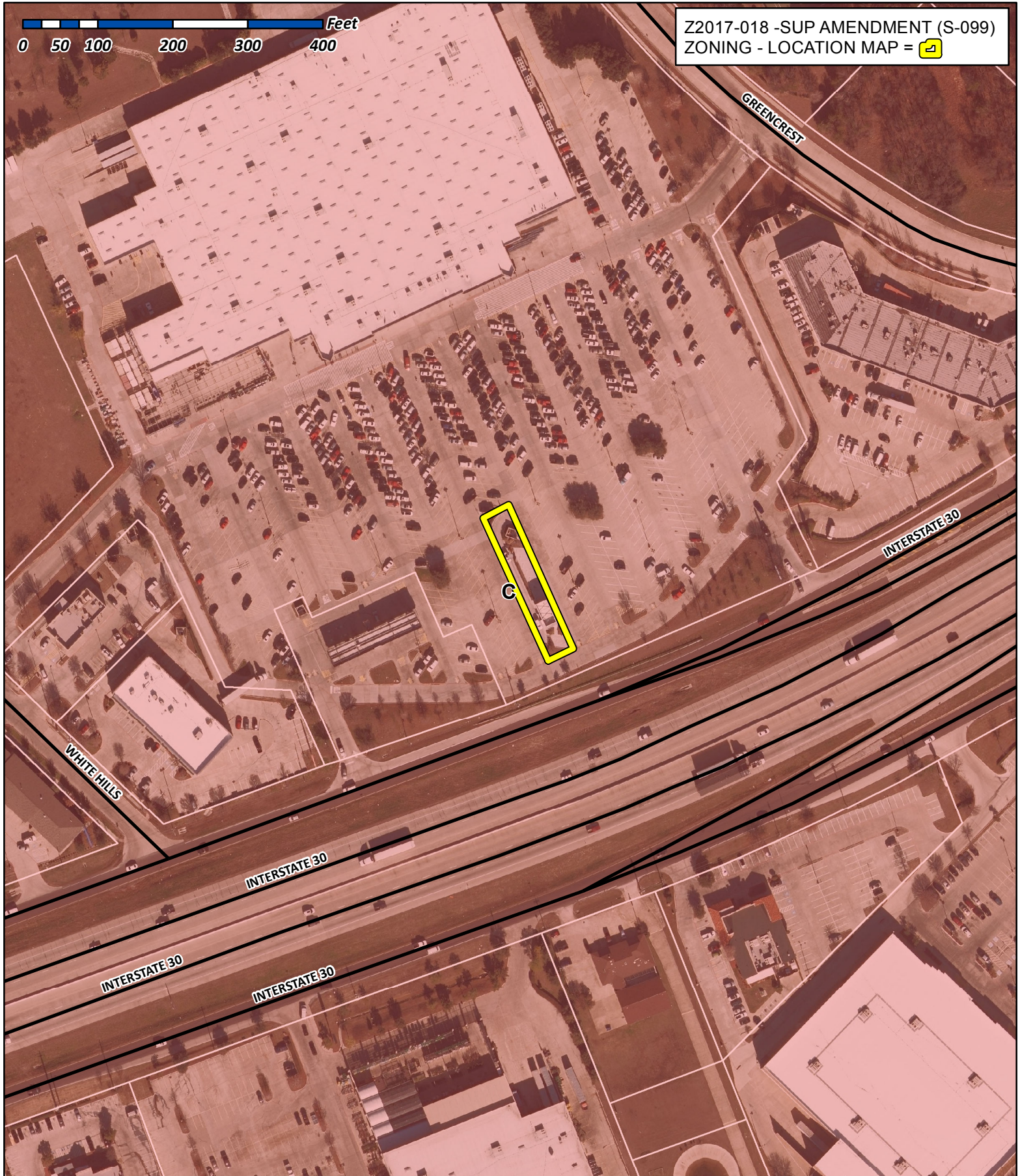


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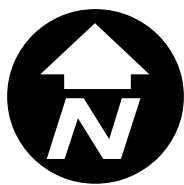
Z2017-018 -SUP AMENDMENT (S-099)
ZONING - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

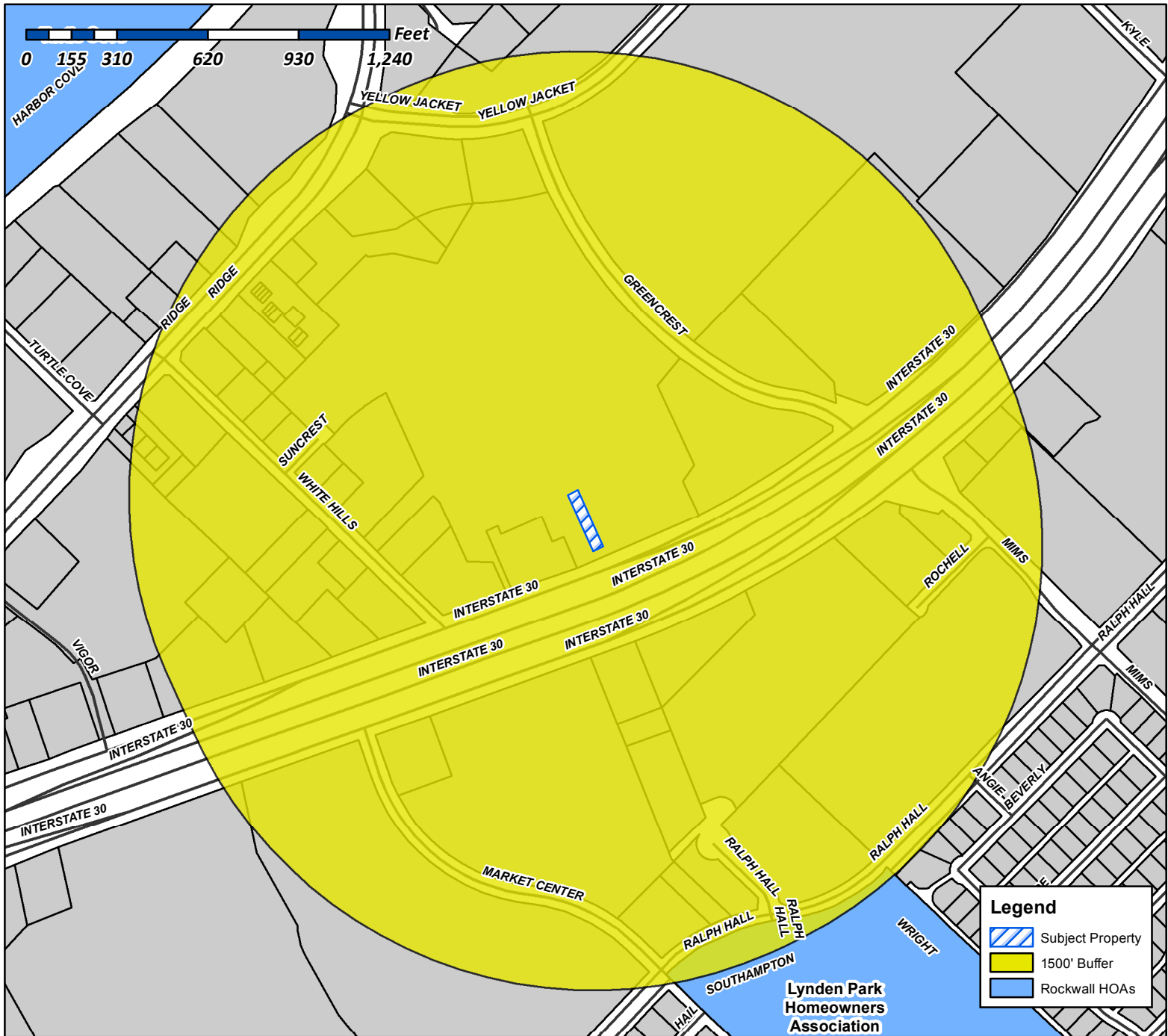




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

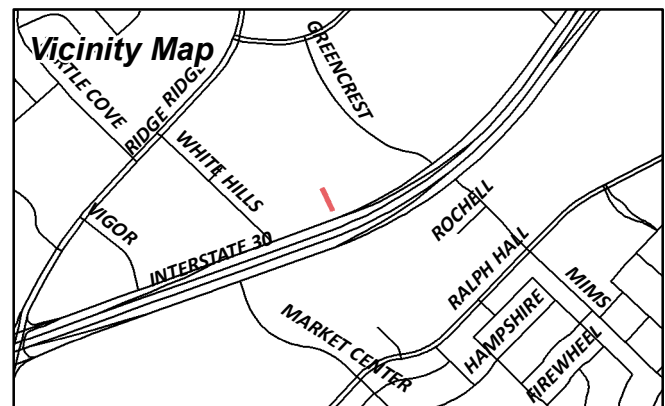
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Case Number: Z2017-018
Case Name: SUP Amendment (S-099)
Case Type: SUP
Zoning: Commercial (C) District
Case Address: 782 E. IH-30

