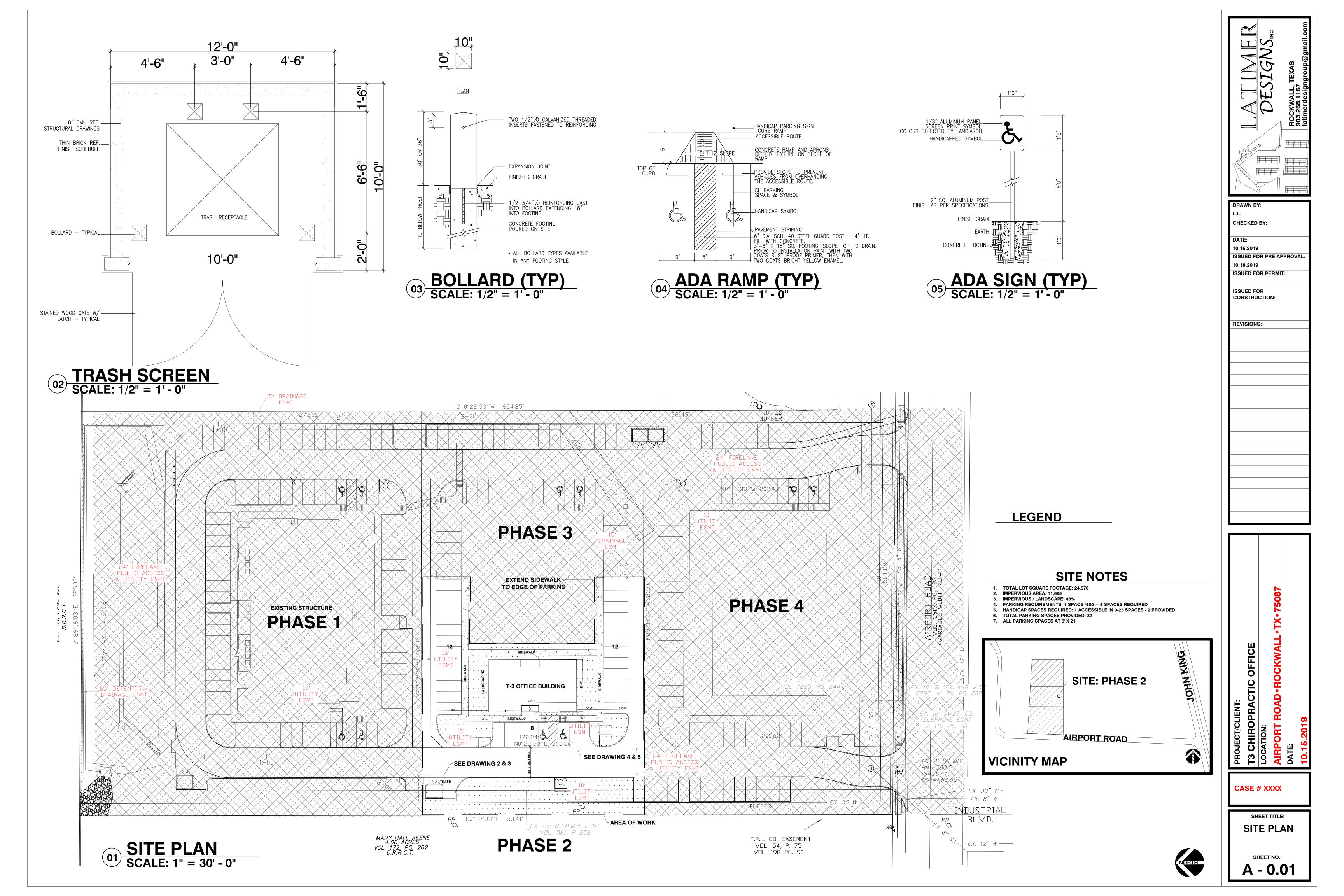


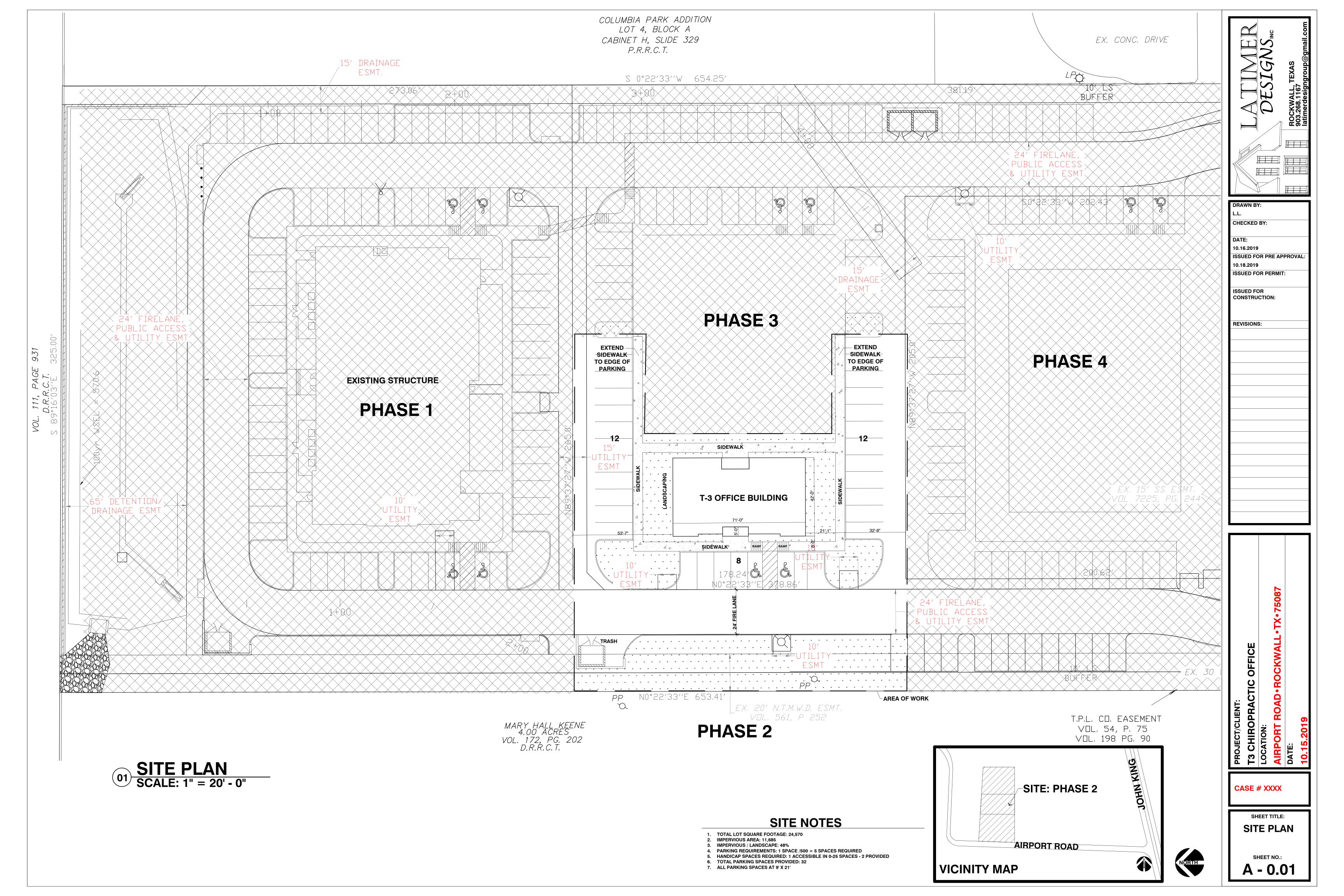


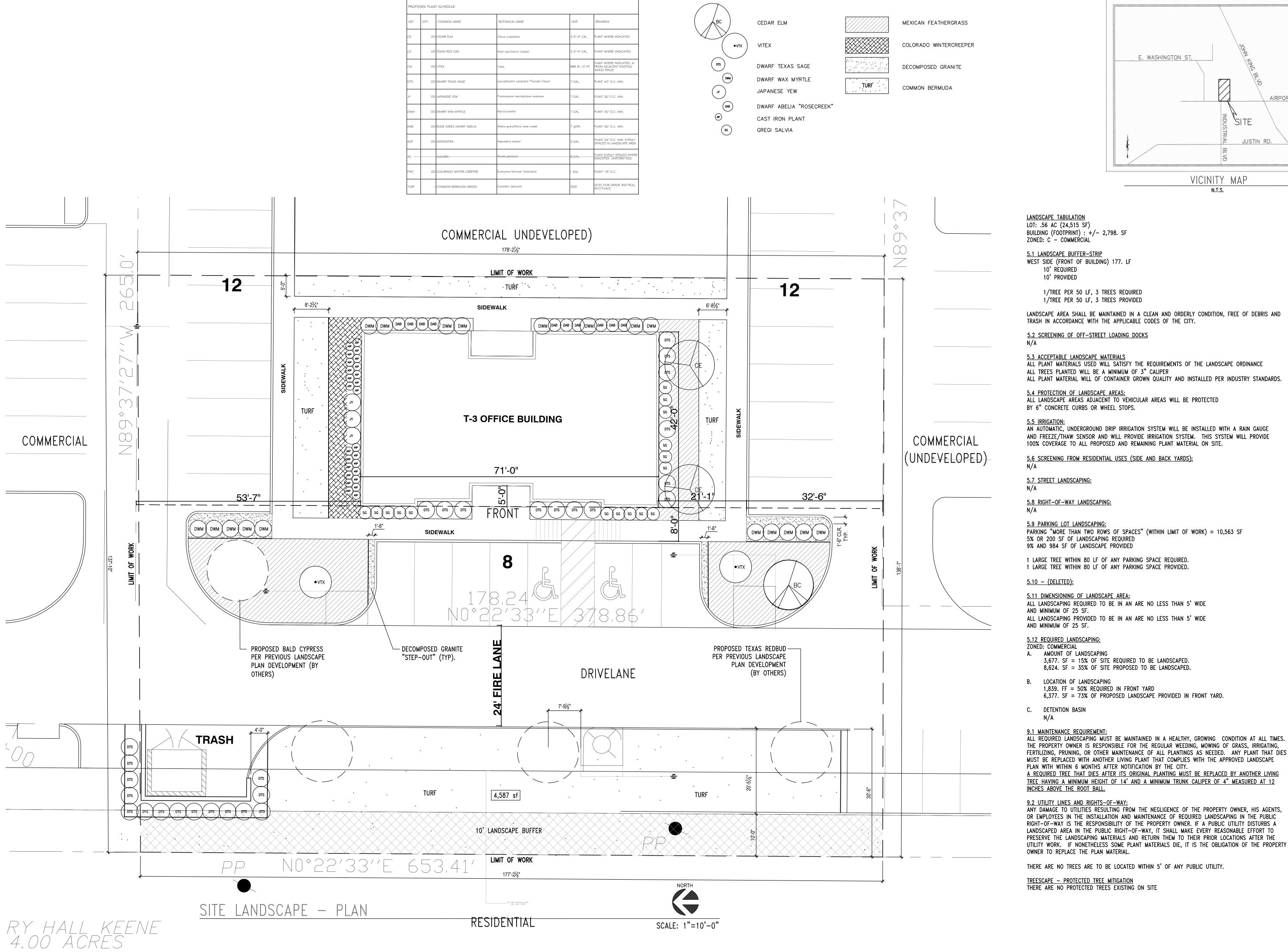
## City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.









<u>PLANT KEY</u>

Site Planning AIRPORT RD. JUSTIN RE

RYBA Inc. 10670 North Central Expwy. Dallas, TX 75231 (214) 629-2052 www.rybadesign.com STEVEN R. RYBA 1724 XX/XX/XXXX

