

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

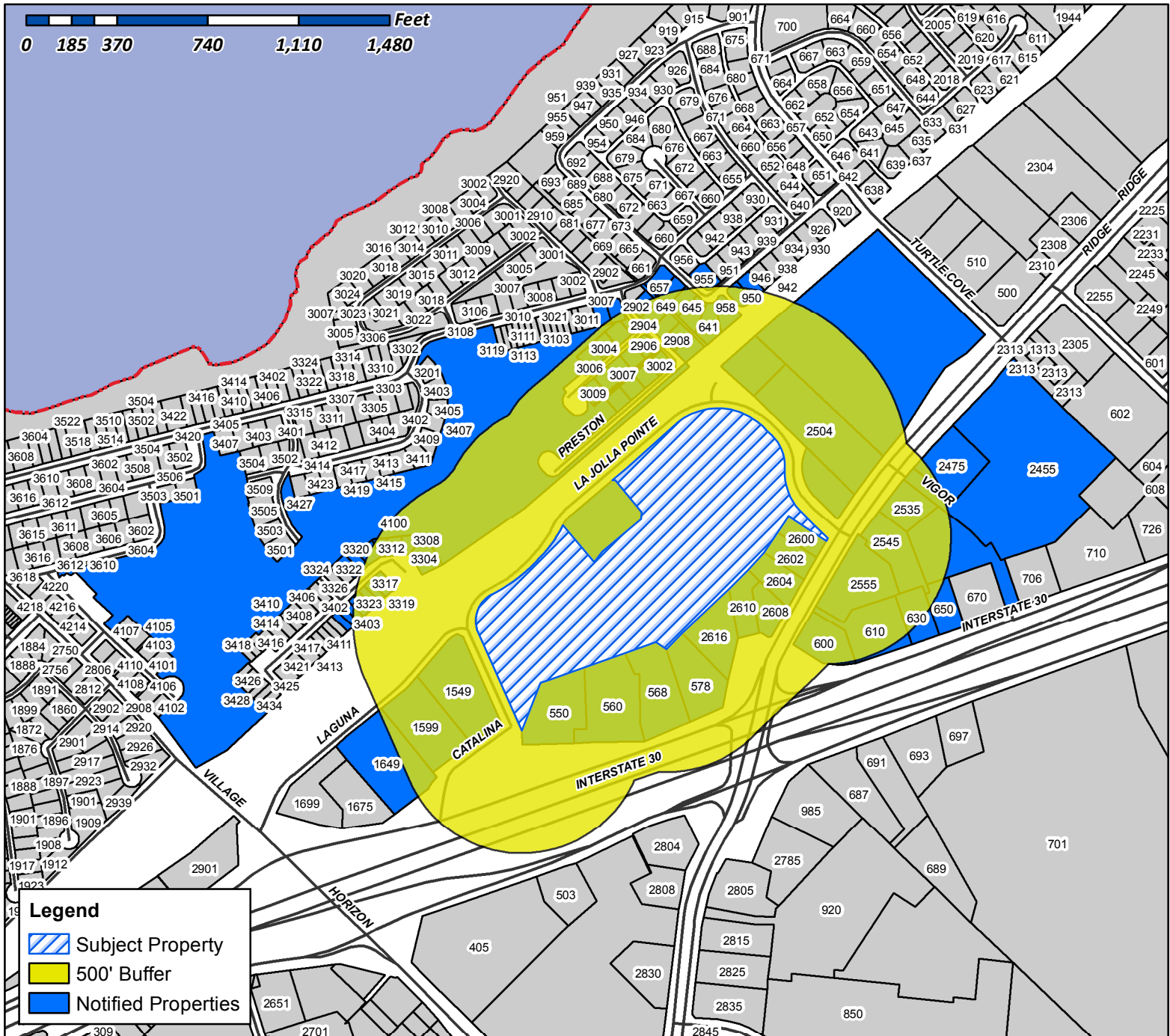




City of Rockwall

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Case Number: Z2016-011
Case Name: Davis Apartments at La Jolla Pointe
Case Type: Zoning
Zoning: Planned Development (PD) District
Case Address: Intersection of Laguna Drive and La Jolla Pointe

Date Created: 03/14/2016

For Questions on this Case Call (972) 771-7745



WENDY'S INTERNATIONAL INC
ATTN:PROPERTY TAX
1 DAVE THOMAS BLVD
DUBLIN, OH 43017

STEAK N SHAKE OPERATIONS, INC
C/O THE STEAK N SHAKE COMPANY
107 S PENNSYLVANIA ST SUITE 400
INDIANAPOLIS, IN 46204

BOLD LLC
121 WYLER DR
DAKOTA, IL 61018

LANDRY'S RESTAURANTS INC
DBA SALTGRASS STEAKHOUSE
1510 WEST LOOP S
HOUSTON, TX 77027

THOMPSON PAUL & KIALITHA
1512 BETSY LN
IRVING, TX 75061

CURRENT RESIDENT
1549 LAGUNA DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1599 LAGUNA DR
ROCKWALL, TX 75087

COMPUTER SCIENCE INNOVATIONS LLC
16487 FREDERICK RD
WOODBINE, MD 21797

CURRENT RESIDENT
1649 LAGUNA DR
ROCKWALL, TX 75087

ASHTON CUSTER LLC
1800 VALLEY VIEW LN SUITE 100
FARMERS BRANCH, TX 75234

ROCKWALL OCEANHILL LLC
C/O GEORGE RAUST
200 GLENWOOD CIR BOX 316
MONTEREY, CA 92940

PREWITT LEE AND CONNIE
2010 PONTCHERTRAIN DR
ROCKWALL, TX 75087

HARRIS RICHARD DALE & JUDY A
210 GLENN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
2455 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2475 RIDGE RD
ROCKWALL, TX 75087

BROOKS RICHARD L DR
2504 RIDGE RD STE 107
ROCKWALL, TX 75087

BROOKS RICHARD L MD
2504 RIDGE RD STE 101
ROCKWALL, TX 75087

CURRENT RESIDENT
2535 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2545 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2555 RIDGE RD
ROCKWALL, TX 75087

HANKINS NORMA A AND
MICA L MEYER
2571 VIVROUX RANCH RD
SEGUIN, TX 78155

BELAC PROPERTIES LLC
2600 RIDGE RD STE 102
ROCKWALL, TX 75087

CURRENT RESIDENT
2602 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2604 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2608 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2610 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
2616 RIDGE RD
ROCKWALL, TX 75087

