

City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

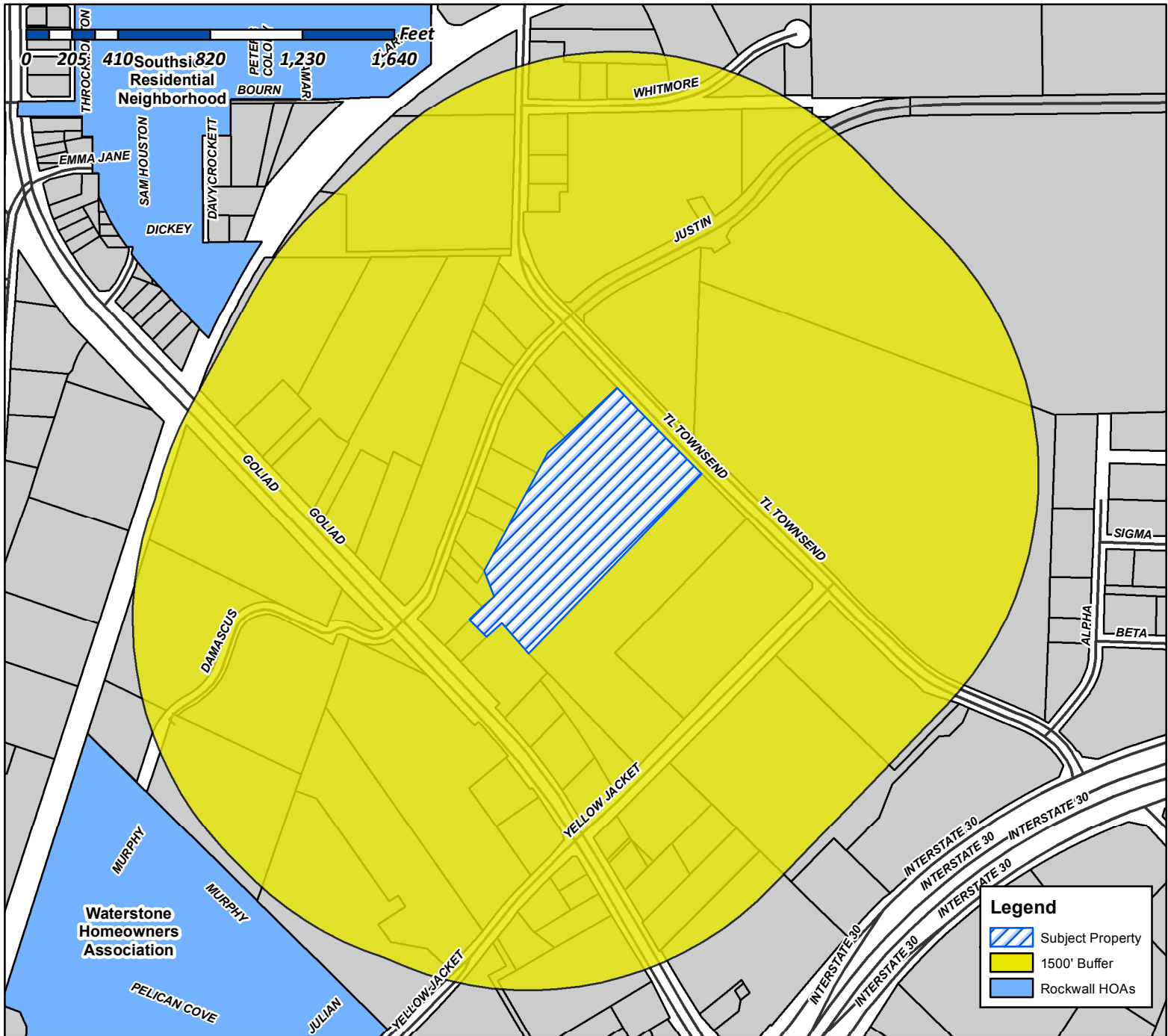




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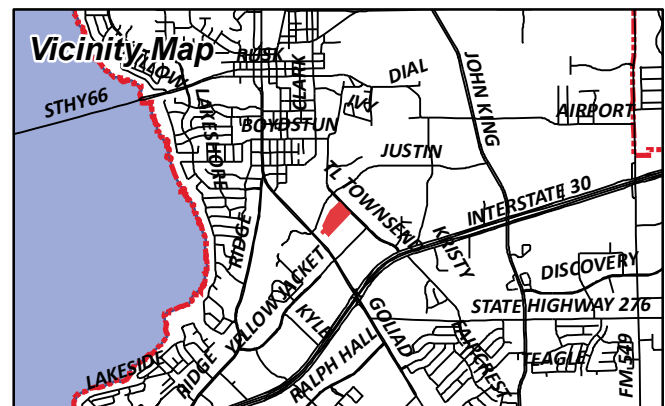
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Case Number: Z2017-020
Case Name: Zoning Change (AG to PD)
Case Type: Zoning
Zoning: Agriculture (AG) District
Case Address: West side of T. L. Townsend Drive
South of Justin Road

