

City of Rockwall

Planning & Zoning Department
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PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
12/19/16	SITE PLAN
01/23/17	SITE PLAN
01/27/17	SITE PLAN SUBMITTAL
04/07/17	SITE PLAN SUBMITTAL

PROFESSIONAL IN CHARGE
JOHN NOURZAD
PROFESSIONAL ENGINEER
LICENSE NO. 85192

PROJECT MANAGER
JEFF RATH

QUALITY CONTROL
LARRY DIEHL

DRAWN BY
PETIA STOYANOVA-POUHALEVA

PROJECT NAME
TEXAS ROADHOUSE

ROCKWALL TEXAS

NEQ OF I-30 AND GREENCREST BLVD.



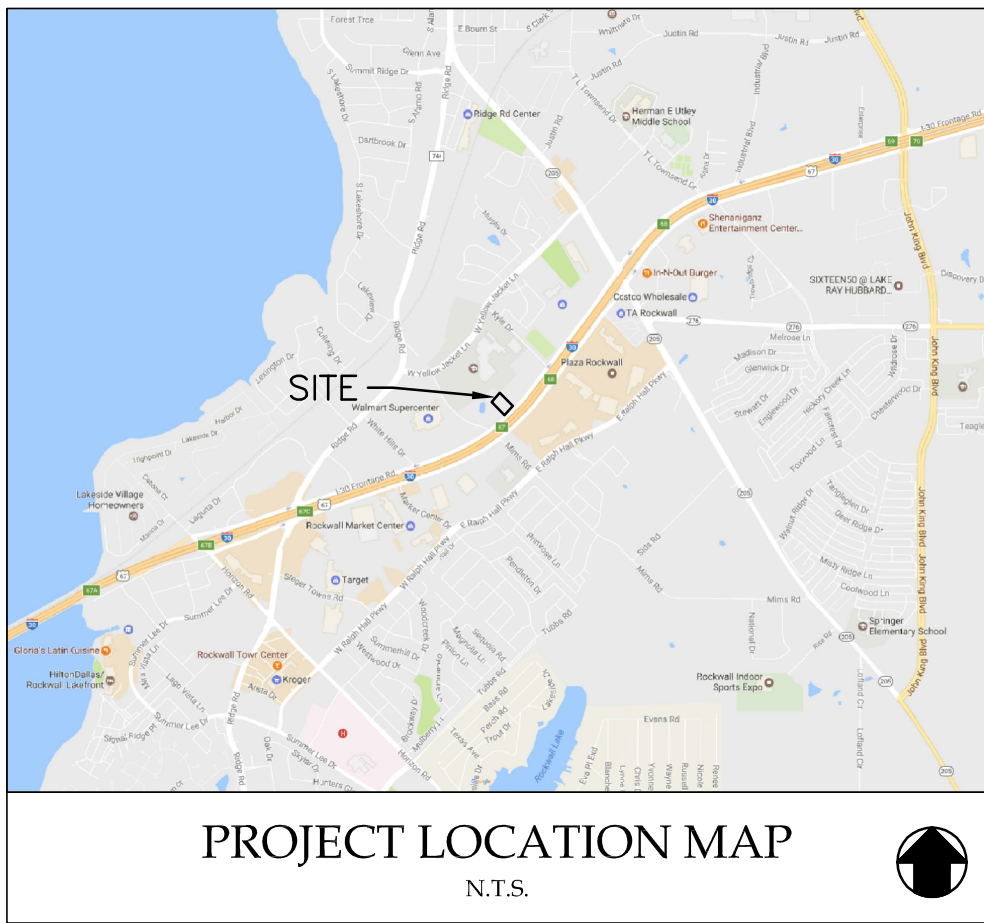
PROJECT NUMBER
201512910

SHEET TITLE

SITE PLAN

SHEET NUMBER

C3.0



PROPOSED LEGEND:

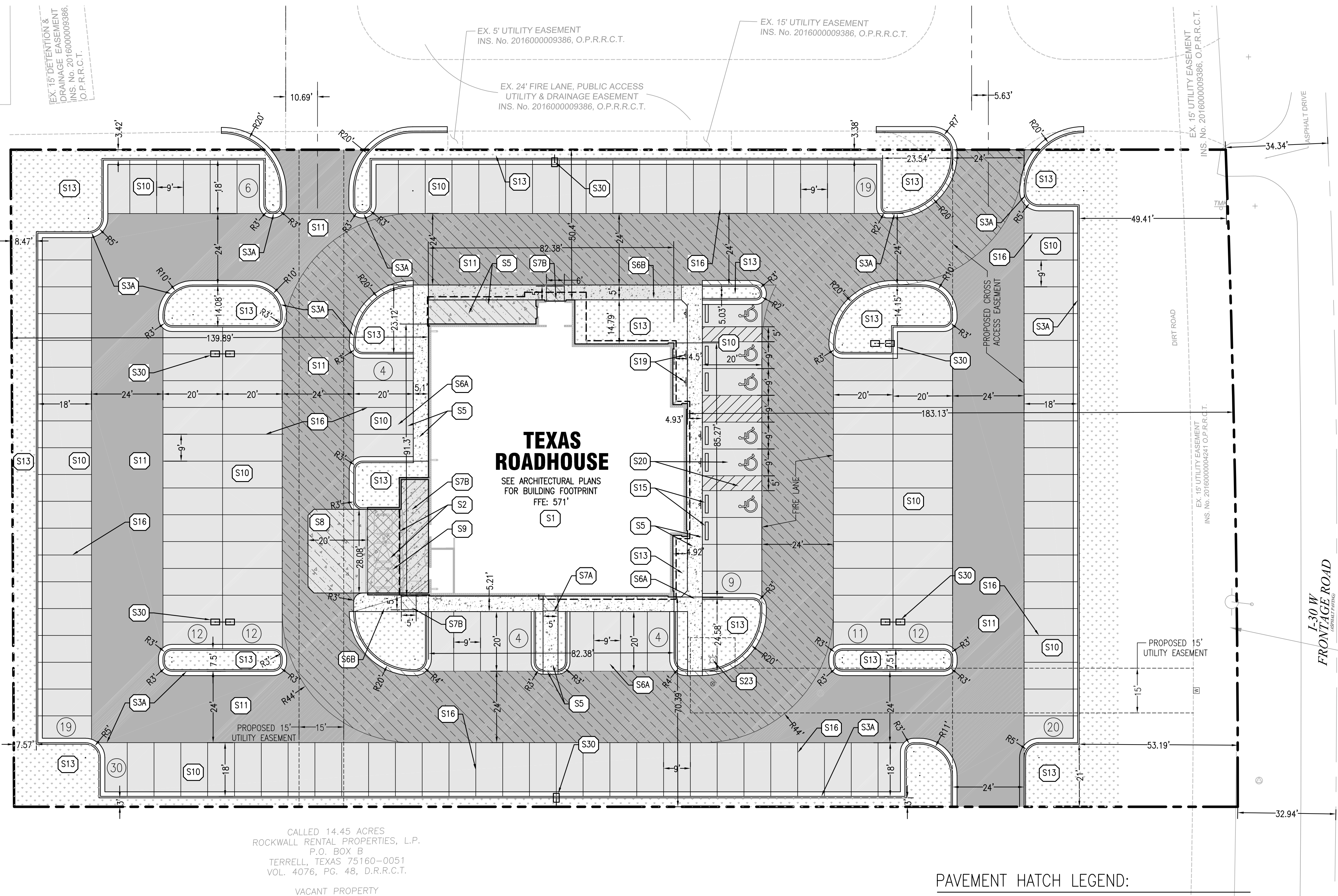
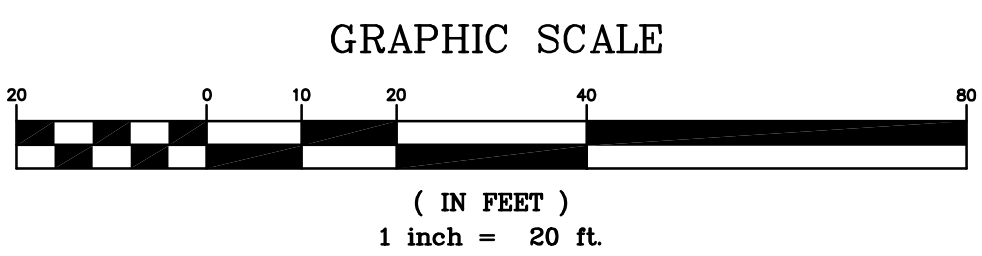
- PROPERTY LINE
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED PARKING STALL COUNT
- PROPOSED CONCRETE WHEEL STOP
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED FIRE HYDRANT
- PROPOSED GATE VALVE AND VALVE BOX
- PROPOSED TAPPING SLEEVE AND VALVE

GENERAL SITE NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
- CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
- CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
- CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENTS FLUSH.
- CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
- CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
- ALL FIRE ACCESS LANES WITHIN THE PROJECT AREA SHALL REMAIN IN SERVICE. CLEAN OF DEBRIS, AND ACCESSIBLE FOR USE BY EMERGENCY VEHICLES.
- SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

PAVEMENT HATCH LEGEND:

- PROPOSED CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
6" MOISTURE CONDITIONED SUBGRADE
- PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK
5" PORTLAND CEMENT CONCRETE
6" MOISTURE CONDITIONED SUBGRADE
- PROPOSED CONCRETE
6" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9XW2.9 WWF
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- PROPOSED INTEGRAL BLACK COLORED CONCRETE
6" PORTLAND CEMENT CONCRETE WITH 6X6 W2.9XW2.9 WWF
(SEE STRUCTURAL PLANS FOR REINFORCEMENT, AGGREGATE, AND SUBGRADE REQUIREMENTS)
- PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE
7" PORTLAND CEMENT CONCRETE
6" MOISTURE CONDITIONED SUBGRADE
(SEE GEOTECHNICAL REPORT)
- PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE
6" PORTLAND CEMENT CONCRETE
(SEE STRUCTURAL PLANS FOR REINFORCEMENT AND SUBGRADE REQUIREMENTS)
- PROPOSED CONCRETE PAVEMENT
5" REINFORCED CONCRETE
6" MOISTURE CONDITIONED SUBGRADE
(SEE GEOTECHNICAL REPORT)
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
6" REINFORCED CONCRETE
6" MOISTURE CONDITIONED SUBGRADE
(SEE GEOTECHNICAL REPORT)
- PROPOSED LANDSCAPE AREA
(SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)



SITE KEY NOTES:

- S1 PROPOSED TEXAS ROADHOUSE BUILDING (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S2 PROPOSED TRASH ENCLOSURE (SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S3A PROPOSED CONCRETE CURB AND GUTTER
- S3B PROPOSED CONCRETE BARRIER CURB
- S3C PROPOSED DEPRESSED CONCRETE CURB AND GUTTER
- S4 PROPOSED REVERSE PITCH CONCRETE CURB AND GUTTER (TBD)
- S5 PROPOSED MONOLITHIC CONCRETE CURB AND SIDEWALK
- S6A PROPOSED 5" CONCRETE SIDEWALK
- S6B PROPOSED INTEGRAL BLACK CONCRETE SIDEWALK
- S7A PROPOSED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S7B PROPOSED INTEGRAL BLACK COLORED CONCRETE LANDING (SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S8 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE
- S9 PROPOSED HEAVY DUTY INTEGRAL BLACK COLORED CONCRETE LANDING
- S10 PROPOSED ASPHALT PAVEMENT
- S11 PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- S13 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION AND DETAILS)
- S15 PROPOSED PRECAST CONCRETE WHEEL STOP (TYP. OF 8)
- S16 PROPOSED 4" PAVEMENT STRIPING PER LOCAL CODE
- S19 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE (TYP. OF 6)
- S20 PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE (TYP.)
- S21 PROPOSED HANDICAP ACCESSIBLE CURB RAMP AT 12:1 MAXIMUM SLOPE PER LOCAL CODES
- S22 PROPOSED CONCRETE TRANSFORMER PAD WITH STEEL BOLLARD PROTECTION (CONTRACTOR SHALL COORDINATE CONCRETE TRANSFORMER PAD LOCATION, SIZE AND THICKNESS WITH ELECTRIC COMPANY PRIOR TO INSTALLATION)
- S23 PROPOSED FIRE HYDRANT
- S26 PROPOSED BLOCK RETAINING WALL
- S30 PROPOSED LIGHT POLE
- S40 EXISTING ASPHALT PAVEMENT TO REMAIN
- S41A EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- S41B EXISTING CONCRETE CURB TO REMAIN
- S42 EXISTING FIRE HYDRANT TO REMAIN
- S43 EXISTING LIGHT POLE TO REMAIN
- S44 EXISTING PAVEMENT STRIPING TO REMAIN
- S45 EXISTING PYLON SIGN TO REMAIN
- S46 EXISTING SIDEWALK TO REMAIN
- S47 EXISTING SIGN TO REMAIN
- S48 EXISTING TREE TO REMAIN AND BE PROTECTED

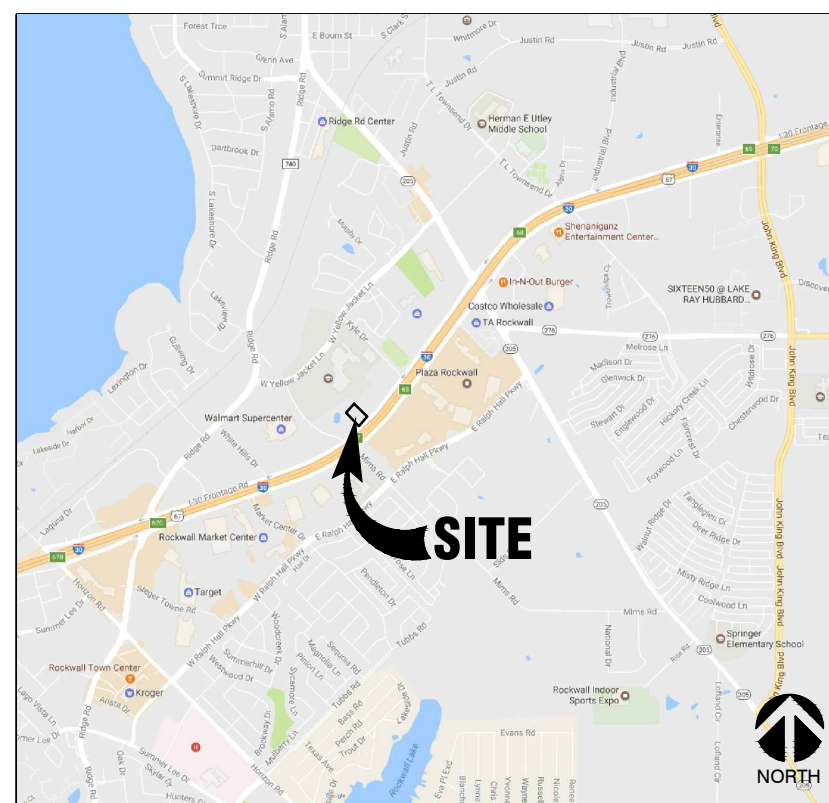
SITE PLAN NOTES:

- REFER TO THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTANTS, INC. AND DATED OCTOBER 18TH, 2016 FOR ADDITIONAL INFORMATION REGARDING THE EXISTING SOIL CONDITIONS AND SUBGRADE PREPARATION REQUIREMENTS AND PROPOSED PAVEMENT RECOMMENDATIONS (TERRACON PROJECT NO. 94165431).

PROJECT INFORMATION:

SITE AREA: ±2.075 ACRES
ZONED: COMMERCIAL
PROPOSED BUILDING AREA: 7,420 SQ. FT.
PROPOSED USE: RESTAURANT
BUILDING HEIGHT: 28'-10"
PARKING REQUIRED: 75 STALLS
(1 STALL PER 4 SEATS AND 281 SEATS TOTAL OR 1 STALL PER 100 SF FLOOR AREA, WHICHEVER IS GREAT)
PARKING PROVIDED: 162 STALLS
(INCLUDING 6 ADA STALLS)

PROJECT TEAM



LOCATION MAP

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ISSUE/REVISION RECORD

[illegible]