Date Created: 04/21/2017

For Questions on this Case Call (972) 771-7745

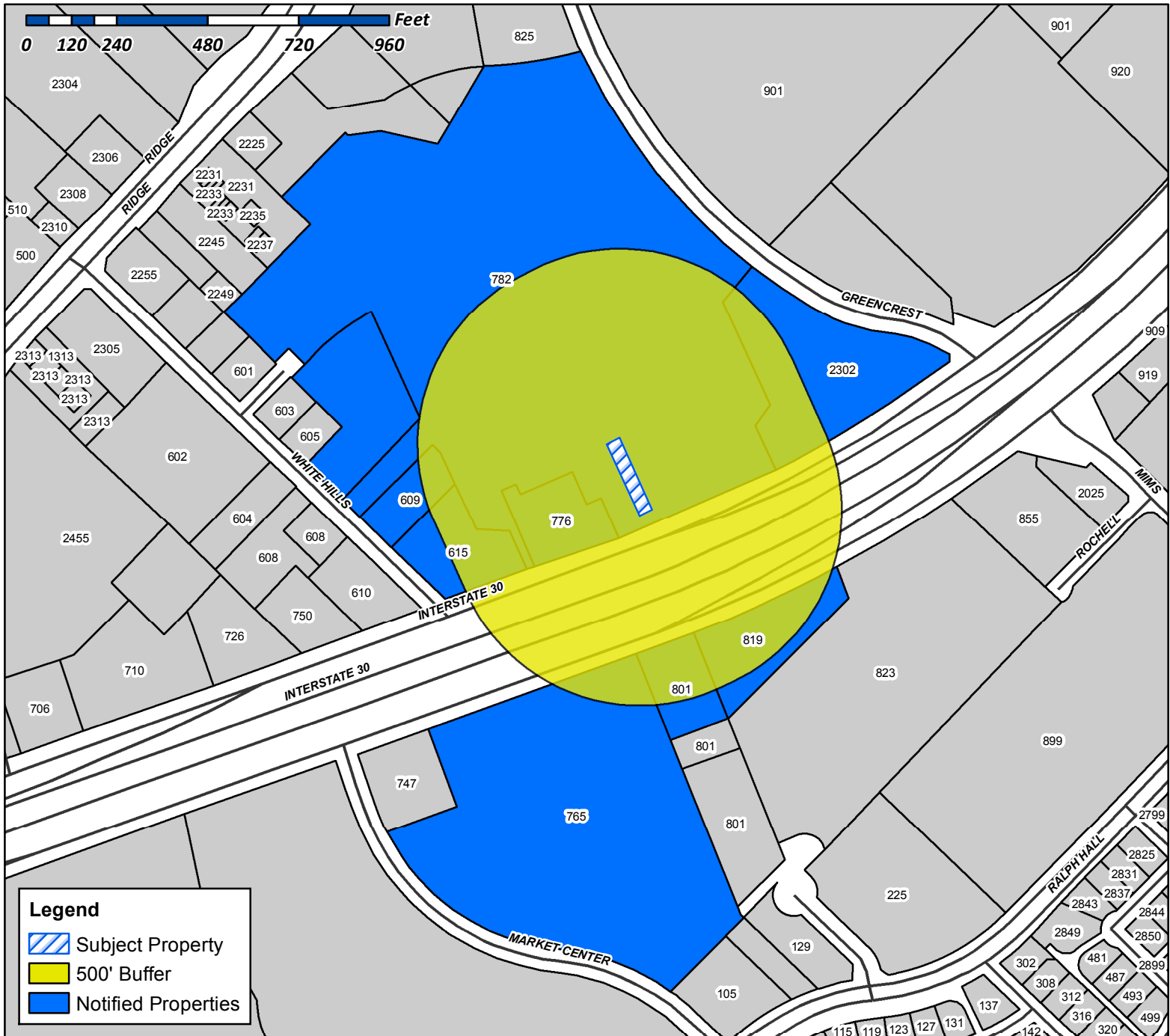




City of Rockwall

Planning & Zoning Department
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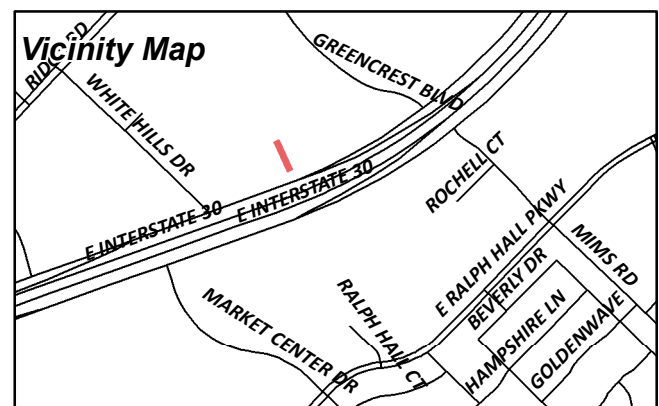
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Date Created: 04/21/2017

For Questions on this Case Call (972) 771-7745



WALKER I REALTY INC
C/O CHARLES F WALKER
1112 POST OAK PL
WESTLAKE, TX 76262

WEINBERGER HAROLD E 1998 FAMILY TRUST &
ELANA KROLL 1993 TRUST
1425 CAMINO LUJAN
SAN DIEGO, CA 92111

MAJESTIC CAST INC
1625 FERRIS RD
GARLAND, TX 75044

JLIU ASSET MANAGEMENT LTD
1711 E BELTLINE RD
COPPELL, TX 75019

CURRENT RESIDENT
2302 GREENCREST BLVD
ROCKWALL, TX 75087

CURRENT RESIDENT
609 WHITE HILLS DR
ROCKWALL, TX 75087

CURRENT RESIDENT
615 WHITE HILLS DR
ROCKWALL, TX 75087

SAYED PROPERTY MANAGEMENT LLC
7008 MILLS BRANCH CIR
PLANO, TX 75024

CURRENT RESIDENT
765 I30
ROCKWALL, TX 75087

CURRENT RESIDENT
776 I30
ROCKWALL, TX 75087

CURRENT RESIDENT
782 I30
ROCKWALL, TX 75087

CURRENT RESIDENT
801 I30
ROCKWALL, TX 75087

CURRENT RESIDENT
819 I30
ROCKWALL, TX 75087

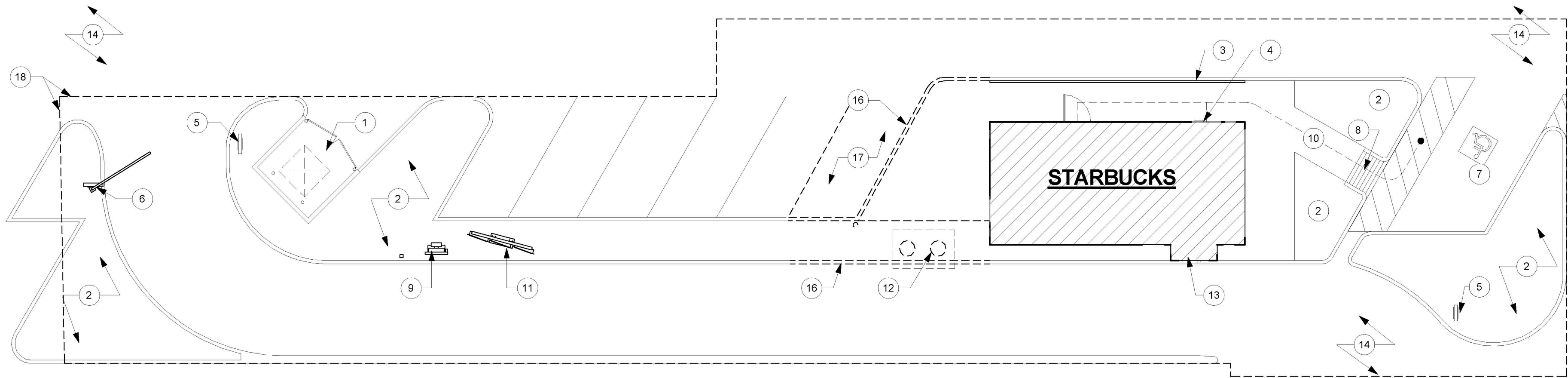
609 WHITE HILLS LTD
C/O TACO BUENO RESTAURANTS INC
PARK 1 WEST 0
FARMERS BRANCH, TX 75234