Date Created: 05/16/2017

For Questions on this Case Call (972) 771-7745

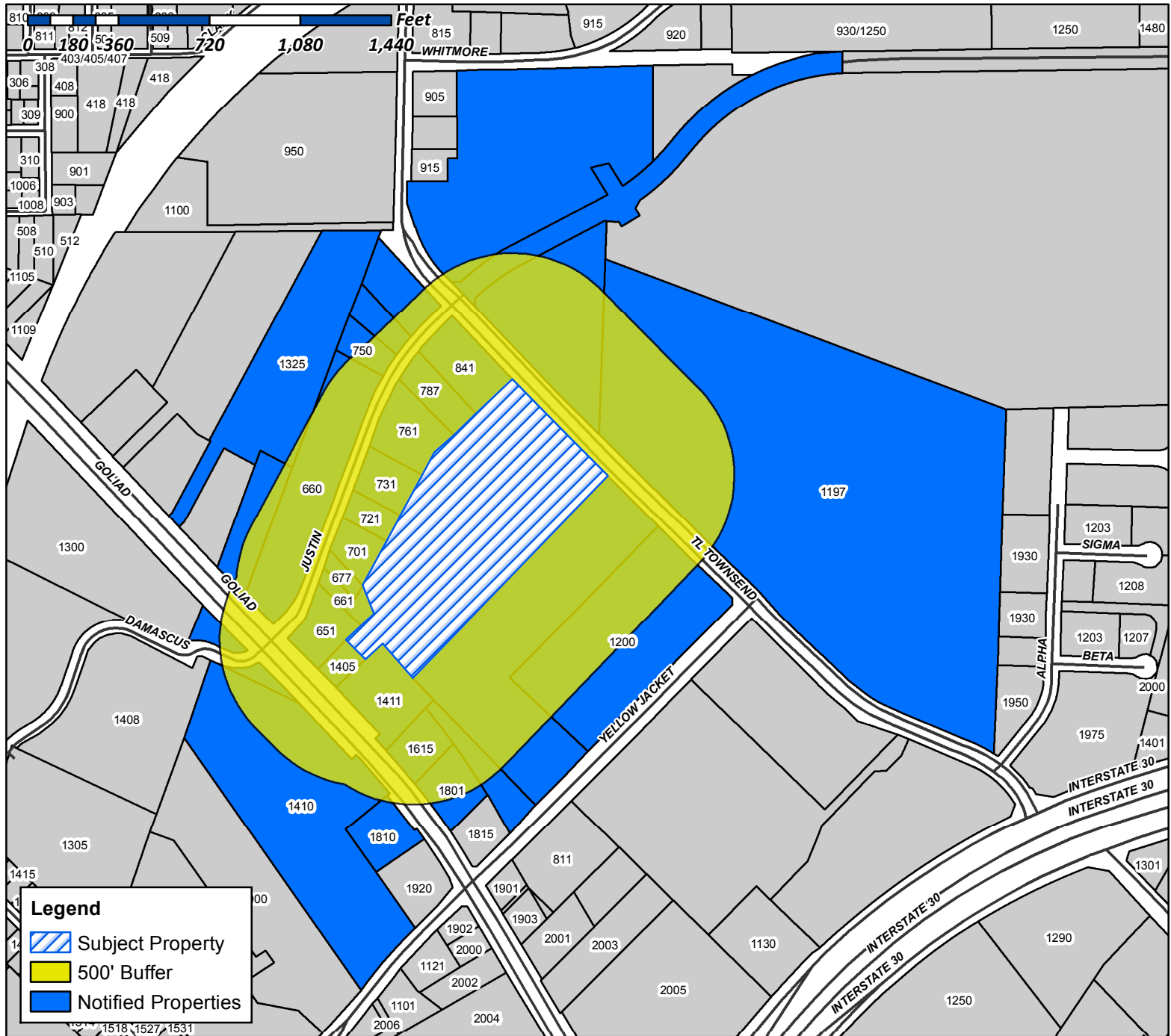




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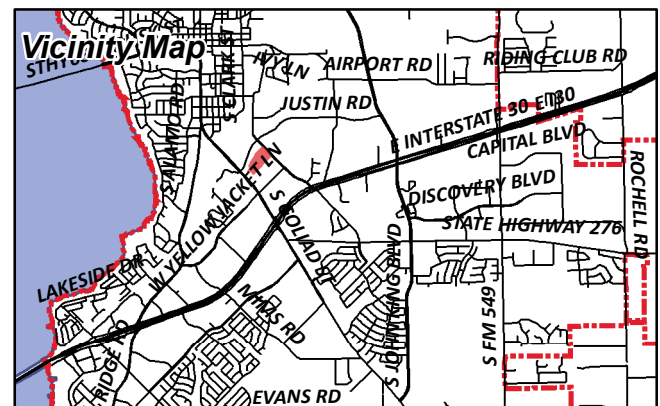
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SMARTT LOFLAND & J BOND PTNRS
1 CARMARTHEN CT
DALLAS, TX 75225

CURRENT RESIDENT
1197 T L TOWNSEND DR
ROCKWALL, TX 75087

FIRST UNITED METHODIST CHURCH
FINANCE OFFICE
1200 E YELLOW JACKET LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1325 GOLIAD
ROCKWALL, TX 75087

WDC PEBBLEBROOK APARTMENTS LLC
13400 BISHOP'S LANE SUITE 270
BROOKFIELD, WI 53005

CURRENT RESIDENT
1405 GOLIAD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1410 GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1411 GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1615 GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1801 GOLIAD
ROCKWALL, TX 75087

LONE STAR CHICKEN LP
1810 S GOLIAD ST
ROCKWALL, TX 75087

ADV ROCKWALL PROPERTY OWNER LLC
2600 ELDORADO PKWY SUITE 110
MCKINNEY, TX 75070

CAMERON & CAMERON
4090 EAST FM 552
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR STE 110
DALLAS, TX 75231

ROCKWALL SENIOR COMMUNITY LP
C/O LIFENET COMMUNITY BEHAVIORAL
HEALTHCARE
5605 N MACARTHUR BLVD SUITE 580
IRVING, TX 75038

CURRENT RESIDENT
651 JUSTIN RD
ROCKWALL, TX 75087

CURRENT RESIDENT
660 JUSTIN RD
ROCKWALL, TX 75087

BREEN & MCKEON LLP
661 JUSTIN RD
ROCKWALL, TX 75087

CURRENT RESIDENT
677 JUSTIN RD
ROCKWALL, TX 75087

COUCH AND DAVIS PROPERTIES LLC
685 JUSTIN RD
ROCKWALL, TX 75087

CURRENT RESIDENT
701 JUSTIN DR
ROCKWALL, TX 75087