LINDEMAN JULIE A & BOBBY L
2902 PRESTON TRL
ROCKWALL, TX 75087

LEE JAMES H AND BARBARA
2904 PRESTON TR
ROCKWALL, TX 75087

ALLEN KIM L & LINDA
2906 PRESTON TRL
ROCKWALL, TX 75087

CURRENT RESIDENT
2908 PRESTON TR
ROCKWALL, TX 75087

EHLERT GORDON W & LINDA K
3001 PRESTON CT
ROCKWALL, TX 75087

CURRENT RESIDENT
3002 PRESTON TR
ROCKWALL, TX 75087

SALLS CAROL J
3002 PRESTON CT
ROCKWALL, TX 75087

CURRENT RESIDENT
3003 LAKESIDE DR
ROCKWALL, TX 75087

STURCH GARY D & CANDACE F
3003 PRESTON CT
ROCKWALL, TX 75087

CARPENTER DALE MARTIN
3004 PRESTON CT
ROCKWALL, TX 75087

CURRENT RESIDENT
3005 PRESTON CT
ROCKWALL, TX 75087

HAMBLEY DAVID L JR & CAROL A
3006 PRESTON COURT
ROCKWALL, TX 75087

CHILDRESS DENNIS K JR & HILARY
3007 LAKESIDE DR
ROCKWALL, TX 75087

JOHNSON RAMONA
3007 PRESTON CT
ROCKWALL, TX 75087

ZUMWALT HAROLD J & VICKY
3009 PRESTON CT
ROCKWALL, TX 75087

NERKOWSKI FRANK A & PAMELA JO
3304 AUGUSTA BLVD
ROCKWALL, TX 75087

DANIELS BENNIE & GLORIA
3308 AUGUST BLVD
ROCKWALL, TX 75087

TARON MARK
3312 AUGUSTA BLVD
ROCKWALL, TX 75087

REED FRANCES GEAN
3316 AUGUSTA BLVD
ROCKWALL, TX 75087

ALLISON SHERRIE D
3317 AUGUSTA BLVD
ROCKWALL, TX 75087

BOBO LOUISE
3319 AUGUSTA BLVD
ROCKWALL, TX 75087

BOND PATRICIA A
3320 AUGUSTA BLVD
ROCKWALL, TX 75087

HOLLAND CHARLES A & BARBARA K
3321 AUGUSTA BLVD
ROCKWALL, TX 75087

SLOVAK PAMELA A
3322 AUGUSTA BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
3323 AUGUSTA BLVD
ROCKWALL, TX 75087

PARK PLACE REALTY & PROPERTY
MANAGEMENT LLC
3325 AUGUSTA BLVD
ROCKWALL, TX 75087

WOOD CHARLES D
3327 AUGUSTA BLVD
ROCKWALL, TX 75087

WILLMON KEVIN LEE
3329 AUGUSTA BLVD
ROCKWALL, TX 75087

VOHRA SURINDER L
C/O JULIA VOHRA
3401 AUGUSTA BLVD
ROCKWALL, TX 75087

GALLIGUEZ PRESILO & ANNABELLE
3403 AUGUSTA BLVD
ROCKWALL, TX 75087

NOTY INVESTMENTS LLC
4001 BRIDGEPORT DR
PLANO, TX 75093

LAKESIDE VILLAGE H O ASSOC
4100 VILLAGE DR
ROCKWALL, TX 75087

LAKESIDE VILLAGE HOMEOWNERS
4100 VILLAGE DR
ROCKWALL, TX 75087

ZAFAR PERRY AND
NASEEM JAMIL
4603 FOREST PARK ROAD
PLANO, TX 75024

CBAX PROPERTIES LLC
465 W PRESIDENT GEORGE BUSH HWY
RICHARDSON, TX 75080

CURRENT RESIDENT
550 E I30
ROCKWALL, TX 75087

CURRENT RESIDENT
560 E I30
ROCKWALL, TX 75087

CURRENT RESIDENT
568 E I30
ROCKWALL, TX 75087

CURRENT RESIDENT
578 E I30
ROCKWALL, TX 75087

ROCKWALL CORNER CORPORATION
600 E I-30
ROCKWALL, TX 75087

ROCKWALL RMKP LP
6005 SILVERLEAF LN
GARLAND, TX 75043

CURRENT RESIDENT
610 I30
ROCKWALL, TX 75087

CAMBRIDGE COURT LLC
6124 LA JOLLA MESA DR
LA JOLLA, CA 92037

RDF 188 30 & RIDGE ROCKWALL TX P1 LLC
620 E SOUTHLAKE BLVD
SOUTHLAKE, TX 76092

CURRENT RESIDENT
630 I 30
ROCKWALL, TX 75087

ZASTROW BRADLEY L & SANDRA D
641 CHANNEL RIDGE DR
ROCKWALL, TX 75087

JOHNSTON LISA P & MARK
645 CHANNEL RIDGE DR
ROCKWALL, TX 75087

SVRCEK JOSEPH T
649 CHANNEL RIDGE DR
ROCKWALL, TX 75087

PAUL'S KWIK KAR INC
650 E INTERSTATE 30
ROCKWALL, TX 75087

HYATT FAMILY TRUST
6525 NORTH FLY IN LAKE RD
ATHENS, TX 75751

MCCOY RAYMOND & BELVA
653 CHANNEL RIDGE DR
ROCKWALL, TX 75087

ZAHN TERRENCE T AND JENNIFER A
657 CHANNEL RIDGE DR
ROCKWALL, TX 75087

POP HOLDINGS LP
7750 N MACARTHUR BLVD STE 120-121
IRVING, TX 75063

AMM FA PROPERTIES LLC
8113 MUNICH DR
ROWLETT, TX 75089

DAVID HOGG BUILDING LLC
8652 W ROWEL RD
PEORIA, AZ 85383

ROCKWAY PARTNERS LLP
C/O JOHN HAMMERBECK
9071 E VASSAR AVE
DENVER, CO 80231

MIRANDA VINOD
9105 BRIARCREST DR
ROWLETT, TX 75089

MCDONALDS CORP (398/42)
C/O KEVA CHILDRESS
935 W RALPH HALL PKWY #101
ROCKWALL, TX 75032

SANDERS JOE D & JOLINDA
950 BRIAR OAK DR
ROCKWALL, TX 75087

MUNIZ SYLVIA D
954 BRIAR OAK DR
ROCKWALL, TX 75087

GERRALD SCOTT W & JUDY A
955 BRIAR OAK DR
ROCKWALL, TX 75087

PRICE JAMES
9550 FOREST LN #714
DALLAS, TX 75243

DEEN LAUREN
958 BRIAR OAK DR
ROCKWALL, TX 75087

ROBERT H FAMILY TRUST AND BMK FIN CORP
SHERRI LANE HEWETT AND SUSAN LYNNE C/O
IHOP ATTN HAKIM REMA
5743 STONEGATE RD
DALLAS, TX 75209

PASTEM CORP
PO BOX 600433
DALLAS, TX 75360

LANDAU PROPERTIES LP
PO BOX 601679
DALLAS, TX 75360

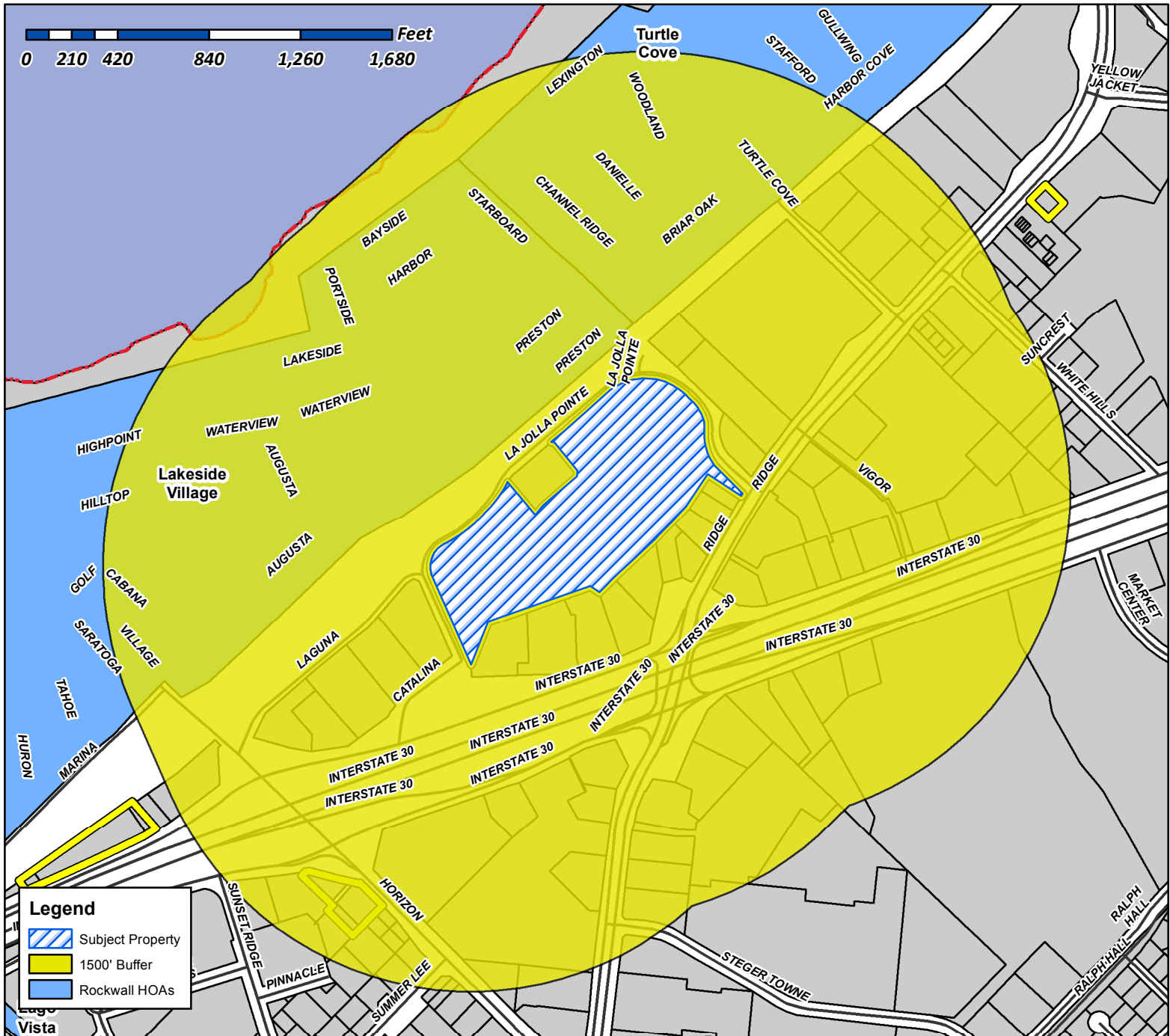
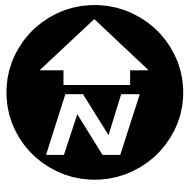
ROCKWALL II PROPERTIES LLC
PO BOX 630768
HOUSTON, TX 77263