HD DEVELOPMENT PROPERTIES LP
PROPERTY TAX DEPT #0531
PO BOX 105842
ATLANTA, GA 30348

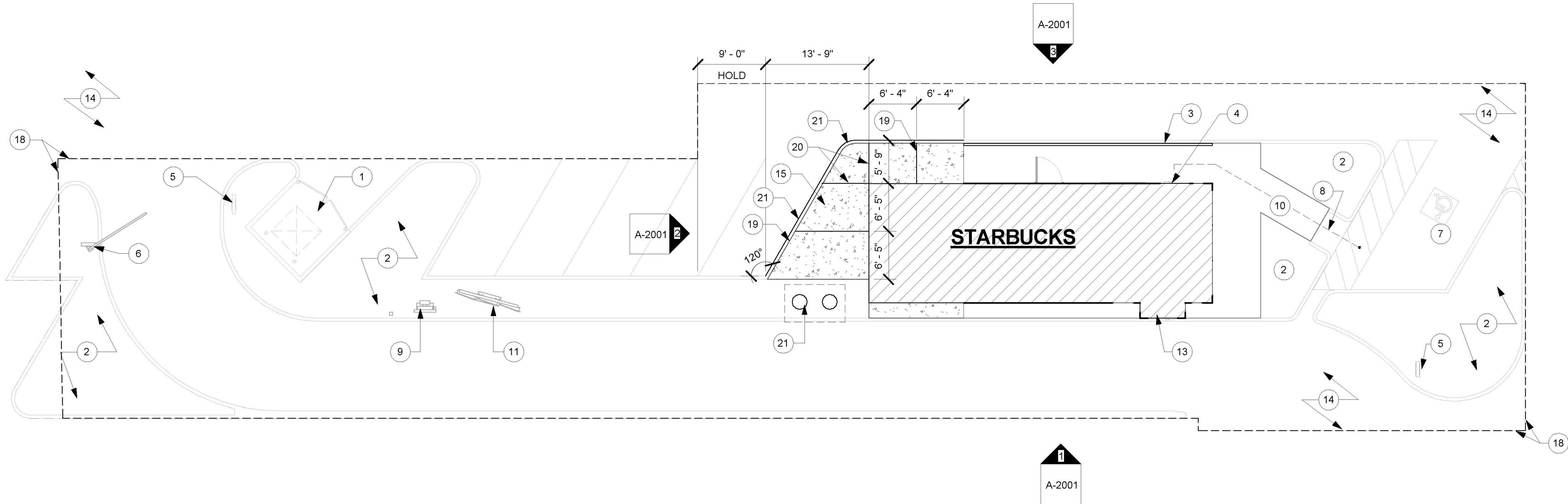
MURPHY OIL USA INC
PO BOX 7300
EL DORADO, AR 71731

WAL-MART REAL ESTATE
BUSINESS TRUST
PO BOX 8050
BENTONVILLE, AR 72712

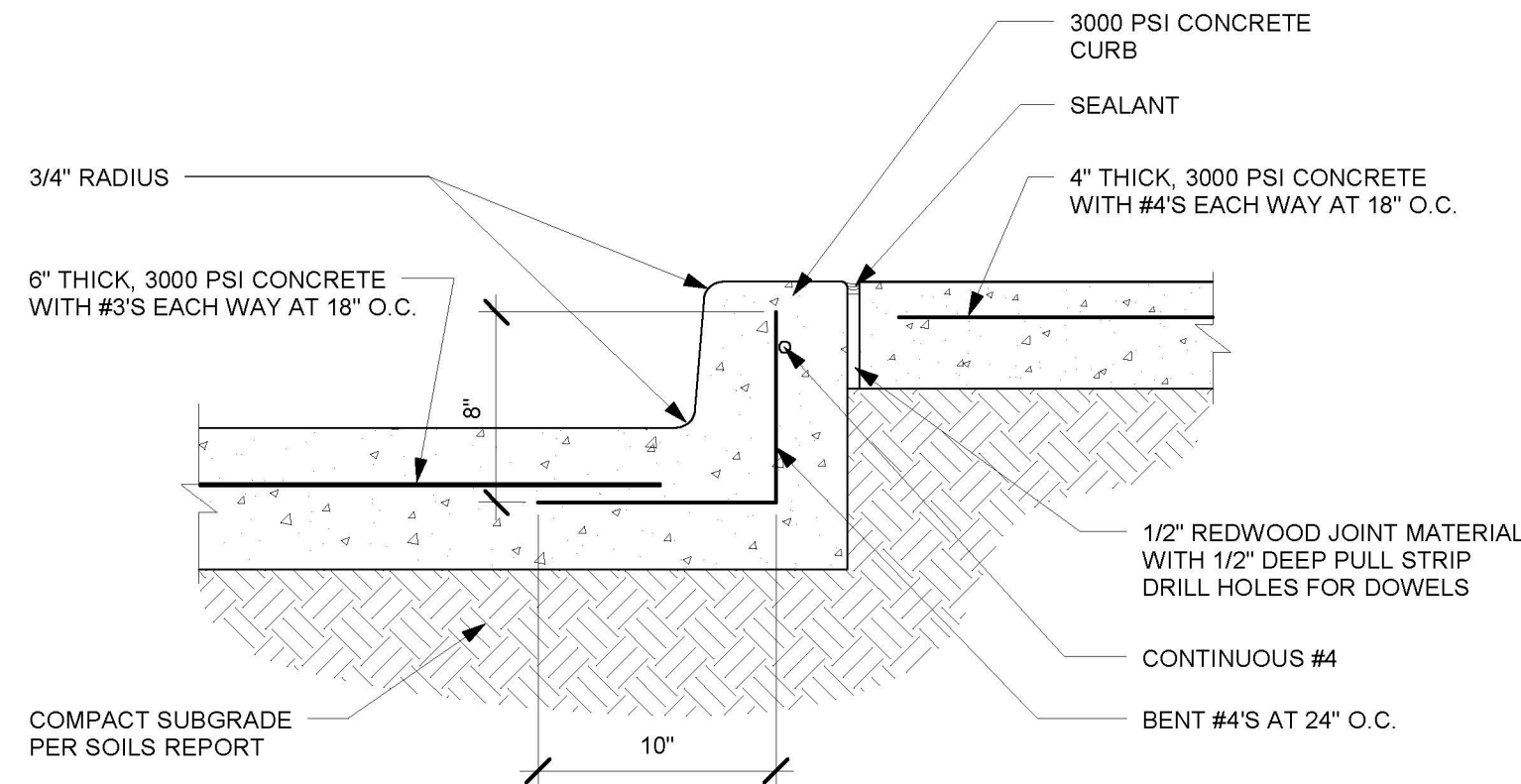
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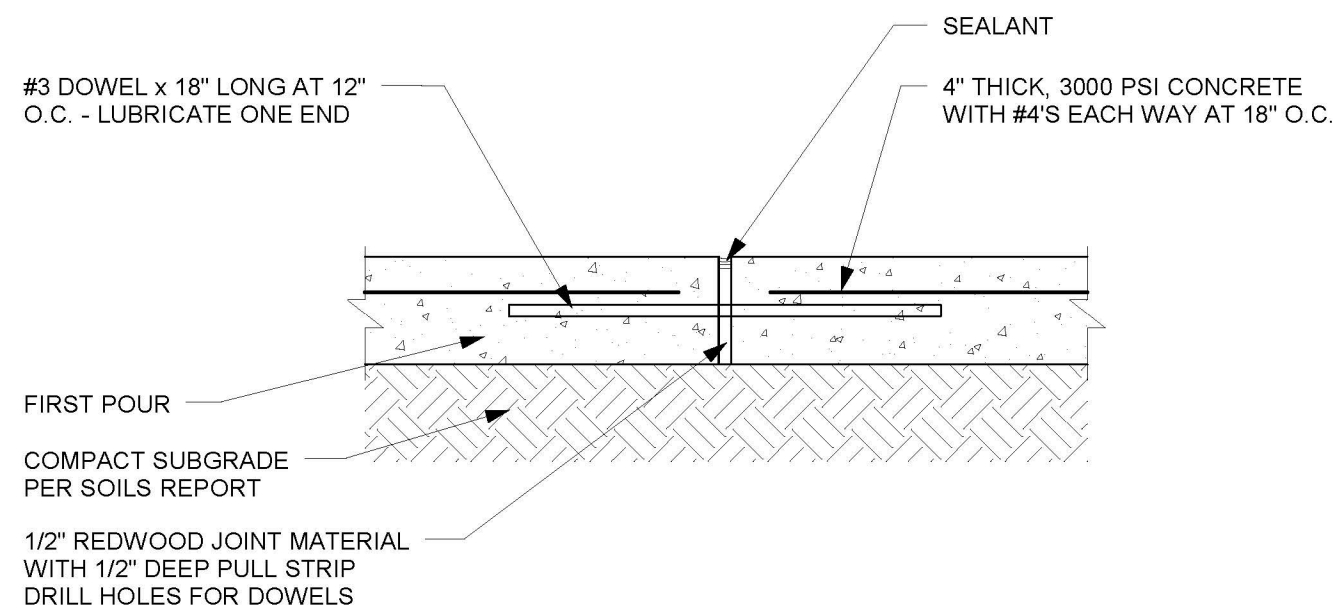
1 SITE PLAN - DEMO
Scale: 3/32" = 1'-0"



