



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

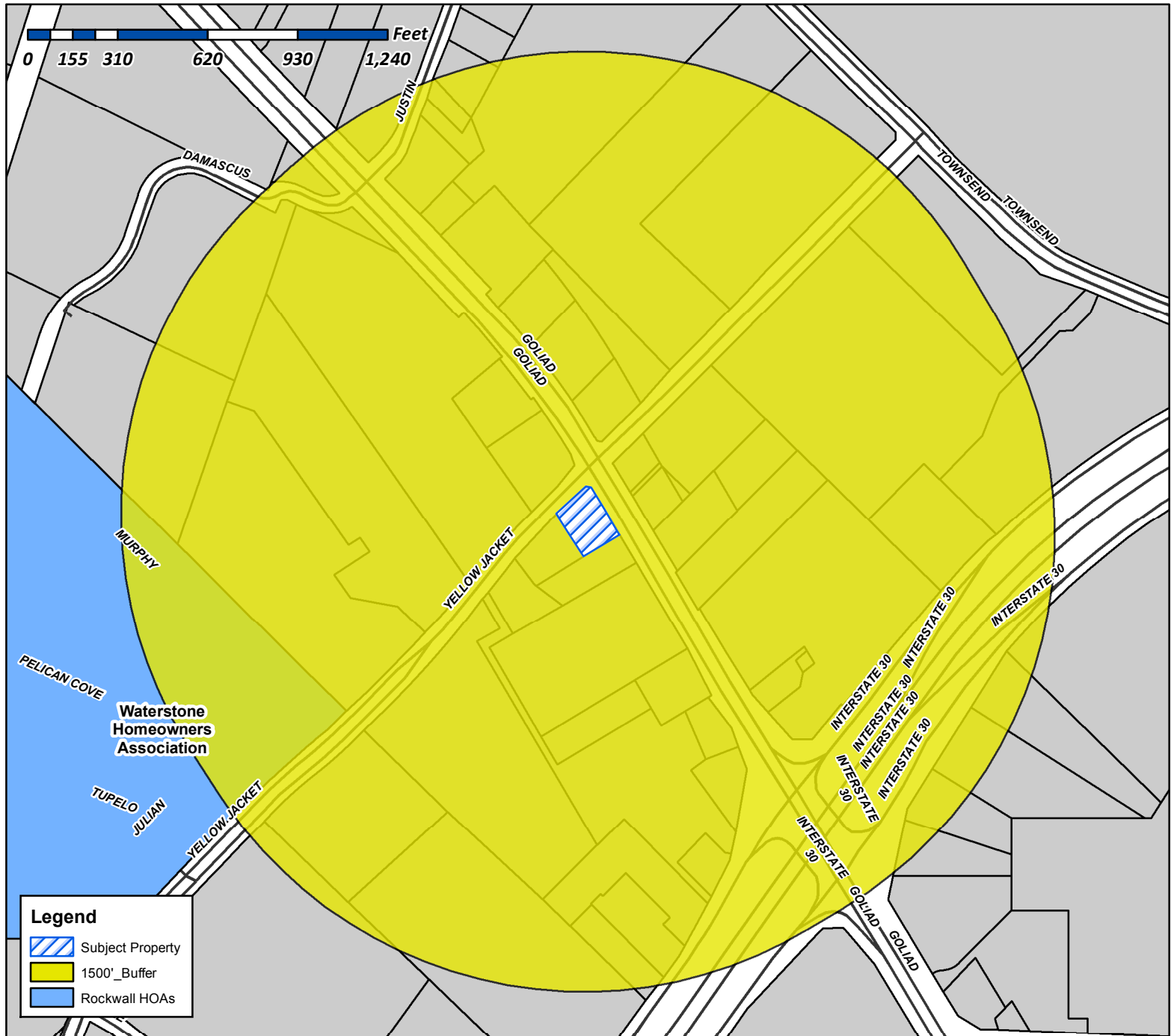
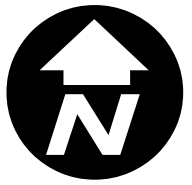




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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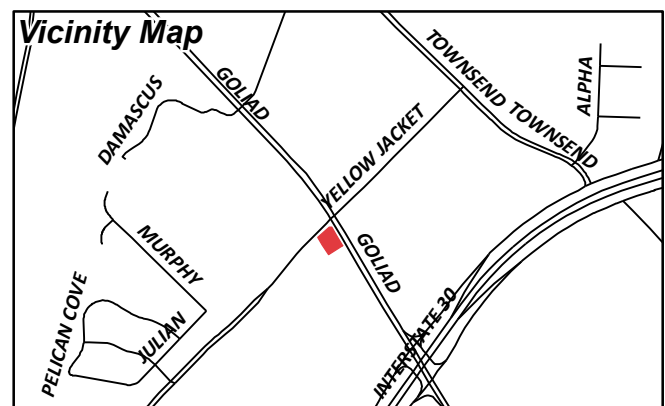
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Case Number: Z2017-065
Case Name: SUP for Chick-Fil-A
Case Type: Zoning
Zoning: General Retail (GR) District
Case Address: 1902 & 2000 S. Goliad Street

