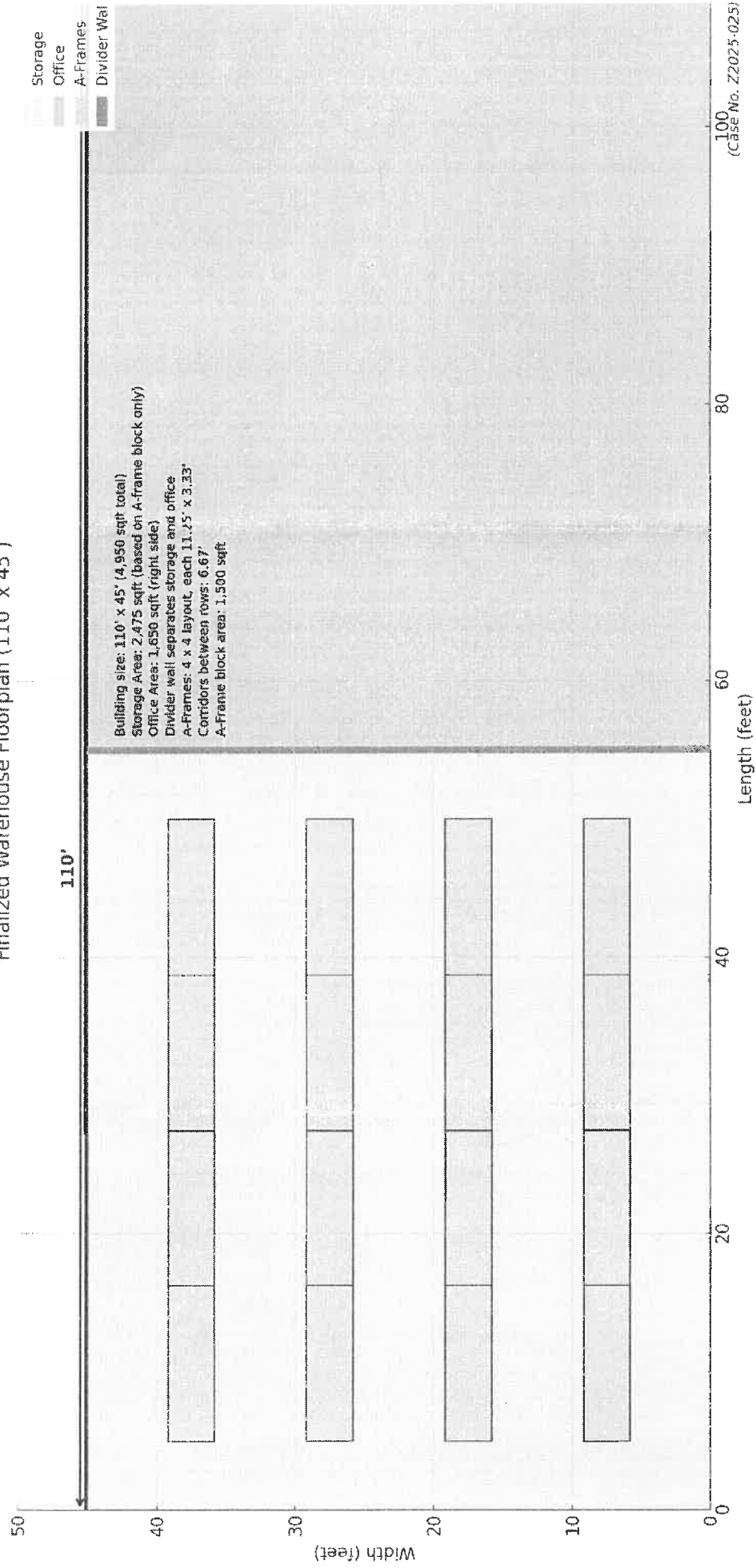
Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance

Finalized Warehouse Floorplan (110' x 45')



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *WHOLESALE SHOWROOM FACILITY* ON A 1.2220-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 26 OF THE RAINBOW ACRES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a *Wholesale Showroom Facility* on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Wholesale Showroom Facility* on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Wholesale Showroom Facility* shall not utilize more than 50% of the total floor area for *Warehousing*.
- 3) There shall be no *Outside Storage* on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF JULY, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 16, 2025