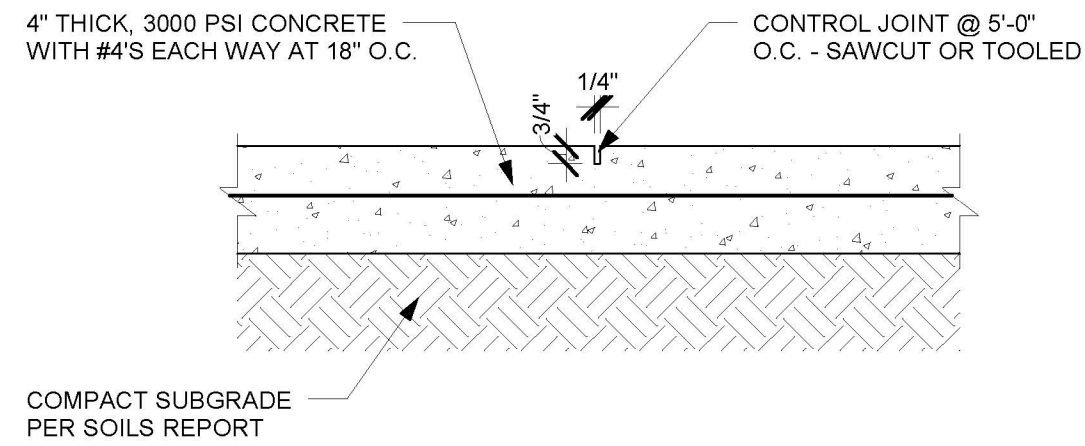
2 SITE PLAN
Scale: 3/32" = 1'-0"



3 CURB DETAIL
Scale: 1 1/2" = 1'-0"



4 SIDEWALK EXPANSION JOINT
Scale: 1 1/2" = 1'-0"



5 SIDEWALK CONTROL JOINT
Scale: 1 1/2" = 1'-0"

ARCH. SITE PLAN GENERAL NOTES

- REFER TO EXTERIOR ELEVATIONS FOR BUILDING SIGNAGE LOCATION AND DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
 - LANDSCAPING TO BE EXISTING TO REMAIN
 - TRASH ENCLOSURE SHALL BE LOCKABLE USING STEEL GATES OR CHAIN.
 - GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
 - EXTERIOR SITE LIGHTING TO BE ON TIME CLOCK SYNCHRONIZED WITH SIGNAGE.
- LIGHTING REQUIREMENTS:
- 3-7 FOOTCANDLES LIGHT LEVELS MINIMUM.
 - NO DARK AREAS ON SITE (INCLUDING TRASH ENCLOSURE & OUTDOOR PATIOS).
 - METAL HALIDE LIGHTING PREFERRED.
- F. REFER TO SHEETS I-6001 FOR SCHEDULES.

ARCHITECTURAL SITE PLAN KEYNOTES

- EXISTING TRASH ENCLOSURE TO REMAIN
- EXISTING LANDSCAPING TO REMAIN
- EXISTING RAILING TO REMAIN
- EXISTING WALK UP WINDOW TO REMAIN
- EXISTING DIRECTIONAL SIGNAGE TO REMAIN
- EXISTING CLEARANCE BAR TO REMAIN
- EXISTING HANDICAPPED PARKING TO REMAIN
- EXISTING HANDICAPPED PARKING RAMPS TO REMAIN
- EXISTING DIGITAL ORDER SCREEN TO REAMIN
- EXISTING 36" WIDE MINIMUM ACCESSIBLE PATH OF TRAVEL TO ACCESSIBLE PARKING BY LANDLORD. NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE AND CROSS SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5% AND 2% RESPECTIVELY.
- EXISTING DRIVE THRU MENU BOARD TO REMAIN
- EXISTING GREASE TRAP TO BE REMOVED AND DEMOLISHED.
- EXISTING DRIVE THRU WINDOW TO REMAIN
- EXISTING SITE ACCESS TO REMAIN
- NEW CONCRETE INFILL W/ CURB TO MATCH EXISTING, SEE DETAILS A-1001
- DEMOLISH EXISTING CONCRETE SLAB AND CURB & LANDSCAPING TO EXTENTS SHOWN
- DEMOLISH EXISTING PARKING SPACE AND PREPARE FOR NEW CONCRETE SLAB
- PROPERTY LINE
- SIDEWALK EXPANSION JOINT; REF 4/A-1001
- SIDEWALK CONTROL JOINT; REF 5/A-1001
- NEW GREASE TRAP. RE: PLUMBING DRAWINGS

GENERAL EXTERIOR REFRESH; PRESSURE WASH DRIVE AISLE, PARKING SPACE, PATIO, SIDEWALK, AND BUILDING EXTERIOR. REPAINT CURBS, PARKING STRIPES, PATIO RAILINGS AN DPROTECTIVE BOLLARDS. - COORDINATE SCOPE OF WORK WITH LANDLORD.

SIGNAGE CONTRACTOR TO EXPEDITE SIGNAGE UNDER SEPARATE PERMIT.

SIGNAGE VENDOR OBTAINING PERMIT SHALL VERIFY PERMITABLE SIGNAGE, POLE SIGNAGE, & SITE SIGNAGE WITH LANDLORD & LOCAL JURISDICTION PRIOR TO FABRICATION AND SHALL SEND SUBMITTAL TO STARBUCKS DESIGN MANAGER FOR APPROVAL.



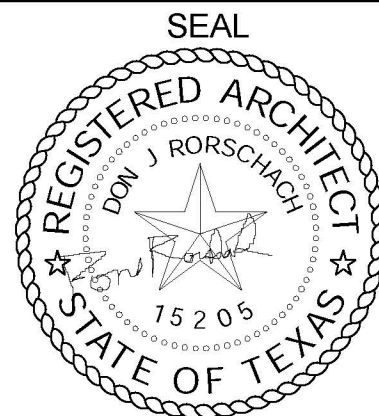
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(817) 820-0433