Date Created: 12/18/2017

For Questions on this Case Call (972) 771-7745

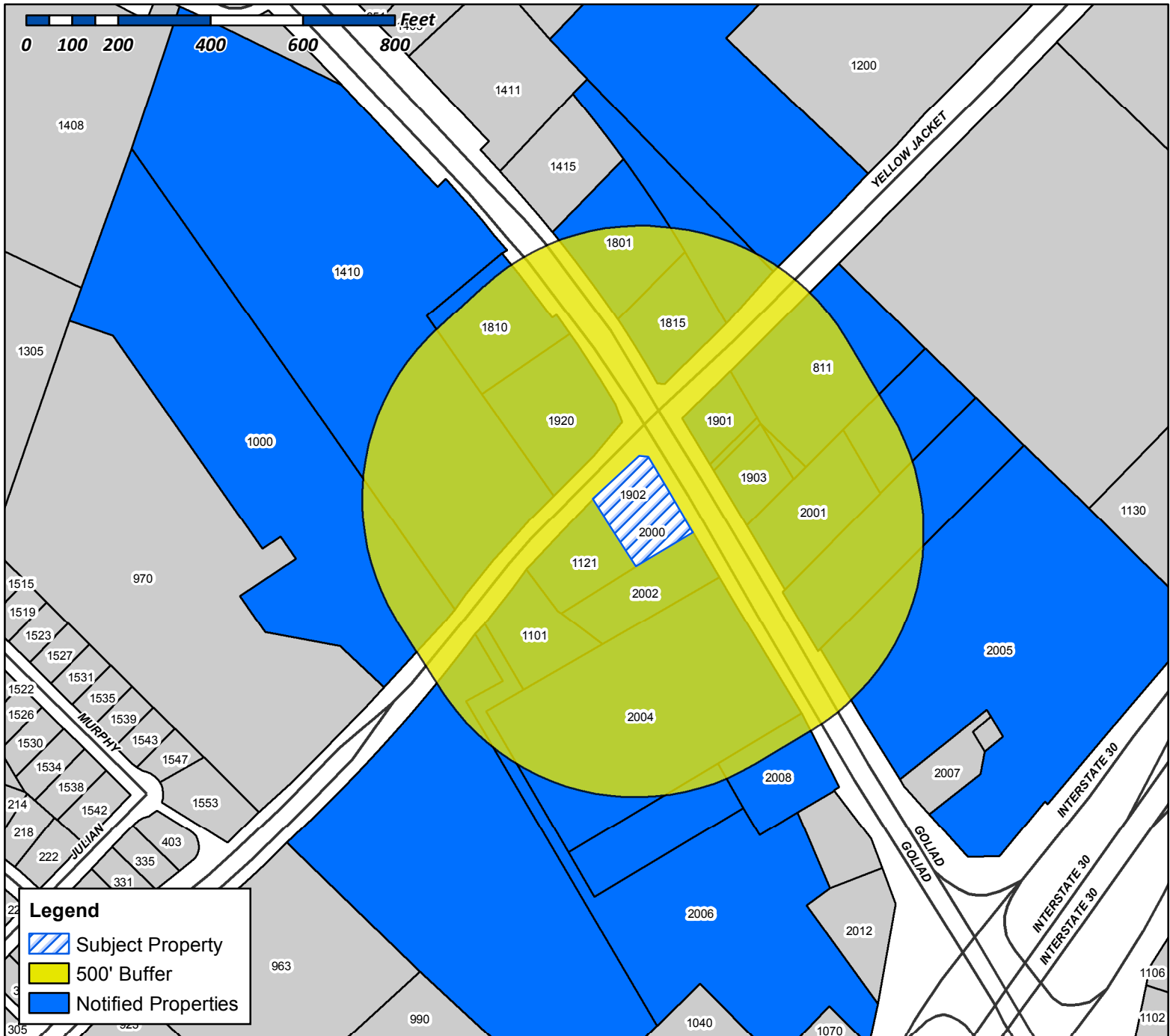
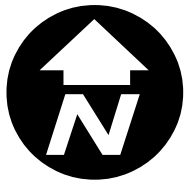




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Case Number: Z2017-065
Case Name: SUP for Chick-Fil-A
Case Type: Zoning
Zoning: General Retail (GR) District
Case Address: 1902 & 2000 South Goliad Street

Date Created: 12/18/2017

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
1000 YELLOW JACKET LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1101 YELLOW JACKET LN
ROCKWALL, TX 75087

CURRENT RESIDENT
1121 YELLOW JACKET LN
ROCKWALL, TX 75087

FIRST UNITED METHODIST CHURCH
FINANCE OFFICE
1200 E YELLOW JACKET LN
ROCKWALL, TX 75087

B5HP ROCKWALL LLC
1300 E HWY 199
SPRINGTOWN, TX 76082

WDC PEBBLEBROOK APARTMENTS LLC
13400 BISHOP'S LANE SUITE 270
BROOKFIELD, WI 53005

CURRENT RESIDENT
1410 S GOLIAD
ROCKWALL, TX 75087

SMAJLI ISMET & DYLDYL
1422 MURPHY DR
ROCKWALL, TX 75087

PRITCHARD DONNA CULLINS
1610 SHORES BLVD
ROCKWALL, TX 75087

ROCKWALL CENTRAL S/C II LTD
16475 DALLAS PARKWAY SUITE 800
ADDISON, TX 75001

CURRENT RESIDENT
1801 S GOLIAD
ROCKWALL, TX 75087

LONE STAR CHICKEN LP
1810 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1815 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1901 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
1902 S GOLIAD
ROCKWALL, TX 75087

UHLIG JANET KAY &
JEFFERY DAVID JOLLEY
1903 S GOLIAD ST
ROCKWALL, TX 75087

UHLIG JANET KAY &
JEFFERY DAVID JOLLEY
1903 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
1920 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
2000 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL VET CLINIC
C/O JOE LOFTIS
2001 S GOLIAD ST
ROCKWALL, TX 75087

CURRENT RESIDENT
2002 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
2004 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
2005 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
2006 S GOLIAD
ROCKWALL, TX 75087