WAFFLE HOUSE INC
ATTN: TAX DEPT
PO BOX 6450
NORCROSS, GA 30091

City of Rockwall

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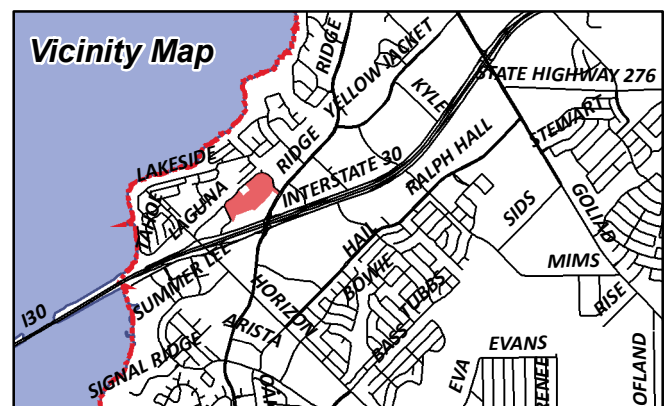
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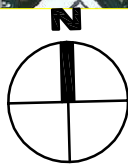
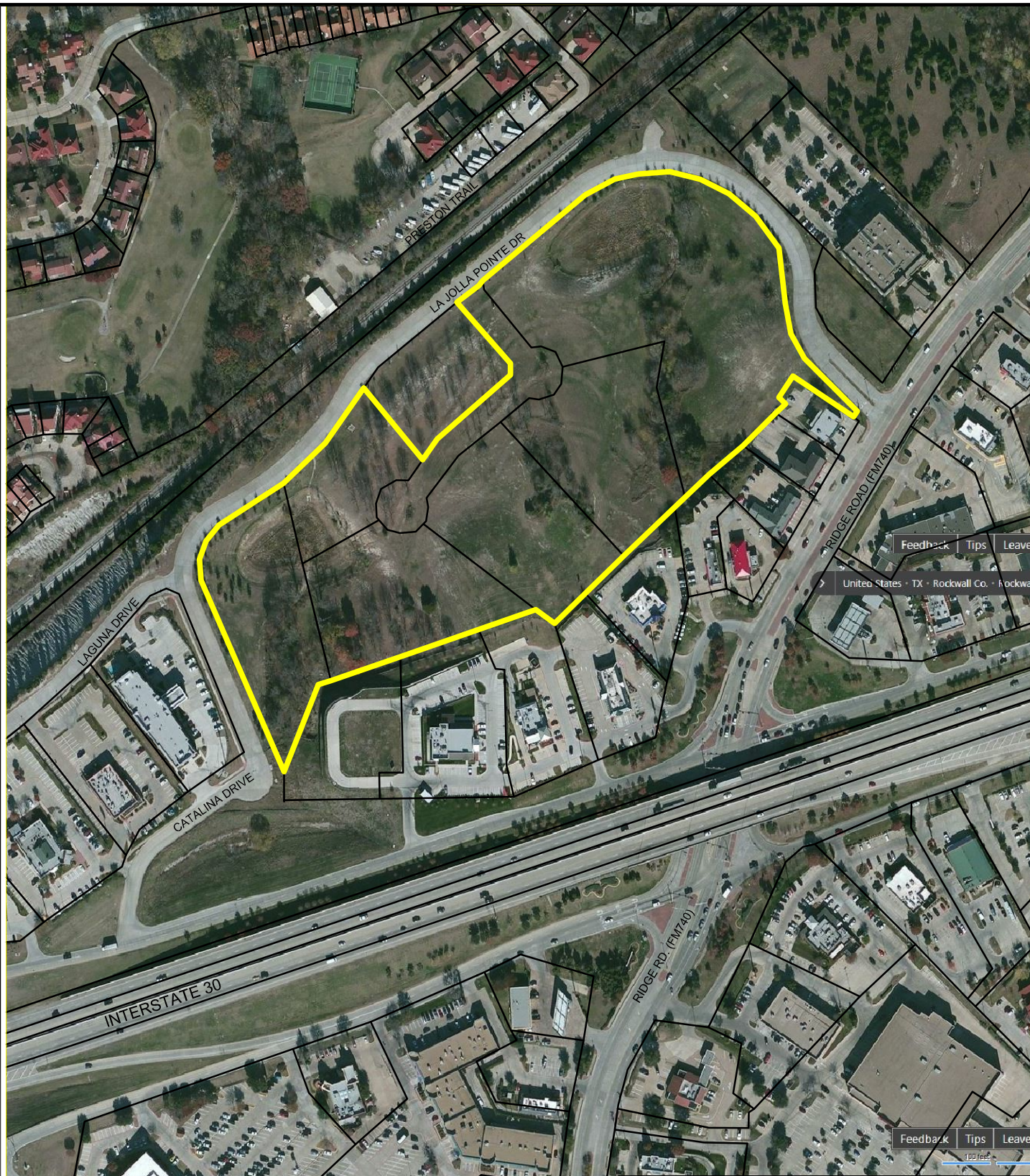


Case Number: Z2016-011
Case Name: Davis Apartments at La Jolla Pointe
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: Intersection of Laguna Drive and
 La Jolla Pointe

Date Created: 3/11/2016

For Questions on this Case Call (972) 771-7745





0 300 600
Feet

LOCATION MAP
PLANNED DEVELOPMENT
DAVIS APARTMENTS AT
LA JOLLA POINTE

12750 Merit Dr., Ste. 425, Dallas, TX 75251 TBPE FIRM NO. 10834

BURGESS & NIPLE

BURGESS & NIPLE

Burgess & Niple, Inc.

12750 Merit Dr.

Suite 425

Dallas, Texas 75251

972.620.1255 x6037

LETTER OF TRANSMITTAL

DATE: 3-11-2016

JOB NO.: 54731

RE: Davis Apartments at La Jolla Pointe
Lots 6-11, Block A + Carmel Circle R.O.W.

TO: City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, TX 75087

WE ARE SENDING YOU: ☒ Attached ☐ Under separate cover via _____ the following items:

- ☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☐ _____

COPIES	DATE	NO.	DESCRIPTION
1	3/7/16	024732	Check for zoning change application fee (\$464)
1	3/11/16		Disk (PDF copies of items below)
1	3/11/16		Letter of Explanation / Intent
1	3/7/16		Development Application for zoning change
4	3/10/16		Location Map with aerial photograph and PD boundary overlay
4	3/11/16		PD Development Standards
4	3/11/16		Property Description exhibit of PD area (1, 11x17 sheet)
4	3/11/16		PD Concept Plan (1, 24x36 sheet)
4	3/11/16		Building Elevations in color (10, 24x36 sheets)

THESE ARE TRANSMITTED:

- ☐ For Approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for correction ☐ Return _____ corrected prints
☒ For review and comment ☐ _____

REMARKS:

Traffic study and tree survey are currently in process and will be forwarded to the City when complete.

COPY TO: _____

SIGNED: Benjamin Mikesell, PE



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
☐ Final Plat (\$300.00 + \$20.00 Acre)¹
☐ Replat (\$300.00 + \$20.00 Acre)¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☒ Zoning Change (\$200.00 + \$15.00 Acre)¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

PROPERTY INFORMATION [PLEASE PRINT]

Address **La Jolla Pointe Drive**

Subdivision **La Jolla Pointe Addition, Phase 2 (& Carmel Circle -Ex. City ROW)** Lot **6-11** Block **A**

General Location **Property is bounded on west, north and east by La Jolla Pointe Dr, north of existing commercial prop. along I-30**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **Commercial (C) District**

Current Use **Vacant**

Proposed Zoning **Planned Development District**

Proposed Use **Multi-family**

Acreage **17.60** Lots [Current] **6 (& Ex. City ROW)** Lots [Proposed] **1**

☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner **Rockway Partners LLP (Owner of Lts 6-11, Blk A)**

☐ Applicant **Davis Development**

Contact Person **Jim Kirby**

Contact Person **Fred Hazel**

Address **5720 LBJ Freeway, Suite 470**

Address **403 Corporate Center Dr.**

Suite 201

City, State & Zip **Dallas, Texas 75240**

City, State & Zip **Stockbridge, GA 30281**

Phone **9726612145**

Phone **7704744345**

E-Mail **kimlawrencepc.com**

E-Mail **fred@davisdevga.com**

NOTARY VERIFICATION [REQUIRED]

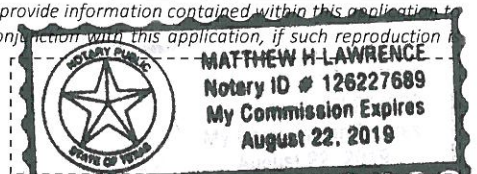
Before me, the undersigned authority, on this day personally appeared Jim Kirby [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 464.00, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20____. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 7th day of March, 2016.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas



My Commission Expires

8/22/19

BURGESS & NIPLE

12750 Merit Drive | Park Central 7 | Suite 425 | Dallas TX 75251 | 972.620.1255

March 11, 2016

City of Rockwall - Planning and Zoning Department
Attention: Ryan Miller, AICP, Director of Planning
385 S. Goliad Street
Rockwall, Texas 75087

Re: Letter of Intent – 17.595 Acre Planned Development (Davis Apartments at La Jolla Pointe)

To Planning and Zoning Department:

Our Client, Davis Development, would like to formally submit an application for a 17.595 acre multi-family (MF) planned development (PD) in Rockwall. The subject property is bounded by La Jolla Pointe Drive on the north, east and west and is located on the north side of I-30 behind existing commercial development including the Mellow Mushroom, Logan's Roadhouse, Taco Cabana, Steak 'n Shake, IHOP among others. The 17.595 acre PD is proposed to include Lots 6 – 11, Block A of La Jolla Point Addition, Phase 2 (16.449 acres) and the proposed public right-of-way of Carmel Circle (1.146 acres). Carmel Circle was platted as a public right-of-way when the subject property was subdivided. We propose that Carmel Circle will be abandoned and included within the PD boundary. The subdivided lots (Lots 6-11) and Carmel Circle will be recombined during the platting process, after the zoning change process is complete.