DRAWN BY: **CHECKED BY: ISSUED FOR PERMIT: ISSUED FOR CONSTRUCTION: REVISIONS:** 

Chiropractic Office Landing Point Rockwall TX

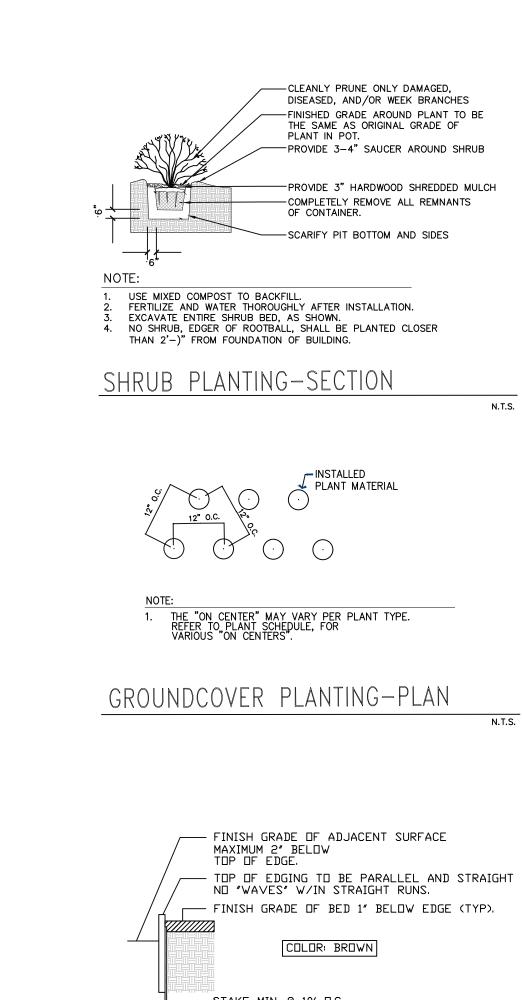
CASE # XXXX

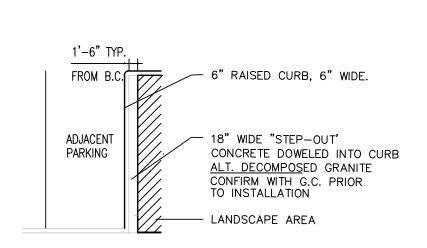
5/19 UCTI

10/1 STR

SHEET TITLE: LANDSCAPE DEVELOPMENT PLAN(2)

> SHEET NO.: L1.01





COLOR: BROWN

(TRIM STAKE LENGTH, DO NOT PENETRATE

WATERPROOF MEMBRANE IF OVER STRUCTURE)

-CLEANLY PRUNE ONLY DAMAGED,

DISEASED, AND/OR WEEK BRANCHES

FINISHED GRADE AROUND PLANT TO BE THE SAME AS ORIGINAL GRADE OF

PROVIDE 3-4" SAUCER AROUND SHRUB

-PROVIDE 3" HARDWOOD SHREDDED MULCH

N.T.S.