CURRENT RESIDENT
2008 S GOLIAD
ROCKWALL, TX 75087

LANDLOW LLC
2070 PONTCHARTRAIN
ROCKWALL, TX 75087

COOPER RESIDENTIAL LLC
2560 TECHNOLOGY DRIVE SUITE 100
PLANO, TX 75074

RETAIL BUILDERS INC
3000 NE 63RD ST
OKLAHOMA CITY, OK 73121

RACETRAC PETROLEUM INC
3225 CUMBERLAND BLVD SE STE 100
ATLANTA, GA 30339

ROCK HOB LP
3305 BUCHANAN ST
WICHITA FALLS, TX 76308

ROCK HOB LP
3305 BUCHANAN ST
WICHITA FALLS, TX 76308

WDOP SUB I LP
C/O THE MILESTONE GROUP LLC
5429 LBJ FREEWAY SUITE 800
DALLAS, TX 75240

JEY INVESTMENTS
602 FALVEY AVE
TEXARKANA, TX 75501

RHOADS RHOADS AND COX
6905 ELLSWORTH AVE
DALLAS, TX 75214

CARSON MARK R
701 N MUNSON RD
ROYSE CITY, TX 75189

CURRENT RESIDENT
811 YELLOW JACKET
ROCKWALL, TX 75087

E Z MART #77
PO BOX 1426
TEXARKANA, TX 75504

ROCKWALL ICE CREAM HOLDINGS LLC
PO BOX 852
WAXAHACHIE, TX 75168

BOOMPA LTD
PO BOX 999
ROCKWALL, TX 75087

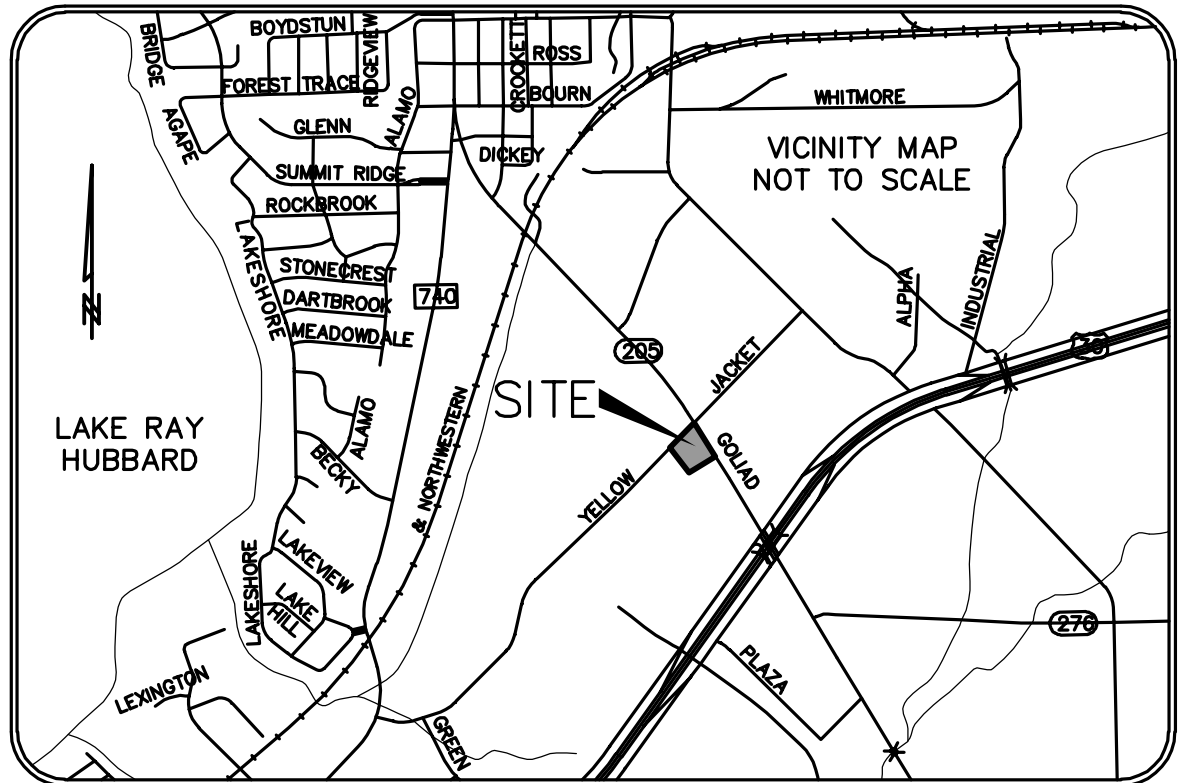
VERTICAL DATUM NOTE:
REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAD) 88 UTILIZING THE RTK NETWORK ADMINSTRATED BY WESTERN DATA SYSTEMS.

SITE BENCHMARK NO. 1 AN "X" CUT IN CONCRETE PAVEMENT NEAR THE WEST CORNER OF LOT 1, BLOCK A BILLY PEOPLES ADDITION ±23.5' NORTH OF LIGHT POLE AND ±33.2' EAST OF FIRE HYDRANT
ELEVATION = 577.45'

SITE BENCHMARK NO. 2 AN "X" CUT IN CONCRETE IN SOUTH LINE OF CONCRETE FLUME NEAR THE SOUTH CORNER OF LOT 1, BLOCK A BILLY PEOPLES ADDITION ±17.9' SOUTHEAST OF POWER POLE AND ±29.5' SOUTHWEST OF MOST SOUTHERLY SOUTHWEST BUILDING CORNER.
ELEVATION = 576.20'

SITE BENCHMARK NO. 3 AN "X" CUT IN CONCRETE MEDIAN OF SOUTH GOLLAD STREET ±39.8' DIRECTLY WEST OF FIRST GRATE INLET ON THE WEST SIDE OF SOUTH GOLLAD STREET SOUTH OF YELLOWJACKET LANE ±82' SOUTH OF INTERSECTION WITH YELLOW JACKET LANE
ELEVATION = 575.46'

PRELIMINARY
FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By
△

Mark Date By
△

Mark Date By
△

LEGEND	
AC	AIR CONDITIONER
BOL	BOLLARD
CB	CURB INLET
CM	CONTROLLING MONUMENT
EM	ELECTRIC METER
FM	FIRE HYDRANT
FOV	FIBER OPTIC VAULT
GM	GAS METER
GM A	GREASE TRAP MANHOLE
GMH	GAS TEST STATION
GUY	GUY WIRE
GUY W	GAS MONITOR WELL
ICV	IRRIGATION CONTROL VALVE
IRF	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE
PPC	POWER POLE W/CONDUIT
PP/P	POWER POLE W/TRANSFORMER
PPT	POWER POLE W/CONDUIT AND TRANSFORMER
PPTC	POWER POLE W/CONDUIT AND TRANSFORMER
RR	RAILROAD
SDMH	STORM DRAIN MANHOLE
SN	SIGN
SN/T	UNDERGROUND TELEPHONE SIGN
SN/T	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TPD	TELEPHONE PEDestal
TSD	TELEPHONE SIGNAL BOX
TSM	TELEPHONE MANHOLE
TRANS	TRANSFORMER PAD
TSP	TRAFFIC SIGNAL POLE
TSVLT	TRAFFIC SIGNAL VAULT
WAL	WATER VAULT
WMH	WATER MANHOLE
WV	WATER VALVE
WLT	WATER VAULT
OE	OVERHEAD ELECTRIC LINE
UE	UNDERGROUND ELECTRIC LINE
W	WATER LINE
SS	SANITARY SEWER LINE
G	UNDERGROUND GAS
UT	UNDERGROUND TELEPHONE
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS
580.97	TOP OF CURB SPOT SHOT
580.47	GUTTER SPOT SHOT
X	TOPOGRAPHIC SPOT SHOT

LOTS 1 AND 2, BLOCK A
BILLY PEOPLES ADDITION No. 1
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SHEET TITLE
**ALTA/NSPS
LAND TITLE
SURVEY**

☐ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 17142
Store : #04222
Date : 11/15/2017
Drawn By : MTJ
Checked By: GAM

Sheet

CA-1.1

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200 ARLINGTON, TEXAS 76010 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

**ALTA/NSPS
LAND TITLE SURVEY**

I-H 30/205
PLAZA PHASE I
CAB. A, SL. 316
P.R.R.C.T.

ISMET SMAJLI AND
DYLDYL SMAJLI
VOL. 1326, PG. 41
D.R.R.C.T.
LOT 2
LORETTA ANDERSON ADDITION
CAB. C, SL. 153
P.R.R.C.T.

J.E.Y. INVESTMENTS
VOL. 4248, PG. 270
D.R.R.C.T.

TAX PARCEL ID: 20777
LOT 1, BLOCK A
BILLY PEOPLES ADDITION No. 1
CAB. A, SL. 277
P.R.R.C.T.
**0.656 ACRES
(28,562 SQ. FT.)**

E Z MART #77
VOL. 156, PG. 490
D.R.R.C.T.

B5HP ROCKWALL, LLC.
INST. No. 2015000014190
O.P.R.R.C.T.
LOT 1R
MUCKLERROY ADDITION
CAB. D, SL. 185
P.R.R.C.T.