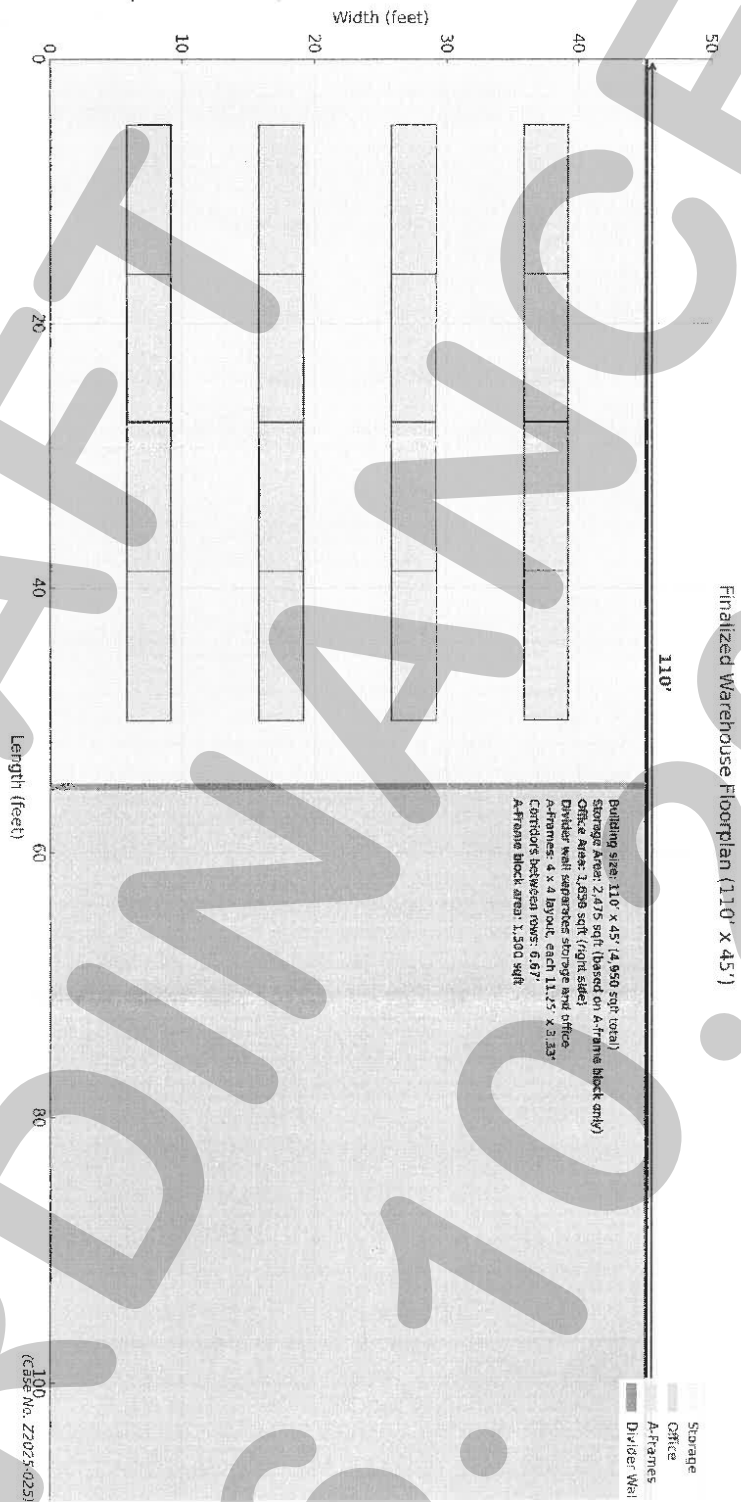
2nd Reading: July 7, 2025

Exhibit 'A':
Location Map

LEGAL DESCRIPTION: Lot 26 of the Rainbow Acres Addition
ADDRESS: 263 Ranch Trail



Exhibit 'B':
Floor Plan





CITY OF ROCKWALL

CITY COUNCIL CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Mayor and City Council
DATE: June 16, 2025
APPLICANT: Felipe Zanotti
CASE NUMBER: Z2025-025; *Specific Use Permit (SUP) for a Wholesale Showroom Facility*

SUMMARY

Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

BACKGROUND

On October 25, 1962 -- *prior to the date of annexation* -- the subject property was established by final plat as part of Lots 14 & 16 of the Rainbow Acres Addition. The subject property was annexed by *Ordinance No. 04-34* on May 17, 2004. On September 7, 2004, the City Council approved a zoning change [Case No. Z2024-027; *Ordinance No. 04-50*] changing the zoning of the subject property from an Agricultural (AG) District to a Commercial (C) District. In 2017, the City Council approved a replat [Case No. P2017-050] to subdivide the subject property (*i.e. Lots 22 & 23 of the Rainbow Acres Addition*) from the adjacent property in order for a *Mini-Warehouse Facility* to be developed on Lot 23. On September 10, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-031] for the purpose of constructing a 4,950 SF office building, and converting the existing 2,366 SF single-family home into an office building. Associated with the site plan was a variance for the horizontal articulation; however, this request failed to get a supermajority vote, failing 4-2 with Commissioners Womble and Welch dissenting and Commissioner Moeller absent. The applicant appealed the variance denial to the City Council, where the City Council denied the appeal on November 7, 2019 by a vote of 7-0. After this denial the applicant proceeded with converting the existing single-family home into an office building, but abandoned the request to add a new 4,950 SF office building to the subject property. On May 11, 2021 the Planning and Zoning Commission approved a site plan [Case No. SP2021-012] to allow the construction of a 4,950 SF *Office Building* on the subject property. On February 21, 2023, the City Council approved a replat [Case No. P2023-001] that establish the subject property as Lot 26 of the Rainbow Acres Addition.

PURPOSE

The applicant -- *Felipe Zanotti* -- is requesting the approval of a Specific Use Permit (SUP) to allow a *Wholesale Showroom Facility* in a Commercial (C) District on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 263 Ranch Trail. The land uses adjacent to the subject property are as follows:

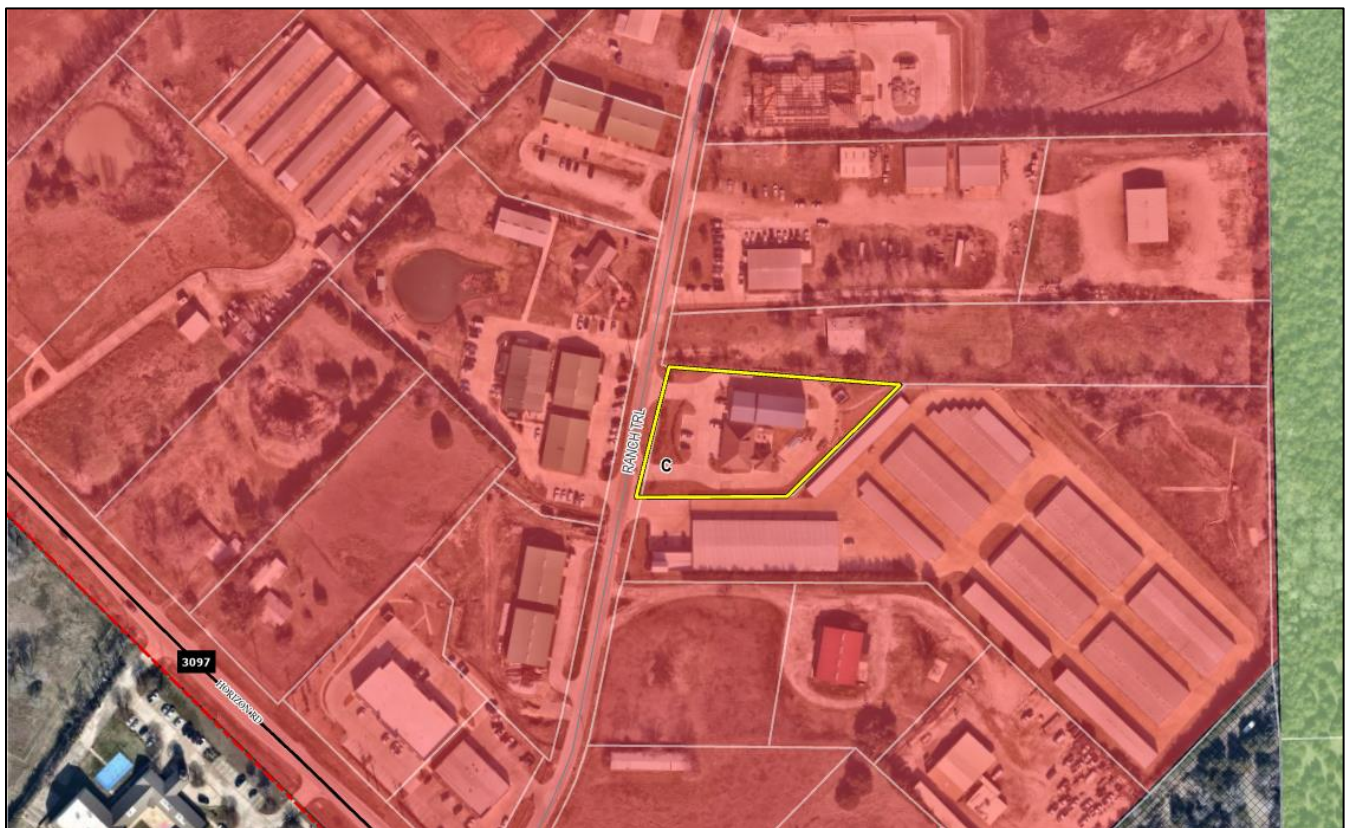
North: Directly north of the subject property is a 2.00-acre parcel of land (*i.e. part of Lot 16 of the Rainbow Acres Addition*) developed with a 2,601 SF *Office Building*. Beyond this is a 2.04-acre parcel of land (*i.e. Lot 17 of the Rainbow Acres Addition*) developed with four (4) commercial structures. Following this is a 9.76-acre parcel of land (*i.e. Lot 18 and the S. part of Lot 19 of the Rainbow Acres Addition*) that has a 13,516 SF *Office Building* under construction. All of these properties are zoned Commercial (C) District. North of this is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a 7.473-acre parcel of land (*i.e. Lot 25 of the Rainbow Acres Addition*) developed with a *Mini-Warehouse Facility*. Beyond this is a vacant 1.50-acre parcel of land (*i.e. Lot 12 of the Rainbow Acres Addition*). Following this is a 2.491-acre parcel of land (*i.e. Lot 20 of the Rainbow Acres Addition*) with a standalone 2,832 SF storage building. All of these properties are zoned Commercial (C) District. South of this is Horizon Road [FM-3097], which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 7.489-acre parcel of land (*i.e. Lot 25 of the Rainbow Acres Addition*) developed with a *Mini-Warehouse Facility* zoned Commercial (C) District. Beyond this is a vacant 131.39-acre tract of land (*i.e. Tract 43-01 of the W. W. Ford Survey, Abstract No. 80 [commonly referred to as the Wallace Tract]*) zoned Agricultural (AG) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 63 lots is zoned Planned Development District 51 (PD-51) for Single Family Estate 1.5 (SFE-1.5) District.

West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is 3.466-acre parcel of land (*i.e. Lot 1, Block A, Patriot Paws Addition*) developed with *Animal Boarding Facility* (*i.e. Patriot Paws*). Following this are two (2) parcels of land (*i.e. Lots 1-2 of the Rainbow Acres Addition*) developed with residential homes. West of this is a 4.97-acre tract of land (*i.e. Tract 26 of the W. W. Ford Survey, Abstract No. 80*) developed with a *Mini-Warehouse Facility*. All of these properties are zoned Commercial (C) District. Beyond this is Horizon Road [FM-3097], which is identified as a A4D (*i.e. arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application and a zoning exhibit requesting a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* on the subject property. Existing on the subject property is a 2,797 SF *Office Building* that was converted from a single-family home in 2018, and a 4,950 SF *Office Building* that was constructed in 2022. Based on the floor plan

provided by the applicant, the 4,950 SF *Office Building* will be split into *Office* and *Warehousing* in order to accommodate the requested *Wholesale Showroom Facility*.

CONFORMANCE WITH THE CITY'S CODES

Subsection 02.01(J), *Wholesale, Distribution, and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), defines a *Wholesale Showroom Facility* as “(a)n establishment that primarily consists of sales offices and sample display areas for products and/or services delivered or performed off-premises...retail sales of products associated with the primary products and/or services are permitted. Warehousing facilities shall be incidental to the primary use and shall not exceed 50% of the total floor area.” In this case, the applicant’s proposed use falls under this classification, and the provided floor plan indicates that 50% of the total floor area will be for *Warehousing*. According to the *Permissible Use Charts* contained in Article 04, *Permitted Uses*, of the Unified Development Code (UDC), a *Wholesale Showroom Facility* requires a Specific Use Permit (SUP) in a Commercial (C) District. The purpose of this requirement is to acknowledge that the *Wholesale Showroom Facility* land use is not appropriate within all of the City’s commercial areas, and that the City Council should have discretionary oversight with regard to this land use and their impacts within these types of districts.

STAFF ANALYSIS

According to Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district.” In review of the surrounding land uses, many of the adjacent uses are either offices or legally non-conforming warehouse land uses. Based on this, the proposed *Wholesale Showroom Facility* appears to blend with the adjacent established land uses. Staff should note, that the proposed *Wholesale Showroom Facility* is being utilized in a similar manner as the previous tenant (*i.e. Office and Storage*). Given this, the subject property conforms to the parking standards outlined within the Unified Development Code (UDC). All that being said, the approval of a Specific Use Permit (SUP) is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the *Southwest Residential District* and is situated within an area that is identified as a *Transitional Area*. According to the district, the *Transitional Area* is defined as, “...currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties...” In this case, this the proposed *Wholesale Showroom Facility* appears to be blend with the adjacent land uses within the *Transitional Area* along Ranch Trail. In addition, the *Wholesale Showroom Facility* will be required to meet the current Unified Development Code (UDC) standards.

