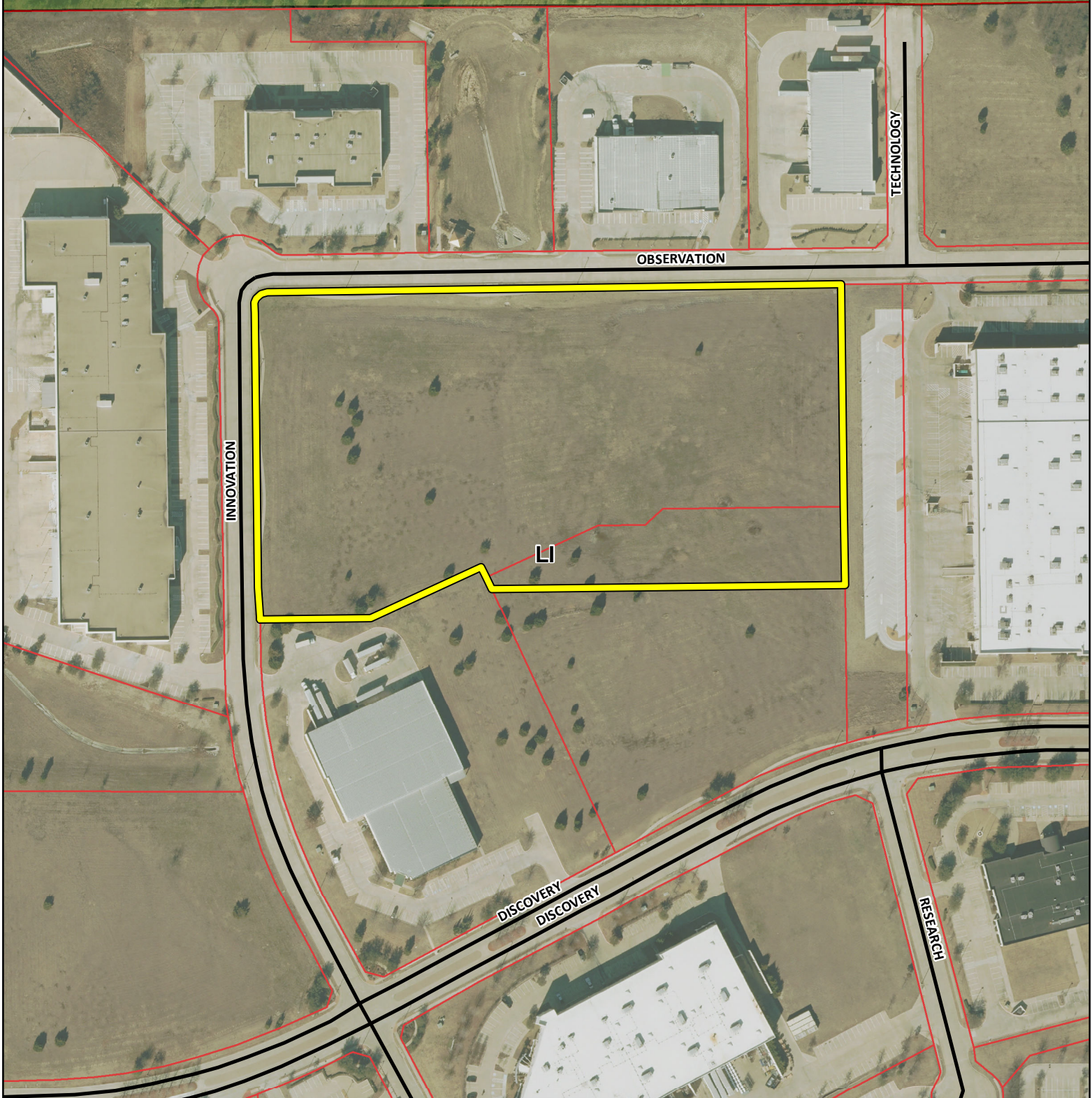


0 70 140 280 420 560 Feet

SP2018-002 - SITE PLAN FOR INTERSTATE WIRE COMPANY
SITE PLAN - LOCATION MAP = 

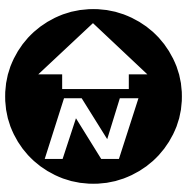
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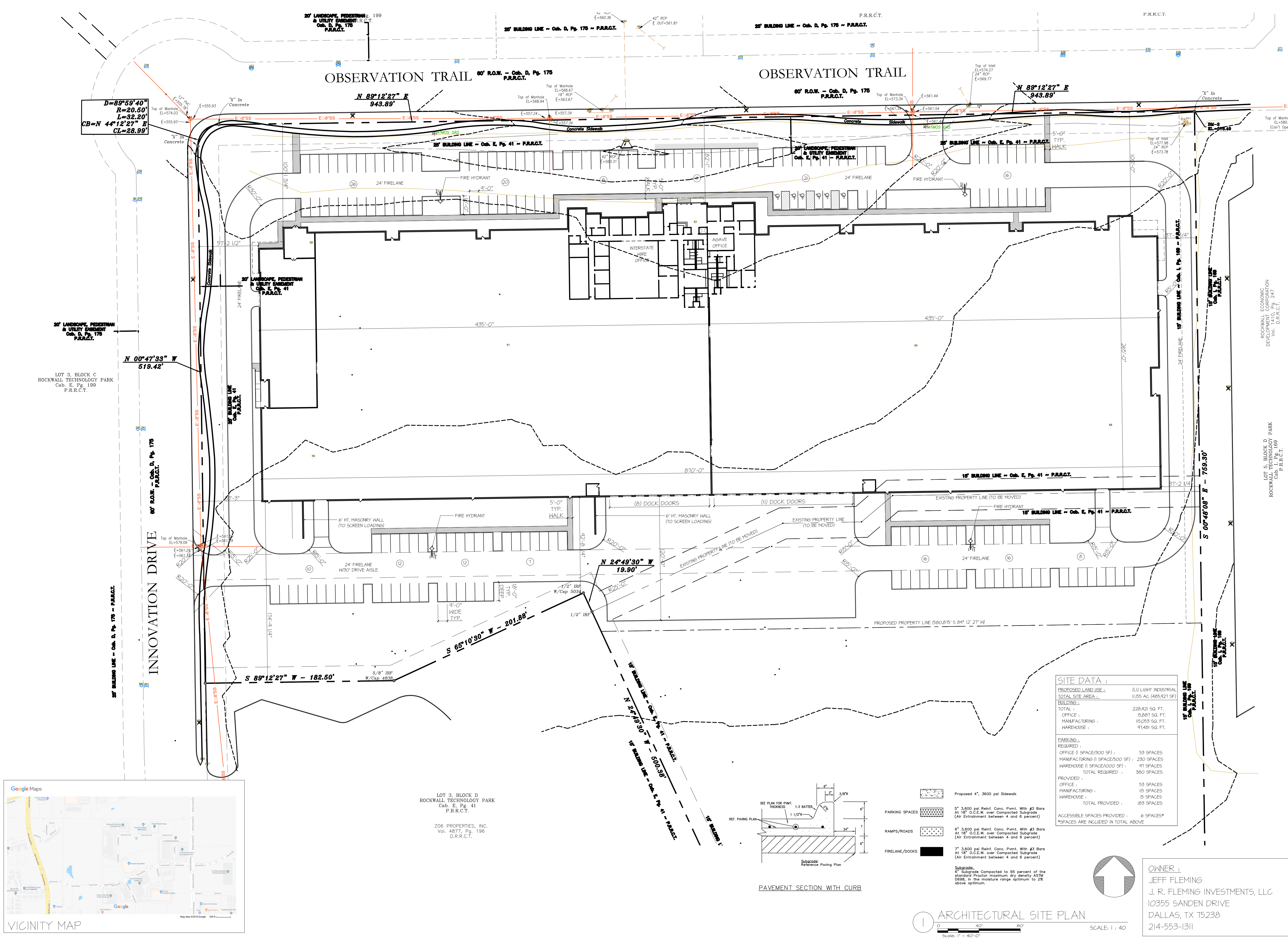