SCALE: 1" = 20'

PRINTED: 11/15/2017 9:32 AM FILE: ALTA-SURVEY-17142.DWG

FIELD NOTES

TRACT 1:
BEING A TRACT OF LAND LOCATED IN THE J. CADLE SURVEY, ABSTRACT No. 65, ROCKWALL COUNTY, TEXAS, ALL OF LOT 1 AND A PORTION OF 2, BILLY PEOPLES ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS SHOWN ON THE PLAT RECORDED IN CABINET A, SLIDE 277, PLAT RECORDS, ROCKWALL COUNTY, TEXAS (P.R.R.C.T.) AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHEAST LINE OF WEST YELLOWJACKET LANE, (A VARIABLE WIDTH RIGHT-OF-WAY), SAID POINT BEING THE WEST CORNER OF SAID LOT 2;

THENCE N 45°05'27" E, ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID WEST YELLOWJACKET LANE AND THE NORTHWEST LINE OF SAID LOT 2, A DISTANCE OF 138.69 FEET TO A POINT, BEING THE WEST END OF A RIGHT-OF-WAY CORNER CLIP AT THE INTERSECTION OF THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID WEST YELLOWJACKET LANE WITH THE SOUTHWEST RIGHT-OF-WAY LINE OF SOUTH GOLJAD STREET (A VARIABLE WIDTH RIGHT-OF-WAY);

THENCE S 83°00'35" E, ALONG SAID RIGHT-OF-WAY CLIP, A DISTANCE OF 19.59 FEET TO A POINT IN THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID SOUTH GOLJAD STREET, AND THE NORTHWEST LINE OF SAID LOT 2, SAID POINT BEING THE EAST END OF SAID RIGHT-OF-WAY CLIP;

THENCE S 30°50'38" E, ALONG THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID SOUTH GOLJAD STREET AND THE NORTHEAST LINE OF SAID LOT 2, AT A DISTANCE OF 94.11 FEET, PASSING THE EAST CORNER OF SAID LOT 2 AND THE NORTH CORNER OF SAID LOT 1, CONTINUING ALONG THE NORTHEAST LINE OF SAID LOT 1, IN ALL A TOTAL DISTANCE OF 194.11 FEET TO A POINT BEING THE EAST CORNER OF SAID LOT 1 AND THE NORTH CORNER OF LOT 2, LORETTA ANDERSON ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, AS SHOWN ON THE PLAT RECORDED IN CABINET C, SLIDE 183, P.R.R.C.T.;

THENCE S 59°08'10" W, DEPARTING THE SOUTHWEST RIGHT-OF-WAY LINE OF SAID SOUTH GOLJAD STREET, ALONG THE SOUTHEAST LINE OF SAID LOT 1 AND THE NORTHWEST LINE OF SAID LOT 2 LORETTA ANDERSON ADDITION, A DISTANCE OF 150.00 FEET TO A POINT, BEING THE SOUTH CORNER OF SAID LOT 1 AND THE EAST CORNER OF LOT 1R MUCKLERGY ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS SHOWN ON THE PLAT RECORDED IN CABINET D, SLIDE 185, P.R.R.C.T.;

THENCE N 30°50'38" W, DEPARTING THE NORTHWEST LINE OF SAID LOT 2 LORETTA ANDERSON ADDITION, ALONG THE SOUTHWEST LINE OF SAID LOT 1 AND THE NORTHEAST LINE OF SAID LOT 1R, AT A DISTANCE OF 100.00 FEET, PASSING THE WEST CORNER OF SAID LOT 1 AND THE SOUTH CORNER OF SAID LOT 2, BLOCK A, CONTINUING ALONG THE SOUTHWEST LINE OF SAID LOT 2, BLOCK A, AT A DISTANCE OF 167.31 FEET, PASSING AN "X" CUT FOUND BEING THE NORTH CORNER OF SAID LOT 1R, CONTINUING IN ALL A TOTAL DISTANCE OF 172.47 FEET TO THE PLACE OF BEGINNING AND CONTAINING 0.656 ACRES (28,562 SQUARE FEET) OF LAND, MORE OR LESS.

TITLE NOTES

THIS SURVEY WAS PREPARED WITH BENEFIT OF A COPY OF COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, OF. No. 4715001926, EFFECTIVE DATE SEPTEMBER 6, 2017, ISSUED DATE SEPTEMBER 19, 2017.

10d. THE 25' BUILDING SETBACK LINE SHOWN ON THE PLAT RECORDED IN CAB. A, SL. 277, P.R.R.C.T., IS LOCATED ON THE SUBJECT TRACT, AND IS SHOWN HEREON.

10e. THE UNIDENTIFIED 10'X10' EASEMENT SHOWN ON THE PLAT RECORDED IN CAB. A, SL. 277, P.R.R.C.T., IS LOCATED ON THE SUBJECT TRACT, AND IS SHOWN HEREON.

10f. THE EASEMENT RECORDED IN VOL. 65, PG. 50, D.R.R.C.T., IS NOT LOCATED ON THE SUBJECT TRACT.

10g. THE SUBJECT TRACT IS A PORTION OF THE LANDS DESCRIBED IN THE DEED RECORDED IN VOL. 46, PG. 41, D.R.R.C.T.

SURVEYOR'S NOTES

1. ACCORDING TO SURVEYOR'S INTERPRETATION OF INFORMATION SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM (NFIP) "FLOOD INSURANCE RATE MAP" (FIRM), MAP No. 48387C0040L, MAP REVISED SEPTEMBER 26, 2008, ALL OF THE SUBJECT TRACT LIES WITHIN ZONE "X", DEFINED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT, FEDERAL INSURANCE ADMINISTRATION, OR THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS BEING "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN."
2. THE ABOVE REFERENCED "FIRM" MAP IS FOR USE IN ADMINISTERING THE "NFIP". IT DOES NOT NECESSARILY SHOW ALL AREAS SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL SOURCES OF SMALL SIZE, WHICH COULD BE FLOODED BY SEVERE, CONCENTRATED RAINFALL COUPLED WITH INADEQUATE LOCAL DRAINAGE SYSTEMS. THERE MAY BE OTHER STREAMS, CREEKS, LOW AREAS, DRAINAGE SYSTEMS OR OTHER SURFACE OR SUBSURFACE CONDITIONS EXISTING ON OR NEAR THE SUBJECT PROPERTY WHICH ARE NOT STUDIED OR ADDRESSED AS PART OF THE "FIRM".
3. THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION MARKED BY UTILITY LOCATORS. VISIBLE IMPROVEMENTS AND/OR EXISTING DRAWINGS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THIS SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED OR DESIGNATED THE UNDERGROUND UTILITIES.
4. ALL BEARINGS SHOWN HEREON ARE CORRELATED TO THE TEXAS STATE PLANE COORDINATE SYSTEM, NORTH CENTRAL ZONE 4202, NAD OF 1983, AS DERIVED BY FIELD OBSERVATIONS UTILIZING THE RTK NETWORK ADMINISTERED BY WESTERN DATA SYSTEMS.
5. THIS SURVEY WAS PREPARED WITH BENEFIT OF A COPY OF COMMITMENT FOR TITLE INSURANCE PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, OF. No. 4715001926, EFFECTIVE DATE SEPTEMBER 6, 2017, ISSUED DATE SEPTEMBER 19, 2017.
6. THE SUBJECT TRACT CONTAINS STRIPED PARKING SPACES, HOWEVER, AT THE TIME OF THE SURVEY, MANY STRIPES HAVE BECOME TOO OLD AND/OR DESTROYED AND FOR AN ACCURATE COUNT.
7. ACCORDING TO DEVELOPMENT INVESTIGATION REPORT PREPARED FOR CHICK-FIL-A, INC., PREPARED BY SITE DEVELOPMENT, INC., PROJECT No. 04222, DATED OCTOBER, 10, 2017, THE SUBJECT TRACT IS ZONED "GR", GENERAL RETAIL, WITH STATE HIGHWAY 205 OVERLAY. SEE ZONING TABLE SHOWN HEREON.
8. ALL MATTERS SHOWN ON RECORDED PLAT PROVIDED TO THE SURVEYOR ARE SHOWN ON THE SURVEY.
9. AT THE TIME OF THE SURVEY, THERE WAS NO EVIDENCE OF CURRENT EARTH MOVING WORK OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
10. AT THE TIME OF THE SURVEY, SURVEYOR WAS NOT AWARE OF ANY PROPOSED CHANGES IN STREET RIGHT-OF-WAY. THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
11. AT THE TIME OF THE SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
12. THE SUBJECT TRACT HAS ACCESS TO SOUTH GOLJAD STREET ALONG THE SOUTHEAST LINE AND EAST YELLOWJACKET LANE ALONG THE NORTH LINE.
13. PROFESSIONAL LIABILITY INSURANCE POLICY OBTAINED BY THE SURVEYOR IN THE MINIMUM AMOUNT OF \$2,000,000 TO BE IN EFFECT THROUGHOUT CONTRACT TERM. CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST.
14. THE SQUARE FOOTAGE OF THE BUILDING IS BASED ON THE EXTERIOR DIMENSIONS AS MEASURED AT GROUND LEVEL.