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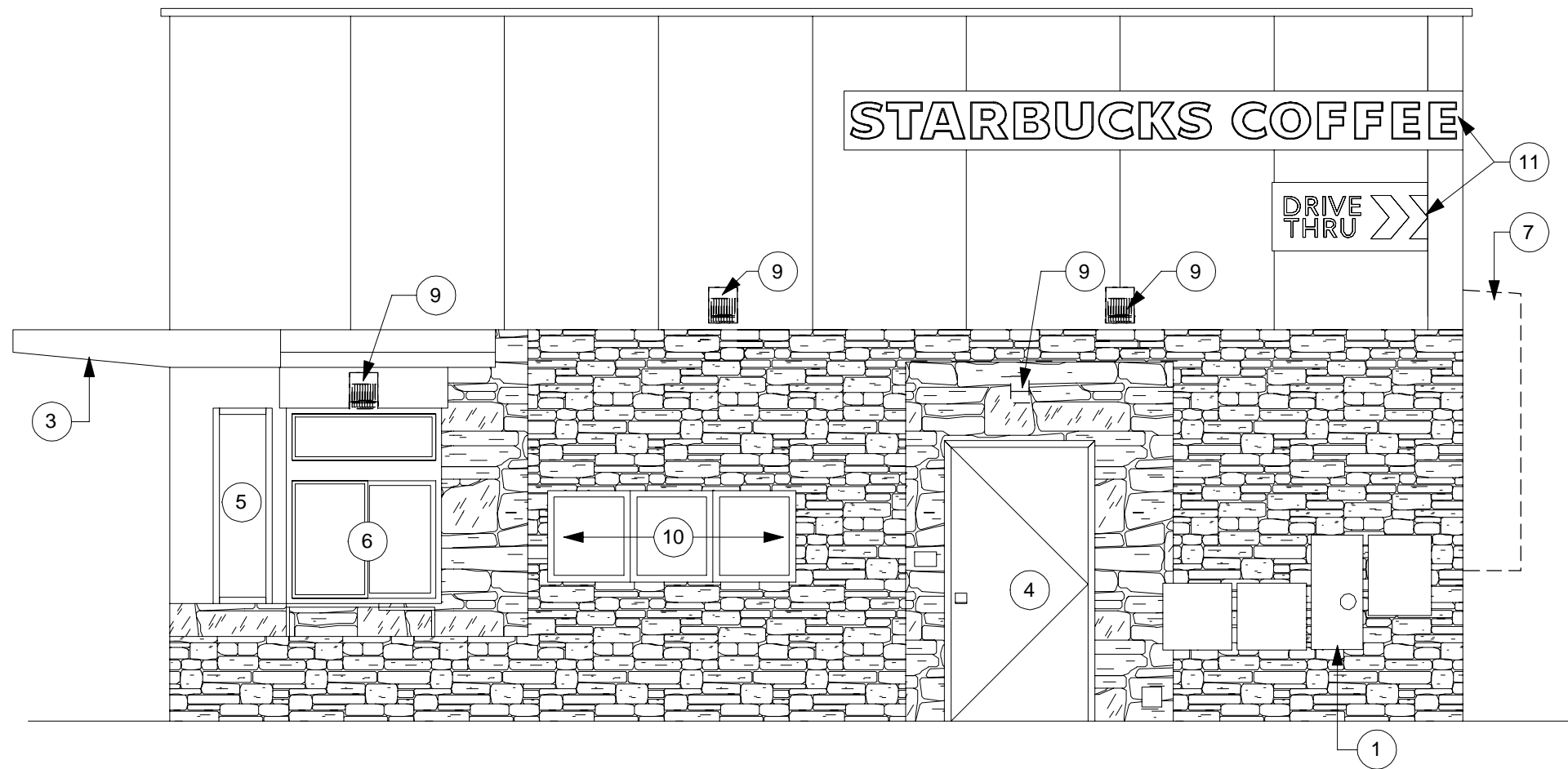
PROJECT NAME:
1-30 & WHITE HILLS DR
PROJECT ADDRESS:
**782 INTERSTATE 30
ROCKWALL, TX 75087**

STORE #: 24180
PROJECT #: 64015-015
CONCEPT: MCS
PALETTE: NCS
ORIGINAL ISSUE DATE: 03-21-2017
DESIGN MANAGER: I. PEREZ-ROSSELLO
LEED® AP: N/A
PRODUCTION DESIGNER: A. BLOMMER
CHECKED BY: E. PEREZ

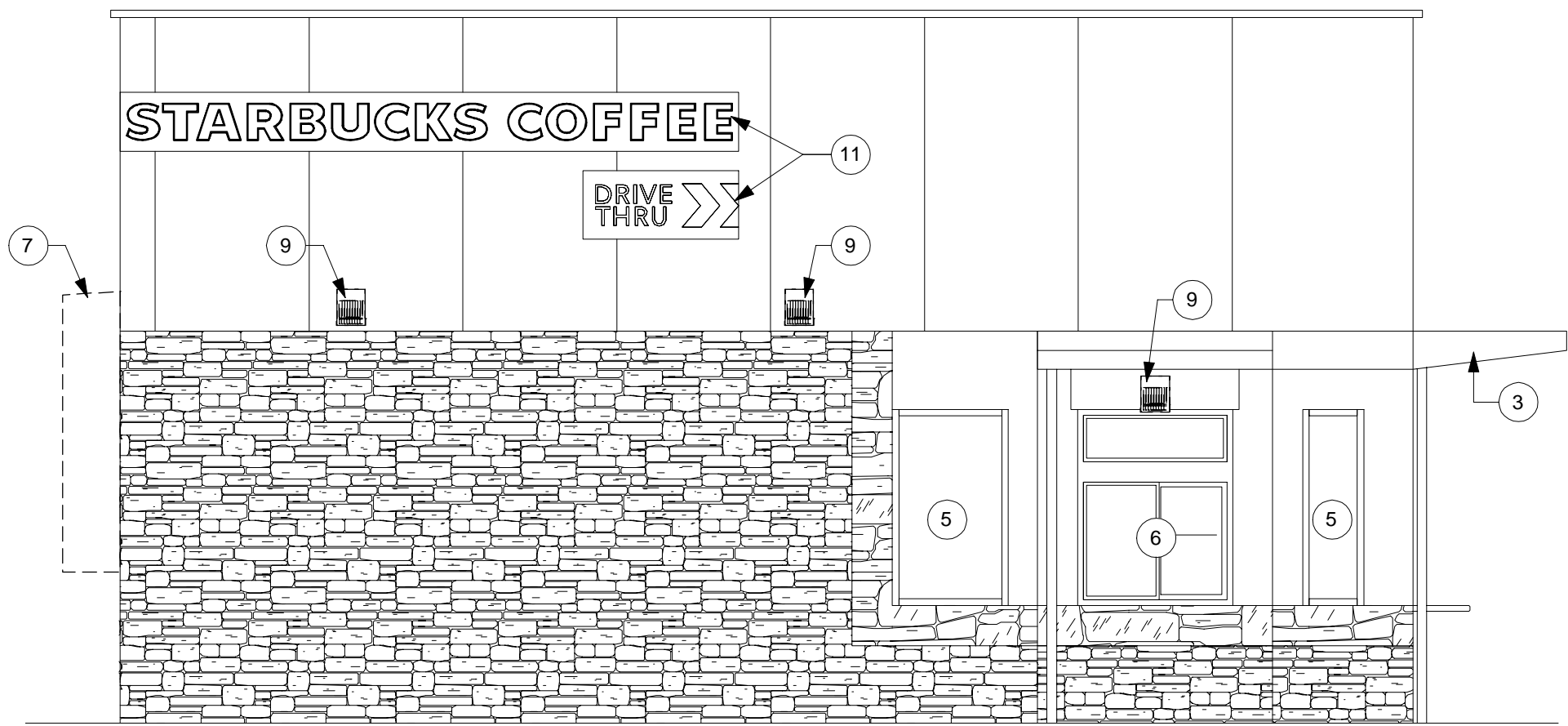
REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTIONS

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**ARCHITECTURAL SITE
PLAN**
SCALE: As indicated