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





MATTHEW J PETERSON, AIA
ARCHITECT / db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-1300

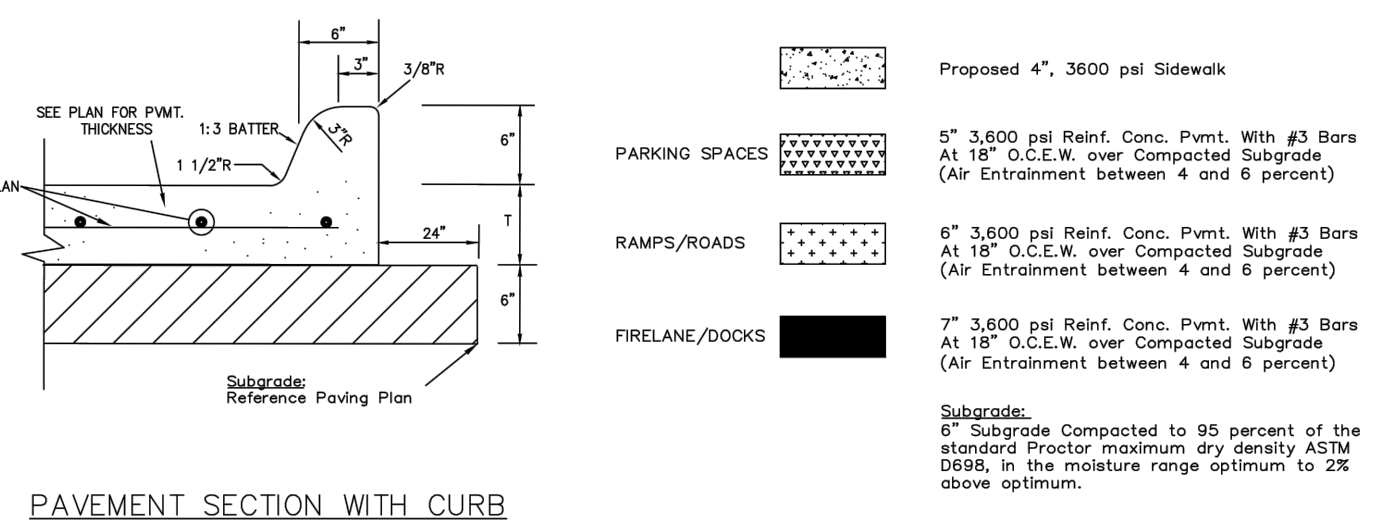
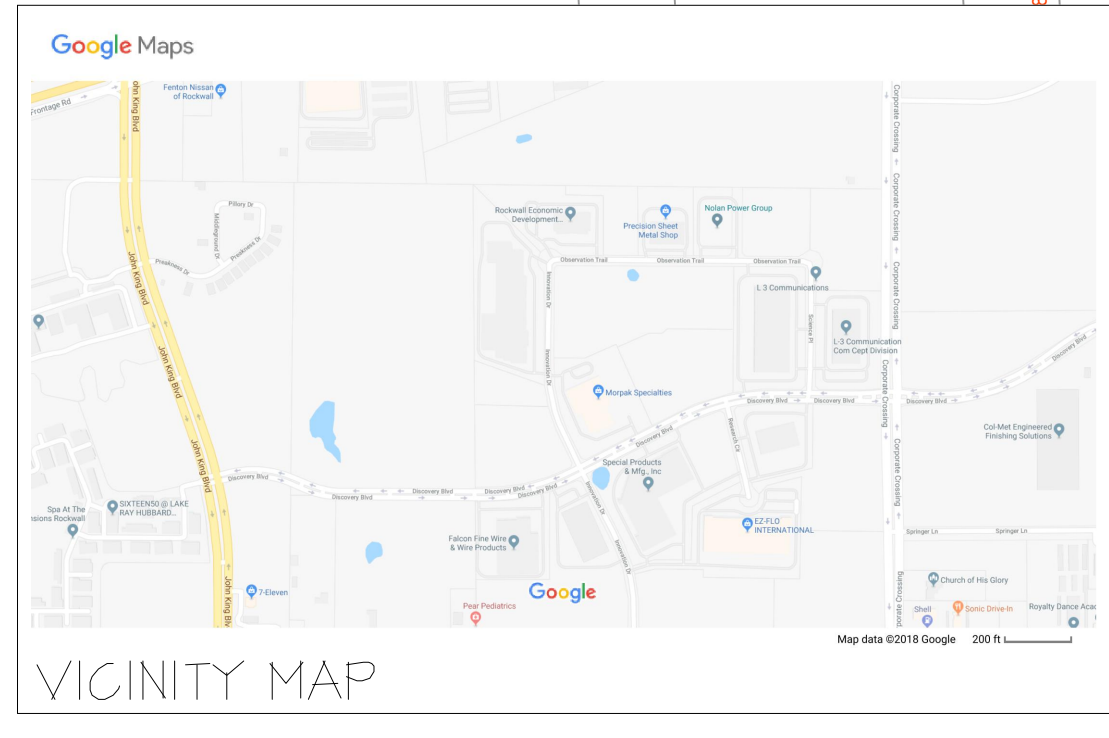
STATUS:
SITE PLAN SUBMITTAL : 12 JAN 2018

d/b constructors inc.
GENERAL CONTRACTOR
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-4305 FAX