FIRST FINANCIAL NETWORK
721 JUSTIN RD STE 101
ROCKWALL, TX 75087

CURRENT RESIDENT
731 JUSTIN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
750 JUSTIN RD
ROCKWALL, TX 75087

CURRENT RESIDENT
761 JUSTIN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
787 JUSTIN DR
ROCKWALL, TX 75087

CENTRAL APPRAISAL DISTRICT OF
ROCKWALL COUNTY THE
841 JUSTIN RD
ROCKWALL, TX 75087

TEASDALE INVESTMENTS LLC
C/O RICHARD C GRANT
CULHANE MEADOWS PLLC 100 CRESCENT CT
SUITE 700
DALLAS, TX 75201

DAIKER PARTNERS LTD
PO BOX 1059
ROCKWALL, TX 75087

1995 OSPREY LLC
PO BOX 1688
ROCKWALL, TX 75087

AUTO ZONE INC
DEPARTMENT #8088
PO BOX 2198
MEMPHIS, TN 38101

WHITFORD D R
PO BOX 307
PALMER, TX 75152

ROCKWALL ICE CREAM HOLDINGS LLC
PO BOX 852
WAXAHACHIE, TX 75168

May 12, 2017

City of Rockwall - Planning and Zoning Department
Attention: Ryan Miller, AICP, Director of Planning
385 S. Goliad Street
Rockwall, Texas 75087

**Re: Letter of Intent – Planned Development for Rockwall SIL on North T. L. Townsend Drive
(4-story Senior Independent Living Community containing 212 units)**

To Planning and Zoning Department:

Our Client, Rockwall SIL, LLC, would like to submit a zoning change application for a 12.4 acre planned development (PD) that would allow development of a 4-story senior independent living community with 212 units in the City of Rockwall. The subject property is bounded by North T.L. Townsend Drive to the northeast, office/commercial uses to the northwest, an Auto Zone and commercial uses to the southwest, and vacant land to the southeast owned by the First United Methodist Church.