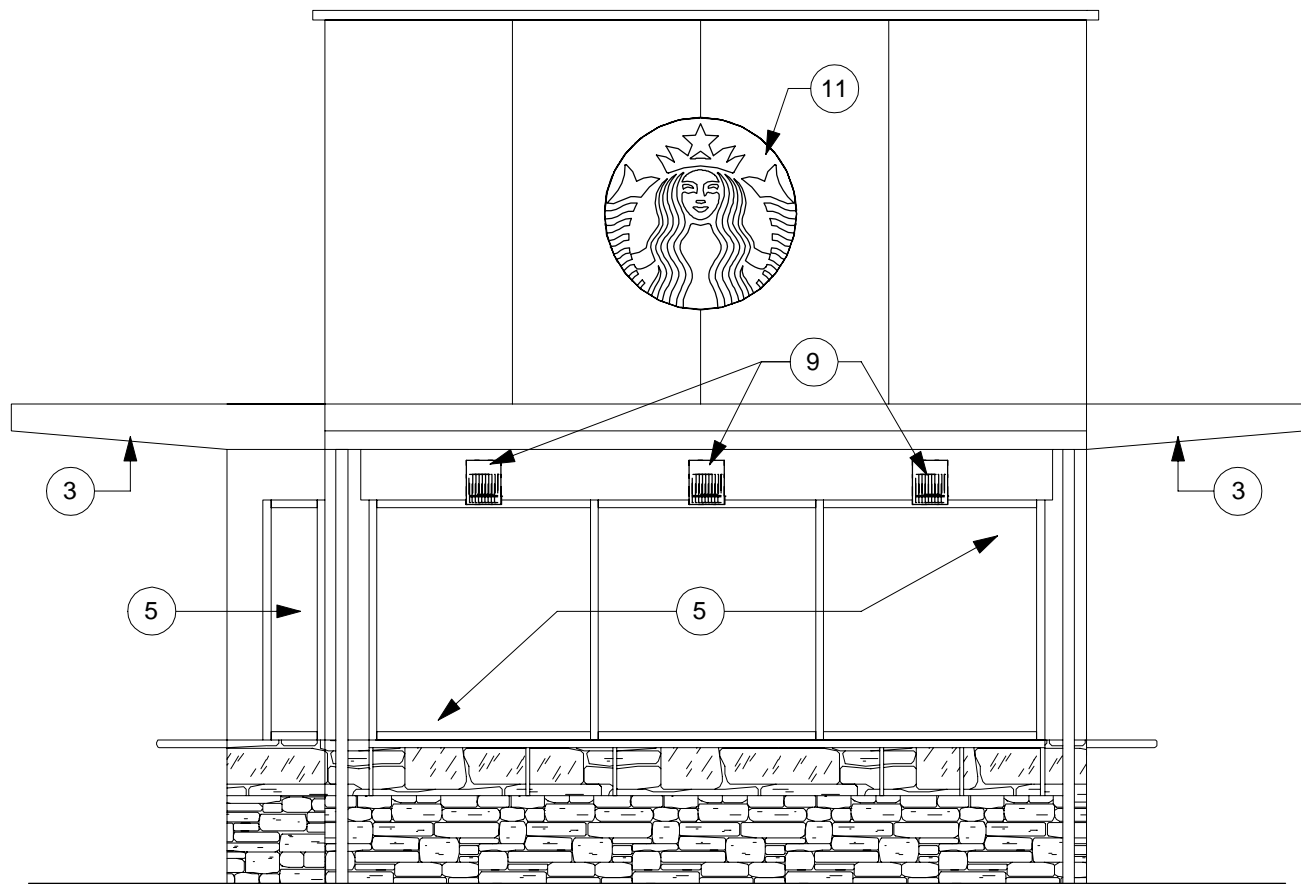
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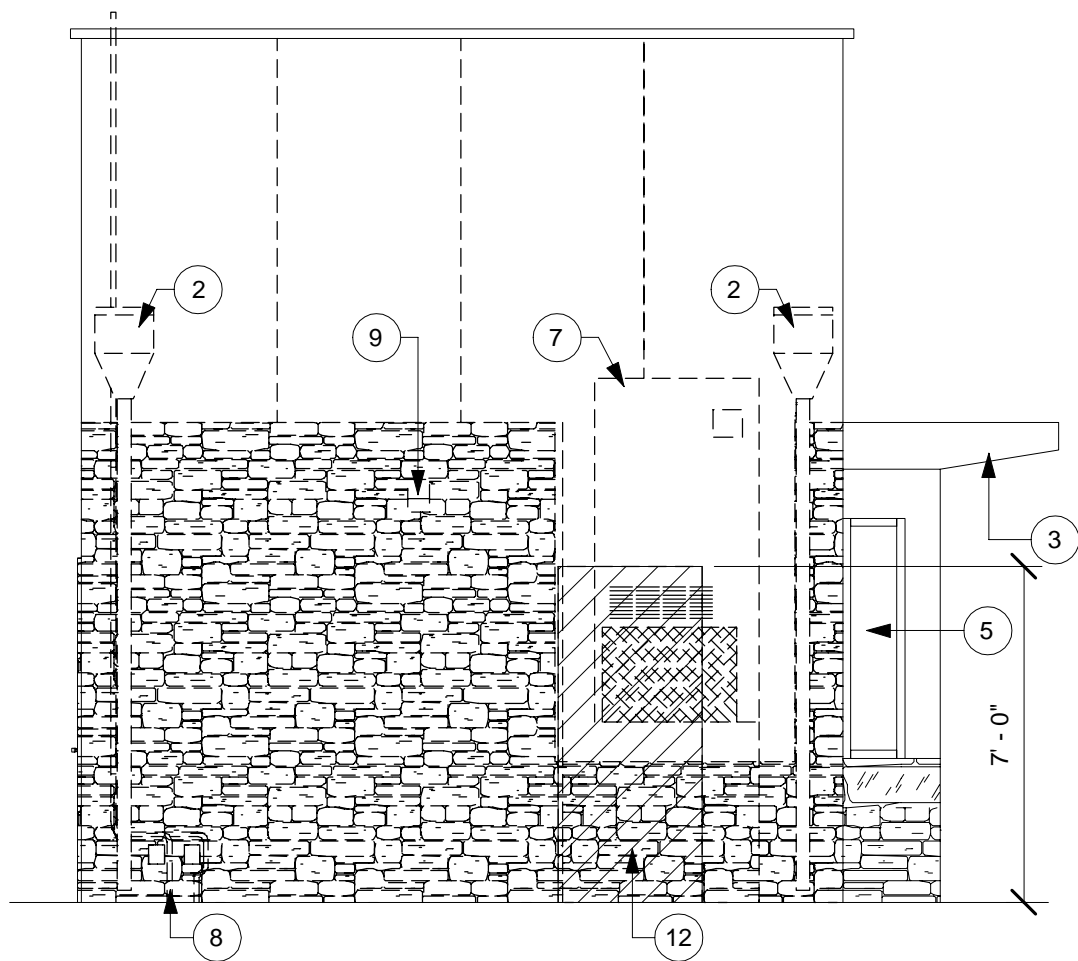
3 EAST ELEVATION - DEMO
Scale: 1/4" = 1'-0"



1 WEST ELEVATION - DEMO
Scale: 1/4" = 1'-0"



4 SOUTH ELEVATION - DEMO
Scale: 1/4" = 1'-0"



2 NORTH ELEVATION - DEMO
Scale: 1/4" = 1'-0"

EXTERIOR ELEVATION DEMO GENERAL NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE MONUMENT OR POLE SIGNAGE AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION TO STARBUCKS DESIGN MANAGER FOR APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- G. GENERAL CONTRACTOR TO CLEAN, PATCH, & REPAIR EXISTING EXTERIOR AS REQUIRED.
- H. GENERAL CONTRACTOR TO COORDINATE LANDLORD'S EXTERIOR SCOPE OF WORK.
- I. REFER TO SHEETS I-6001 FOR SCHEDULES.

EXTERIOR ELEVATION DEMO KEYNOTES

- 1 EXISTING ELECTRICAL EQUIPMENT TO REMAIN
- 2 EXISTING ROOF DRAINS AND DOWNSPOUTS TO BE REROUTED
- 3 EXISTING AWNINGS TO REMAIN
- 4 EXISTING DOOR TO REMAIN
- 5 EXISTING STOREFRONT TO REMAIN
- 6 EXISTING DRIVE THRU WINDOW & AIR CURTAIN TO REMAIN
- 7 DEMOLISH EXISTING HVAC UNIT. COORDINATE DISPOSAL WITH STARBUCKS CM.
- 8 EXISTING DISCONNECTS TO BE RELOCATED AS NEEDED.
- 9 DEMOLISH EXISTING LIGHT SCONCE. RETAIN AND REROUTE ELECTRICAL. PATCH AND REPAIR EXTERIOR MATERIALS AS NECESSARY.
- 10 EXISTING MENU BOARDS TO REMAIN
- 11 EXISTING BUILDING SIGNAGE TO REMAIN
- 12 DEMOLISH EXISTING EXTERIOR WALL TO EXTENTS SHOWN, REF FLOOR PLAN



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ARCHITECT OF RECORD



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FORT WORTH, TEXAS 76102
(817) 820-0433