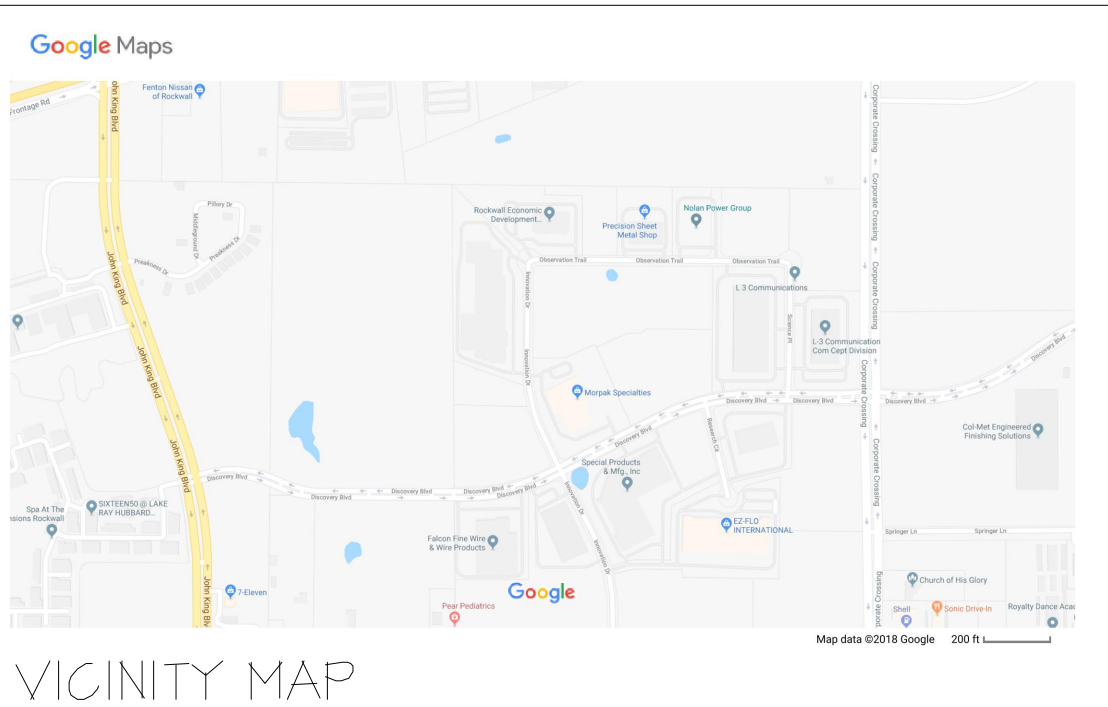
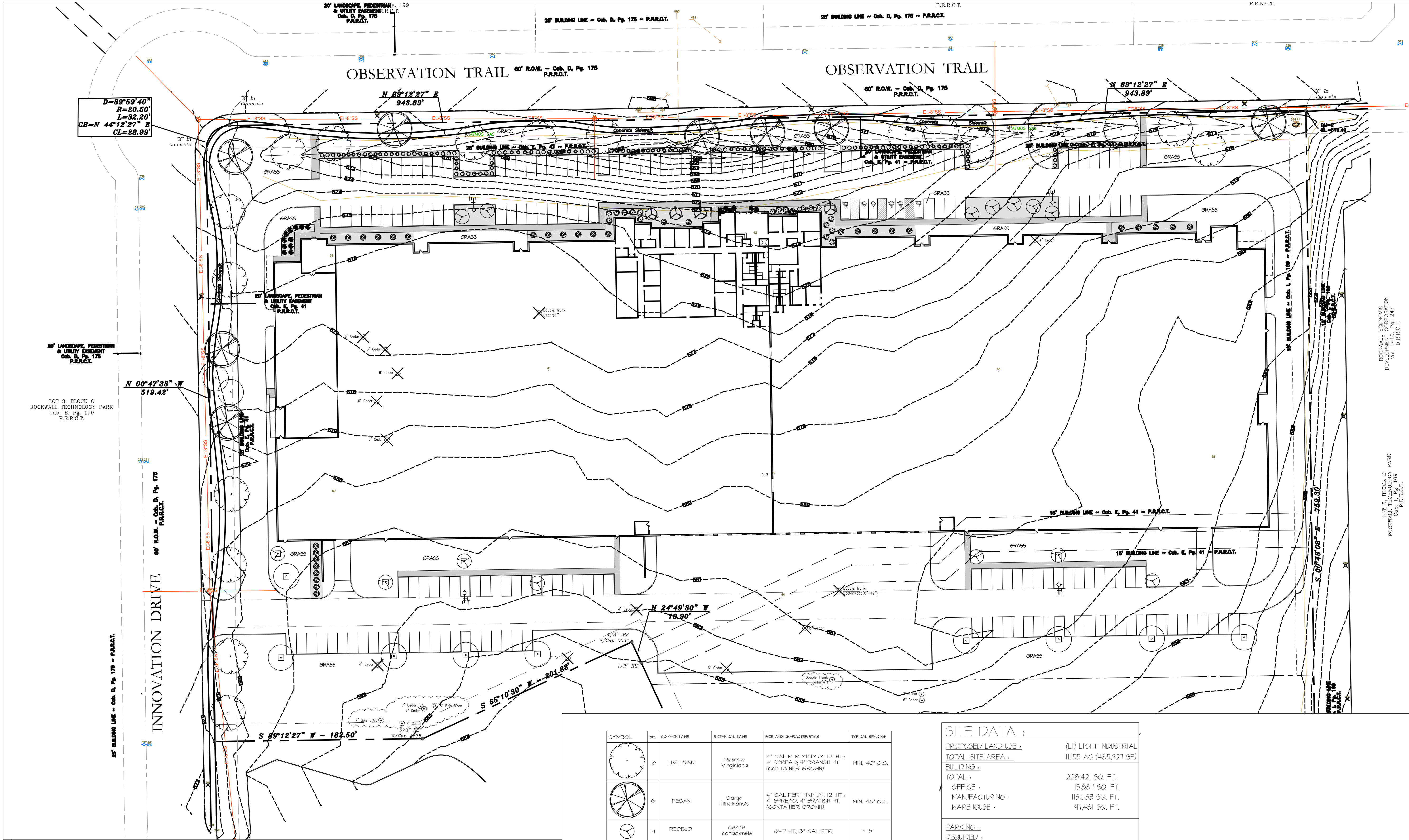
NEW FACILITY
for
**INTERSTATE WIRE CO, INC.
AGAVE WIRE, LTD**
LOT 7, BLOCK D &
PARTIAL LOT 6, BLOCK D
ROCKWALL, TX

CASE NUMBER :
Drawing Number

OWNER :
JEFF FLEMING
J. R. FLEMING INVESTMENTS, LLC
10355 SANDEN DRIVE
DALLAS, TX 75238
214-553-1311



ARCHITECTURAL SITE PLAN
SCALE: 1 : 40
Scale: 1" = 40'-0"



VICINITY MAP

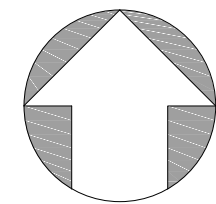
SITE TABULATIONS :

PROPOSED LAND USE :	(LI) LIGHT INDUSTRIAL
TOTAL SITE AREA :	11,155 AC (485,921 SF)
BUILDING :	
MAXIMUM ALLOWABLE BUILDING COVERAGE AS A PERCENTAGE OF LOT AREA :	60%
BUILDING FOOTPRINT :	228,115 SF
BUILDING COVERAGE :	46.4%
SITE :	
MAXIMUM AMOUNT OF IMPERVIOUS COVERAGE AS A PERCENTAGE OF LOT AREA :	40% TO 45%
ROADS, SIDEWALKS, AND PARKING :	134,290 SF
BUILDING FOOTPRINT :	228,115 SF
TOTAL IMPERVIOUS COVERAGE :	362,405 SF
IMPERVIOUS COVERAGE :	14.6%

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	10	LIVE OAK	Quercus Virginiana	4" CALIPER MINIMUM, 12' HT., 4' SPREAD, 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	8	PECAN	Carya Illinoensis	4" CALIPER MINIMUM, 12' HT., 4' SPREAD, 4' BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
	14	REDBUD	Cercis canadensis	6"-7" HT., 3" CALIPER	± 15'
	4	YAUPOON HOLLY	Ilex Vomitoria	30 GALLON, FULL/EVEN BRANCHING, MATCHING	± 20'
	11	LIL' GEM MAGNOLIA	Magnolia grandiflora "Little Gem"	30 GALLON, FULL/7' HT. MIN / 3' CANOPY WIDTH, MINIMUM	REF. PLAN
	69	TEXAS SAGE	Leucophyllum frutescens	5 GAL., 36" TALL, FULL/EVEN BRANCHING, MATCHING	± 5'
	66	BARBERRYS (ROSE GLOW)	Barberis thunbergii f. atropurpurea	3 GAL., CONTAINER FULL	± 5'
	32	NELLIE STEVENS HOLLY	Ilex x "Nellie R. Stevens"	6 GAL., 30" SPREAD	± 15'
	16	ROSEMARY	Rosmarinus officinalis	1 GAL., 18" TALL, 10" WIDE	± 3'-5'
	17	MEXICAN FEATHER GRASS	Nassella tenuissima	2 GAL., 15" SPREAD	± 3'-5'
	6	MEXICAN OREGANO	Verbenaceae Lippia graveolens	1 GAL., 18" SPREAD	± 4'