NOTIFICATIONS

On May 20, 2025, staff mailed 34 notices to property owners and occupants within 500-feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). There were no Homeowner’s Associations (HOA’s) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was drafted, staff had not received any notices returned concerning the applicant’s request.

CONDITIONS OF APPROVAL

If the City Council chooses to approve the applicant’s request for a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* within a Commercial (C) District, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:

- (a) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The *Wholesale Showroom Facility* shall not utilize more than 50.00% of the total floor area for *Warehousing*.
 - (c) There shall be no *Outside Storage* on the *Subject Property*.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PLANNING AND ZONING COMMISSION

On June 10, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 5-0, with Commissioner Womble absent and a vacant seat.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

263 RANCH TRAIL, ROCKWALL, TX 75032

SUBDIVISION

GENERAL LOCATION

LOT

BLOCK

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

R.D. MOORMAN, INC

CONTACT PERSON

RYAN MOORMAN

ADDRESS

263 RANCH TRAIL

CITY, STATE & ZIP

Rockwall, TX 75032

PHONE

972-977-2110

E-MAIL

RYAN@RDMOORMANINC.COM

☐ APPLICANT

CONTACT PERSON

Felipe Zanotti

ADDRESS

17727 ADDISON RD,

CITY, STATE & ZIP

DALLAS, TX, 75287

PHONE

214-430-7927

E-MAIL

ZANOTTI@ZTXSURFACES.COM

NOTARY VERIFICATION [REQUIRED]

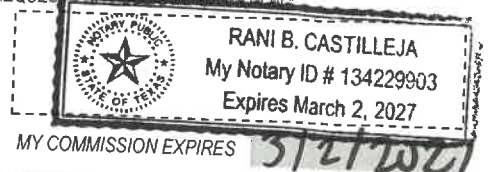
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Moorman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 15th DAY OF May, 2025

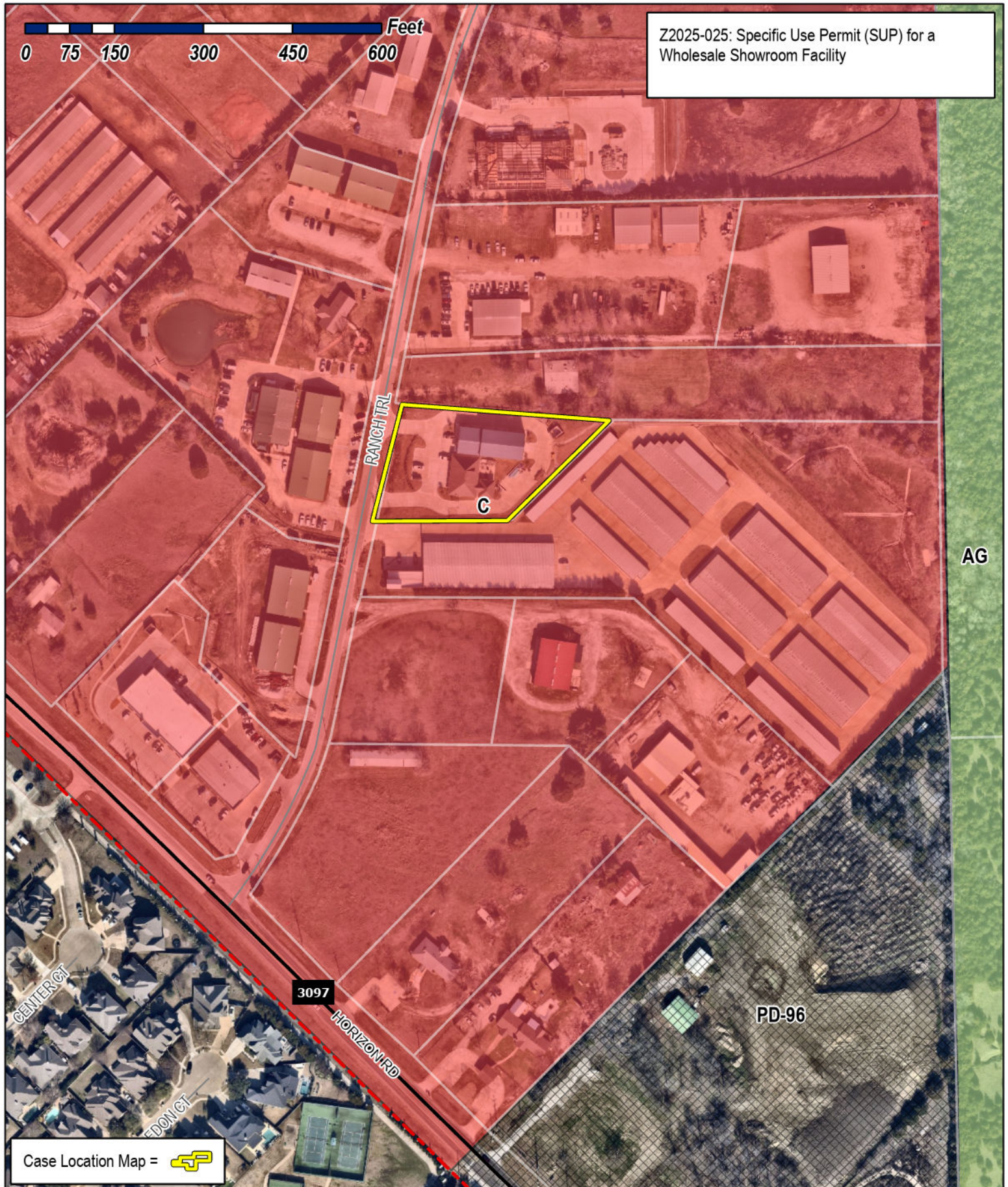
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES

3/2/2027



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

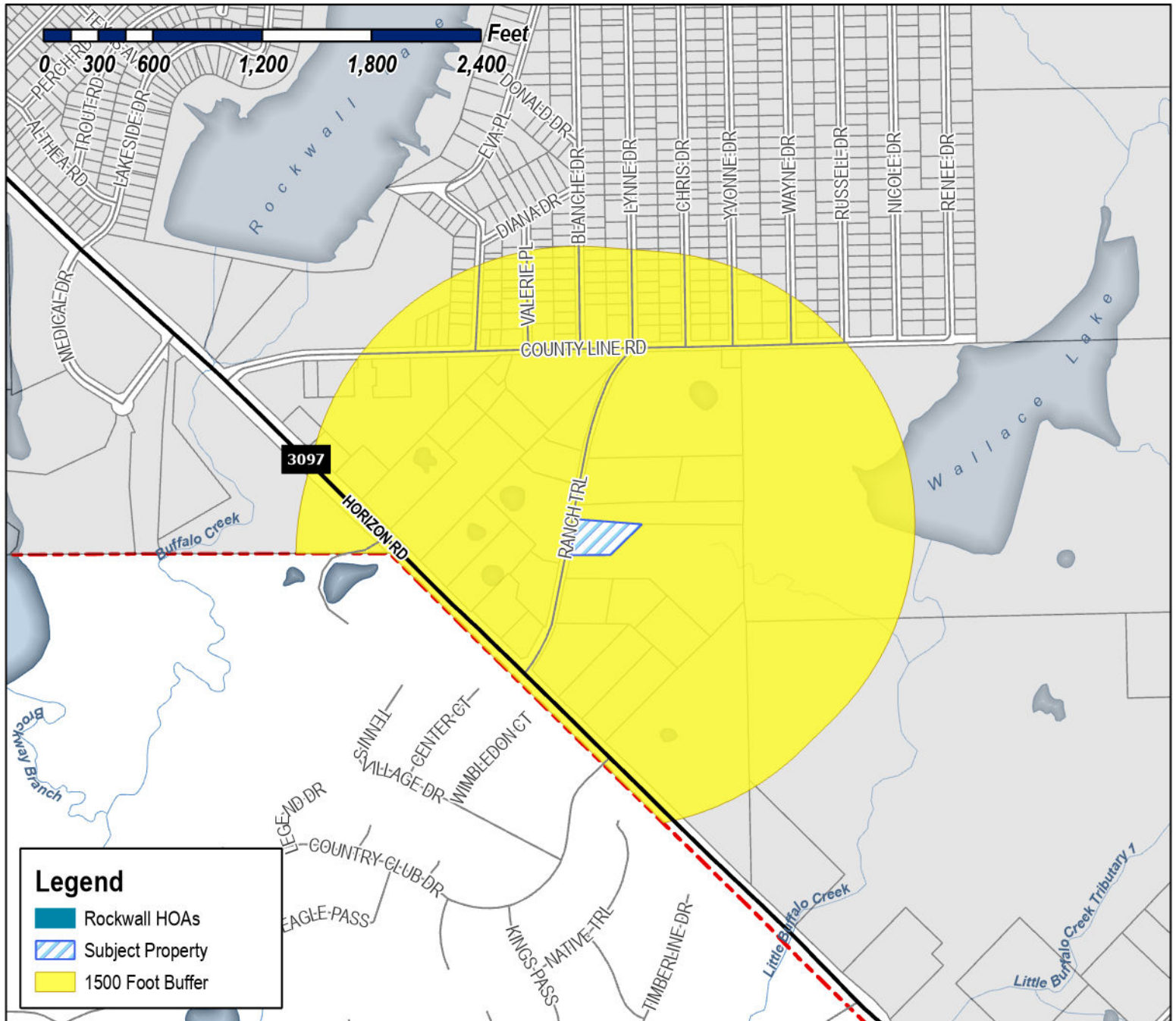




City of Rockwall

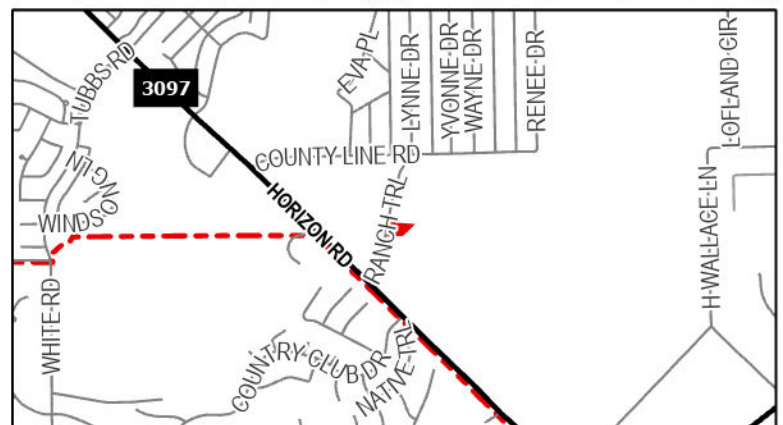
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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Case Number: Z2025-025
Case Name: Specific Use Permit (SUP) for Wholesale Showroom Facility
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 263 Ranch Trail