The site is currently zoned Commercial (C), located in the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, and our Client requests that the site be rezoned as a Planned Development for multi-family use. The proposed PD will be developed in one (1) phase and consist of seven (7), 3-story/4-story split level buildings and one (1) 3-story building with approximately 272 total units. A leasing office, clubhouse and fitness area will also be included in the "L" shaped building located at the main entrance. The building mix chart that lists the approximate unit mix, unit size and overall building square footages, is shown on the PD Concept Plan attached with this letter. A mail kiosk, maintenance/car wash building and a pool amenity area are also proposed for the residents' use.

Attached with this letter are the following: (1) Completed Development Application for zoning change, (2) Check for \$464 for zoning change application fee, (3) PD Concept Plan, (4) PD Development Standards, (5) Property Description of PD area, (6) Location Map with aerial photograph and PD Boundary Overlay, and (7) Typical Building Elevations for city review and comment. Should you have any questions, please feel free to contact me at 972.620.1255, extension 6037.

Respectfully submitted,

Burgess & Niple, Inc.

TBPE FIRM REGISTRATION NO. F-10834



Benjamin Mikesell, P.E.
Project Manager

Cc: Fred Hazel – Davis Development

PD Development Standards (March 11, 2016)
Davis Apartments at La Jolla Pointe

- A. Application and boundaries. The standards and regulations set forth in this Planned Development Design Criteria document shall supersede the standards and regulations of any underlying zoning or overlay district entirely. This Planned Development is specifically exempted from the following sections of the Unified Land Development Code (ULDC):
- a. Article V, §3.6.11 requiring open space with minimum dimension of 200' by 150'
 - b. Article V, §6.3 prohibiting more than 500 multi-family units within a 1-mile radius
 - c. Article V, §6.8.C (and any other section) requiring a Specific Use Permit for any structure over 36 feet.
 - d. Article X, §1.2.C requiring fifty (50) acres minimum for a Planned Development
- B. Uses
1. Permitted uses. Multi-family (apartment)
 2. Permitted accessory uses: pools, cabanas, attached/detached garages, parking shade structures (carports), patios, plazas and recreational open spaces (active and passive)
- C. Site Development Standards
1. Maximum multi-family units: 272
 2. Minimum building setback requirements:
 - a. Front: 25 feet
 - b. Side: 10 feet
 - c. Rear: 10 feet
 3. Minimum parking/carport setback
 - a. Front: 15 feet
 - b. Side: 5 feet
 - c. Rear: 5 feet
 4. Minimum separation between buildings on same lot:
 - a. 10 feet from main to accessory buildings.
 - b. 20 feet for two main buildings with doors or windows in facing walls.
 - c. 15 feet for two main buildings without doors or windows in facing walls.
 5. Maximum building height: 4-story (62 feet as measured from ground to building ridgeline)
 6. Maximum building coverage as a percentage of lot area: 45%
 7. Minimum open space required. 20% of the total lot area
 - a. Minimum open space areas include active or passive recreational areas in a natural, landscaped or manicured state.
 - b. Amenity areas including swimming pools and other recreational facilities and landscaped areas may be included in the required open space calculation.
 8. Off-street Parking
 - a. Off-street parking shall be in accordance with article VI, Parking and Loading.
 - b. Tandem spaces, minimum 18' deep by 9' wide and aligning with garages, may be counted toward the required parking calculation.
 - c. Garage spaces may be counted toward the required parking calculation.
 9. Landscape standards. As a minimum, the site will meet the standards set out in article VIII, Landscape Standards, except as listed below.
 - a. Parking lot landscaping (replace s. 5.9)
 - i. Provide 1 canopy tree per 10 parking spaces. Trees are to be planted within islands or within 20 feet of parking areas.

- ii. Provide landscaped island within parking areas at a minimum of every 20 parking spaces.
 - iii. No tree may be planted closer than 2-1/2 feet to the pavement.
- b. Required landscaping: 20% of total lot area (s. 5.12)
(Includes turf or planted areas only. Areas preserved in a natural state are excluded from required calculation.)
- 10. Trash receptacles and recycling receptacles. (from I-30 Overlay, s. 6.6.D.5)
 - a. Trash and recycling receptacles shall be screened by a solid masonry screen, minimum eight-foot high, four-sided, with a gate.
 - b. Masonry screen shall utilize similar masonry materials to the principal structure.
- 11. Signs. All signage shall conform to [chapter 32 of the Code of Ordinances] (sign ordinance).

D. Architectural standards. (adapted from and supersedes entirely Sec. 6.6. - IH-30 Overlay District)

1. Masonry requirements. Each exterior wall shall consist of 90 percent masonry materials, excluding doors and windows, as defined in article XII, Definitions, excluding cast stone and cultured stone, on walls which are visible from a public street or open space, including a minimum of 20 percent natural or quarried stone.
 - a. Primary exterior materials shall include natural or quarried stone, brick, glass block or glass, tile, cast metal and custom concrete masonry units. The use of other cementaceous products (e.g. stucco, Hardy Plank, or other similar materials approved by the building official) shall be limited to 50 percent of the building's exterior finishes where it is deemed important as a design feature and where it will be applied under the highest standards for quality and durability. However, stucco may not be located in the first four feet above grade on a facade visible from a street or public area. Each elevation's masonry requirement shall incorporate accent bricks or stones. As the term is used, an "accent brick or stone" is one that provides a contrast by color, shape, size, and/or texture to the field of primary bricks or stones in an elevation. Additionally, the Planning and Zoning Commission may consider the use of high quality manufactured or cultured stone if the following standards of manufacturing and warranty apply to the product;
 - That the manufacturing molds should be made from actual stones and each piece should complement each other having the right shape, texture, size and detail of natural stone;
 - That the overtones of color should be integrated into the stone during the molding process, while the base color of the stone is blended entirely throughout;
 - That highly skilled artisans should be utilized to hand paint each piece in order to give each stone depth and variation of color;
 - That the use of the highest quality synthetic mineral oxides should be used to infuse the surface with rich, authentic tones; and
 - That the manufactured stone product shall have a minimum warranty of 75 years.
 - b. Secondary materials used on the facade of a building are those that comprise less than ten percent of an elevation area. Permitted secondary materials are all primary materials, aluminum or other metal, EIFS, cast stone, cultured stone or other materials as approved by the director of planning or his designee.
2. Roof design standards. Rooftop mechanical equipment and other appurtenances must be properly screened. All structures having a footprint of 6,000 square feet or less shall be constructed with a pitched roof system. Those structures having a footprint greater than 6,000 square feet shall be constructed with either a pitched, parapet, or mansard roof system (enclosed on all sides). Standing seam metal roofs shall be constructed of a factory-treated, non-metallic,