SITE DATA :

PROPOSED LAND USE :	(LI) LIGHT INDUSTRIAL
TOTAL SITE AREA ±:	11,155 AC (485,921 SF)
BUILDING :	
TOTAL :	228,421 SQ. FT.
OFFICE :	15,881 SQ. FT.
MANUFACTURING :	115,053 SQ. FT.
WAREHOUSE :	97,481 SQ. FT.
PARKING ±:	
REQUIRED :	
OFFICE (1 SPACE/300 SF) :	53 SPACES
MANUFACTURING (1 SPACE/500 SF) :	230 SPACES
WAREHOUSE (1 SPACE/1000 SF) :	97 SPACES
TOTAL REQUIRED :	380 SPACES
PROVIDED :	
OFFICE :	53 SPACES
MANUFACTURING :	115 SPACES
WAREHOUSE :	15 SPACES
TOTAL PROVIDED :	183 SPACES
ACCESSIBLE SPACES PROVIDED :	6 SPACES*
*SPACES ARE INCLUDED IN TOTAL ABOVE	



LANDSCAPE PLAN
Scale: 1" = 40'-0"

SCALE: 1" = 40'

MATTHEW J PETERSON, AIA

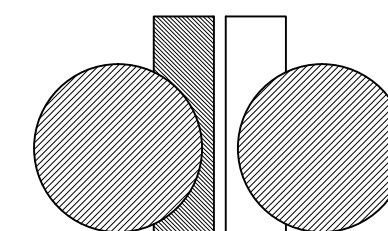
ARCHITECT / d/b constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-1300

STATUS:

SITE PLAN SUBMITTAL : 12 JAN 2018

ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
Vol. 143, Pg. 247
P.R.R.C.T.

LOT 3, BLOCK C
ROCKWALL TECHNOLOGY PARK
Vol. 143, Pg. 189
P.R.R.C.T.



d/b constructors inc.

GENERAL CONTRACTOR

2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-4305 FAX

NEW FACILITY

for

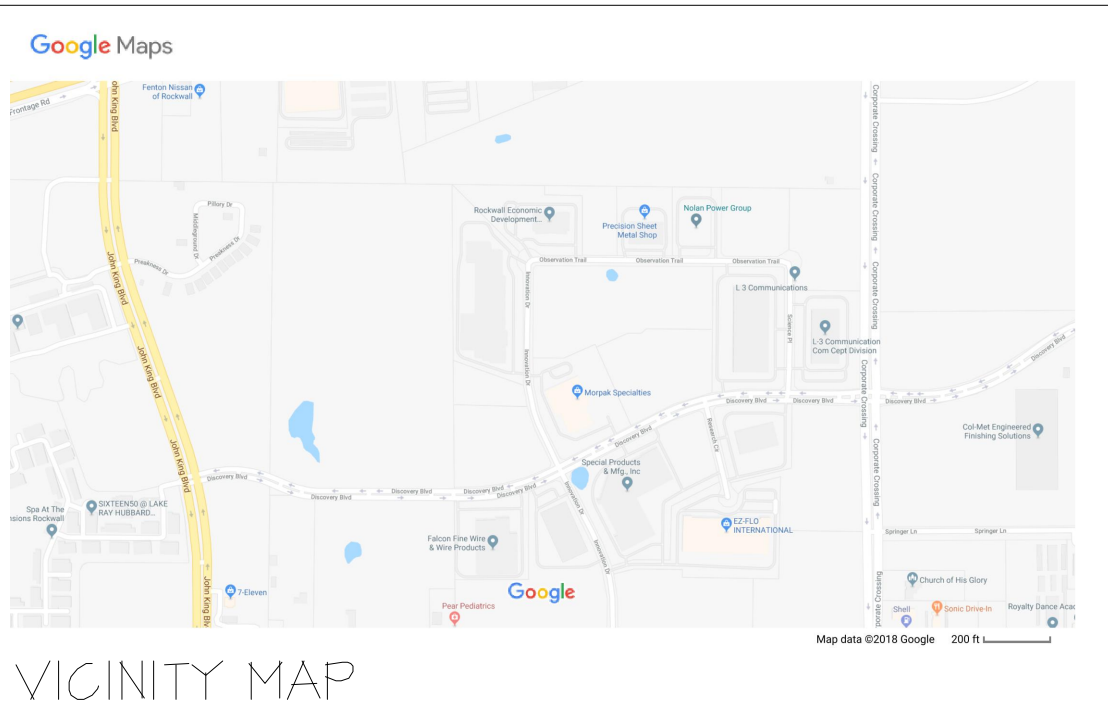
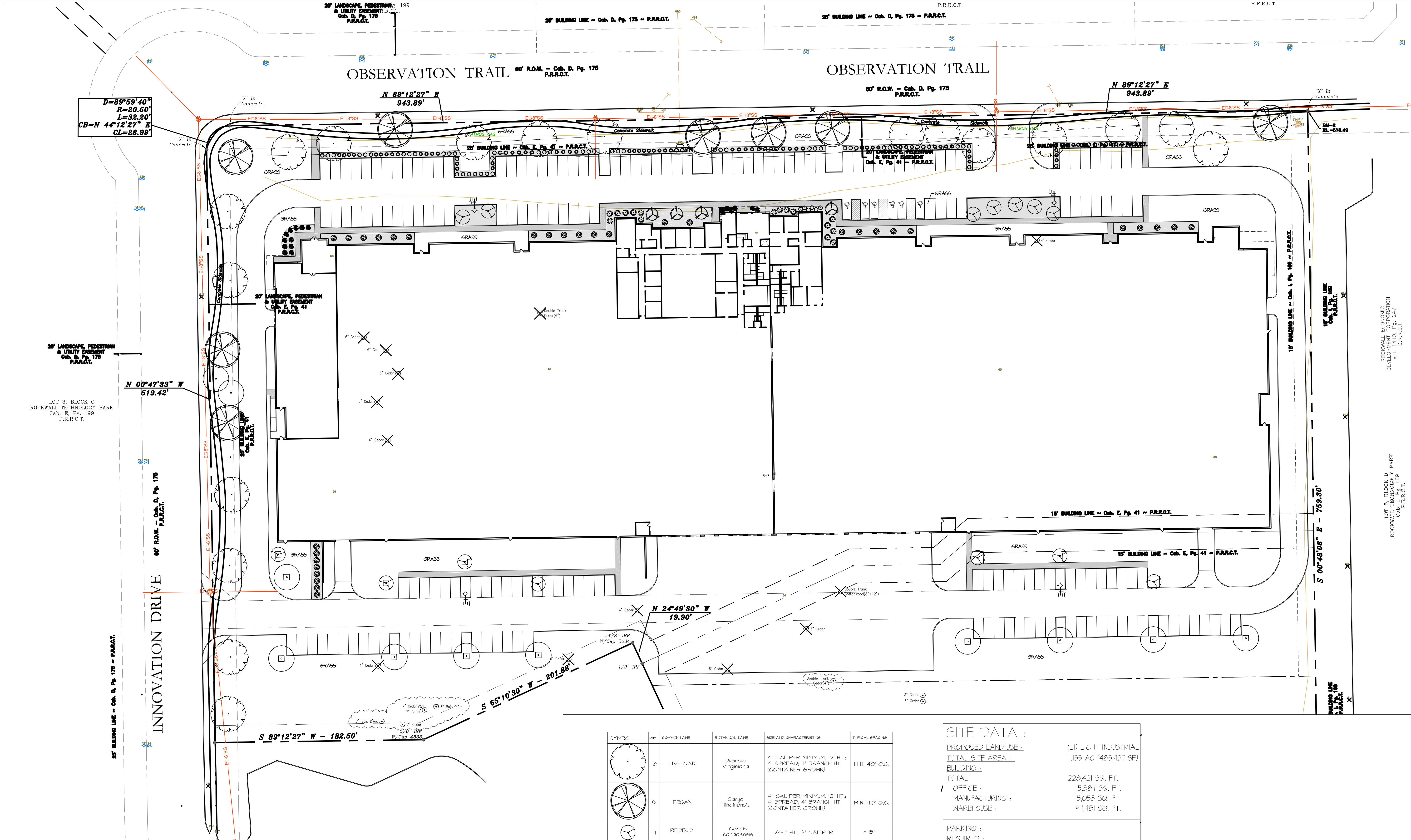
INTERSTATE
WIRE CO, INC.
AGAVE WIRE, LTD