PROFESSIONAL SEAL



04-07-17

PROFESSIONAL IN CHARGE
G.I. JOSEPH VAUGHN
REGISTERED LANDSCAPE ARCHITECT
LICENSE NO. 2422

PROJECT MANAGER
JEFF RATH

QUALITY CONTROL
G.I. JOSEPH VAUGHN

DRAWN BY
NICOLE NOVACK

PROJECT NAME

TEXAS ROADHOUSE

**ROCKWALL
TEXAS**

NEQ I-30 AND GREENCREST BOULEVARD



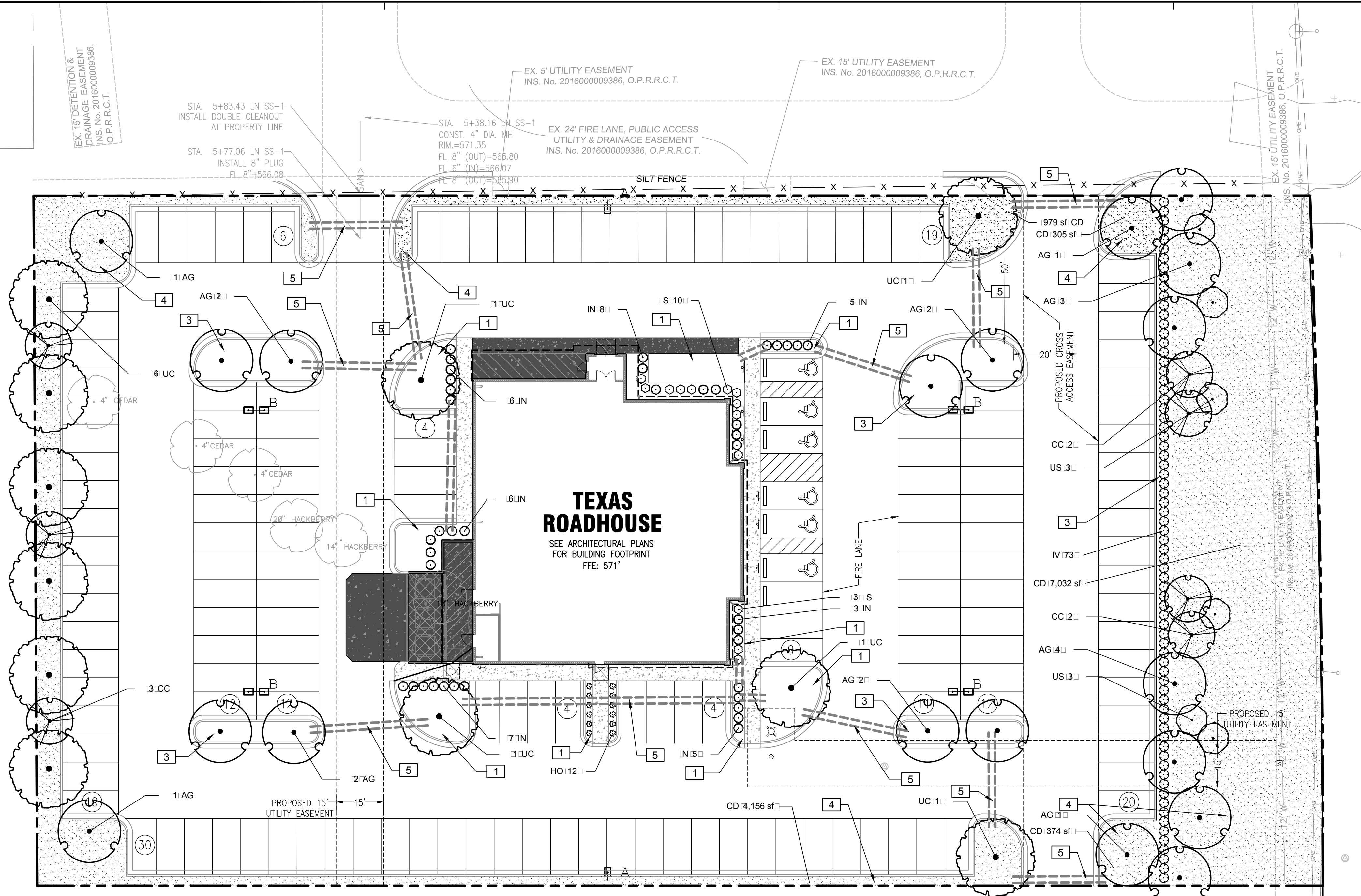
PROJECT NUMBER
20151291.0

SHEET TITLE

**LANDSCAPE
PLAN**

SHEET NUMBER

L1.0



LANDSCAPE PLAN










LANDSCAPE CALCULATIONS:

	REQUIRED:	PROVIDED:
<u>OPEN SPACE REQUIREMENT</u>	15% OF SITE TO BE LANDSCAPED 90387 SF X 15% = 13558 SF	18526 SF
<u>FRONTAGE LANDSCAPING</u>		
I-30	3 CANOPY TREES PER 100LF (220 LF/100 LF = 2.2 X 3 = 7 TREES) MIN. CAL. 3", MIN HEIGHT 6'	7 TREES
	4 ACCENT TREES PER 100LF (202 LF/100 LF = 2.2 X 4 = 9 TREES) MIN. CAL. 3", MIN HEIGHT 6'	10 TREES
	SHRUB SCREEN ALONG I-30 SHURBS SHALL BE A MIN. 3 GAL IN SIZE	PROV.
<u>INTERIOR LANDSCAPING</u>		
	1 TREE PER 10 SPACES 162 SPACES / 10 SPACES = 16.2 = 17 TREES	17 TREES
<u>MITIGATION</u>	20" AND 14" HACKBERRY = 34" TO BE MITIGATED ON SITE	6 @ 4" 4 @ 3"

REFERENCE NOTES SCHEDULE

<u>SYMBOL</u>	<u>DESCRIPTION</u>
1	INSTALL RIVER ROCK: 6" 7" THICK LAY ON E EED BARRIER IN PLANT BEDS ADJACENT TO BUILDING FOUNDATION AND HERE INDICATED ON PLAN. RIVER ROCK TO BE "HAND PLACED" AROUND ALL SHRUBS SO AS NOT DAMAGE MATERIAL. INSTALL NEAR FLUSH TO TOP OF SIDE: ALL.
3	3" DEPTH CEDAR MULCH ON E EED BARRIER IN ALL ISLANDS TYPICAL UNLESS OTHER: ISE NOTED ON PLAN.
4	SOD LAWNS: I BERMUDA GRASS.
5	3". SCHEDULE 40 PVC IRRIGATION SLEEVE

PLANT SCHEDULE

TREES	CODE	ITY	BOTANICAL NAME / COMMON NAME	CONT.	HEIGHT
	AG	19	A'ier n'urud'io to'ier Glor'it'm to'ier Glor'it'm ite	B & B	4" C.I. 6/7 H.
	CC	7	Cer'is t'in'densis 'E'istern Red'ud	B & B	3" C.I. 6/7 H.
	UC	11	U'l'u's t'insfol'io Ced'r'El'	B & B	4" C.I. 6/7 H.
	US	6	Ung'n'dis s'io'ios'io Me'l'in Bu't'e'ie	B & B	3" C.I. 6/7 H.
SHRUBS	CODE	ITY	BOTANICAL NAME / COMMON NAME	CONT.	HEIGHT
	HO	12	He'ero't'it'is 'Stell'de Oro' 'Stell'de Oro D'it'it'it'	3 g.I.	18" Min. Ht.
	IV	73	I't'e'vo'it'or'it' Ni'h'it'it' D'it'it' Yu'lon	3 g.I.	18" Min. Ht.
	IN	40	I't'e'vo'it'or'it' Ni'h'it'it' D'it'it' Yu'lon	5 g.I.	36" Min. Ht.
	IS	13	I'uni'erus s'io'ul'or'it' S'it'ro't'et' S'it'ro't'et' I'uni'er	10 g.I.	7 Min. Ht.
GROUND COVERS	CODE	ITY	BOTANICAL NAME / COMMON NAME	CONT.	SPACING
	CD	16,155 sf	C'nodon d'it'lon Ber'ud'it' Gr'as	Sod	

SHRUB HEIGHT MEASUREMENTS ARE TO BE AS MEASURED
FROM TOP OF ROOTBALL (TYP.)

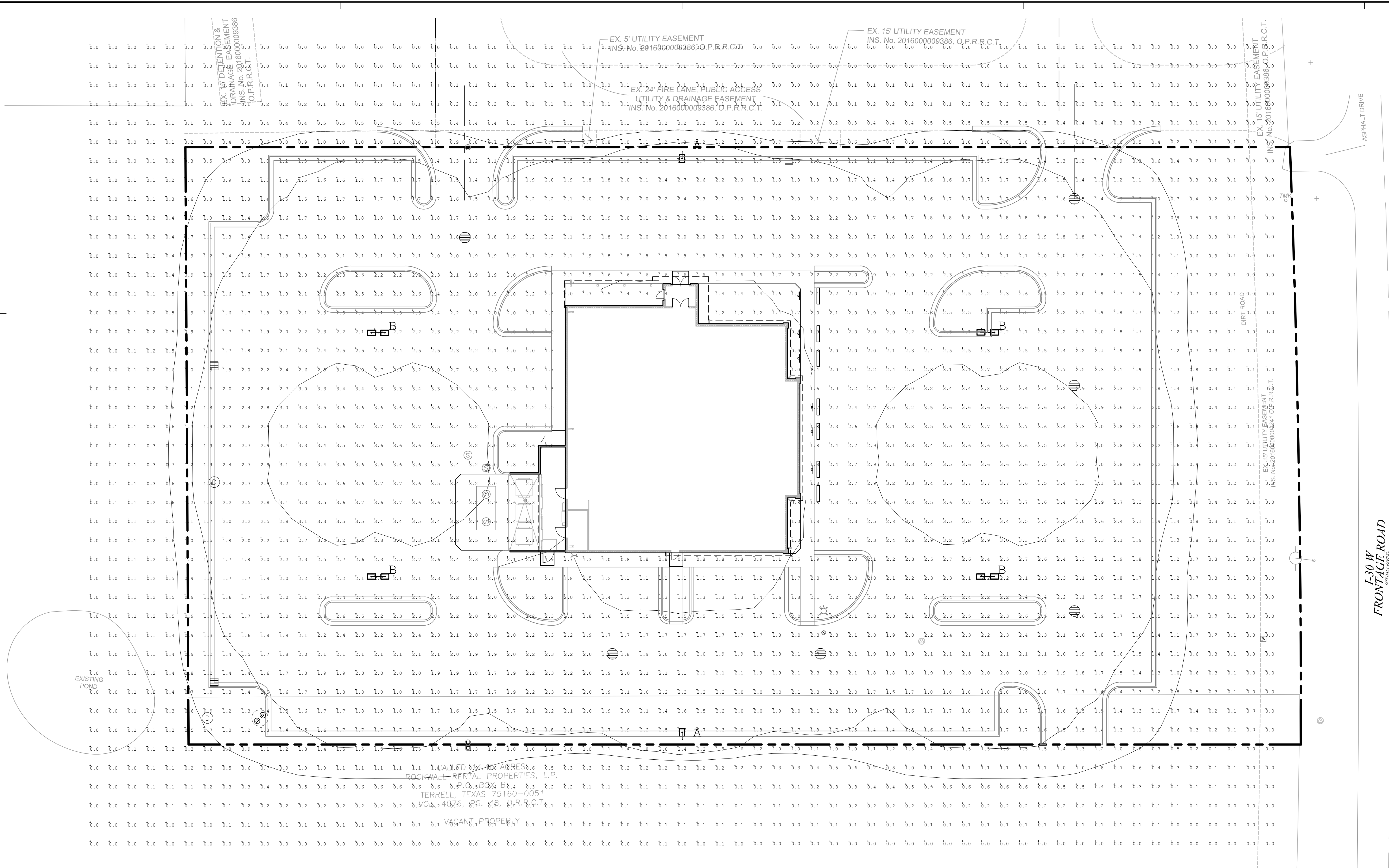
GENERAL NOTES:

1. GRAPHIC SYMBOLS TAKE PRECEDENCE OVER WRITTEN QUANTITIES AND KEYS ON PLAN.
2. CONTRACTOR TO REPAIR AND REPLACE ANY PLANT MATERIAL DAMAGED BY THIS CONSTRUCTION OUTSIDE PROJECT LIMITS. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO OWNER OR TENANT.
3. TWO WEEKS PRIOR TO PLANTING, THE CONTRACTOR SHALL SUBMIT TO THE OWNER / OWNER'S REPRESENTATIVE A PLANT PHOTO SUBMITTAL FOR APPROVAL. IF REQUESTED, BY THE OWNER, THE LANDSCAPE ARCHITECT WILL TAG THE MATERIAL.
4. EACH PHOTO SHALL CLEARLY SHOW THE SIZE, FORM, AND BRANCHING STRUCTURE AND QUALITY OF THE PLANT.
5. EACH PHOTO SHALL HAVE THE PLANT NAME, SIZE AND SPECIFICATIONS LABELED ON THE PHOTO.
6. ANY PHOTO SHOWING A GROUP OF PLANTS CLOSE TOGETHER WILL NOT BE ACCEPTED.
7. NO PARTIAL OR INCOMPLETE SUBMITTAL WILL BE ACCEPTED FOR REVIEW. ANY REJECTED SPECIES WILL BE SUBJECT TO RESUBMITTAL.
8. SAMPLES OF RIVER ROCK COBBLESTONE ARE TO BE PROVIDED TO OWNER/TENANT FOR REVIEW AND APPROVAL TWO (2) WEEKS PRIOR TO CONSTRUCTION. NO COBBLESTONE IS TO BE INSTALLED WITHOUT PRIOR APPROVAL FROM TEXAS ROADHOUSE.
9. CONTRACTOR TO PROVIDE SITE IRRIGATION FOR ALL LANDSCAPE AREAS. IRRIGATION FOR THESE AREAS TO PROVIDE 100% COVERAGE OF PLANTED AREAS. SHRUB BEDS TO BE WATERED WITH SURFACE IRRIGATION. LAWN AREAS TO BE KEPT ON SEPARATE ZONES FROM SHRUB BEDS. DO NOT SPRAY ON BUILDING. IRRIGATION SYSTEM TO BE DESIGNED INSTALLED PER ALL LOCAL, STATE AND FEDERAL CODES.

MAINTENANCE OF LANDSCAPING:

THE OWNER, TENANT, OR AGENT, IF ANY, SHALL BE RESPONSIBLE FOR PROVIDING, PROTECTING AND MAINTAINING ALL LANDSCAPING IN HEALTHY GROWING CONDITIONS, REPLACING IT WHEN NECESSARY TO ENSURE CONTINUOUS CONFORMANCE WITH THESE GUIDELINES AND KEEPING IT FREE FROM REFUSE AND DEBRIS. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL WITHIN THE GUARANTEED CONTRACT PERIOD.

DATE	DESCRIPTION
12/19/16	SITE PLAN
01/23/17	SITE PLAN
01/27/17	SITE PLAN SUBMITTAL
04/07/17	SITE PLAN SUBMITTAL



TEXAS ROADHOUSE

ROCKWALL, TX

PREPARED BY: JOHN BUJAKE

ACCUSERV LIGHTING & EQUIPMENT

877-707-7378

502-961-0357 FAX

jbjake@accu-serv.com

MARCH 30, 2017

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	1.32	3.7	0.0	N.A.	N.A.
PARKING LOT SURFACE	2.23	3.7	1.1	2.03	3.36

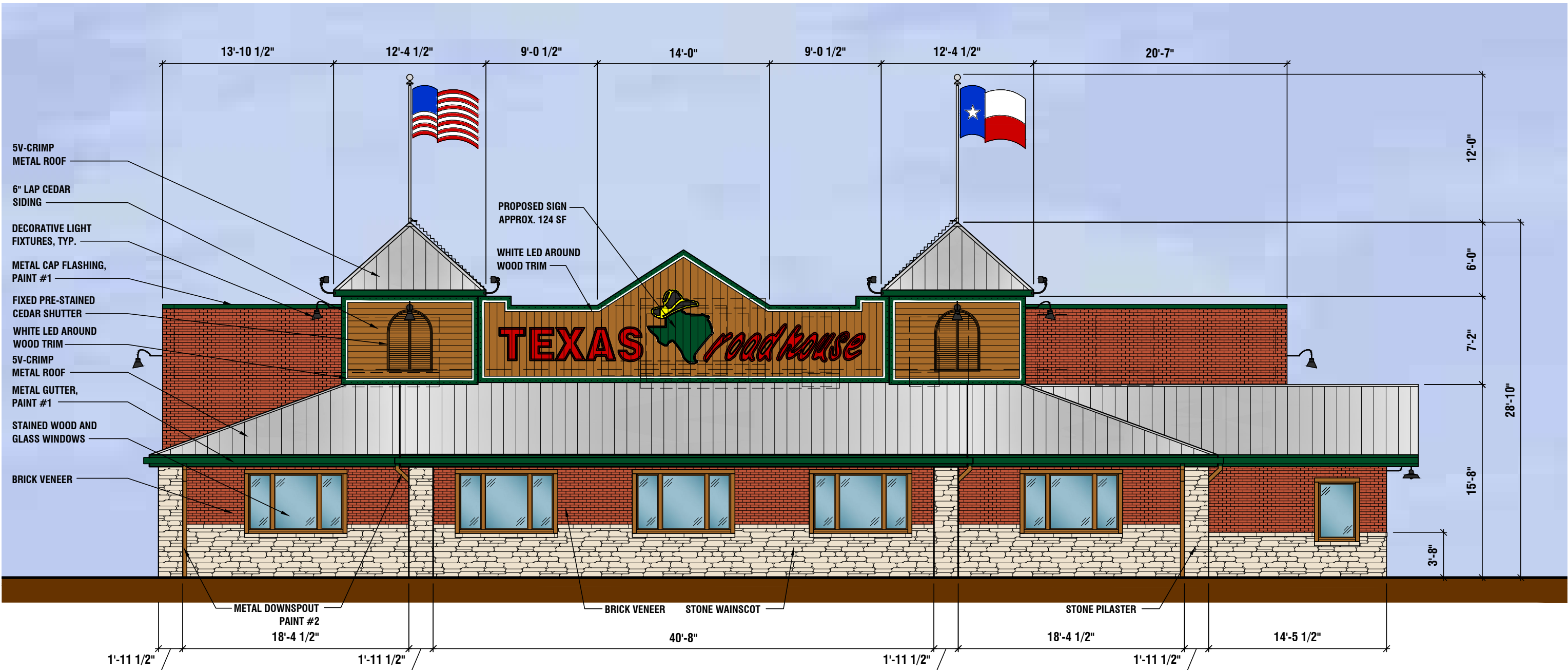
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts
A	2	A	SINGLE	15195	0.900	211
B	4	B	BACK-BACK	19880	0.900	211

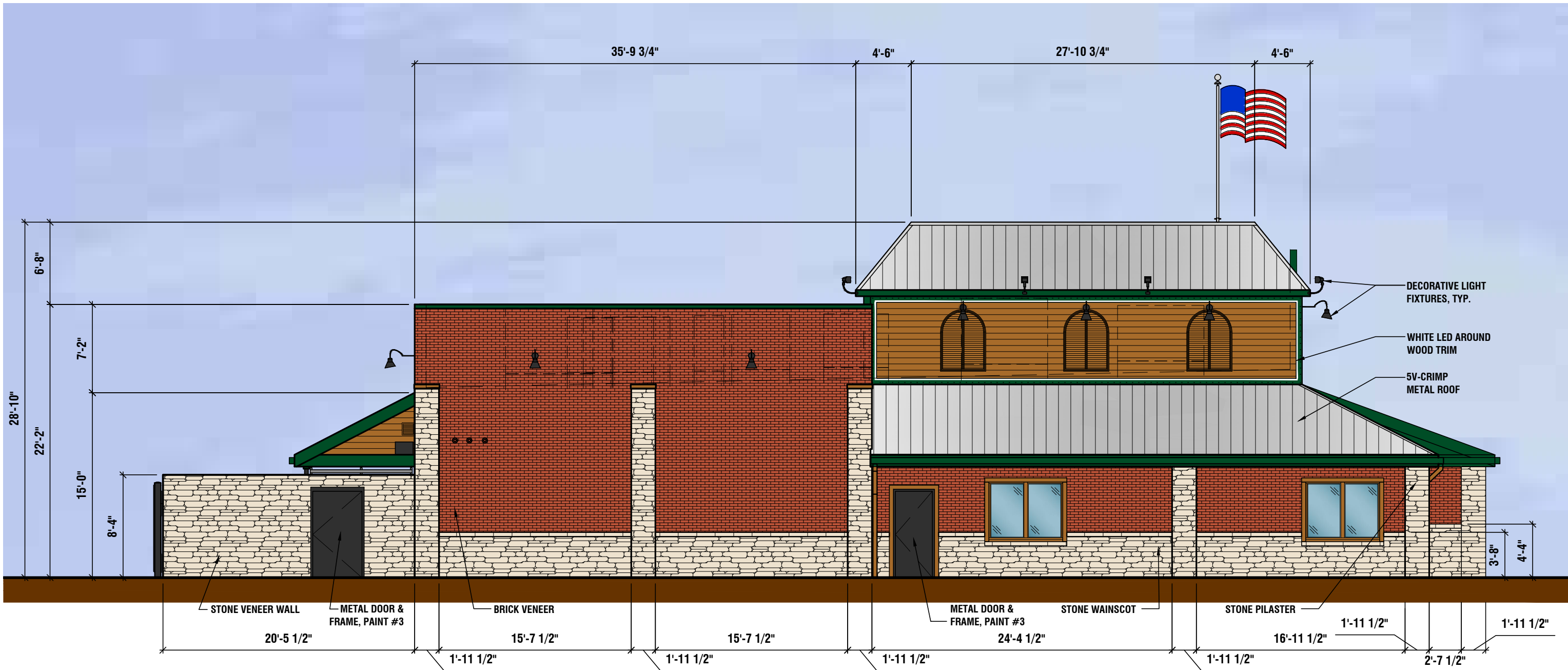
FIXTURES ARE 211W 4000K LED w/ FLAT LENSES