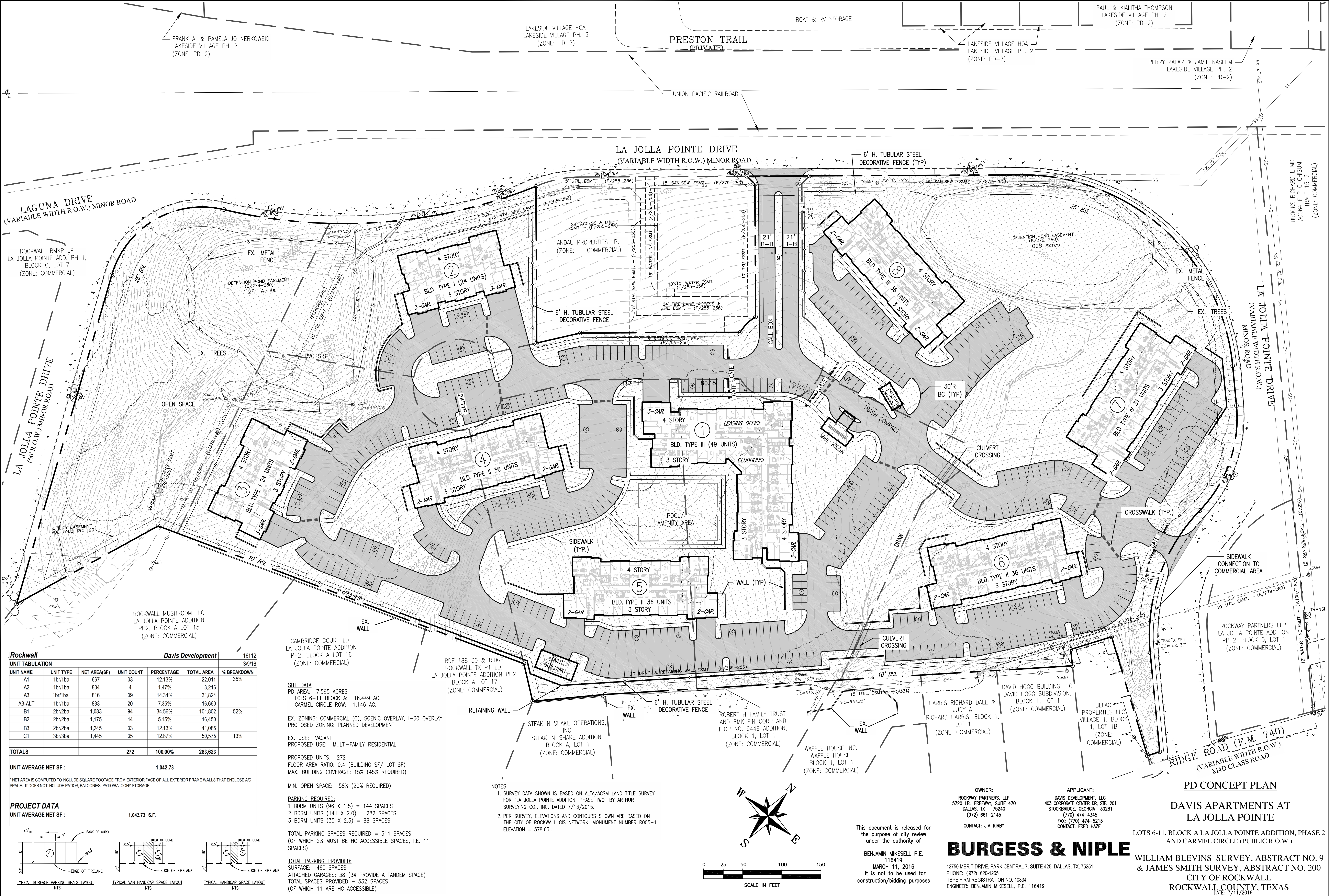
matte finish. Metal roofs with lapped seam construction, bituminous built-up roofs, and flat, membrane-type roofs which are visible from adjacent public right-of-way shall be prohibited.

3. Mechanical equipment screening. All buildings must be designed such that no mechanical equipment, HVAC, or satellite dishes shall be visible from any direction. This shall include equipment located on the roof, on the ground, or otherwise attached to the building or located on the site.
 - a. Screening of rooftop mechanical equipment and/or other rooftop appurtenances shall be accomplished by either the construction of: (a) the construction of the roof systems described in subsection C.2 above; or (b) an architectural feature which is integral to the building's design and ensures that such equipment is not visible from adjacent public right-of-way. The fencing or enclosing of individual mechanical units shall not be permitted except as described above.
 - b. All rooftop mechanical equipment or architectural features described herein shall be shown on the required building elevations and submitted along with the site plan for approval.
4. All buildings shall be designed to incorporate no less than four of the architectural elements from the list below. Buildings over 50,000 square feet must include a minimum of six of the referenced architectural elements. Buildings over 100,000 square feet must include a minimum of seven of the referenced architectural elements:
 - Canopies, awnings, or porticos;
 - Recesses/projections;
 - Arcades;
 - Peaked roof forms;
 - Arches;
 - Outdoor patios;
 - Display windows;
 - Architectural details (such as tile work and moldings) integrated into the building facade;
 - Articulated ground floor levels or base;
 - Articulated cornice line;
 - Integrated planters or wing walls that incorporate landscape and sitting areas;
 - Offsets, reveals or projecting rib used to express architectural or structural bays;
 - Varied roof heights;Or other architectural features approved by the director of planning or his designee.
5. All buildings, as shown on a concept plan or site plan, shall have similar architectural styles, materials, and colors.

E. Variance. The city council may, upon request from the applicant, grant a variance to any provision of this section where unique or extraordinary conditions exist or where strict adherence to the provisions of this section would create a hardship. Approval of any variance to any provision of this section shall require city council approval by a three-quarter majority vote of those city council members present with a minimum of four affirmative votes.

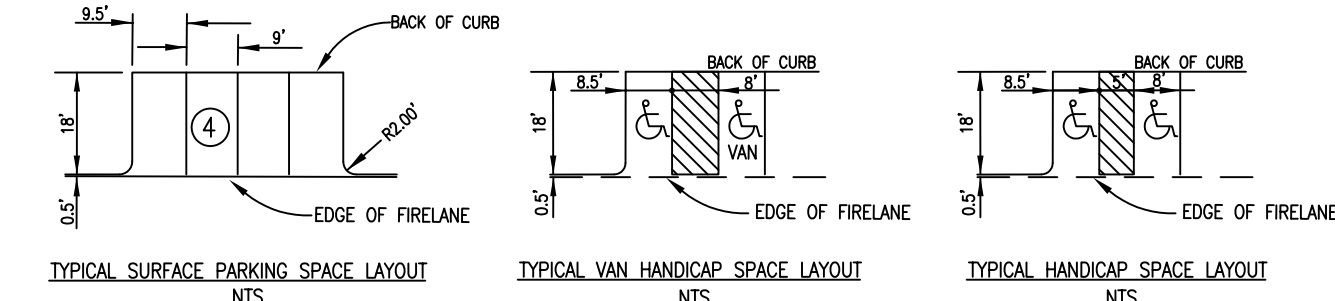
The design criteria above were generally adapted from City of Rockwall Unified Land Development Code,

- Sec. 3.9. - Multi-Family Residential (MF-14) District]
- Sec. 6.6. - IH-30 Overlay (IH-30 OV) District.
- Appendix E - SCENIC OVERLAY (FM 740) DESIGN GUIDELINES



Rockwall						Davis Development		16112
UNIT TABULATION								3/9/16
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA	% BREAKDOWN		
A1	1br/1ba	667	33	12.13%	22,011			35%
A2	1br/1ba	804	4	1.47%	3,216			
A3	1br/1ba	816	39	14.34%	31,824			
A3-ALT	1br/1ba	833	20	7.35%	16,660			
B1	2br/2ba	1,083	94	34.56%	101,802			52%
B2	2br/2ba	1,175	14	5.15%	16,450			
B3	2br/2ba	1,245	33	12.13%	41,065			
C1	3br/3ba	1,445	35	12.87%	50,575			13%
TOTALS			272	100.00%	283,623			

UNIT AVERAGE NET SF :		1,042.73
* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR FRAME WALLS THAT ENCLOSE AC SPACE. IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIO/BALCONY STORAGE.		
PROJECT DATA		
UNIT AVERAGE NET SF :		1,042.73 S.F.



CAMBRIDGE COURT LLC
LA JOLLA POINTE ADDITION
PH2, BLOCK A LOT 16
(ZONE: COMMERCIAL)

SITE DATA
PD AREA: 17.595 ACRES
LOTS 6-11 BLOCK A: 16.449 AC.
CARMEL CIRCLE ROW: 1.146 AC.

EX. ZONING: COMMERCIAL (C), SCENIC OVERLAY, I-30 OVERLAY
PROPOSED ZONING: PLANNED DEVELOPMENT

EX. USE: VACANT
PROPOSED USE: MULTI-FAMILY RESIDENTIAL

PROPOSED UNITS: 272
FLOOR AREA RATIO: 0.4 (BUILDING SF/ LOT SF)
MAX. BUILDING COVERAGE: 15% (45% REQUIRED)

MIN. OPEN SPACE: 58% (20% REQUIRED)

NOTES

1. SURVEY DATA SHOWN IS BASED ON ALTA/ACSM LAND TITLE SURVEY FOR "LA JOLLA POINTE ADDITION, PHASE TWO" BY ARTHUR SURVEYING CO., INC. DATED 7/13/2015.

2. PER SURVEY, ELEVATIONS AND CONTOURS SHOWN ARE BASED ON THE CITY OF ROCKWALL GIS NETWORK, MONUMENT NUMBER R005-1. ELEVATION = 578.63'.