Date Saved: 5/16/2025
For Questions on this Case Call (972) 771-7745

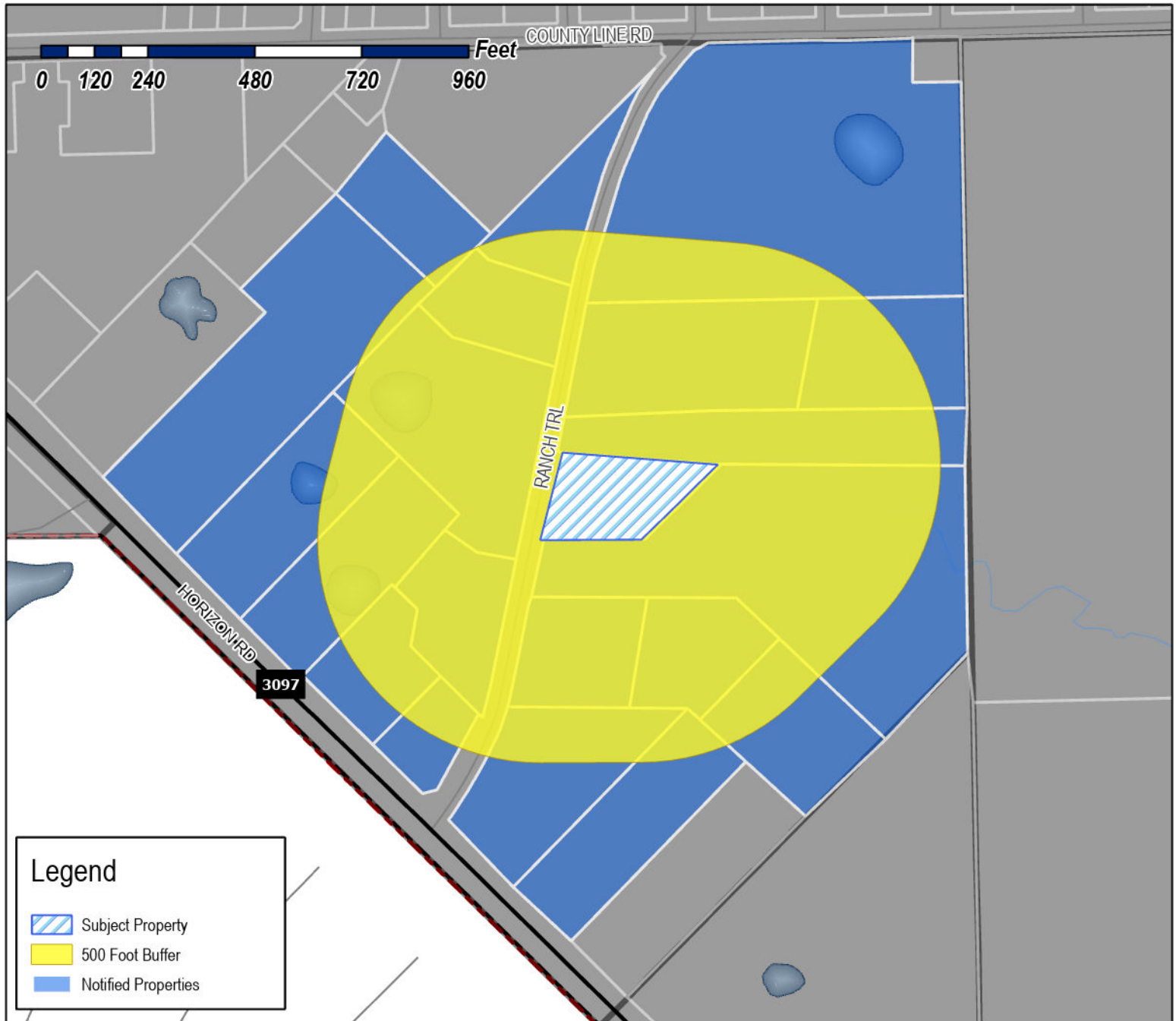




City of Rockwall

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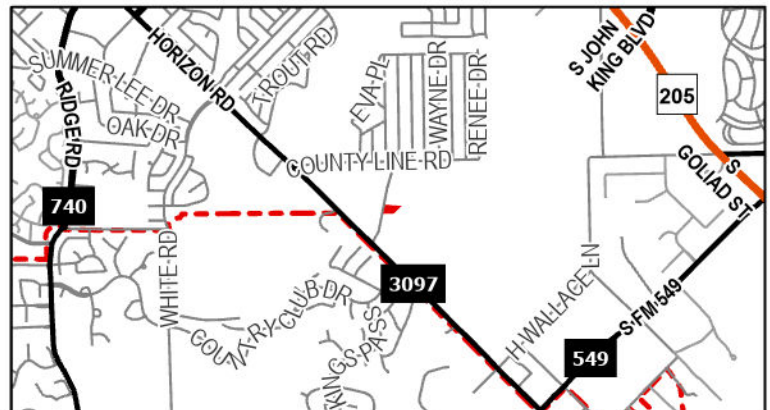
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Case Number: Z2025-025
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Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



RIDGE POINTE HORIZON LP 102 S GOLIAD #200 ROCKWALL, TX 75087	GLOBAL HOLDINGS INTERNATIONAL BUSINESS TRUST KELLI CHRISTINE HAYNIE - TRUSTEE 10500 LAKELINE MALL DR APT 5605 AUSTIN, TX 78717	ZALOMANTE LLC 1690 LYNN LN LUCAS, TX 75002
5543 FM3097 LLC 1809 BRISTOL LANE ROCKWALL, TX 75032	DOMINGUEZ SALVADOR AND DIANA DOMINGUEZ 1948 FREDIANO LN MCLENDON CHISHOLM, TX 75032	RESIDENT 196-224 RANCH TRL ROCKWALL, TX 75087
RESIDENT 207 RANCH TRL ROCKWALL, TX 75087	RESIDENT 209 RANCH TRL ROCKWALL, TX 75087	RESIDENT 231 RANCH TRL ROCKWALL, TX 75087
PATRIOT PAWS SERVICE DOGS LORI STEVENS 254 RANCH TRL ROCKWALL, TX 75032	RESIDENT 259 RANCH TRAIL ROCKWALL, TX 75087	HEATH #23 INVESTMENT, LLC 2712 IH 30 MESQUITE, TX 75150
RESIDENT 285 RANCH TRL ROCKWALL, TX 75087	RESIDENT 295 RANCH TRAIL ROCKWALL, TX 75087	RESIDENT 315 RANCH TRAIL ROCKWALL, TX 75087
RANCH TRAIL VENTURES LLC 315 RANCH TRAIL ROCKWALL, TX 75032	RAAA REAL ESTATE LLC 3508 McFarlin Blvd Dallas, TX 75205	KUMAR ATUL 3508 MCFARLIN BLVD DALLAS, TX 75205
CPIV-354 RANCH TRAIL LLC 354/356 RANCH TRL ROCKWALL, TX 75032	RESIDENT 354-356 RANCH TRL ROCKWALL, TX 75087	RESIDENT 382 RANCH TRL ROCKWALL, TX 75087
RESIDENT 405 RANCH TRL ROCKWALL, TX 75087	TRUMAN HEIGHTS LLC 4741 PARKWOOD DR ROCKWALL, TX 75032	DIVAGOZ PROPERTIES LLC 494 Lynne Dr Rockwall, TX 75032
BIG LEAGUE SPORTS ACADEMY INC 5508 FOREST LANE DALLAS, TX 75230	RESIDENT 5573 FM3097 ROCKWALL, TX 75087	RESIDENT 5627 HORIZON RD ROCKWALL, TX 75087
RESIDENT 5653 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 HORIZON RD ROCKWALL, TX 75087