LOT 7, BLOCK D &
PARTIAL LOT 6, BLOCK D
ROCKWALL, TX

CASE NUMBER :

Drawing Number

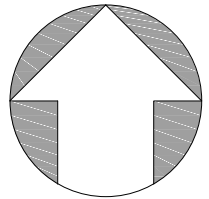
A-1.4



SITE TABULATIONS :	
PROPOSED LAND USE :	(LI) LIGHT INDUSTRIAL
TOTAL SITE AREA :	11,155 AC (485,921 SF)
BUILDING :	
MAXIMUM ALLOWABLE BUILDING COVERAGE AS A PERCENTAGE OF LOT AREA :	60%
BUILDING FOOTPRINT :	228,115 SF
BUILDING COVERAGE :	46.4%
SITE :	
MAXIMUM AMOUNT OF IMPERVIOUS COVERAGE AS A PERCENTAGE OF LOT AREA :	40% TO 45%
ROADS, SIDEWALKS, AND PARKING :	134,240 SF
BUILDING FOOTPRINT :	228,115 SF
TOTAL IMPERVIOUS COVERAGE :	362,405 SF
IMPERVIOUS COVERAGE :	74.6%

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME	SIZE AND CHARACTERISTICS	TYPICAL SPACING
	10	LIVE OAK	Quercus Virginiana	4" CALIPER MINIMUM, 12' HT., 4" SPREAD, 4" BRANCH HT. (CONTAINER GROWN)	MIN. 40' O.C.
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	6	MEXICAN OREGANO	Verbenaceae Lippia graveolens	1 GAL., 18" SPREAD	± 4'

SITE DATA :	
PROPOSED LAND USE :	(LI) LIGHT INDUSTRIAL
TOTAL SITE AREA ± :	11,155 AC (485,921 SF)
BUILDING :	
TOTAL :	228,421 SQ. FT.
OFFICE :	15,881 SQ. FT.
MANUFACTURING :	115,053 SQ. FT.
WAREHOUSE :	97,481 SQ. FT.
PARKING :	
REQUIRED :	
OFFICE (1 SPACE/300 SF) :	53 SPACES
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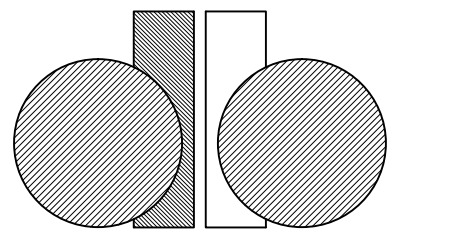
LANDSCAPE PLAN
Scale: 1" = 40'-0"

SCALE: 1" = 40'

OWNER :
JEFF FLEMING
J. R. FLEMING INVESTMENTS, LLC
10355 SANDEN DRIVE
DALLAS, TX 75238
214-553-1311

MATTHEW J PETERSON, AIA
ARCHITECT / db constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FT. WORTH, TEXAS 76106
817 626-1300
817 626-1300

STATUS:
SITE PLAN SUBMITTAL : 12 JAN 2018



d/b constructors inc.
GENERAL CONTRACTOR
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-4305 FAX

NEW FACILITY

for

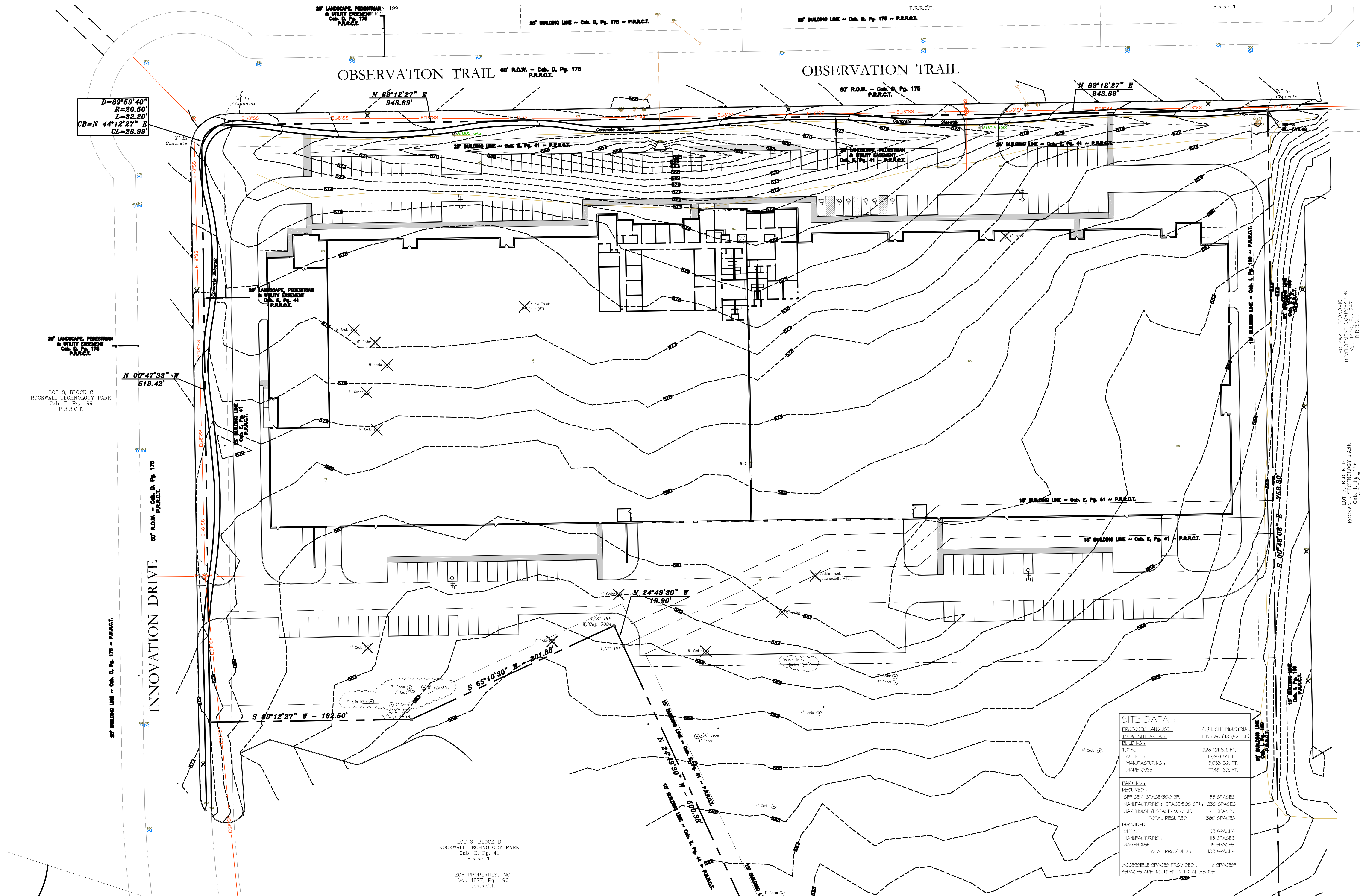
INTERSTATE
WIRE CO, INC.
AGAVE WIRE, LTD