FIXTURE A HAS BACKLIGHT CONTROL

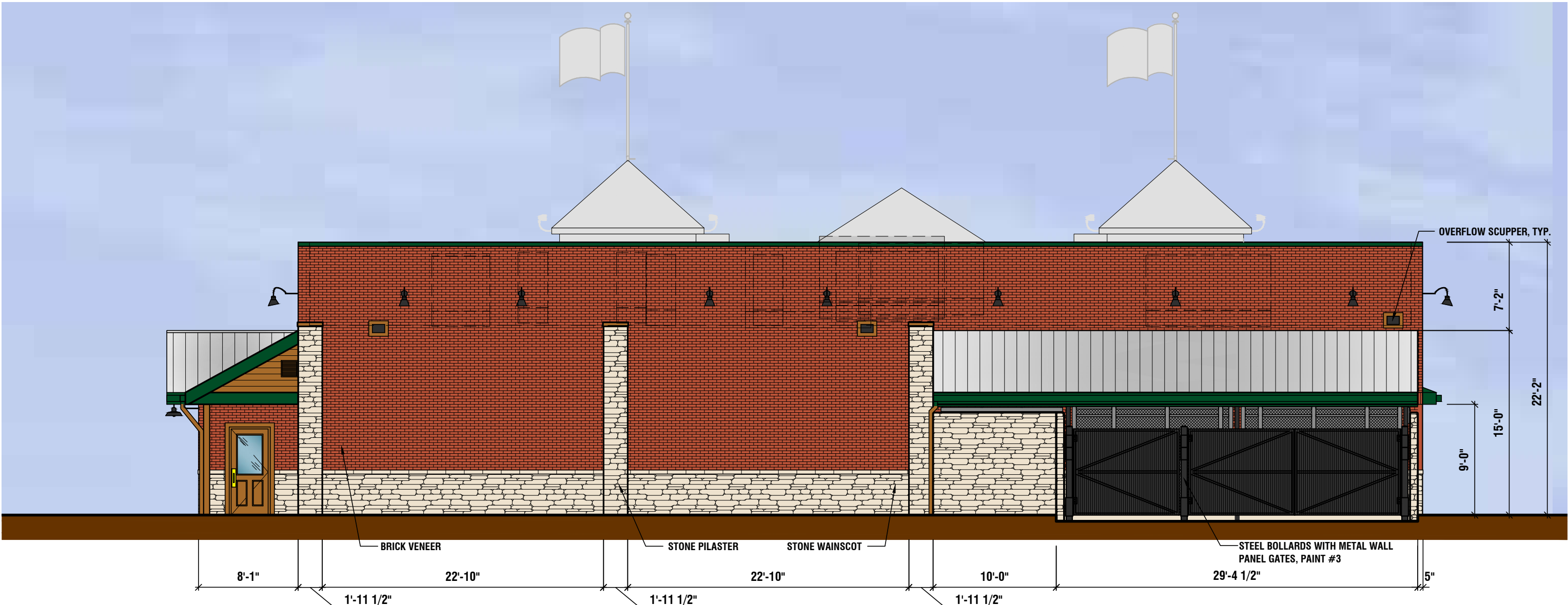
POLES ARE 25'-0" FOR AN OVERALL FIXTURE MOUNTING HEIGHT OF 27'-6" A.F.G.



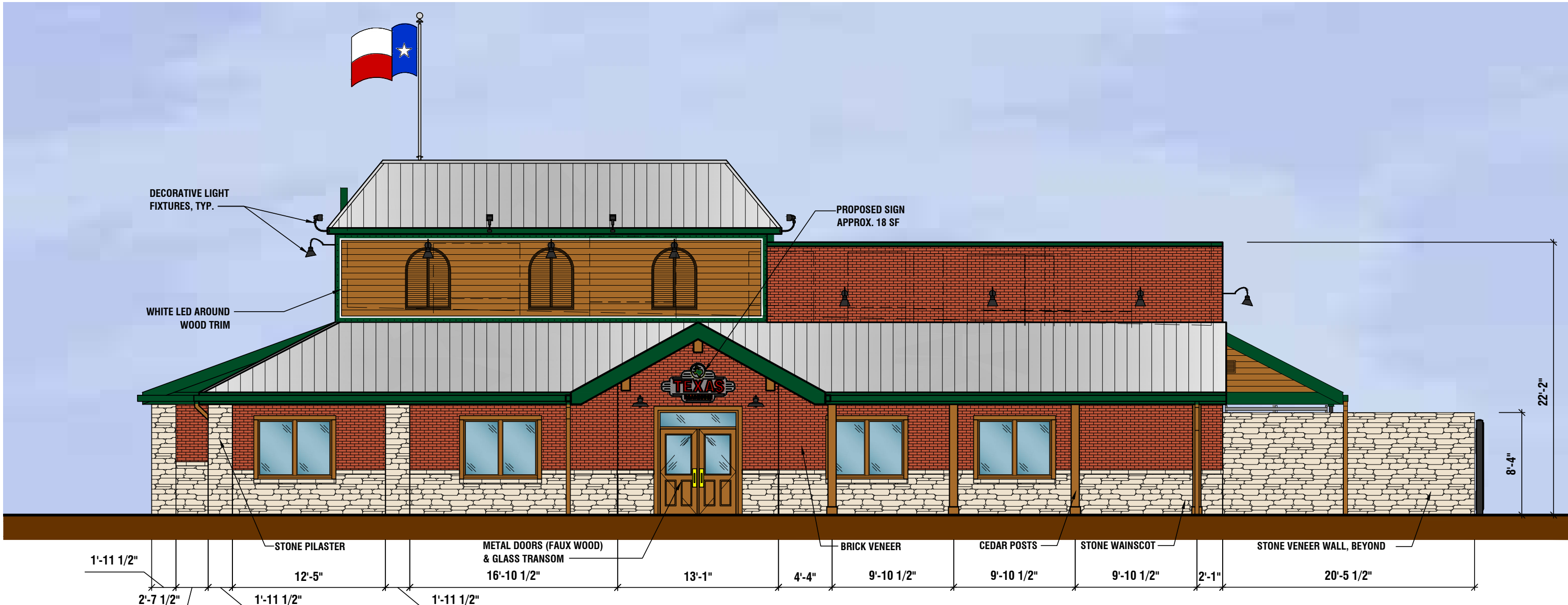
FRONT ELEVATION (SOUTHEAST)