The southwest portion of the site is currently zoned Commercial (C). The remainder is zoned Agricultural (AG). We are requesting that the site be re-zoned as a Planned Development for use as a senior independent living community (age restricted to 55 years of age or older). The proposed PD will be developed in one (1) phase and consist of 4-story building(s) with 212 total units. There will also be some attached garages and detached garages and covered parking available for the residents. The west portion of the site will be maintained as a private open space area to preserve existing quality trees, provide onsite storm water detention and provide the residents' an active functional recreational area. The private open space shall include 5' meandering walking trails around the detention pond areas and through the existing stand of native trees. Other amenities within the site will include, but not limited to, a swimming pool, a pavilion, putting green and indoor recreation area.

Attached with this letter are the following: (1) Completed Development Application for zoning change, (2) Check for \$386 for zoning change application fee, (3) PD Concept Plan, (4) PD Development Standards, (5) Property Description of PD area, (6) Location Map with aerial photograph and PD Boundary Overlay, and (7) Typical Building Elevations for city review and comment. Should you have any questions, please feel free to contact me at 281.980.7705, extension 6301.

Respectfully submitted,

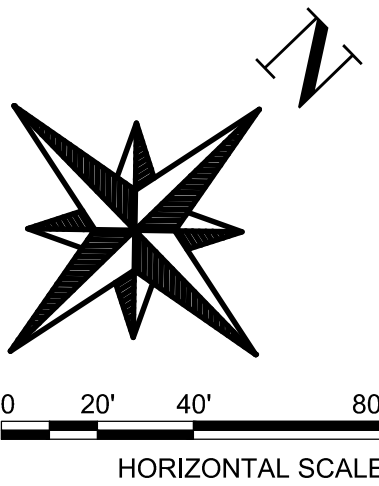
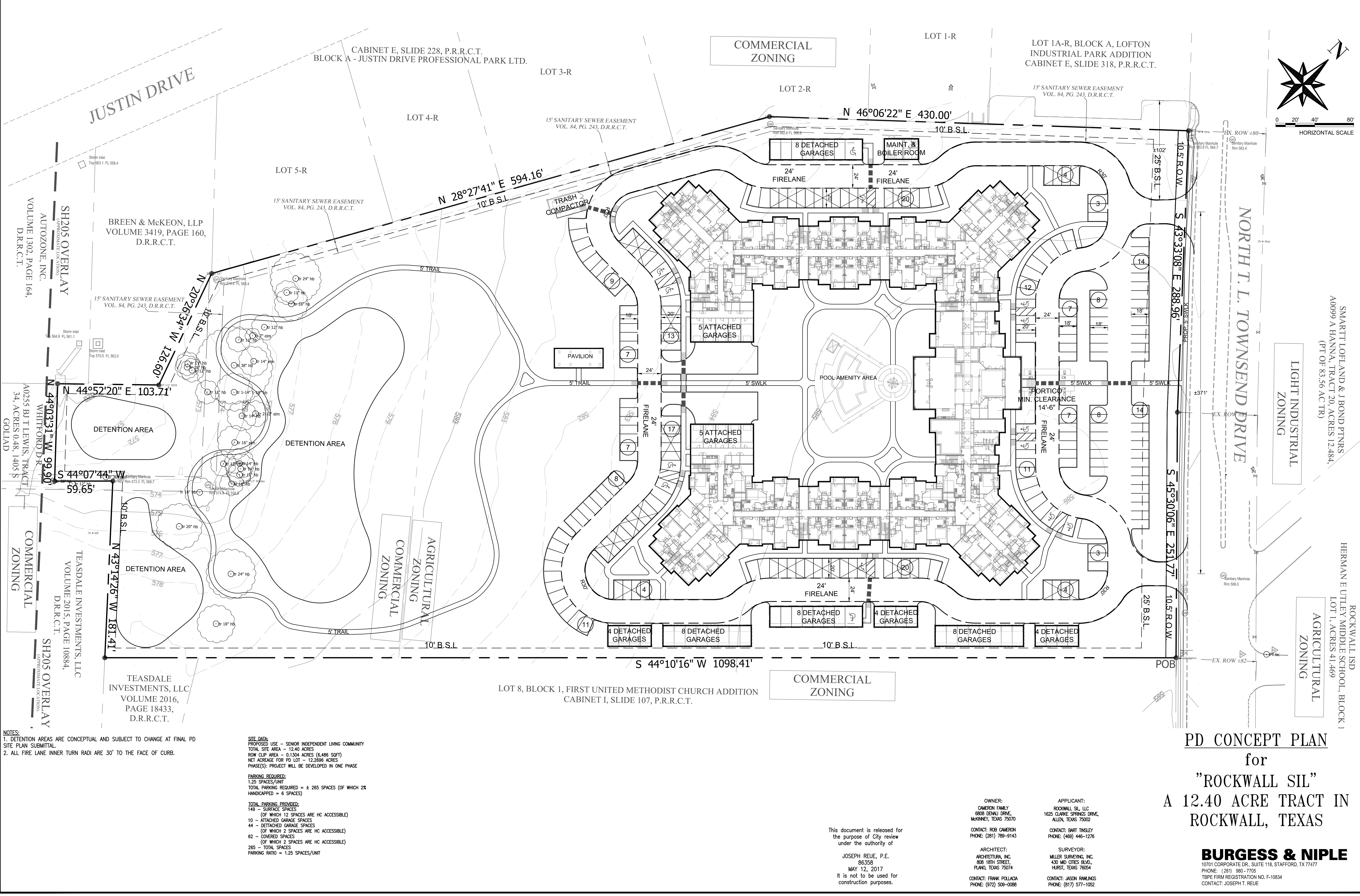
Burgess & Niple, Inc.