LOT 7, BLOCK D &
PARTIAL LOT 6, BLOCK D
ROCKWALL, TX

CASE NUMBER :

Drawing Number

A-1.4



MATTHEW J PETERSON, AIA
ARCHITECT / d/b constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-1300

STATUS:
SITE PLAN SUBMITTAL : 12 JAN 2018

d/b constructors inc.
GENERAL CONTRACTOR
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-1300 FAX

NEW FACILITY
for
**INTERSTATE
WIRE CO, INC.
AGAVE WIRE, LTD**
LOT 7, BLOCK D &
PARTIAL LOT 6, BLOCK D
ROCKWALL, TX

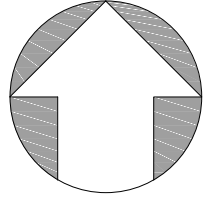
CASE NUMBER :
Drawing Number

OWNER :
JEFF FLEMING
J. R. FLEMING INVESTMENTS, LLC
10355 SANDEN DRIVE
DALLAS, TX 75238
214-553-1311

SITE DATA :	
PROPOSED LAND USE :	(U) LIGHT INDUSTRIAL
TOTAL SITE AREA :	11.05 AC (485,921 SF)
BUILDING :	
TOTAL :	228,421 SQ. FT.
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WAREHOUSE :	15 SPACES
TOTAL PROVIDED :	183 SPACES
ACCESSIBLE SPACES PROVIDED :	6 SPACES*
*SPACES ARE INCLUDED IN TOTAL ABOVE	

TREESCAPE :
ALL TREES EXISTING ON SITE ARE NOT OF A SIZE OR SPECIES TO BE PROTECTED. TREES ARE EITHER COTTONWOOD OR BOIS D'ARC OR ARE CEDAR TREES THAT ARE LESS THAN 1" DBH.
THIS DEVELOPMENT WILL MAKE EFFORT TO PRESERVE THE TREES INDICATED ON THIS PLAN WITH A CLOUD. THE EXISTING TREES SHOWN WITH A 'X' WILL BE REMOVED.

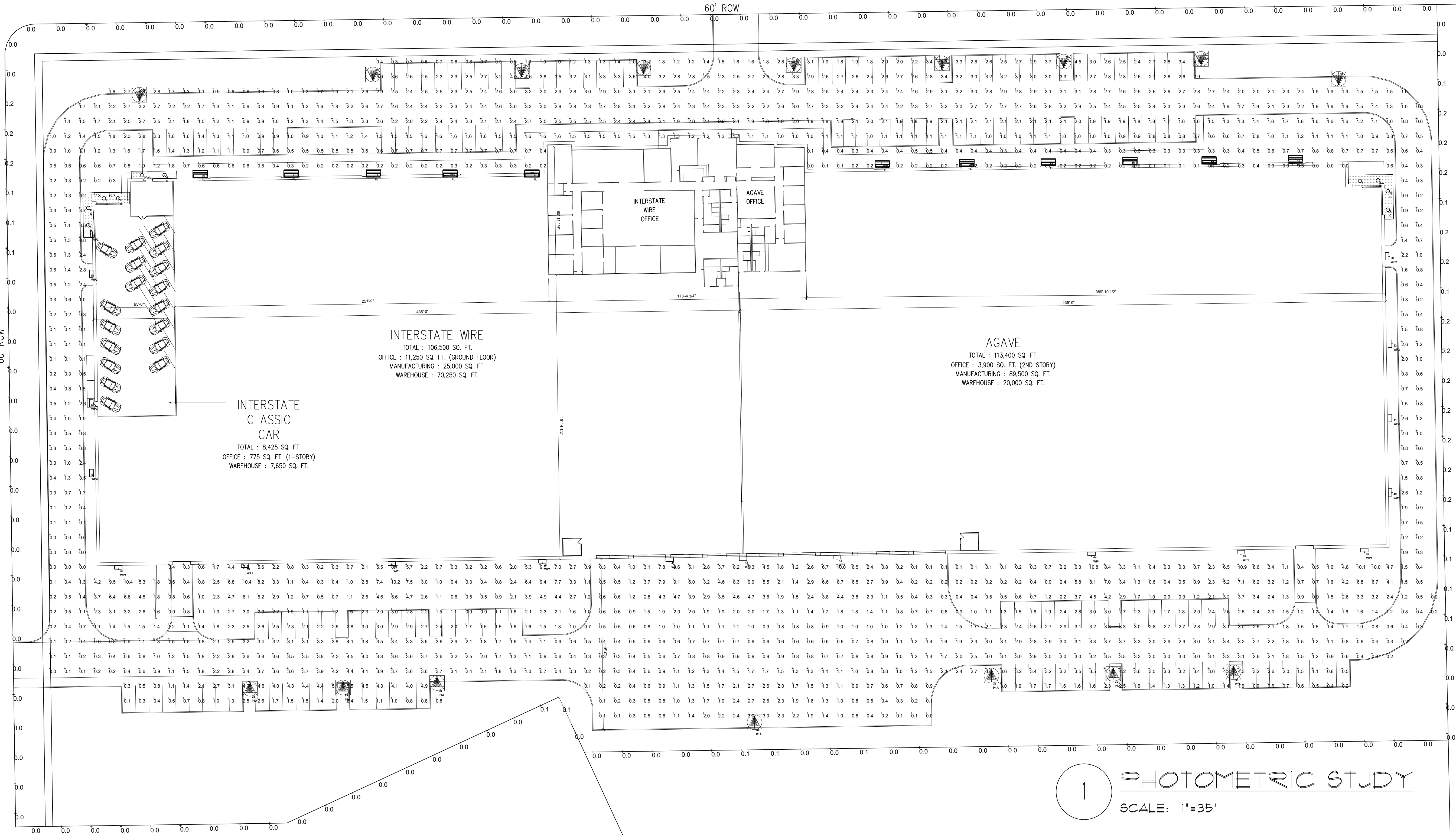
TREESCAPE PLAN
Scale: 1" = 40'-0"



SCALE: 1" = 40'

OBSERVATION TRAIL

60' ROW

INNOVATION DRIVE
60' ROW

Luminaire Location Summary						
LumNo	Label	X	Y	Z	Orient	Tilt
1	C	134.4	424.8	12	0	0
2	C	144.9	442.95	12	0	0
3	C	170.55	458.55	12	0	0
4	C	185.7	458.55	12	0	0
5	C	134.4	436.5	12	0	0
6	C	154.5	442.95	12	0	0
7	C	950.45	454.65	12	0	0
8	C	1009.2	435.3	12	0	0
9	C	1002.6	455.1	12	0	0
10	C	1009.2	447.75	12	0	0
11	FL	270.9	459.6	0	270	60
12	FL	326.4	459.6	0	270	60
13	FL	378	459.6	0	270	60
14	FL	433.05	459.6	0	270	60
15	FL	209.7	459.3	0	270	60
16	FL	835.65	468.15	0	270	60
17	FL	947.1	469.35	0	270	60
18	FL	888.9	468.45	0	270	60
19	FL	668.85	465.75	0	270	60
20	FL	725.85	468.65	0	270	60
21	FL	780.6	467.1	0	270	60
22	P1A	325.95	530.4	27.5	270	0
23	P1A	426	532.8	27.5	270	0
24	P1A	508.05	534.9	27.5	270	0
25	P1A	709.06	537.962	27.5	270	0
26	P1A	791.052	539.11	27.5	270	0
27	P1A	609.3	536.85	27.5	270	0
28	P1A	243.293	108.839	27.5	90	0