-COMPLETELY REMOVE ALL REMNANTS

-SCARIFY PIT BOTTOM AND SIDES

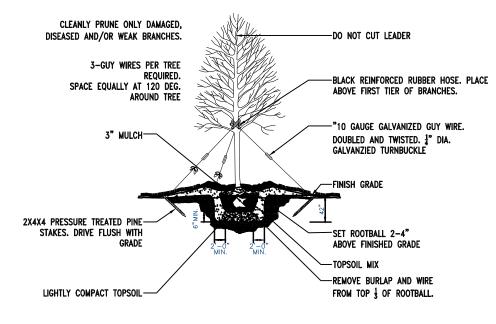
PLANT MATERIAL

TYPICAL PARKING ISLAND-PLAN

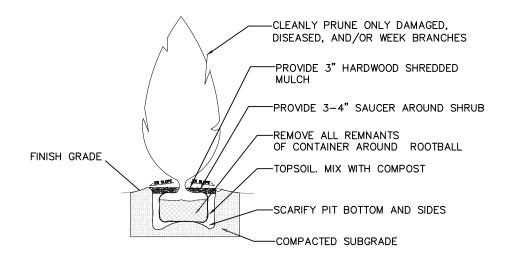
STEEL EDGE-SECTION

**GENERAL PLANTING NOTES:** 

- 1. QUANTITIES INDICATED ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT
- 2. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES, AMBIGUITY OR UNLABELED PLANTS ON PLANS PRIOR TO BID SUBMITTAL. IF ANY OF THESE IS NOT CLARIFIED BY LANDSCAPE ARCHITECT PRIOR TO BID SUBMITTAL DATE, CONTRACTOR SHALL NOTE SUCH ITEMS ON BID.
- 3. SOIL AMENDMENTS TO BE "MIXED SOIL WITH COMPOST" AS PRODUCED BY LIVING EARTH TECHNOLOGY, OR APPROVED EQUAL. INSTALL 5" OF TOPSOIL WITHIN ALL PLANTING AREAS. REMOVE EXISTING SOIL AND REPLACE WITH TOPSOIL. TO GRADE.
- 4. TREE HOLES TO BE EXCAVATED 2' GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED INN#3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- 5. SHRUB PIT SHALL BE EXCAVATED 12" GREATER THAN BALL DIAMETER AND 6" DEEPER. BACK FILL WITH 1/2 EXISTING SOIL AND 1/2 COMPOST AS NOTED IN #3 ABOVE. THOROUGHLY BLENDED BY MECHANICAL MEANS PRIOR TO BACKFILL.
- 6. MULCH TOP DRESSING FOR ALL PLANTING BEDS UNLESS OTHERWISE NOTED SHALL BE A MINI. 3" DEPTH LAYER, DECOMPOSED GRANITE UNIFORMLY SPREAD ON ALL SHRUB AND GROUND COVER BEDS.
- 7. BED EDGING TO BE STEEL EDGING 12G, X 5.5" AS MANUFACTURED BY COL-MET, COLOR: BLACK OR APPROVED EQUAL. ALL HOLES FOR TREES AND LARGE SHRUBS SHALL BE TESTED FOR WATER RETENTION PRIOR TO TREE OR SHRUB PLANTING. AFTER HOLE IS EXCAVATED. IT IS TO BE FILLED WITH WATER TO THE TOP OF THE EXCAVATION. IF, AFTER 24 HOURS, THE HOLE STILL HOLDS WATER, THE CONTRACTOR SHALL EXCAVATE AND ADDITIONAL 6" FROM THE BOTTOM OF THE HOLE. THE LANDSCAPE CONTRACTOR SHALL THEN INSTALL 6" OF NATIVE WASHED GRAVEL COVERED ON THE TOP (AND UP TO A MINIMUM OF 12" ON THE SIDES OF THE HOLE) WITH FILTER FABRIC. THE CONTRACTOR SHALL ALSO INSTALL A CAPPED 3" DIAMETER PVC SUMP WHICH WILL EXTEND FROM NEAR THE BOTTOM OF THE ROCK LAYER TO 3" ABOVE THE PROPOSED FINISH GRADE SO THE HOLE CAN BE EXCAVATED THROUGH MECHANICAL MEANS.
- 8. ALL PLANTING (TREES, SHRUBS, GROUND COVER, AND/OR GRASS APPLICABLE) SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- 9. ALL PROPOSED PLANT MATERIAL SHALL BE CONTAINER GROWN.
- 10. ANY LARGE OR SMALL TREE SHALL BE PLANTED AT LEAST 48" MIN. FROM THE EDGE OF ANY PAVED SURFACE.
- 11. GENERAL MAINTENANCE: REQUIRED PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THE PROPERTY OWNER IS RESPONSIBLE REGULAR WEEDING, MOWING OF GRASS, IRRIGATING, FERTILIZING, PEST PREVENTION, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS AS NEEDED. ANY PLANT THAT DIES SHALL BE REPLACED WITH ANOTHER LIVING PLANT THAT IS COMPARABLE TO THE EXISTING PLANT MATERIALS SPECIFIED IN THE APPROVED LANDSCAPE PLAN
- 12. LANDSCAPES AREAS WILL BE IRRIGATED WITH A SYSTEM THAT IS SUITABLE FOR "WATER EFFICIENT LANDSCAPE" WITHIN NINETY (90) DAYS AFTER NOTIFICATION BY THE CITY.
- 13. THE LOCATION OF ALL UTILITIES, INDICATED ON THESE PLANS, WERE PROVIDED BY OTHERS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHOULD BE DETERMINED BY THE LANDSCAPE CONTRACTOR PRIOR TO HIS COMMENCEMENT OF WORK.
- 14. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING INDICATED IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO MAKE HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS, PRIOR TO CONSTRUCTION. PROTECT ALL SITE UTILITIES DURING CONSTRUCTION.
- 15. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
- 16. GROUNDCOVER / SEASONAL COLOR BEDS WILL RECEIVE 3" OF "MIXED SOIL WITH COMPOST" TILLED INTO PLACE TO A 6" DEPTH.



LARGE CANOPY TREE-SECTION MUST INSTALL SUMP



LARGE SHRUB-SECTION

ARY 10/15/1 CONSTRUC

N.T.S.

N.T.S.

RYBA Inc. Site Planning 10670 North Central Expwy.