SEAL



PERMIT SET 03-21-2017

PROJECT NAME:
1-30 & WHITE HILLS DR
PROJECT ADDRESS:
782 INTERSTATE 30
ROCKWALL, TX 75087

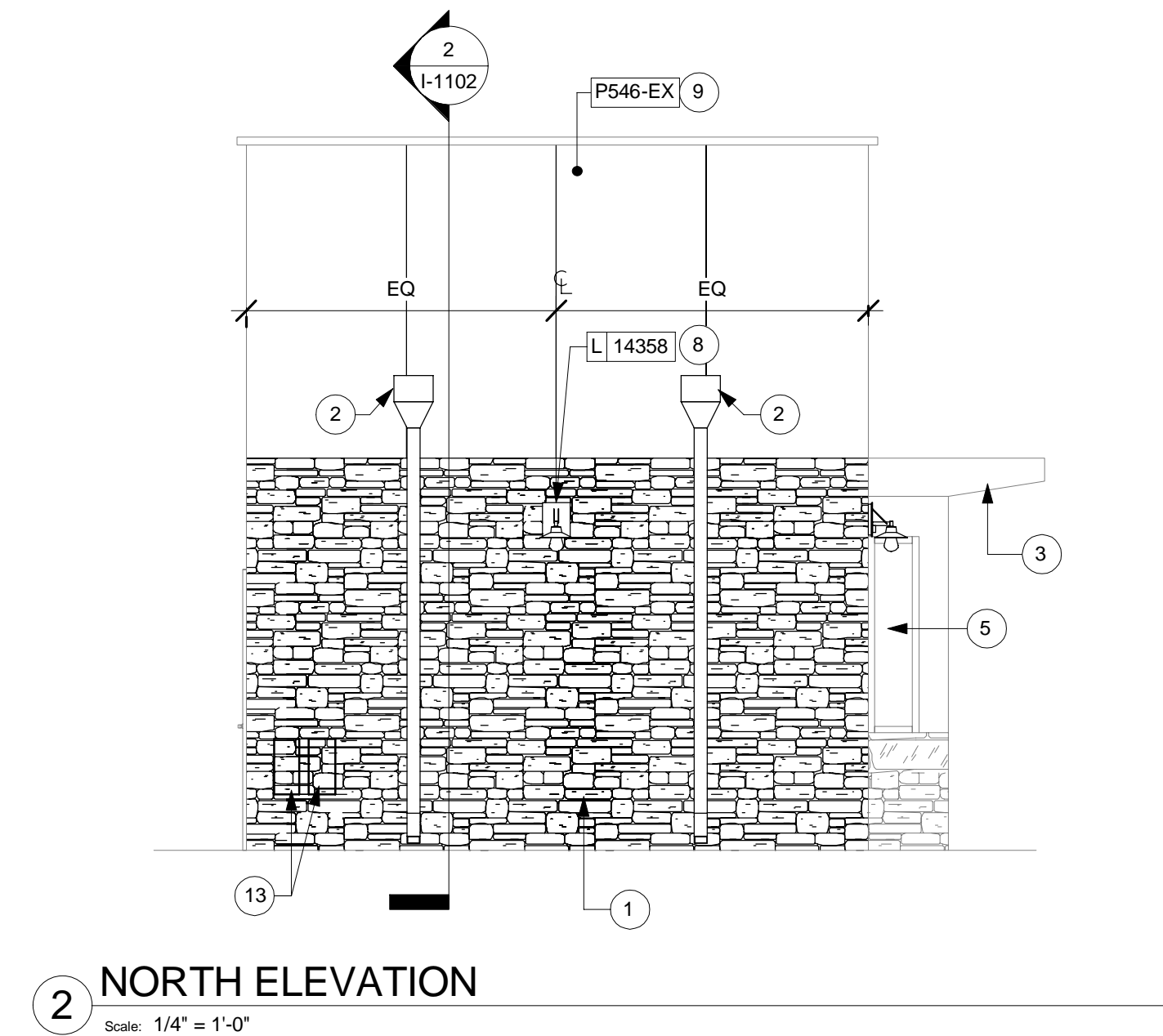
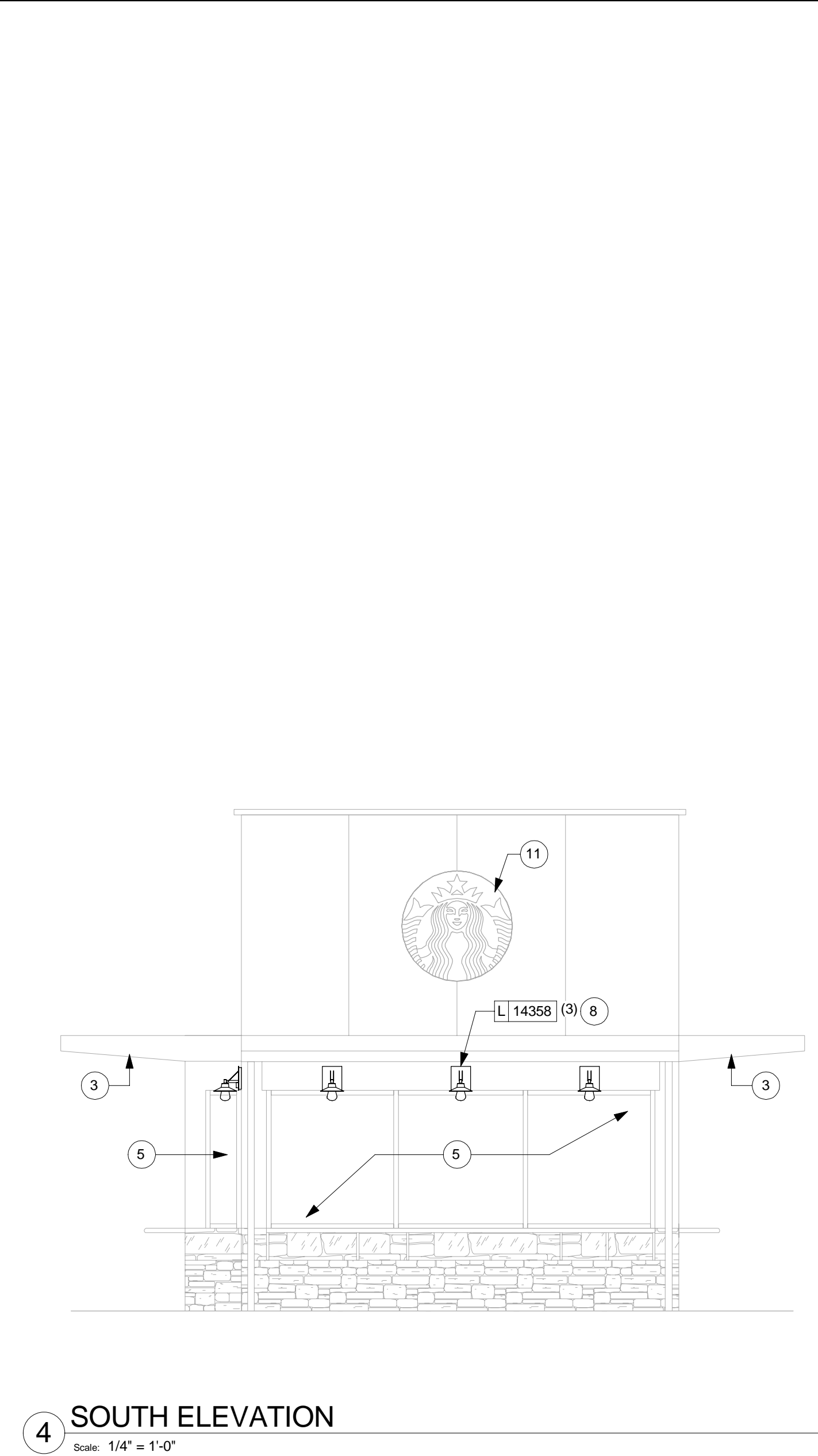
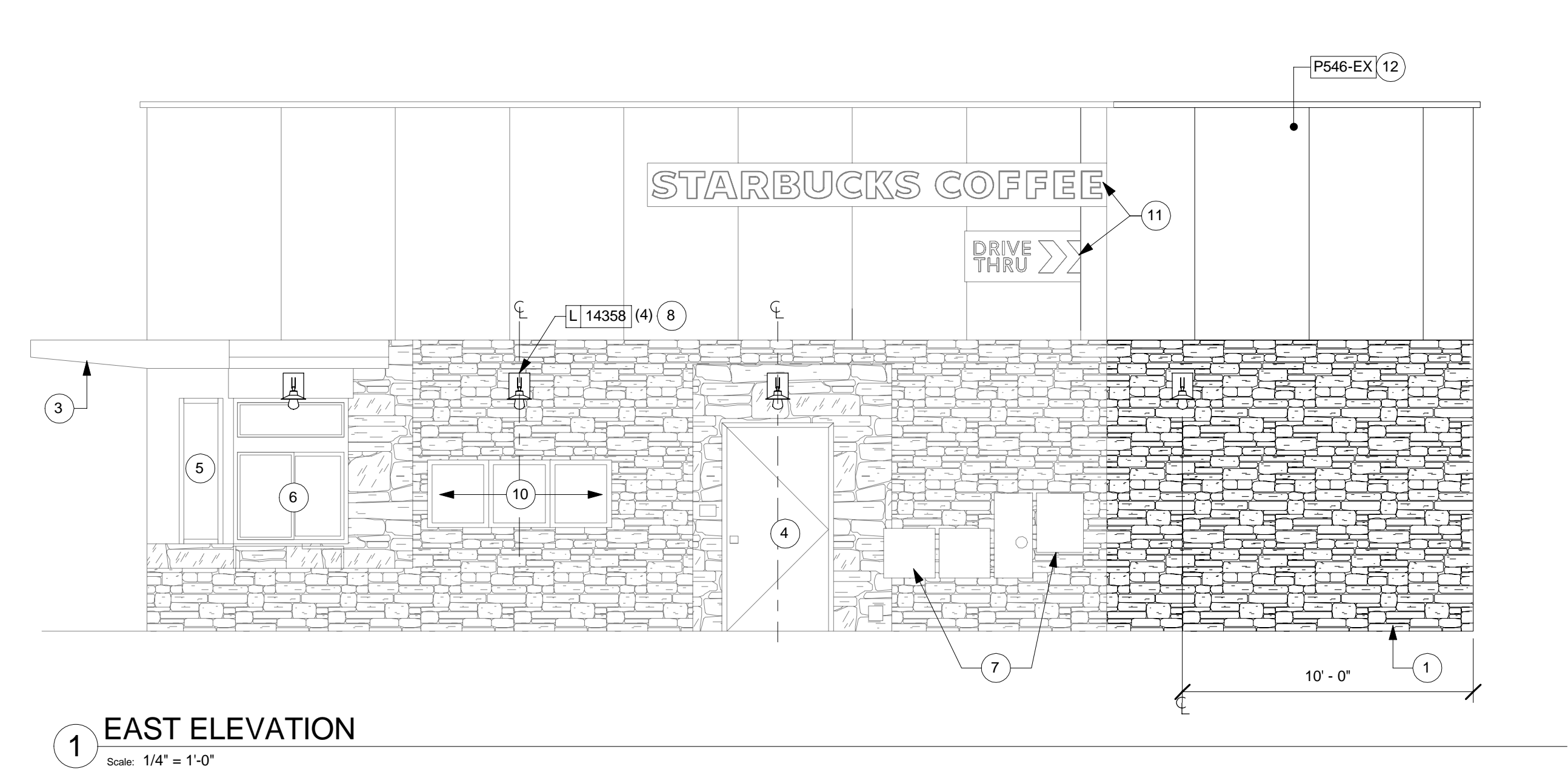
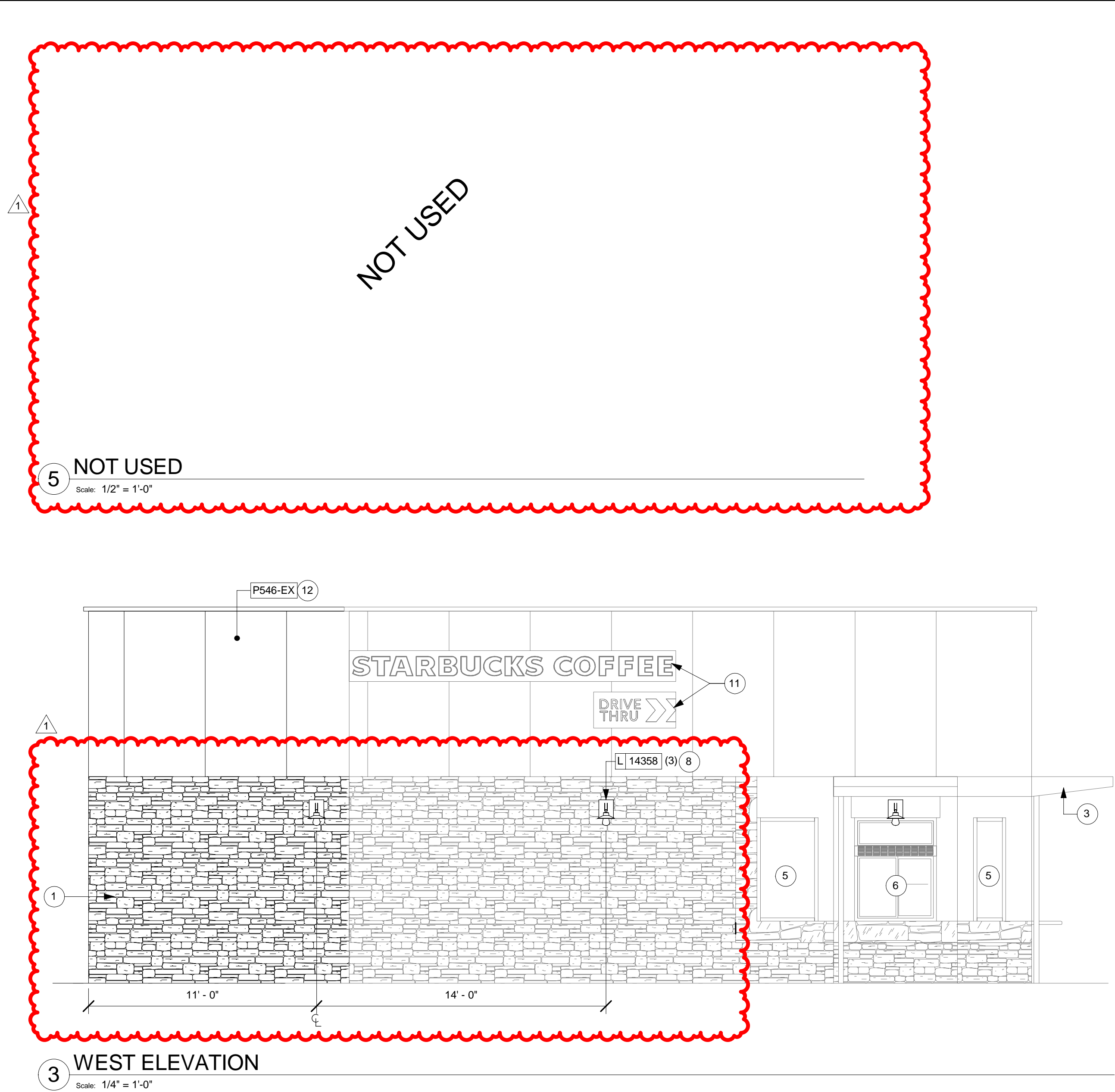
STORE #: 24180
PROJECT #: 64015-015
CONCEPT: MCS
PALETTE: NCS
ORIGINAL ISSUE DATE: 03-21-2017
DESIGN MANAGER: I. PEREZ-ROSSELLO
LEED® AP: N/A
PRODUCTION DESIGNER: A. BLOMMER
CHECKED BY: E. PEREZ