HORIZON ROAD SELF STORAGE LLC
5763 S State Highway 205 Ste 100
Rockwall, TX 75032

RESIDENT
5811 FM3097
ROCKWALL, TX 75087

HOMEBANK TEXAS
P O BOX 909
SEAGOVILLE, TX 75159

KUMAR ATUL
3508 MCFARLIN BLVD
DALLAS, TX 75205

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility

Hold a public hearing to discuss and consider a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a Specific Use Permit (SUP) for a Wholesale Showroom Facility on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, June 10, 2025 at 6:00 PM, and the City Council will hold a public hearing on Monday, June 16, 2025 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, June 16, 2025 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

[PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE](#)

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

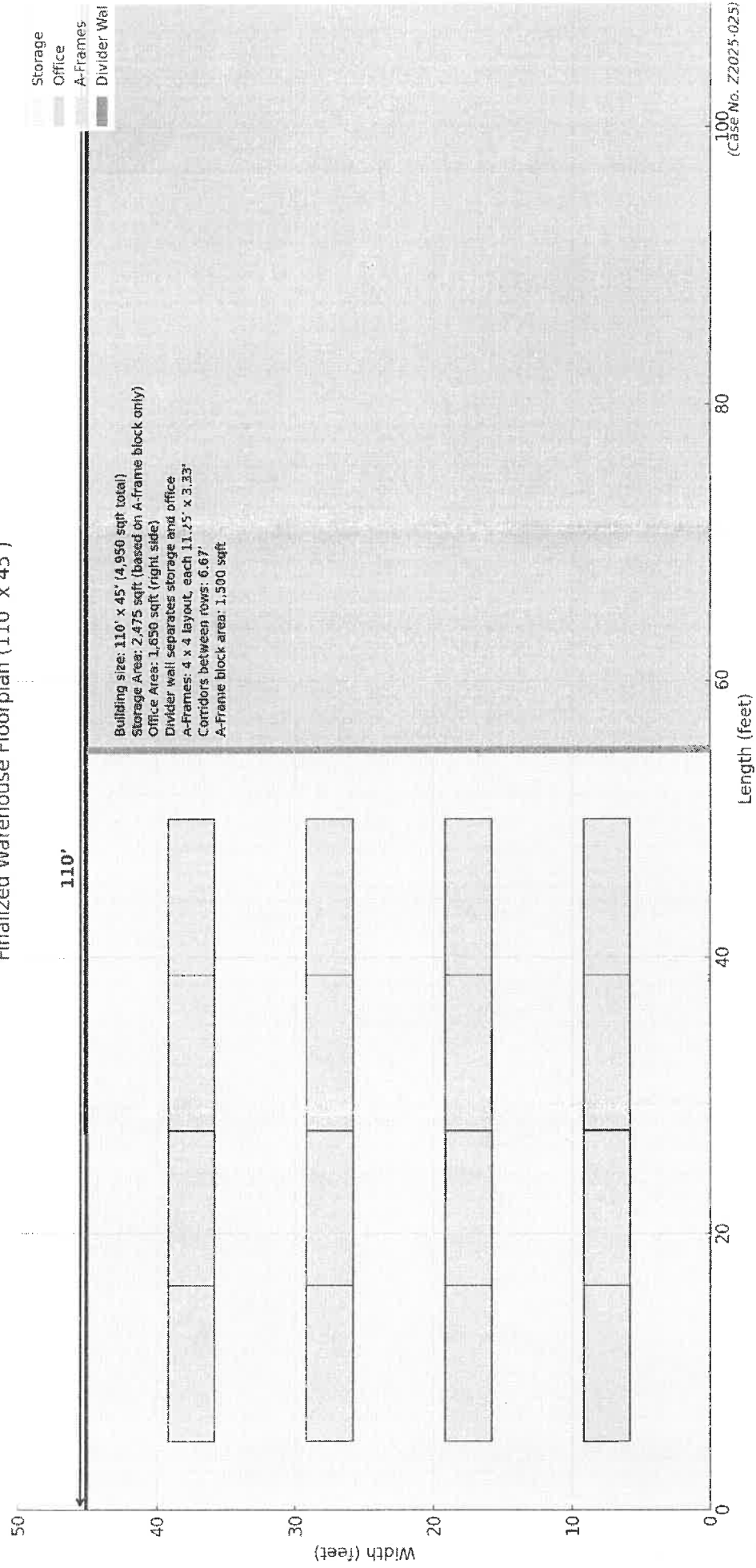
Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance

Finalized Warehouse Floorplan (110' x 45')



CITY OF ROCKWALL

ORDINANCE NO. 25-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *WHOLESALE SHOWROOM FACILITY* ON A 1.2220-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 26 OF THE RAINBOW ACRES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a *Wholesale Showroom Facility* on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Wholesale Showroom Facility* on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Wholesale Showroom Facility* shall not utilize more than 50% of the total floor area for *Warehousing*.
- 3) There shall be no *Outside Storage* on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF JULY, 2025.**

Tim McCallum, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: June 16, 2025