ZONING INFORMATION:

THE SUBJECT TRACT IS CURRENTLY ZONED "GR"
GENERAL RETAIL, WITH STATE HIGHWAY 205 OVERLAY

ADJACENT PROPERTIES ARE ZONED:
Front (NW 1/4): GR W Yellow Jacket Lane
Left Side (NE 1/4): GR S Goliad Street
Right Side (SW 1/4): GR Commercial
Rear (SE 1/4): GR Restaurant

MINIMUM LOT WIDTH IS N/A
MINIMUM LOT DEPTH IS N/A
MAXIMUM FLOOR AREA N/A.
MAXIMUM BUILDING HEIGHT IS 30 FEET.

BUILDING SETBACKS ARE:
Front (W Yellow Jacket Ln.): 15'
Front (S Goliad Street): 25' (per SH 205 Overlay)
Right Side (Commercial): 0'
Rear (Restaurant): 0'

LANDSCAPE SETBACKS ARE:

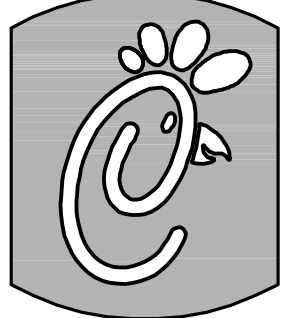
Front: (W Yellow Jacket Ln.) 10'
Left Side: (S Goliad Street) 20'
Right Side: (Commercial) 0'
Rear: (Restaurant) 0'

THE PARKING FORMULA FOR MINIMUM REQUIREMENTS:
one (1) space per each 100 square feet
of gross floor area.

POLE SIGNS ARE NOT PERMITTED

CITY AND UTILITY PROVIDERS
(SEE NOTE 7)

- 1) PLANNING DEPARTMENT
City of Rockwall Planning & Zoning Department
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Mr. Ryan Miller
Phone: 972-772-6441
- 2) ZONING DEPARTMENT
City of Rockwall Planning & Zoning Department
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Mr. Ryan Miller
Phone: 972-772-6441
- 3) SIGNS
City of Rockwall Building Department
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Mr. John Ankrum
Phone: 972-772-6774
- 4) BUILDING DEPARTMENT
City of Rockwall Building Department
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Mr. John Ankrum
Phone: 972-772-6774
- 5) FIRE MARSHAL
City of Rockwall Fire Department
Address: 191 East Quail Run, Rockwall, TX 75087
Contact: Ms. Ariana Hargrove (Chief Fire Marshal)
Phone: 972-771-7774
- 6) PLUMBING
City of Rockwall Building Department
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Mr. John Ankrum
Phone: 972-772-6774
- 7) HEALTH DEPARTMENT
K&K Food Safety Systems
Address: Address not required
Contact: Ms. Kelly Kippelrick
Phone: 214-202-1202
- 8) TRAFFIC ENGINEERING
City of Rockwall Public Works
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Ms. Amy Williams
Phone: 972-771-7746
- 9) SITE UTILITIES
- 1) SANITARY SEWER
City of Rockwall Public Works
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Ms. Amy Williams
Phone: 972-771-7746
- 2) WATER
City of Rockwall Public Works
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Ms. Amy Williams
Phone: 972-771-7746
- 3) STORM DRAINAGE
City of Rockwall Public Works
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Ms. Amy Williams
Phone: 972-771-7746
- 4) EROSION CONTROL
City of Rockwall Public Works
Address: 385 S Goliad Street, Rockwall, TX 75087
Contact: Ms. Amy Williams
Phone: 972-771-7746
- 5) GAS UTILITY
Atmos Energy
Address: No address needed
Contact: Ms. Dhrsh Wood
Phone: 972-485-8277
- 6) ELECTRIC
Oncor
Address: 1545 High Point Drive, Mesquite, TX 75149
Contact: Mr. Jason Escamilla
Phone: 972-216-8956
- 7) TELEPHONE
ATT (Telephone)
Address: 2702 Wesley Street, Greenville, TX 75401
Contact: Mr. Chris Holmes
Phone: 803-467-2303
- 10) LANDLORD/DEVELOPER
Dynamic Development
Address: 1725 21st Street, Santa Monica, CA 90404
Contact: Mr. Don Porter
Phone: 940-218-6684



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

LOTS 1 AND 2, BLOCK A
BILLY PEOPLES ADDITION No. 1
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

SHEET TITLE

ALTA/NSPS
LAND TITLE
SURVEY

☐ Preliminary
☐ 80% Submittal
☐ For Construction

Job No. : 17142

Store : #04222

Date : 11/15/2017

Drawn By : MTJ

Checked By: GAM

Sheet

CA-1.2

PRELIMINARY
FOR REVIEW PURPOSES ONLY
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ALTA/NSPS
LAND TITLE SURVEY

PREPARED BY:
WIA WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com
Texas Board of Professional Land Surveying Registration No. 10033900