REVISION SCHEDULE			
REV	DATE	BY	DESCRIPTIONS

SHEET TITLE:
DEMO EXTERIOR
ELEVATIONS
SCALE: 1/4" = 1'-0"


SHEET NUMBER:
A-2001

4/13/2017 5:28:15 PM \\Diskstation\\server1\\Projects\\Starbucks_South Central\\16-0319_J-30 & White Hills Dr\\Drawings\\24180_130 & White Hills Dr.rvt



- ### EXTERIOR ELEVATION GENERAL NOTES
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- ### EXTERIOR ELEVATION KEYNOTES
- NEW VENEER STONE TO MATCH EXISTING
 - EXISTING ROOF DRAINS AND DOWNSPOUTS TO BE REROUTED
 - EXISTING AWNINGS TO REMAIN
 - EXISTING DOOR TO REMAIN
 - EXISTING STOREFRONT TO REMAIN
 - EXISTING DRIVE THRU WINDOW & AIR CURTAIN TO REMAIN
 - EXISTING ELECTRICAL EQUIPMENT TO REMAIN
 - NEW WALL MOUNTED LIGHT FIXTURE @ 8'-3" AFF TO CENTERLINE OF J-BOX
 - NEW FIBER CEMENT BOARD TO MATCH EXISTING
 - EXISTING MENU BOARDS TO REMAIN
 - EXISTING BUILDING SIGNAGE TO REMAIN
 - NOT USED
 - EXISTING RELOCATED DISCONNECTS




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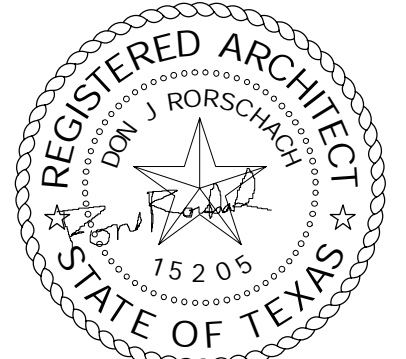
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ARCHITECT OF RECORD



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SEAL



REVISION 1 04-13-2017

PROJECT NAME:
1-30 & WHITE HILLS DR

PROJECT ADDRESS:
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ROCKWALL, TX 75087**

STORE #: 24180

PROJECT #: 64015-015

CONCEPT: MCS

PALETTE: NCS

ORIGINAL ISSUE DATE: 03-21-2017

DESIGN MANAGER: I. PEREZ-ROSSELLO

LEED® AP: N/A

PRODUCTION DESIGNER: A. BLOMMER

CHECKED BY: E. PEREZ

REVISION SCHEDULE

REV	DATE	BY	DESCRIPTIONS
1	4-13-17		REV 1 - CLIENT COMMENTS

SHEET TITLE:

EXTERIOR ELEVATIONS

SCALE: As indicated

SHEET NUMBER:

A-2002

STARBUCKS TEMPLATE VERSION 2014.10.20