Luminaire Location Summary CONT.						
LumNo	Label	X	Y	Z	Orient	Tilt
29	P1A	305.879	109.716	27.5	90	0
30	P1A	369.143	112.739	27.5	90	0
31	P1A	742.398	117.704	27.5	90	0
32	P1A	824.39	118.852	27.5	90	0
33	P1A	905.382	119.986	27.5	90	0
34	P1A	582.893	86.339	27.5	90	0
35	P1A	883.5	540.9	27.5	270	0
36	P1A	168.75	518.75	27.5	270	0
37	P1B	976.05	527.55	27.5	270	0
38	WP1	239.85	196.05	20	270	0
39	WP1	338.7	197.4	20	270	0
40	WP1	440.1	198.75	20	270	0
41	WP1	525.75	199.35	20	270	0
42	WP1	575.1	199.2	20	270	0
43	WP1	638.4	200.4	20	270	0
44	WP1	810.3	201.6	20	270	0
45	WP1	910.35	203.7	20	270	0
46	WP1	154.65	193.95	20	270	0
47	WP1	993.45	203.7	20	270	0
48	WP2	135.898	419.095	20	180	0
49	WP2	1011.884	245.116	20	0	0
50	WP2	1009.5	405.85	20	0	0
51	WP2	1011.884	295.116	20	0	0
52	WP2	1011.884	345.116	20	0	0
53	WP2	135.15	305.25	20	180	0
54	WP2	135.15	392.1	20	180	0
55	WP2	135.3	258.15	16	180	0

Fixture Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Mfg	Description
	10	C	SINGLE	N.A.	0.864	Eaton	P0610D010B-PDM6B840-61VC
	11	FL	SINGLE	N.A.	0.864	Eaton	XTOR12B
	15	P1A	SINGLE	N.A.	0.912	Eaton	GLEON-AF-03-LED-E1-SL3-HSS
	1	P1B	SINGLE	N.A.	0.912	Eaton	GLEON-AF-02-LED-E1-SL4-HSS
	10	WP1	SINGLE	N.A.	0.864	Eaton	XTOR12B
	8	WP2	SINGLE	N.A.	0.864	Eaton	XTOR3B-W

25' POLE, 2.5' BASE

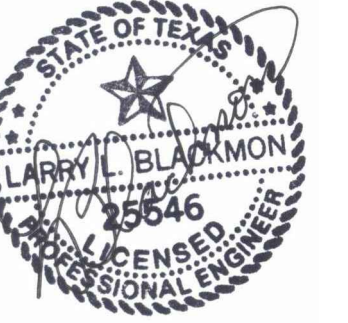
Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpclR
Canopy 1	ILLUMINANCE	Fc	6.88	11.1	1.9	3.62	5.84	2
Canopy 2	ILLUMINANCE	Fc	7.89	11.4	2.5	3.16	4.56	2
Canopy 3	ILLUMINANCE	Fc	6.81	10.9	2.6	2.62	4.19	2
Canopy 4	ILLUMINANCE	Fc	7.09	11.3	1.4	5.06	8.07	2
Property Line	ILLUMINANCE	Fc	0.03	0.2	0.0	N.A.	N.A.	20
Site @Finished Grade	ILLUMINANCE	Fc	1.86	10.9	0.0	N.A.	N.A.	10

Object Summary		
Label	Type	Description
Building	Polygon-Flat	Assumed Reflectance: .3
Canopy 1	Polygon-Flat	Assumed Reflectance: .3
Canopy 2	Polygon-Flat	Assumed Reflectance: .3
Canopy 3	Polygon-Flat	Assumed Reflectance: .3

OWNER :
JEFF FLEMING
J. R. FLEMING INVESTMENTS, LLC
10355 SANDEN DRIVE
DALLAS, TX 75238
214-553-1311

MATTHEW J. PETERSON, AIA
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2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-7300

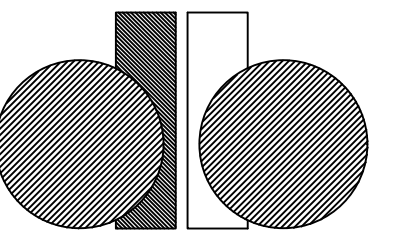
STATUS:
SITE PLAN SUBMITTAL : 12 JAN 2018



1/9/2018



LARRY L. BLACKMON, INC.
ENGINEERING & BUILDING DESIGN
6716 AZLE AVENUE
FORT WORTH, TEXAS 76135
PHONE: 817-238-9801 FAX: 817-238-9804
REGISTRATION #F-002382



d/b constructors inc.
GENERAL CONTRACTOR

2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-7300
817 626-9305 FAX

NEW FACILITY

for

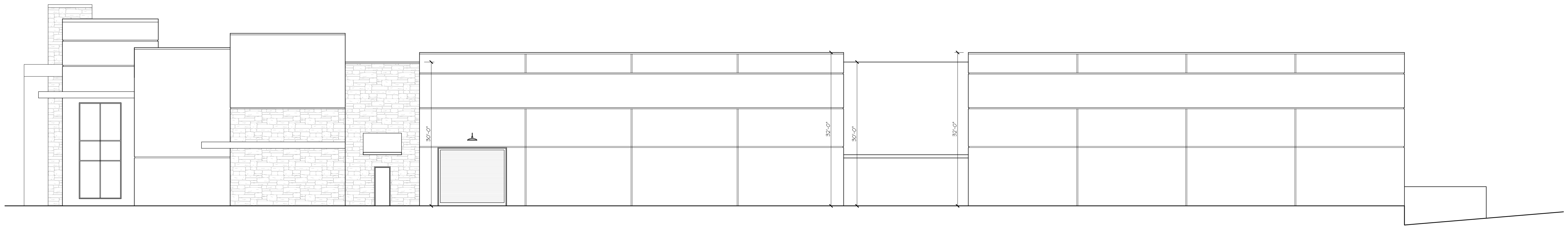
INTERSTATE
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LOT 7, BLOCK D &
PARTIAL LOT 6, BLOCK D
ROCKWALL, TX

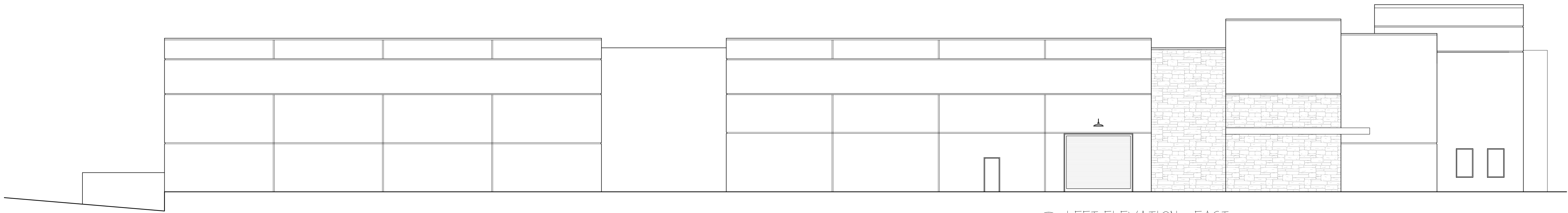
CASE NUMBER :