SITE DATA	
SITE ADDRESS	2000 S. GOLIAD STREET, ROCKWALL, TX 75087
ZONING/EXISTING LAND USE	Commercial (C) District W/ SH 205 Overlay (SH205 OV) District
PROPOSED USE	Fast Food Restaurant, Drive-Thru Only
LOT AREA	0.656 Acres 28,562 Sq. Ft.
PROPOSED R.O.W. DEDICATION	706 Sq. Ft.±
TOTAL BUILDING AREA	2,173 Sq. Ft.±
LOT COVERAGE (AFTER R.O.W. DEDICATION)	8%
PERVIOUS AREA	5,636 Sq. Ft.± (20%)
IMPERVIOUS AREA	22,220 Sq. Ft.± (80%)
TOTAL PARKING REQUIRED	9 (1 stall/250 sf)
TOTAL PARKING PROVIDED	15
HANDICAP-ACCESSIBLE PARKING REQUIRED	2
HANDICAP-ACCESSIBLE PARKING PROVIDED	2

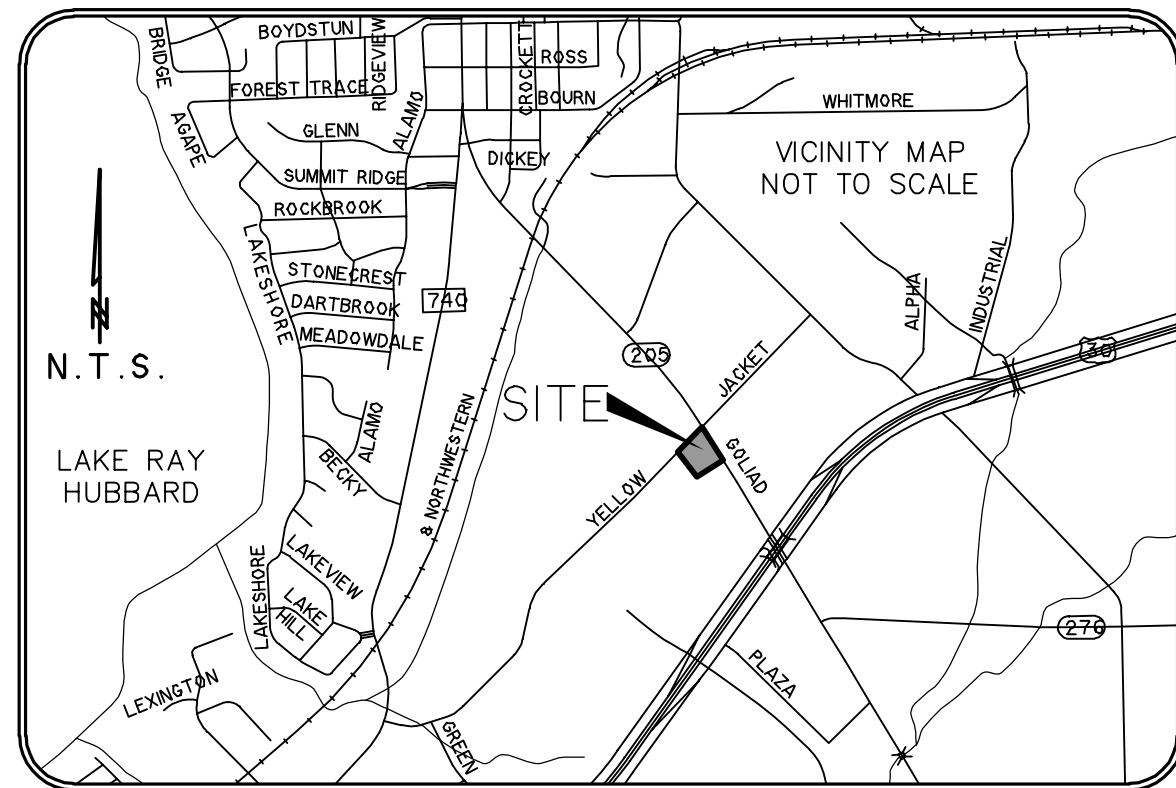
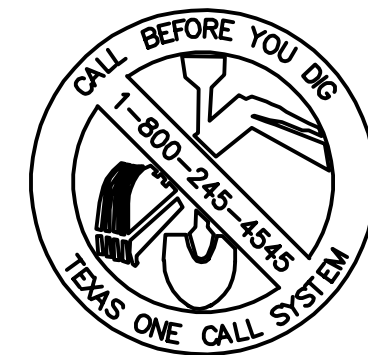
NOTE: THE EXISTING SITE HAS 2 EXISTING AND VACANT BUILDINGS, ASSOCIATED PAVEMENT, UTILITIES, AND ANCILLARY FEATURES WHICH ARE INTENDED TO BE DEMOLISHED AND CLEARED.

CAUTION !!

EXISTING UTILITIES ARE INDICATED ON THE PLANS FROM AVAILABLE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, TO NOTIFY ALL UTILITY COMPANIES OF THE CONTRACTORS OPERATIONS. TO PROTECT ALL UTILITIES FROM DAMAGE, TO REPAIR ALL UTILITIES DAMAGED DUE TO THE CONTRACTORS OPERATIONS, AND TO NOTIFY THE ENGINEER PROMPTLY OF ALL CONFLICTS OF THE WORK WITH EXISTING UTILITIES.

NOTES

- ALL ON-SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CHICK-FIL-A SPECIFICATIONS, WHICHEVER IS MORE RESTRICTIVE.
- ALL CONSTRUCTION IN CITY RIGHT-OF-WAYS AND/OR EASEMENT SHALL BE IN ACCORDANCE WITH THE CITY'S STANDARD SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT.
- IF CONTRACTOR FINDS A DISCREPANCY WITH THE TOPOGRAPHIC INFORMATION ON THESE PLANS, HE/SHE SHALL CONTACT THE CONSTRUCTION MANAGER/SUPERVISOR IMMEDIATELY.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, BRICK, OR AS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
- ALL PARKING STALLS SHALL BE STRIPED IN ACCORDANCE W/APPLICABLE GOVERNING AUTHORITIES.
- BUILDING IS PARALLEL & PERPENDICULAR TO SOUTH & WEST PROPERTY LINES.



VICINITY MAP
N.T.S.

LAYOUT NOTES

- ENCLOSED STORAGE
- 12"x10" DUMPSTER ENCLOSURES
- OLE & GRIT SEPARATOR
- GREASE TRAP
- ORDER POINT & MENU BOARD
- COLUMN & FOOTING (TYPICAL)
- RAISED CURB
- CLEARANCE BAR
- DRIVE-THRU WINDOW
- MEAL DELIVERY CANOPY
- DRIVE-THRU CANOPY
- PROPOSED DOMESTIC METER
- PROPOSED IRRIGATION METER
- PROPOSED MONUMENT SIGN
- PROPOSED FIRE HYDRANT
- DRIVE-THRU PAVEMENT STRIPING
- CURB NOTCH (TYPICAL)
- PAVEMENT STRIPING
- WALK-UP WINDOW
- FLAGPOLE