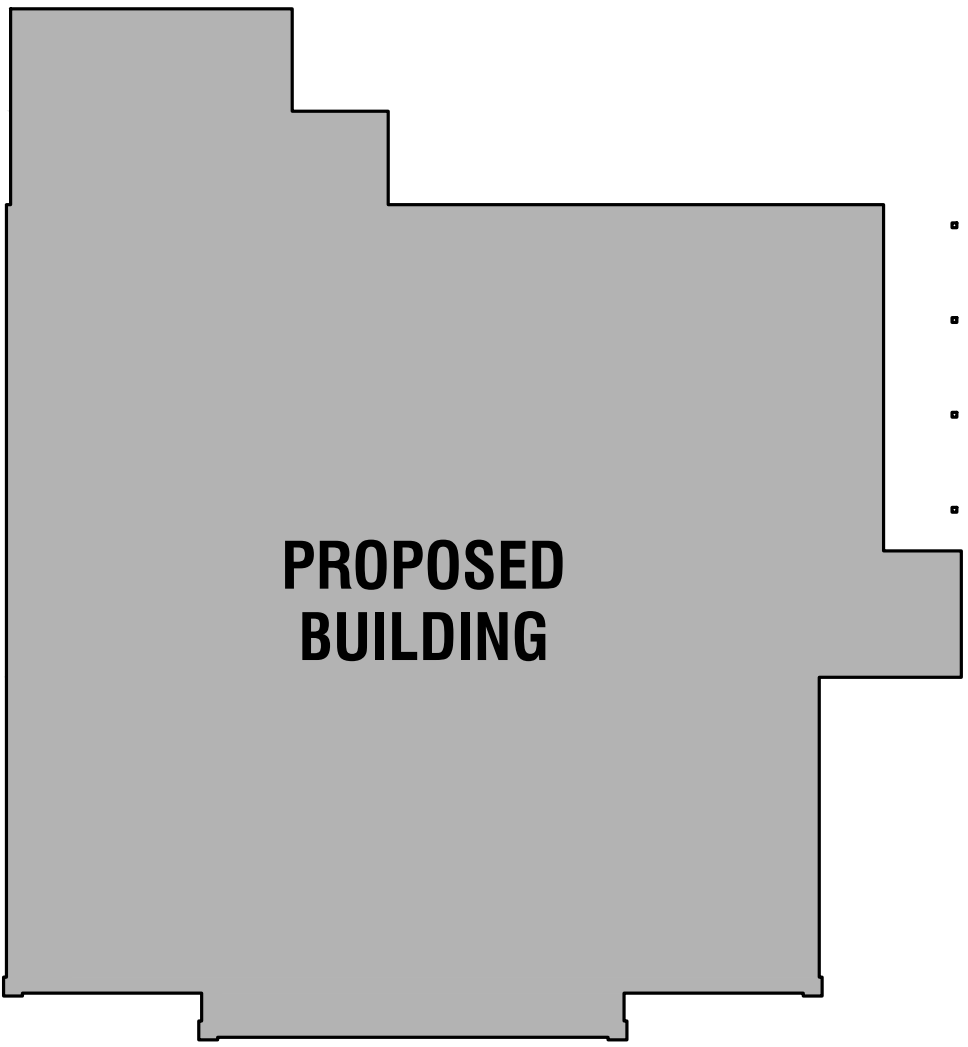
LEFT ELEVATION (SOUTHWEST)



REAR ELEVATION (NORTHWEST)



RIGHT ELEVATION (NORTHEAST)



PROPOSED
BUILDING



EXTERIOR FINISH SCHEDULE			
BUILDING ITEMS	DESCRIPTION	BUILDING ITEMS	DESCRIPTION
WOOD SIDING, TRIM, & WOOD SHUTTERS	PRE-STAINED CEDAR, HENRY POOR LUMBER CEDARTONE TWP #1501 STAIN FORMULA	METAL DOORS AND FRAMES	PAINT #3: SHERWIN WILLIAMS PAINTS, GLOSS BLACK
FRONT ENTRANCE DOORS	METAL DOORS (FAUX WOOD) STEELCRAFT "GRAIN-TECH" (MAPLE FINISH)	BRICK VENEER	CLAYMEX OLD DENVER
TRIM, METAL FLASHING AND GUTTERS	PAINT #1 SHERWIN WILLIAMS PAINTS, GREEN	BRICK VENEER (ALTERNATE)	GENERAL SHALE PHOENIX C652
DOWNSPOUTS	PAINT #2: SHERWIN WILLIAMS PAINTS, #2195 "ROADSIDE" FINISH COLOR TO MATCH PRE-STAINED CEDAR	STONE VENEER	HERITAGE STONE OTTAWA DRYSTACK
DUMPSTER GATES & BOLLARDS	PAINT #3: SHERWIN WILLIAMS PAINTS, GLOSS BLACK	METAL ROOF	METAL SALES 5V-CRIMP, GALVALUME

DISCLAIMER NOTE:
THE COLORS DEPICTED ON THESE ELEVATIONS ARE FOR GRAPHIC REPRESENTATION PURPOSES ONLY. PLEASE REFER TO MATERIAL BOARD FOR ACTUAL SAMPLE OF COLORS AND TEXTURES

EXTERIOR CALCULATIONS				PRIMARY MATERIALS		SECONDARY MATERIALS	
ELEVATION	TOTAL SURFACE AREA	GLAZING SURFACE AREA (INCLUDING DOORS & WINDOWS)	NET SURFACE AREA (EXCLUDING DOORS AND WINDOWS)	STONE AREA (%)	BRICK AREA (%)	WOOD SIDING, FASCIA & TRIM AREA (%)	METAL CAP AREA (%)
FRONT	1,665 S.F.	234 S.F.	1,431 S.F.	426 S.F. (30%)	517 S.F. (36%)	464 S.F. (32%)	24 S.F. (2%)
LEFT	1,781 S.F.	131 S.F.	1,650 S.F.	455 S.F. (28%)	844 S.F. (51%)	337 S.F. (20%)	14 S.F. (1%)
REAR	1,901 S.F.	30 S.F.	1,871 S.F.	417 S.F. (22%)	1381 S.F. (74%)	43 S.F. (2%)	30 S.F. (2%)
RIGHT	1,631 S.F.	199 S.F.	1,432 S.F.	465 S.F. (33%)	564 S.F. (39%)	391 S.F. (27%)	12 S.F. (1%)

GreenbergFarrow

21 S. Evergreen Ave. Suite 200
Arlington Heights, Illinois 60005
t: 847 788 9200 f: 847 788 9536



OWNER

Rockwall Rental Properties LP
P.O. BOX 818
Terrell, TX 75160
Randall Noe
(972) 524-5488

APPLICANT

GreenbergFarrow
21 S. Evergreen Ave. #200
Arlington Heights, IL 60005
Paula Hubert, AIA, LEED AP BD+C
(224) 310-5072
phubert@greenbergfarrow.com

TEXAS ROADHOUSE
ROCKWALL, TX

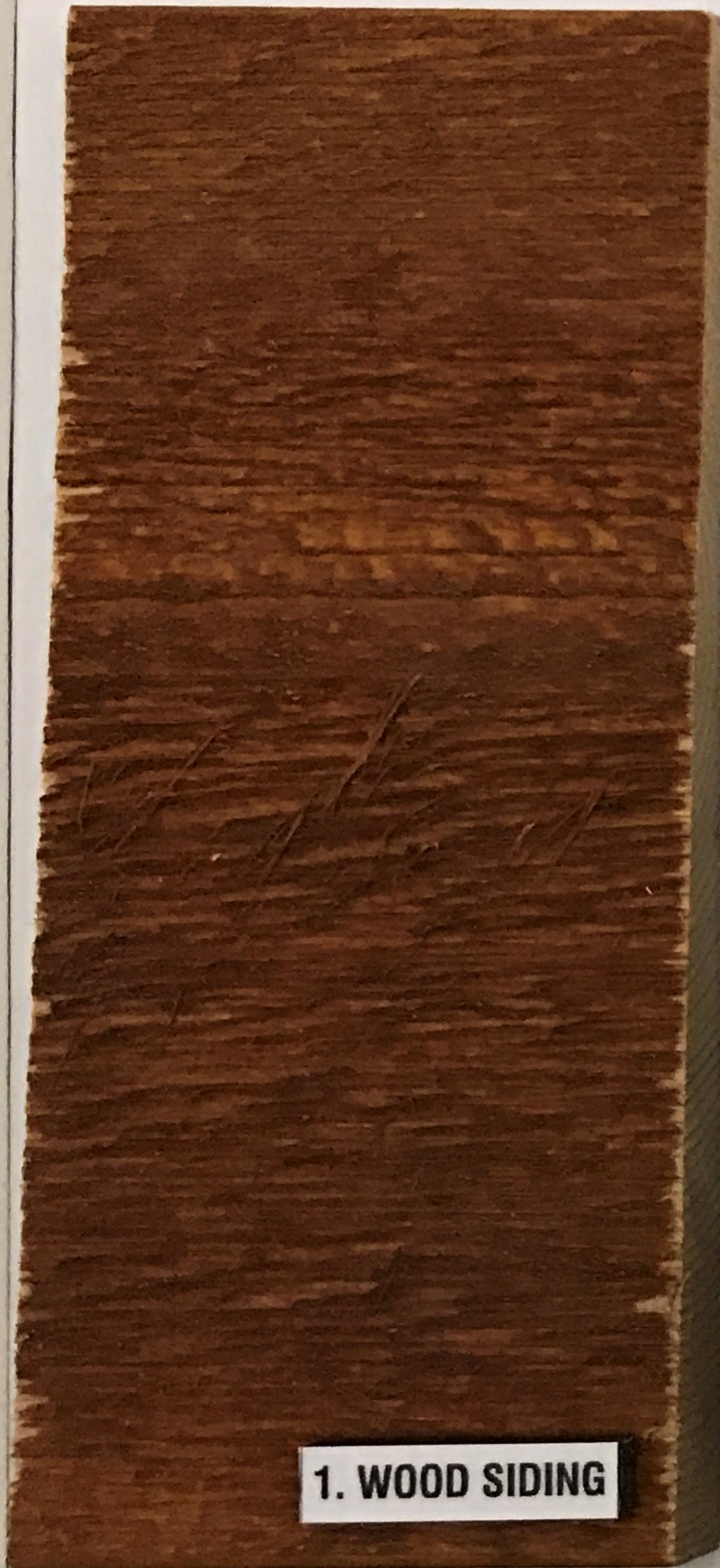
7420 SF
Architect #: 20151291.0
Case #:

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

A2.0

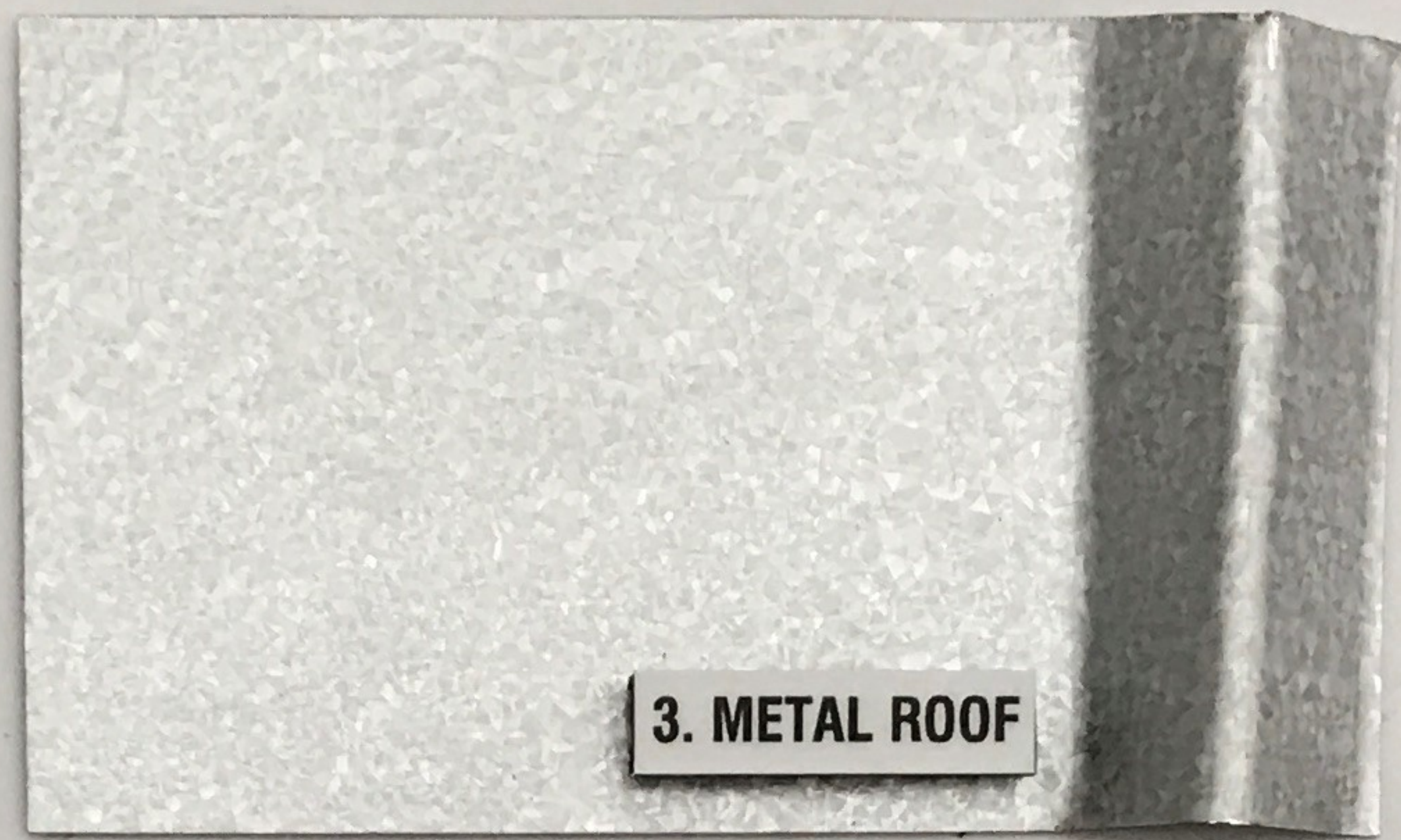
04/06/2017



1. WOOD SIDING



2. WOOD TRIM



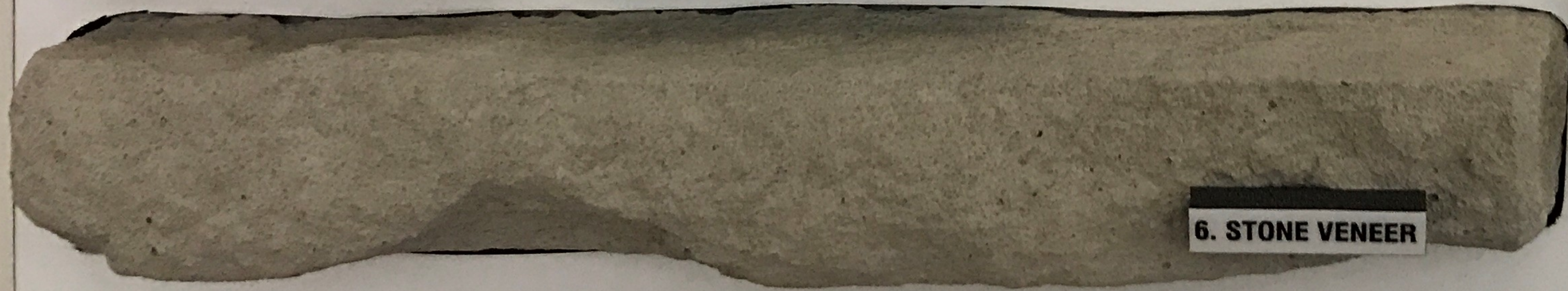
3. METAL ROOF



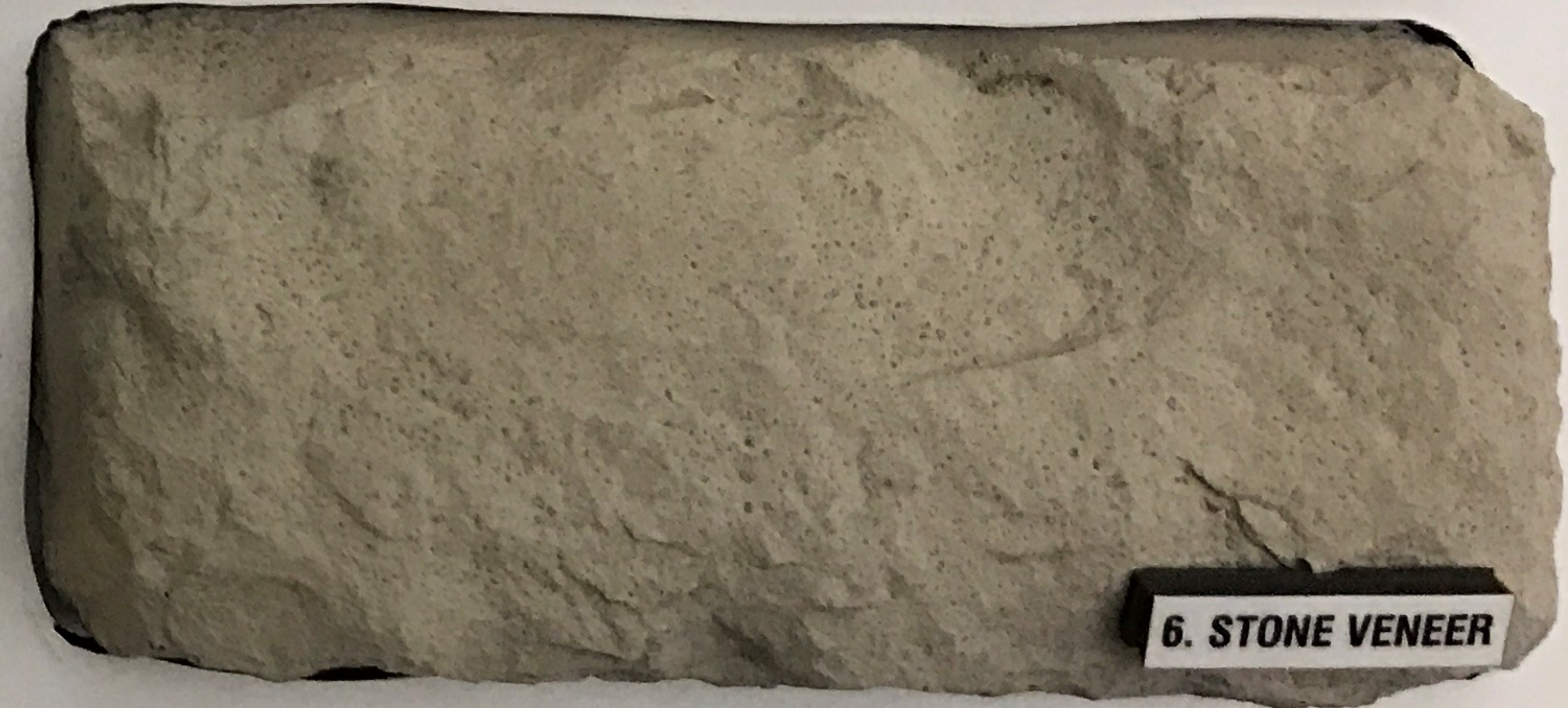
4. METAL FRAME



5. BRICK VENEER



6. STONE VENEER



6. STONE VENEER

EXTERIOR FINISH SCHEDULE

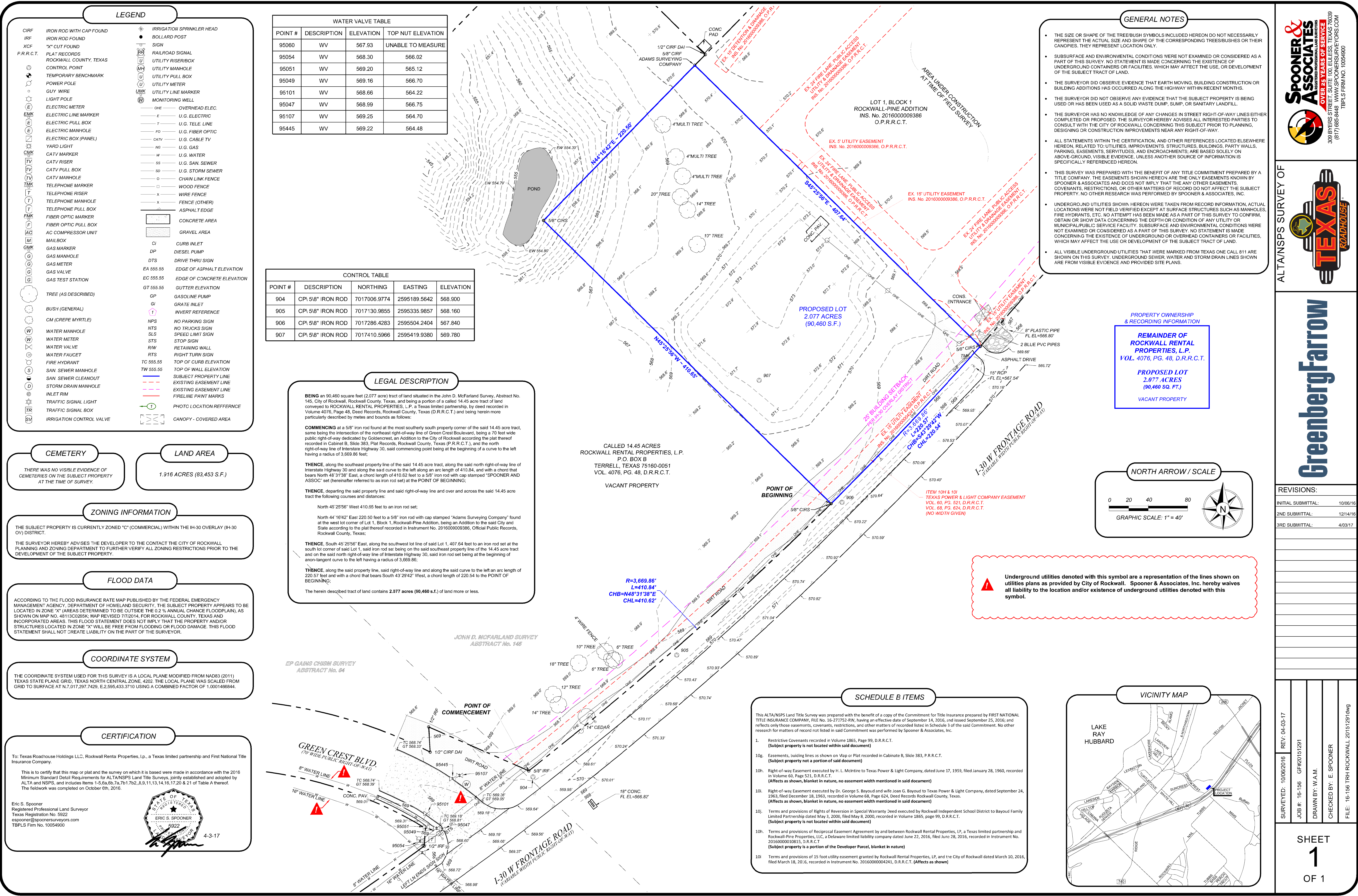
	BUILDING ITEMS	DESCRIPTION
1	WOOD SIDING, TRIM, & WOOD SHUTTERS	PRE-STAINED CEDAR, HENRY POOR LUMBER CEDARTONE TWP #1501 STAIN FORMULA
2	TRIM, METAL FLASHING AND GUTTERS	PAINT #1 SHERWIN WILLIAMS PAINTS, GREEN
3	METAL ROOF	METAL SALES 5V-CRIMP, GALVALUME
4	DUMPSTER GATES, BOLLARDS, METAL DOORS & FRAMES	PAINT #3: SHERWIN WILLIAMS PAINTS, GLOSS BLACK
5	BRICK VENEER	CLAYMEX OLD DENVER
6	STONE VENEER	HERITAGE STONE OTTAWA DRYSTACK

GreenbergFarrow
21 S. Evergreen Ave. Suite 200
Arlington Heights, Illinois 60006
t: 847 788 9200 f: 847 788 9536



OWNER	APPLICANT
Rockwall Rental Properties LP P.O. BOX 618 Tomball, TX 75160 Randall Ware (972) 524-5488	GreenbergFarrow 21 S. Evergreen Ave. #200 Arlington Heights, IL 60006 Paula Hubert (224) 310-5072 phubert@greenbergfarrow.com

TEXAS ROADHOUSE | **MATERIAL BOARD**
ROCKWALL, TX
7420 SF
Architect #: 20151291.0
Case #: **MB1.0**





Memorandum

April 10, 2017

To	Board of Adjustment City of Rockwall	Project	Texas Roadhouse – Rockwall, TX
		Project #	20151291.0
		From	Paula Hubert
		Re	Board of Adjustment Review - Variance Request
		Copies	

Dear Planning Staff & Board Members-

On behalf of our client, Texas Roadhouse, please consider this letter in conjunction with the Variance application documents provided for your review. We offer the following supporting evidence with respect to the variance request to Section 6.6, IH-30 Overlay District, of the Unified Development Code, C. 1. Masonry Requirements as well as C 1. b. Secondary materials. Please see below for the applicable section of the ordinance and key points addressing the reason for the variance request:

City of Rockwall , Texas - Unified Development Code:

C. Architectural standards.

1. *Masonry requirements. Each exterior wall shall consist of 90 percent masonry materials, excluding doors and windows, as defined in article XII, Definitions, excluding cast stone and cultured stone, on walls which are visible from a public street or open space, including a minimum of 20 percent natural or quarried stone.*

Texas Roadhouse relies on the design elements of it's building, including the colors and materials, to attract and retain customers, which contributes to the long term success of their restaurants. The proposed design is aesthetically pleasing with varied high quality materials such as brick, stone, metal and clear stained cedar. The body of the building is primarily comprised of stone wainscot and brick, with stone piers adding architectural relief. In addition, the restaurant entry is defined by a roof overhang, clear stained cedar posts, stone wainscot, stone pilasters and accented with architectural lighting at the entry door. The architectural details are continued on all four building elevations, for a cohesive architectural expression of the unique design that defines the Texas Roadhouse restaurant. Strict adherence to the applicable development code creates a hardship since the design elements that Texas Roadhouse relies on as an integral part of the long term success of the restaurant would be altered.