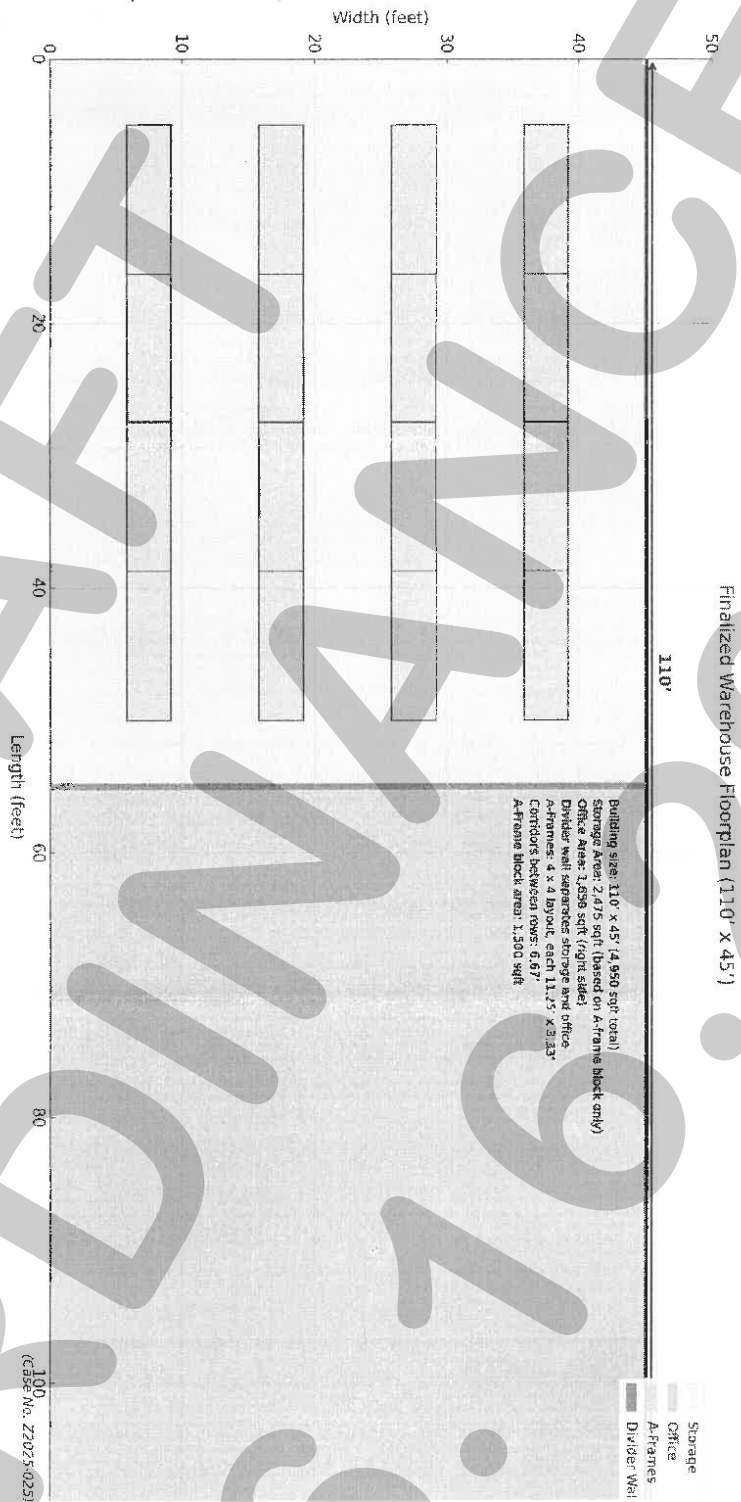
2nd Reading: July 7, 2025

Exhibit 'A':
Location Map

LEGAL DESCRIPTION: Lot 26 of the Rainbow Acres Addition
ADDRESS: 263 Ranch Trail



Exhibit 'B':
Floor Plan





DATE: July 11, 2025

TO: Felipe Zanotti
17727 Addison Road
Dallas, TX 75287

CC: Ryan Moorman
RD Moorman, Inc.
263 Ranch Trail
Rockwall, TX 75032

FROM: Henry Lee, AICP
City of Rockwall Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

SUBJECT: Z2025-025; *Specific Use Permit (SUP) for 263 Ranch Trail*

Felipe Zanotti:

This letter serves to notify you that the above referenced zoning case that you submitted for consideration by the City of Rockwall was approved by the City Council on July 7, 2025. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommendations

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the *Floor Plan* as depicted in *Exhibit 'B'* of this ordinance; and,
 - (b) The *Wholesale Showroom Facility* shall not utilize more than 50.00% of the total floor area for *Warehousing*; and,
 - (c) There shall be no *Outside Storage* on the *Subject Property*.

Planning and Zoning Commission

On June 10, 2025, the Planning and Zoning Commission approved a motion to recommend approval of the SUP by a vote of 5-0, with Commissioner Womble absent and a vacant seat.

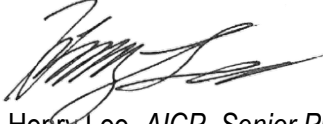
City Council

On June 16, 2025, the City Council approved a motion to approve the SUP by a vote of 6-0, with Council Member Campbell absent.

On July 7, 2025, the City Council approved a motion to approve the SUP by a vote of 6-0, with Council Member Campbell absent.

Included with this letter is a copy of *Ordinance No. 25-35, S-366*, which is the regulating ordinance adopted with the City Council's approval of this case. Should you have any questions or concerns regarding your zoning case, please feel free to contact me at (972) 772-6434.

Sincerely,

A handwritten signature in black ink, appearing to read "Henry Lee", with a stylized flourish at the end.

Henry Lee, AICP, *Senior Planner*
City of Rockwall Planning and Zoning Department

CITY OF ROCKWALL

ORDINANCE NO. 25-35

SPECIFIC USE PERMIT NO. S-366

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR A *WHOLESALE SHOWROOM FACILITY* ON A 1.2220-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 26 OF THE RAINBOW ACRES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Felipe Zanotti on behalf of Ryan Moorman of R. D. Morman, Inc. for the approval of a *Wholesale Showroom Facility* on a 1.2220-acre parcel of land identified as Lot 26 of the Rainbow Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 263 Ranch Trail, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for a *Wholesale Showroom Facility* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 04.05, *Commercial (C) District*, and Subsection 04.01, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Wholesale Showroom Facility* on the Subject Property and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Floor Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Wholesale Showroom Facility* shall not utilize more than 50% of the total floor area for *Warehousing*.
- 3) There shall be no *Outside Storage* on the *Subject Property*.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7th DAY OF JULY, 2025.**


Tim McCallum, Mayor

ATTEST:

Kristy Teague
Kristy Teague, City Secretary

APPROVED AS TO FORM:

Frank J. Garza
Frank J. Garza, City Attorney

1st Reading: June 16, 2025

2nd Reading: July 7, 2025



Exhibit 'A':
Location Map

LEGAL DESCRIPTION: Lot 26 of the Rainbow Acres Addition
ADDRESS: 263 Ranch Trail



Exhibit 'B': **Floor Plan**