TBPE FIRM REGISTRATION NO. F-10834



Joseph T. Reue, P.E.
Vice President

Cc: Tim O'Hanlon & Bart Tinsley with Rockwall SIL, LLC



PD CONCEPT PLAN
for
"ROCKWALL SIL"
A 12.40 ACRE TRACT IN
ROCKWALL, TEXAS

BURGESS & NIPLE
10701 CORPORATE DR., SUITE 118, STAFFORD, TX 77477
PHONE: (281) 980-7705
TBE FIRM REGISTRATION NO. F-10834
CONTACT: JOSEPH T. REUE

OWNER:
CAMERON FAMILY
6808 DENALI DRIVE,
MCKINNEY, TEXAS 75070
CONTACT: ROB CAMERON
PHONE: (281) 789-9143

APPLICANT:
ROCKWALL SIL, LLC
1625 CLARKE SPRINGS DRIVE,
ALLEN, TEXAS 75002
CONTACT: BART TINSLEY
PHONE: (469) 446-1276

ARCHITECT:
ARCHITECTURA, INC.
808 18TH STREET,
PLANO, TEXAS 75074
CONTACT: FRANK POLLACIA
PHONE: (972) 509-0088

SURVEYOR:
MILLER SURVEYING, INC.
430 MID OITES BLVD.,
HURST, TEXAS 76054
CONTACT: JASON RAWLINGS
PHONE: (817) 577-1052

This document is released for
the purpose of City review
under the authority of
JOSEPH REUE, P.E.
86358
MAY 12, 2017
It is not to be used for
construction purposes.

- NOTES:
1. DETENTION AREAS ARE CONCEPTUAL AND SUBJECT TO CHANGE AT FINAL PD SITE PLAN SUBMITTAL.
 2. ALL FIRE LANE INNER TURN RADI ARE 30' TO THE FACE OF CURB.
- SITE DATA:**
PROPOSED USE - SENIOR INDEPENDENT LIVING COMMUNITY
TOTAL SITE AREA - 12.40 ACRES
ROW CLIP AREA - 0.1304 ACRES (6,486 SQFT)
NET ACREAGE FOR PD LOT - 12.2696 ACRES
PHASE(S): PROJECT WILL BE DEVELOPED IN ONE PHASE
- PARKING REQUIRED:**
1.25 SPACES/UNIT
TOTAL PARKING REQUIRED = ± 265 SPACES (OF WHICH 2% HANDICAPPED = 6 SPACES)
- TOTAL PARKING PROVIDED:**
149 - SURFACE SPACES
(OF WHICH 12 SPACES ARE HC ACCESSIBLE)
10 - ATTACHED GARAGE SPACES
44 - DETACHED GARAGE SPACES
(OF WHICH 2 SPACES ARE HC ACCESSIBLE)
62 - COVERED SPACES
(OF WHICH 2 SPACES ARE HC ACCESSIBLE)
265 - TOTAL SPACES
PARKING RATIO = 1.25 SPACES/UNIT