SITE LEGEND

	PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED FIRE LANE
	5' - 4,000 P.S.I. REINFORCED CONCRETE PAVEMENT, MIN. 6.5 SACK MIX
	6' - 4,000 P.S.I. REINFORCED CONCRETE PAVEMENT, MIN. 6.5 SACK MIX
	7' - 4,000 P.S.I. REINFORCED CONCRETE PAVEMENT, MIN. 6.5 SACK MIX
	10' - 3,600 PSI CONCRETE PAVEMENT, MIN. 6.5 SACK MIX, #4 BARS AT 18" OCEW, 6" LIME STABILIZED SUBGRADE (MIN 27 LBS/SY)
	10' CONTINUOUSLY REINFORCED CONCRETE PAVEMENT PER TXDOT STANDARDS OVER 4" ASPHALT CONCRETE PAVEMENT, 14" LIME STABILIZED SUBGRADE (WITH 7% LIME) (TO MATCH EX SH205 SECTION)
	PROPOSED 12" OR SMALLER WATER MAIN
	PROPOSED GATE VALVE
	PROPOSED WATER METER
	PROPOSED FIRE HYDRANT
	PROPOSED 12" OR SMALLER SANITARY SEWER
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM SEWER
	PROPOSED GRATE INLET
	PROPOSED CURB INLET
	HANDICAP-ACCESSIBLE PARKING STALL
	BARRIER FREE RAMP
	STORM DRAIN JUNCTION BOX
	LIGHT POLE

TOPOGRAPHIC LEGEND

BOL	BOLLARD
CI	CURB INLET
CM	CONTROLLING MONUMENT
EB	ELECTRIC BOX
EM	ELECTRIC METER
FI	FIRE HYDRANT
FOVLT	FIBER OPTIC VAULT
GM	GAS METER
GTS	GAS TEST STATION
GUY	GUY WIRE
HWL	CONCRETE HEADWALL
ICV	IRRIGATION CONTROL VALVE
IRF	IRON ROD FOUND
LP	LIGHT POLE
PP	POWER POLE
PPC	POWER POLE W/CONDUIT
PLP	POWER POLE W/LIGHT POLE
PPT	POWER POLE W/TRANSFORMER
RCP	CONCRETE STORM DRAIN PIPE
PPTC	POWER POL W/CONDUIT AND TRANSFORMER
SDMH	STORM DRAIN MANHOLE
SN	SIGN
SNCT	UNDERGROUND TELEPHONE SIGN
SNCT	GAS PIPELINE MARKER
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
TPD	TELEPHONE PEDESTAL
TSB	TRAFFIC SIGNAL BOX
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER PAD
TSP	TRAFFIC SIGNAL POLE
TSVLT	TRAFFIC SIGNAL VAULT
WMT	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVLT	WATER VAULT
OE	OVERHEAD ELECTRIC LINE
UE	UNDERGROUND ELECTRIC LINE
W	WATER LINE
SS	SANITARY SEWER LINE
FO	FIBER OPTIC LINE
G	UNDERGROUND GAS
UT	UNDERGROUND TELEPHONE

VERTICAL DATUM NOTE: REFERENCE DATUM = NORTH AMERICAN VERTICAL DATUM (NAD) 88 UTILIZING THE RTK NETWORK ADMINSTRATED BY WESTERN DATA SYSTEMS.	
SITE BENCHMARK NO. 1 AN "X" CUT IN CONCRETE PAVEMENT NEAR THE WEST CORNER OF LOT 1, BLOCK A BILLY PEOPLES ADDITION ±23.5' NORTH OF LIGHT POLE AND ±33.2' EAST OF FIRE HYDRANT	ELEVATION = 577.45'
SITE BENCHMARK NO. 2 AN "X" CUT IN CONCRETE IN SOUTH LINE OF CONCRETE FLUME NEAR THE SOUTH CORNER OF LOT 1, BLOCK A BILLY PEOPLES ADDITION ±17.9' SOUTHEAST OF POWER POLE AND ±29.5' SOUTHWEST OF MOST SOUTHERLY SOUTHWEST BUILDING CORNER.	ELEVATION = 576.20'
SITE BENCHMARK NO. 3 AN "X" CUT IN CONCRETE MEDIAN OF SOUTH GOLIAD STREET ±39.8' DIRECTLY WEST OF FIRST GRATE INLET ON THE WEST SIDE OF SOUTH GOLIAD STREET SOUTH OF YELLOWJACKET LANE ±82' SOUTH OF INTERSECTION WITH YELLOW JACKET LANE	ELEVATION = 575.46'

SITE PLAN

CHICK-FIL-A #04222

2000 S. GOLIAD STREET
SW CORNER OF YELLOW JACKET & GOLIAD
LOT 1 & LOT 2, BLOCK A
BILLY PEOPLES ADDITION No. 1
CITY OF ROCKWALL, TEXAS
CASE # SP2017-037
SUBMITTAL DATE: 12/5/2017

OWNER (NORTH):
EZ MART #77
PO BOX 1426
TEXARKANA, TX 75501

OWNER (SOUTH):
JEY INVESTMENTS
602 FALVEY AVE
TEXARKANA, TX 75501

DEVELOPER/APPLICANT:

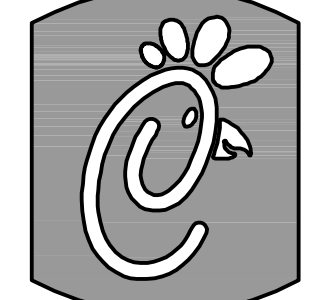
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GEORGIA 30349
PHONE: (404) 765-8000
CONTACT: GETRA THOMASON-SANDERS

ENGINEER:

WIER & ASSOCIATES, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TEXAS 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.
RandyE@WierAssociates.com

PREPARED BY:

WIER & ASSOCIATES, INC.
ENGINEERS SURVEYORS LAND PLANNERS
2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700
Texas Firm Registration No. F-2776 www.WierAssociates.com



5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

Mark Date By

Mark Date By

Mark Date By

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES
Prepared By/Or Under
Direct Supervision Of
Randy Eardley, P.E.
Texas Registration
No. 104957 On
Date Shown Below.

LOT 1 & LOT 2, BLOCK A
BILLY PEOPLES ADDITION
YELLOW JACKET LN. & GOLIAD ST.
ROCKWALL, TEXAS

STORE# 04222

STORE
SERIES
GEN3-LONG-
DIO

SHEET TITLE

SITE
PLAN

☐For Permit
☐For Bid
☐For Construction

Job No. : 17142

Store : #04222

Date : 12/4/2017

Drawn By : RRW

Checked By: PNA

Sheet

C-2

EXTERIOR FINISH SCHEDULE

BR-1	BRICK #1 (MODULAR SIZE) ACME BRICK COLOR- DRIFTWOOD VELOUR MORTAR: QUIKRETE 10H LIGHT BUFF	PT-7	EXTERIOR PAINT REFUSE ENCLOSURE SHERWIN WILLIAMS, #SW2807 'ROCKWOOD (MEDIUM BROWN)' SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS
EC-1	PARAPET WALL COPING DURDLAST/ EXCEPTIONAL METALS COLOR TO MATCH MP-1 COLOR - ED680 - CUSTOM	PT-9	EXTERIOR PAINT MISCELLANEOUS METALS SHERWIN WILLIAMS - SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR - DARK BRONZE SEMI-GLASS FINISH
NP-1	NICHIHA PANEL ILLUMINATION - FIBER CEMENT PANEL W/ METALLIC FINISH COLOR- RED ED640- CUS	PT-10	EXTERIOR PAINT MISCELLANEOUS METALS SHERWIN WILLIAMS, #SW7075 'WEB GRAY' SEMI-GLOSS ON METAL CHANNEL AND POST
NP-2	NICHIHA PANEL VINTAGE WOOD- FIBER CEMENT PANEL W/ WOOD FINISH COLOR- BARK	ST-1	STOREFRONT YKK - YES 45 (YES 45 FS AT INTERIOR PLAY AREA LOCATIONS) COLOR - DARK BRONZE (MATTE)
SN-1	STONE VENEER SALADO LIMESTONE SONOMA- COLOR- CARAMEL		