Dallas, TX 75231

(214) 629-2052 www.rybadesign.com \* STEVEN R. RYBA 1724

XX/XX/XXXX

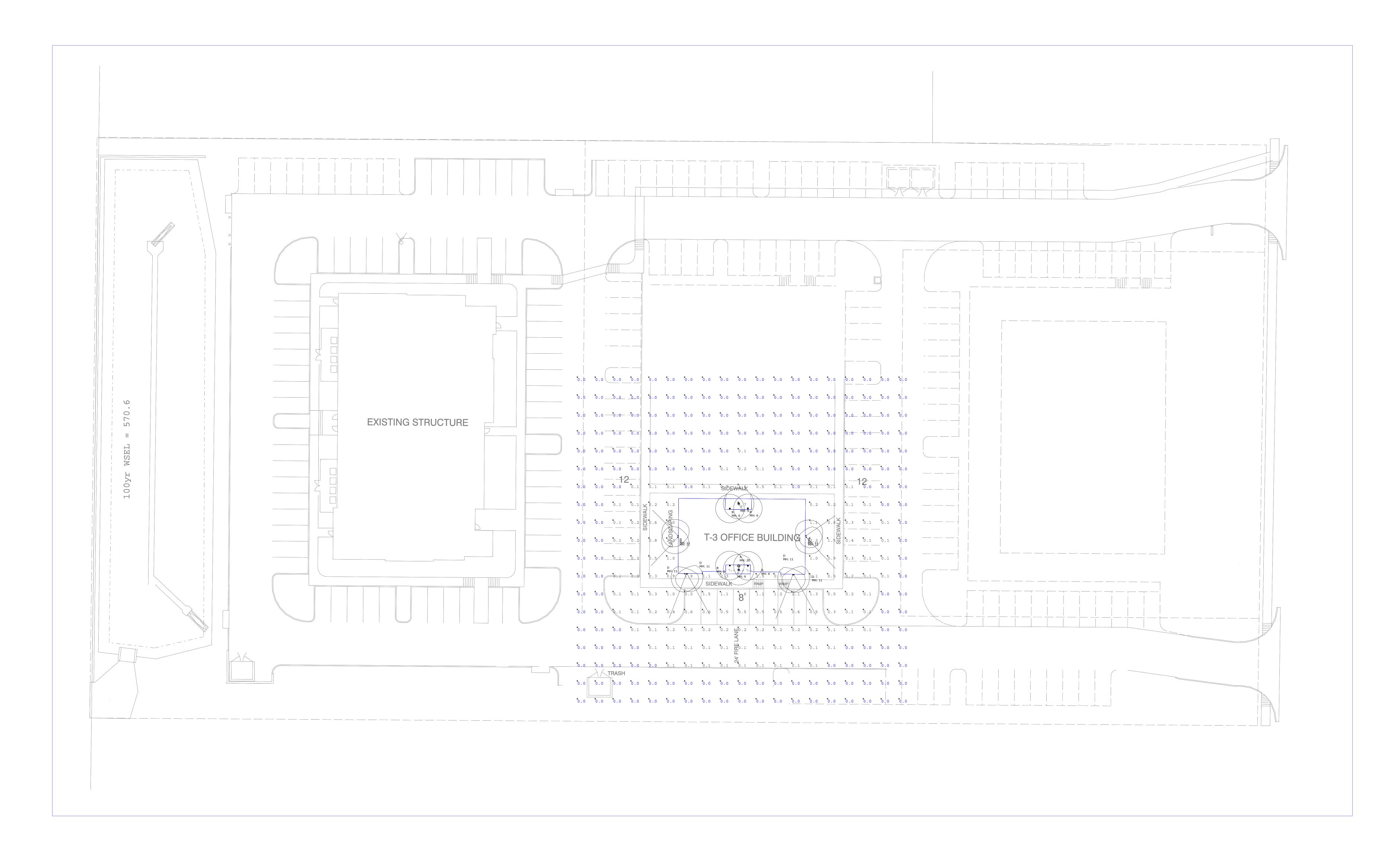
DRAWN BY: CHECKED BY: ISSUED FOR PERMIT: **ISSUED FOR** CONSTRUCTION: **REVISIONS:** 

> Office Chiropractic Of Landing Point Rockwall TX

CASE # XXXX

SHEET TITLE: LANDSCAPE **DEVELOPMENT DETAILS** 

SHEET NO.:



Luminair	Luminaire Schedule													
Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor						
$\odot$	Α	1	HI LITE_H-15316-B	404	60	1.000	2.261	2.800						
->	В	4	FEISS_OL180130RB MODIFIED FROM BRUCK DAZZLE 1	404	60	1.000	2.261	2.800						
<b>→</b>	С	2	FEISS_F2959/10RB MODIFIED FROM BRUCK DAZZLE 1	404	75	1.000	2.261	2.800						
$\odot$	D	8	LITHONIA_ OLF 2RH 40K 120 FINISH	2275	24.5	1.000	0.404	0.500						

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
CANOPY	0	Fc	13.20	14.4	11.8	1.12
GRADE_Planar	0	Fc	0.20	6.7	0.0	N.A.

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.

2. Calculation values are at height indicated in summary table.

3. Mounting heights are designated on drawing with "MH."

4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.

5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.

6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.

7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PROJECT: T3 CHIROPRACTIC SITE
SALESPERSON: ERIC HOME
SCALE: I" = 20'-0"
CALC BY: STEPHANIE
FILE: 191011\_T3 CHIROPRACTIC SITE\_V3



2019-10-11