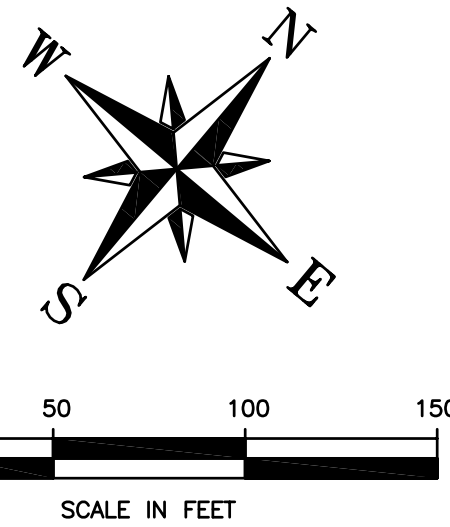
PARKING REQUIRED:

1 BDRM UNITS (96 X 1.5) = 144 SPACES
2 BDRM UNITS (141 X 2.0) = 282 SPACES
3 BDRM UNITS (35 X 2.5) = 88 SPACES

TOTAL PARKING PROVIDED:

SURFACE: 460 SPACES
ATTACHED GARAGES: 38 (34 PROVIDE A TANDEM SPACE)
TOTAL SPACES PROVIDED = 532 SPACES
(OF WHICH 11 ARE HC ACCESSIBLE)

TOTAL PARKING SPACES REQUIRED = 514 SPACES
(OF WHICH 2% MUST BE HC ACCESSIBLE SPACES, I.E. 11 SPACES)



This document is released for the purpose of city review under the authority of

BENJAMIN MIKESSELL, P.E.
116419
MARCH 11, 2016
It is not to be used for construction/bidding purposes

OWNER:
ROCKWAY PARTNERS, LLP
5720 LBJ FREEWAY, SUITE 470
DALLAS, TX 75240
(972) 661-2145
CONTACT: JIM KIRBY

APPLICANT:
DAVIS DEVELOPMENT, LLC
403 CORPORATE CENTER DR. STE. 201
STOCKBRIDGE, GEORGIA 30281
(770) 474-4345
FAX: (770) 474-5213
CONTACT: FRED HAZEL

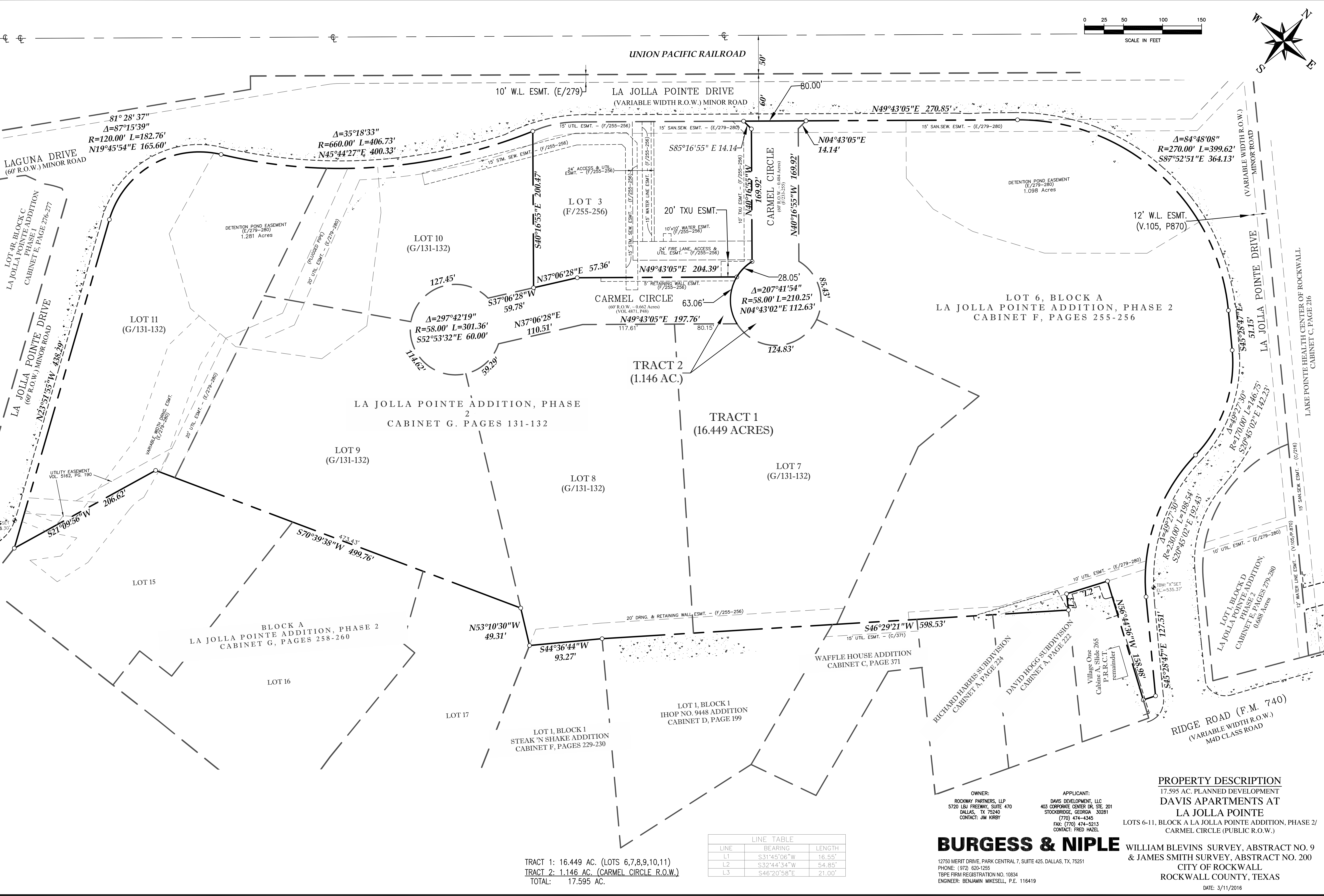
BURGESS & NIPLE
116419
12750 MERIT DRIVE, PARK CENTRAL 7, SUITE 425, DALLAS, TX, 75251
PHONE: (972) 620-1255
TBPE FIRM REGISTRATION NO. 10834
ENGINEER: BENJAMIN MIKESSELL, P.E. 116419

PD CONCEPT PLAN

DAVIS APARTMENTS AT
LA JOLLA POINTE

LOTS 6-11, BLOCK A LA JOLLA POINTE ADDITION, PHASE 2
AND CARMEL CIRCLE (PUBLIC R.O.W.)

WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9
& JAMES SMITH SURVEY, ABSTRACT NO. 200
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS
DATE: 3/11/2016



OWNER:

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DALLAS, TX 75240

CONTACT: JIM KIRBY

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TBPE FIRM REGISTRATION NO. 10834

ENGINEER: BENJAMIN MIKESSELL, P.E. 116419

PROPERTY DESCRIPTION
 17.595 AC. PLANNED DEVELOPMENT
DAVIS APARTMENTS AT
LA JOLLA POINTE
 LOTS 6-11, BLOCK A LA JOLLA POINTE ADDITION, PHASE 2/
 CARMEL CIRCLE (PUBLIC R.O.W.)

WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9
& JAMES SMITH SURVEY, ABSTRACT NO. 200
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

DATE: 3/11/2016

- P-1

-STUCCO ACCENT: ALL TOP LEVEL
STUCCO AREAS ABOVE BRICK
-SHERWIN WILLIAMS: SW7067
CITYSCAPE
- P-2

-STUCCO MAIN BODY
-PPG PPGG1023-2
COOL CONCRETE
- P-3

-BRACKETS, PATIO/BALCONY
DOORS, AND FASCIA
-PPG PPGG1020-7
MONKEY MADNESS
- P-4

- STUCCO BANDS @
HORIZONTAL MATERIAL BREAKS
-PPG PPGG1023-4
DESERT DUNE
- S-1

-STONE
SALADO
CUT STONE 12" x 24"
- S-2

-STONE
-SALADO
TUSCANY
BROWN
- B-1

-BRICK: MAIN BODY
-BORAL
SHADOW FALLS
KING
- B-2

-BRICK: ACCENT
-BORAL
CYPRESS SPRINGS
KING
- METAL ROOF

-FABRAL
DARK BRONZE
- BALCONY RAILINGS

-BRONZE
- WINDOWS

-BRONZE
- SHINGLES

-OWENS CORNING

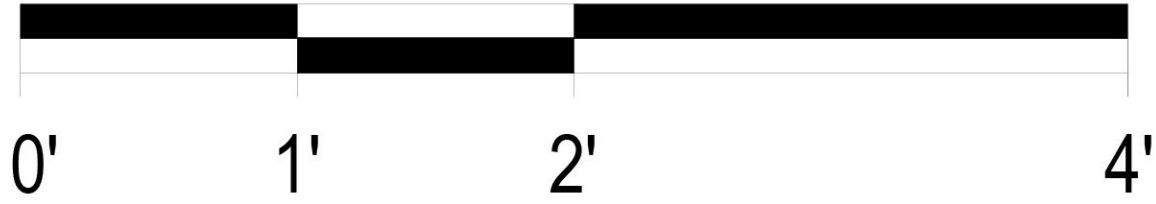
NOTE:
Colors/ materials submitted are to be used or equal alternates.