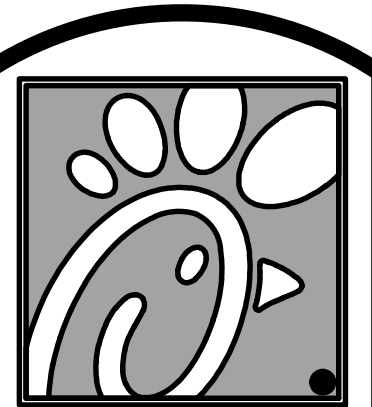
1 FRONT ELEVATION

MATERIALS:		
BRICK	30 SQFT	6%
STONE	282 SQFT	48%
FIBER CEMENT PANEL	271 SQFT	46%
FACADE NET SQFT	583 SQFT	100%



2 DRIVE-THRU ELEVATION

MATERIALS:		
BRICK	607 SQFT	37%
STONE	438 SQFT	27%
FIBER CEMENT PANEL	585 SQFT	36%
FACADE NET SQFT	1630 SQFT	100%



Chick-fil-A

5200 Buffington Rd.
Atlanta Georgia,
30349-2998

Revisions:

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12-07-17

MAYSE & ASSOCIATES, INC.
Architecture • Planning • Construction Management
1400 Quorum Dr.
Dallas, TX 75201
Phone: (972) 386-0338
Fax: (972) 386-0578

STORE
Yellow Jacket &
Goliad

Rockwall, TX

SHEET TITLE
EXTERIOR
ELEVATIONS

VERSION:
ISSUE DATE:

Job No. : 17151

Store : 04222

Date : 12-07-17

Drawn By : BN

Checked By: _____

Sheet

A-2.I

EXTERIOR FINISH SCHEDULE

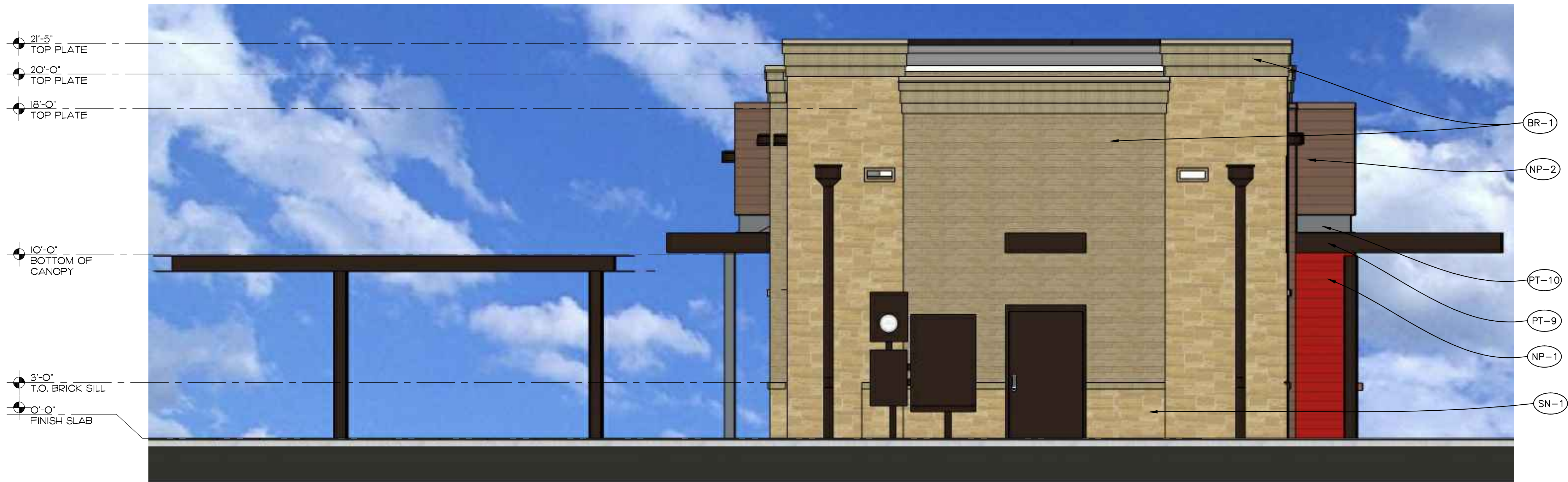
BR-1	BRICK #1 (MODULAR SIZE) ACME BRICK COLOR- DRIFTWOOD VELDUR MORTAR- QUIKRETE 10H LIGHT BUFF	PT-7	EXTERIOR PAINT REFUSE ENCLOSURE SHERWIN WILLIAMS, #SW2807 'ROCKWOOD (MEDIUM BROWN)' SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS
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NP-2	NICHIHA PANEL VINTAGE WOOD- FIBER CEMENT PANEL W/ WOOD FINISH COLOR- BARK	ST-1	STOREFRONT YKK - YES 45 (YES 45 FS AT INTERIOR PLAY AREA LOCATIONS) COLOR - DARK BRONZE (MATTE)
SN-1	STONE VENEER SALADO LIMESTONE SONOMA- COLOR- CARAMEL		



1 SIDE ELEVATION

NTS

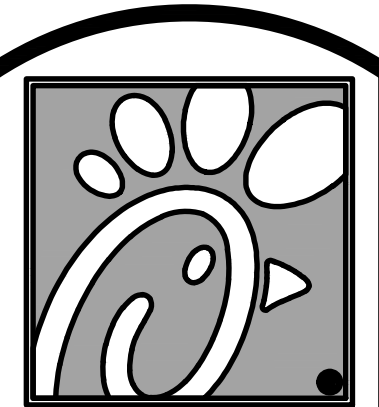
MATERIALS:		
BRICK	847 SQFT	53%
STONE	487 SQFT	31%
FIBER CEMENT PANEL	258 SQFT	16%
FACADE NET SQFT	1592 SQFT	100%



2 REAR ELEVATION

NTS

MATERIALS:		
BRICK	308 SQFT	54%
STONE	262 SQFT	46%
FIBER CEMENT PANEL	0 SQFT	0%
FACADE NET SQFT	570 SQFT	100%



Chick-fil-A

5200 Buffington Rd.
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12-07-17

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A-2.2