C. Architectural standards.

b. *Secondary materials used on the facade of a building are those that comprise less than ten percent of an elevation area. Permitted secondary materials are all primary materials, aluminum or other metal, EIFS, cast stone, cultured stone or other materials as approved by the director of planning or his designee.*

As detailed in the color elevations, material board and key points noted above, the Texas Roadhouse design is in keeping with the intent of the ordinance and the overlay standards. The design utilizes high quality building materials and will be harmonious with other developments along the I-30 frontage. In addition, the use of wood as a secondary material is an important design feature for the Texas Roadhouse restaurant and conveying the brand design to the customers and ensuring the success of the restaurant. *Strict adherence to the applicable development code creates a hardship since the design elements that Texas Roadhouse relies on as an integral part of the long term success of the restaurant would be altered.*

Thank you for your consideration of our submittal and the above points. I look forward to receiving your input and approval.

Please feel free to contact me if any additional information or explanation is required at this time, I can be reached at (224)310-5072 or at phubert@greenbergfarrow.com.

Thank you

Application For Board Of Adjustment / Sign Board Of Review

Date: 04/10/2017

Fee: \$200.00

Property Address of Subject: Approx. NEQ of I-30 (frontage road) and Greencrest Blvd

Applicant Name: GreenbergFarrow Day Phone #: (847) 788-0678

Address: 21 South Evergreen Ave, Suite 200, Arlington Heights, IL 60005

Owner of Property: Texas Roadhouse Holdings LLC Day Phone #: (502) 426-9984

Address: 6040 Dutchmans Lane, Louisville, KY 40205

Legal Description of Property (Description may be attached):

Survey with Legal Description attached

Total Acreage: 2.075 Acres Number of Lots: 1 (Proposed)

Current Use of Property: Vacant, undeveloped field

Proposed Use of Property: New Texas Roadhouse restaurant

Requirement or Regulation for which a Variance is Requested:

Section 6.6, IH-30 Overlay (IH-30 OV) District , of the Unified Development Code , for the use of secondary building materials in excess of 10% and for the use of less than 90% masonry.

Reason For Variance Request: (Attach any necessary documents)

See attached narrative with reason for variance request.

Paula Hubert

Signature of Applicant

Paula Hubert - GreenbergFarrow

For City Use Only:

Date Received: _____ Received By: _____ Current Zoning: _____

Amount Paid: \$ _____ Check # _____ Case File #: _____