CUT STONE: 145 SF
STUCCO: 680 SF 27%
BRICK: 207 SF 8%
STONE: 1176 SF 46%
CUT STONE: 497 SF 19%

SIDE ELEVATION

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



TYPE -IV ELEVATIONS

A 446

Davis Apartments at La Jolla Pointe in Rockwall

Davis Development

ROCKWALL , TX

MAR 11, 2016

HPA#16112



HUMPHREYS & PARTNERS ARCHITECTS L.P.

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TORONTO EDMONTON MONTEVIDEO DUBAI HANOI

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STUCCO AREAS ABOVE BRICK
-SHERWIN WILLIAMS: SW7067
CITYSCAPE
- P-2

-STUCCO MAIN BODY
-PPG PPGG1023-2
COOL CONCRETE
- P-3

-BRACKETS, PATIO/BALCONY
DOORS, AND FASCIA
-PPG PPGG1020-7
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- P-4

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- WINDOWS

-BRONZE
- SHINGLES

-OWENS CORNING

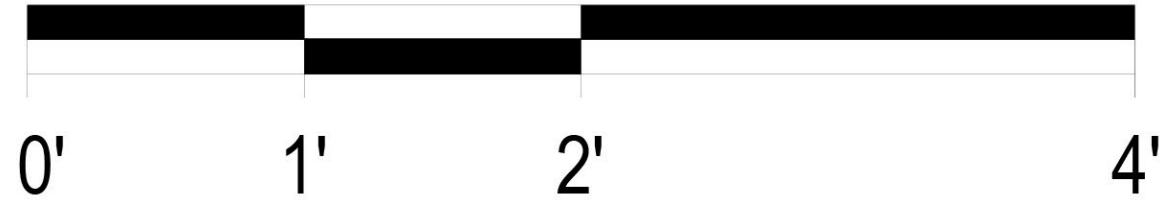


CUT STONE: 240 SF
STUCCO: 1714 SF 35%
BRICK: 2145 SF 46%
STONE: 654 SF 9%
CUT STONE: 300 SF 10%

REAR ELEVATION

NOTE:
Colors/ materials submitted are to be used or equal alternates.

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



TYPE -IV ELEVATIONS

A 445



- P-1

-STUCCO ACCENT: ALL TOP LEVEL
STUCCO AREAS ABOVE BRICK
-SHERWIN WILLIAMS: SW7067
CITYSCAPE
- P-2

-STUCCO MAIN BODY
-PPG PPGG1023-2
COOL CONCRETE
- P-3

-BRACKETS, PATIO/BALCONY
DOORS, AND FASCIA
-PPG PPGG1020-7
MONKEY MADNESS
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HORIZONTAL MATERIAL BREAKS
-PPG PPGG1023-4
DESERT DUNE
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CUT STONE 12" x 24"
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-BRICK: MAIN BODY
-BORAL
SHADOW FALLS
KING
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-BRICK: ACCENT
-BORAL
CYPRESS SPRINGS
KING
- METAL ROOF

-FABRAL
DARK BRONZE
- BALCONY RAILINGS

-BRONZE
- WINDOWS

-BRONZE
- SHINGLES

-OWENS CORNING

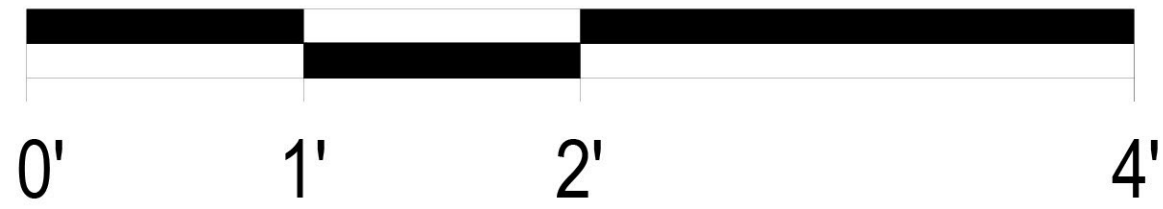


CUT STONE: 260 SF
STUCCO: 1770 SF 35%
BRICK: 1905 SF 37%
STONE: 914 SF 18%
CUT STONE: 510 SF 10%

FRONT ELEVATION

NOTE:
Colors/ materials submitted are to be used or equal alternates.

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



TYPE -IV ELEVATIONS

A 444

Davis Apartments at La Jolla Pointe in Rockwall

Davis Development

ROCKWALL , TX

MAR 11, 2016

HPA#16112



HUMPHREYS & PARTNERS ARCHITECTS L.P.

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TORONTO EDMONTON MONTEVIDEO DUBAI HANOI

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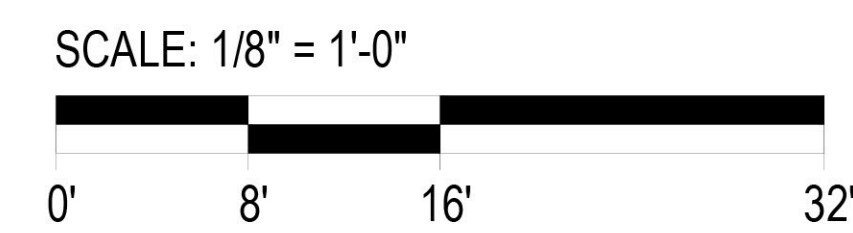
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- P-1 -STUCCO ACCENT: ALL TOP LEVEL
STUCCO AREAS ABOVE BRICK
-SHERWIN WILLIAMS: SW7067
CITYSCAPE
- P-2 -STUCCO MAIN BODY
-PPG PPG1023-2
COOL CONCRETE
- P-3 -BRACKETS, PATIO/BALCONY
DOORS, AND FASCIA
-PPG PPG1020-7
MONKEY MADNESS
- P-4 - STUCCO BANDS @
HORIZONTAL MATERIAL BREAKS
-PPG PPG1023-4
DESERT DUNE
- S-1 -STONE
SALADO
CUT STONE 12" x 24"
- S-2 -STONE
SALADO
TUSCANY
BROWN

- B-1 -BRICK: MAIN BODY
-BORAL
SHADOW FALLS
KING
- B-2 -BRICK: ACCENT
-BORAL
CYPRESS SPRINGS
KING
- METAL ROOF -FABRAL
DARK BRONZE
- BALCONY RAILINGS -BRONZE
- WINDOWS -BRONZE
- SHINGLES -OWENS CORNING

NOTE:
Colors/ materials submitted are to be used or equal alternates.



CUT STONE: 623 SF
STUCCO: 3252 SF 38%
BRICK: 2817 SF 34%
STONE: 858 SF 10%
CUT STONE: 1491 SF 18%

EAST ELEVATION

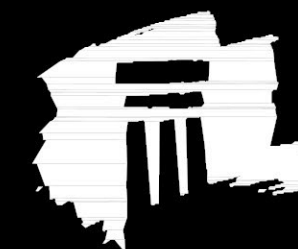


SOUTH - ELEVATION

CUT STONE: 471 SF
STUCCO: 2350 SF 39%
BRICK: 2170 SF 36%
STONE: 751 SF 12%
CUT STONE: 813 SF 13%

BUILDING TYPE III - ELEVATIONS

A-435





CUT STONE: 480 SF STUCCO: 2688 SF 34%
 BRICK: 3414 SF 43%
 STONE: 751 SF 10%
 CUT STONE: 1026 SF 13%

NORTH ELEVATION



CUT STONE: 450 SF
 STUCCO: 2381 SF 34%
 BRICK: 2719 SF 39%
 STONE: 1343 SF 19%
 CUT STONE: 535 SF 8%

WEST - ELEVATION

BUILDING TYPE III - ELEVATIONS

SCALE: 1/8" = 1'-0"



- P-1

-STUCCO ACCENT: ALL TOP LEVEL
STUCCO AREAS ABOVE BRICK
-SHERWIN WILLIAMS: SW7067
CITYSCAPE
- P-2

-STUCCO MAIN BODY
-PPG PPGG1023-2
COOL CONCRETE
- P-3

-BRACKETS, PATIO/BALCONY
DOORS, AND FASCIA
-PPG PPGG1020-7
MONKEY MADNESS
- P-4

- STUCCO BANDS @
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-PPG PPGG1023-4
DESERT DUNE
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CUT STONE 12" x 24"
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-BRICK: MAIN BODY
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-BRICK: ACCENT
-BORAL
CYPRESS SPRINGS
KING
- METAL ROOF -FABRAL
DARK BRONZE
- BALCONY RAILINGS -BRONZE
- WINDOWS -BRONZE
- SHINGLES -OWENS CORNING



CUT STONE: 632 SF

STUCCO: 680 SF 22%

BRICK: 470 SF 15%

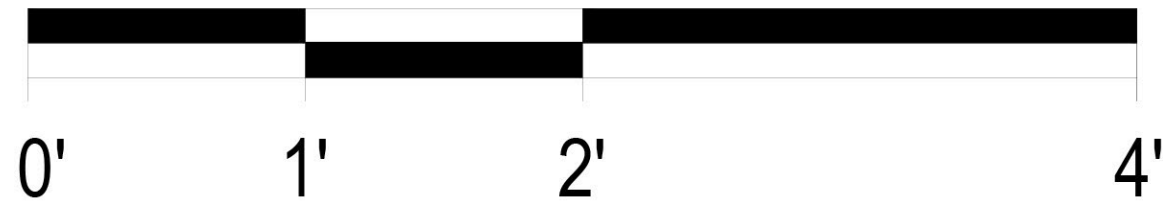
STONE: 1176 SF 38 %

CUT STONE: 780 SF 25%

SIDE ELEVATION

NOTE:
Colors/ materials submitted are to be used or equal alternates.