Drawing Number

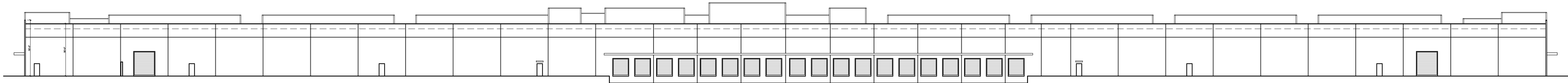
SL1



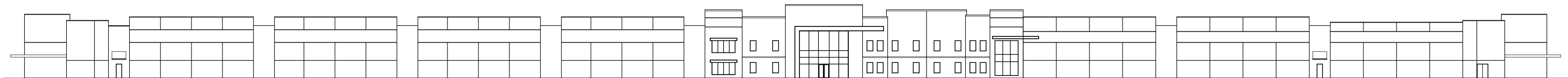
4 RIGHT ELEVATION : WEST
SCALE: 3/32" = 1'-0"



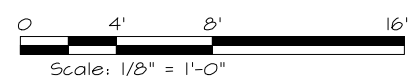
3 LEFT ELEVATION : EAST
SCALE: 3/32" = 1'-0"



2 REAR ELEVATION : SOUTH
SCALE: 1/32" = 1'-0"

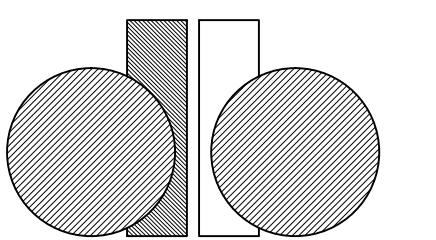


1 FRONT ELEVATION : NORTH
SCALE: 1/32" = 1'-0"



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GENERAL CONTRACTOR
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300
817 626-4305 FAX

NEW FACILITY

for

INTERSTATE
WIRE CO, INC.
AGAVE WIRE, LTD

LOT 7, BLOCK D &
PARTIAL LOT 6, BLOCK D
ROCKWALL, TX

CASE NUMBER : _____

Drawing Number

A-1.1

OWNER :
JEFF FLEMING
J. R. FLEMING INVESTMENTS, LLC
10355 SANDEN DRIVE
DALLAS, TX 75238
214-553-1311



OWNER :
JEFF FLEMING
J. R. FLEMING INVESTMENTS, LLC
10355 SANDEN DRIVE
DALLAS, TX 75238
214-553-1311

Drawing Number

A-12

MATTHEW J PETERSON, AIA
ARCHITECT / d/b constructors, inc.
2400 GREAT SOUTHWEST PARKWAY
FORT WORTH, TEXAS 76106
817 626-1300

STATUS:
SITE PLAN SUBMITTAL : 12 JAN 2018



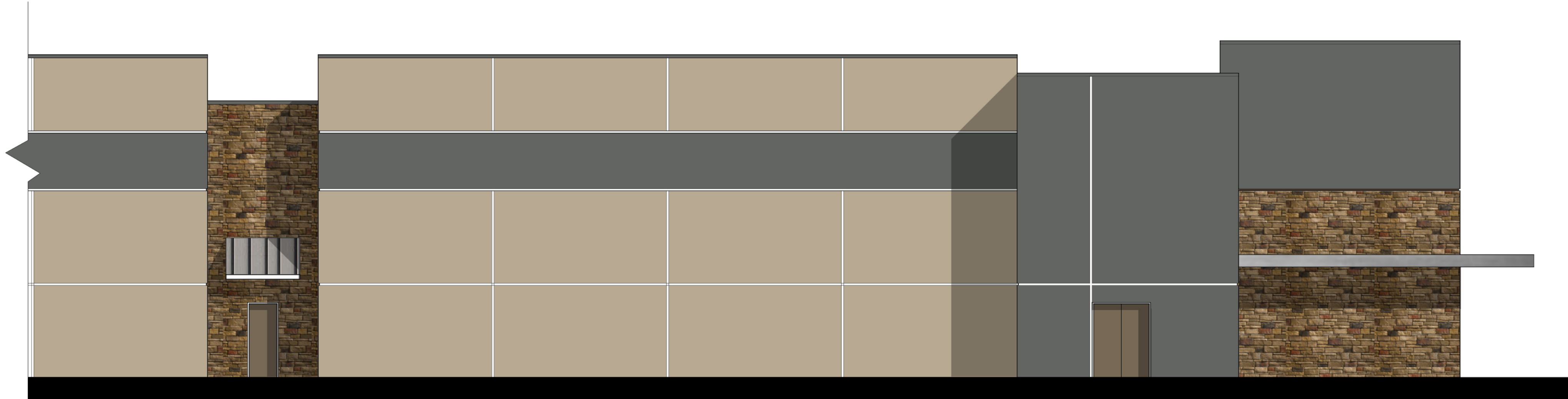
4 SOUTH ELEVATION : PARTIAL
SCALE: 1/8" = 1'-0"

3 EAST ELEVATION : PARTIAL
SCALE: 1/8" = 1'-0"



2 OFFICE ELEVATION
SCALE: 1/8" = 1'-0"

BUILDING DATA :	
<u>NORTH ELEVATION (FACING A PUBLIC ROW):</u>	
GROSS BUILDING ELEVATION SF :	30,681 SF
WINDOWS AND DOORS :	1,846 SF
SUBTOTAL :	28,835 SF
<u>EAST ELEVATION (FACING A PUBLIC ROW):</u>	
GROSS BUILDING ELEVATION SF :	9,429 SF
WINDOWS AND DOORS :	376 SF
SUBTOTAL :	9,053 SF
<u>WEST ELEVATION (FACING A FUTURE PUBLIC ROW):</u>	
GROSS BUILDING ELEVATION SF :	9,453 SF
WINDOWS AND DOORS :	240 SF
SUBTOTAL :	9,213 SF
<u>SOUTH ELEVATION :</u>	
GROSS BUILDING ELEVATION SF :	21,058 SF
DOORS :	2,342 SF
SUBTOTAL :	24,716 SF
<u>100% PAINTED PANEL</u>	
STONE PORTION OF ELEVATION :	7,058 SF
PAINTED CONCRETE TILT PANEL :	21,703 SF
24.4% STONE / 75.6% PAINTED PANEL	
<u>100% PAINTED PANEL</u>	
STONE PORTION OF ELEVATION :	1,064 SF
PAINTED CONCRETE TILT PANEL :	7,984 SF
11.8% STONE / 88.2% PAINTED PANEL	
<u>100% PAINTED PANEL</u>	
STONE PORTION OF ELEVATION :	451 SF
PAINTED CONCRETE TILT PANEL :	8,256 SF
10.3% STONE / 89.6% PAINTED PANEL	



1 FRONT ELEVATION : PARTIAL
SCALE: 1/8" = 1'-0"



Eldorado Stone
Mountain Ledge
Durango



Galvanized Metal
Awning / Eyebrow



Dark Bronze
Window Frames/
Storefront Frames



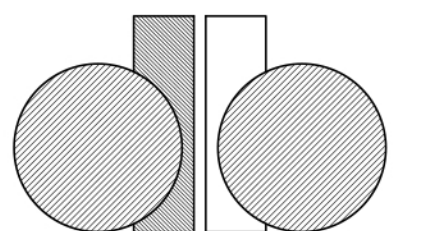
SW6150
Universal
Khaki



SW7068
Grizzle Gray



SW6152
Superior
Bronze



d/b constructors inc.

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COLOR CHART
&
RENDERED
ELEVATIONS