03 Elevation
SCALE: 3/32" = 1'-0"



01 Elevation
SCALE: 3/32" = 1'-0"

5' 15' 30'
SCALE: 3/32" = 1'-0"

architettura
architettura inc.
808 18th street
plano, texas 75074
t. 972.509.0088 f. 972.509.0022
pollacia@architettura-inc.com

Rockwall Seniors



Rockwall Seniors

architettura

architettura inc.
808 18th street
plano, texas 75074
t. 972.509.0088 f. 972.509.0022
pollacia@architettura-inc.com



03 Elevation

Rockwall Seniors
architettura inc

LEGAL DESCRIPTION: Being a tract of land out of the B. J. Lewis Survey, Abstract No. 225 and situated in the City of Rockwall, Rockwall County, Texas, and surveyed by Miller Surveying, Inc. of Hurst, Texas, in March 2017, said tract being the same tract of land described in the deed to BCR Family Land Trust recorded in Document No. 2012-00480248, of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a ½ inch capped steel rod found for the most easterly corner of said Cameron tract, said rod being in the southwesterly right-of-way line of North T. L. Townsend Drive, and being the most northerly corner of Lot 8, Block 1, First United Methodist Church Addition, an addition to the City of Rockwall, Rockwall County, Texas, recorded in Cabinet I, Slide 107, of the Plat Records of Rockwall County, Texas;

THENCE South 44 degrees 10 minutes 16 seconds West with the northwesterly boundary line of said Lot 8, a distance of 1098.41 feet to a ½ inch capped “MILLER 5665” steel rod set for the most westerly corner thereof, and also being in the northeasterly boundary line of the same tract of land described in the deed to Teasdale Investments, LLC., recorded in Volume 2015, Page 10884, of the Deed Records of Rockwall County, Texas;

THENCE North 43 degrees 14 minutes 26 seconds West with the northeasterly boundary line of said Teasdale tract a distance of 181.41 feet to a ½ inch capped steel rod found for the most northerly corner of the said Teasdale tract;

THENCE South 44 degrees 07 minutes 44 seconds West a distance of 59.65 feet to a ½ inch capped steel rod found;

THENCE North 44 degrees 03 minutes 31 seconds West a distance of 99.90 feet to a cross in concrete set;

THENCE North 44 degrees 52 minutes 20 seconds East a distance of 103.71 feet to a ½ inch capped steel rod found;

THENCE North 20 degrees 26 minutes 34 seconds West a distance of 126.60 feet to a ½ inch capped steel rod found for the most southerly corner of Lot 5-R, Block A, Justin Drive Professional Park, LTD, an addition to the City of Rockwall, Rockwall County, Texas recorded in Cabinet E, Slide 228 of the Plat Records of Rockwall County, Texas;

THENCE North 28 degrees 27 minutes 41 seconds East with the southeasterly boundary line of said Block A a distance of 594.16 feet to a cross in concrete found for an angle point therein;

THENCE North 46 degrees 06 minutes 22 seconds East continuing with said southeasterly boundary line a distance of 430.00 feet to a ½ inch capped “MILLER 5665” steel rod set for the most easterly corner of Lot 1A-R, Block A, Lofton Industrial Park Addition, an addition to the City of Rockwall, Rockwall County, Texas recorded in Cabinet E, Slide 318 of the Plat Records of Rockwall County, Texas, said rod being in the said southwesterly right-of-way line of North T. L. Townsend Drive;

THENCE South 43 degrees 33 minutes 08 seconds East with said southwesterly right-of-way line a distance of 288.96 feet to a ½ inch capped “MILLER 5665” steel rod set;

THENCE South 45 degrees 30 minutes 06 seconds East continuing with said southwesterly right-of-way line a distance of 251.77 feet to the point of beginning and containing 12.400 acres of land more or less.