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



TYPE -II ELEVATIONS

A 426

Davis Apartments at La Jolla Pointe in Rockwall

Davis Development

ROCKWALL , TX

MAR 11, 2016

HPA#16112



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- P-1

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CITYSCAPE
- P-2

-STUCCO MAIN BODY
-PPG PPG1023-2
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- P-3

-BRACKETS, PATIO/BALCONY
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CYPRESS SPRINGS
KING
- METAL ROOF -FABRAL
DARK BRONZE
- BALCONY RAILINGS -BRONZE
- WINDOWS -BRONZE
- SHINGLES -OWENS CORNING



CUT STONE: 524 SF

STUCCO: 2340 SF 35%

BRICK: 3087 SF 46%

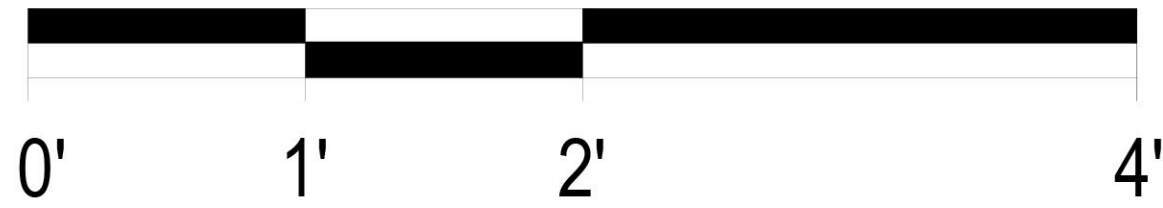
STONE: 654 SF 9%

CUT STONE: 670 SF 10%

REAR ELEVATION

NOTE:
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SCALE: 3/16" = 1'-0" (24"x36" SHEET)



TYPE -II ELEVATIONS

A 425

Davis Apartments at La Jolla Pointe in Rockwall

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-STUCCO ACCENT: ALL TOP LEVEL
STUCCO AREAS ABOVE BRICK
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CITYSCAPE
- P-2

-STUCCO MAIN BODY
-PPG PPGG1023-2
COOL CONCRETE
- P-3

-BRACKETS, PATIO/BALCONY
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MONKEY MADNESS
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- WINDOWS

-BRONZE
- SHINGLES

-OWENS CORNING

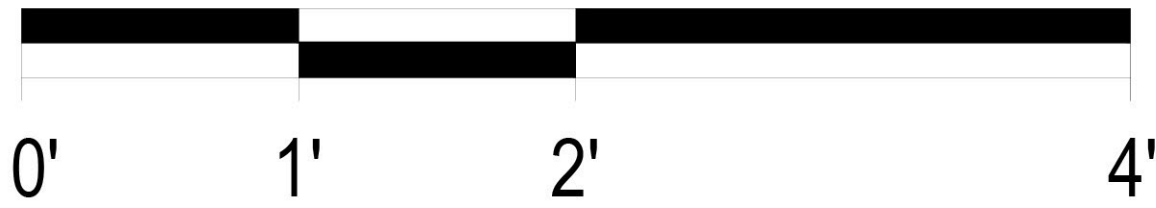


CUT STONE: 260 SF
STUCCO: 1770 SF 35%
BRICK: 1905 SF 37%
STONE: 914 SF 18%
CUT STONE: 510 SF 10%

FRONT ELEVATION

NOTE:
Colors/ materials submitted are to be used or equal alternates.

SCALE: 3/16" = 1'-0" (24"x36" SHEET)



TYPE -II ELEVATIONS

A 424

Davis Apartments at La Jolla Pointe in Rockwall

Davis Development

ROCKWALL , TX

MAR 11, 2016

HPA#16112



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-PPG PPG1020-7
MONKEY MADNESS
- P-4 - STUCCO BANDS @
HORIZONTAL MATERIAL BREAKS
-PPG PPG1023-4
DESERT DUNE
- S-1 -STONE
SALADO
CUT STONE 12" x 24"
- S-2 -STONE
-SALADO
TUSCANY
BROWN
- B-1 -BRICK: MAIN BODY
-BORAL
SHADOW FALLS
KING
- B-2 -BRICK: ACCENT
-BORAL
CYPRESS SPRINGS
KING
- METAL ROOF -FABRAL
DARK BRONZE
- BALCONY RAILINGS -BRONZE
- WINDOWS -BRONZE
- SHINGLES -OWENS CORNING

NOTE:
Colors/ materials submitted are to be used or equal alternates.



CUT STONE: 633 SF
STUCCO: 1867 SF 40%
BRICK: 1762 SF 38%
STONE: 483 SF 10%
CUT STONE: 541 SF 12%

NORTH ELEVATION



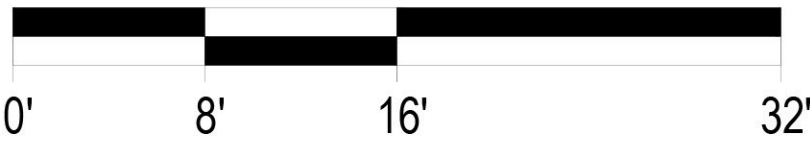
STUCCO: 758 SF 24%
BRICK: 371 SF 12%
STONE: 1131 SF 36%
CUT STONE: 884 SF 28%

CUT STONE: 316 SF

WEST - ELEVATION

BUILDING TYPE I - ELEVATIONS

SCALE: 1/8" = 1'-0"



A-415

Davis Apartments at La Jolla Pointe in Rockwall

Davis Development

ROCKWALL , TX

MAR 11, 2016

HPA#16112



HUMPHREYS & PARTNERS ARCHITECTS L.P.

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TORONTO EDMONTON MONTEVIDEO DUBAI HANOI

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Architectural conceptual site plans are for feasibility purpose
only. Revisions may occur due to further investigation from
regulatory authorities and building code analysis. Dimensions
shown are of a strategic intent only. Refer to surveys and civil
drawings for technical information and measurements.

P-1 -STUCCO ACCENT: ALL TOP LEVEL
STUCCO AREAS ABOVE BRICK
-SHERWIN WILLIAMS: SW7067
CITYSCAPE

P-2 -STUCCO MAIN BODY
-PPG PPGG1023-2
COOL CONCRETE

P-3 -BRACKETS, PATIO/BALCONY
DOORS, AND FASCIA
-PPG PPGG1020-7
MONKEY MADNESS

P-4 - STUCCO BANDS @
HORIZONTAL MATERIAL BREAKS
-PPG PPGG1023-4
DESERT DUNE

S-1 -STONE
SALADO
CUT STONE 12" x 24"

S-2 -STONE
-SALADO
TUSCANY
BROWN

B-1 -BRICK: MAIN BODY
-BORAL
SHADOW FALLS
KING

B-2 -BRICK: ACCENT
-BORAL
CYPRESS SPRINGS
KING

-METAL ROOF -FABRAL
DARK BRONZE

-BALCONY RAILINGS -BRONZE

-WINDOWS -BRONZE

-SHINGLES -OWENS CORNING

NOTE:
Colors/ materials submitted are to be used or equal alternates.



CUT STONE: 610 SF
STUCCO: 758 SF 24%
BRICK: 371 SF 12%
STONE: 1131 SF 36%
CUT STONE: 884 SF 28%

EAST ELEVATION



CUT STONE: 192 SF
STUCCO: 1747 SF 46%
BRICK: 1099 SF 29%
STONE: 531 SF 14%
CUT STONE: 521 SF 11%

SOUTH - ELEVATION

BUILDING TYPE I - ELEVATIONS

SCALE: 1/8" = 1'-0"
0' 8' 16' 32'

A-414

