

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 STAFF USE ON

PLANNING & ZONING CASE NO. SP2019-049

<u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

[] Preliminary P [] Final Plat (\$30 [] Replat (\$300. [] Amending or [] Plat Reinstate Site Plan Applica [] Site Plan (\$25	3100.00 + \$15.00 Acre) ¹ (at (\$200.00 + \$15.00 Acre) ¹ (b) 0.00 + \$20.00 Acre) ¹ (c) 0.00 + \$20.00 Acre) ¹ (d) 0.00 + \$20.00 Acre) ¹ (e) Minor Plat (\$150.00) (e) ment Request (\$100.00)	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: ¹ : In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.					
PROPERTY INFO	DRMATION [PLEASE PRINT]					erant medicine	
Address	Water's Edge at Lake Ray	Hubbard,	Portofino Dri	ve, Rockv	wall, TX		
Subdivision	Villas De Portofino			Lot	1	Block	Α
General Location	Surplus land within Water	's Edge co	ndominium c	omplex, lo	ocated on Po	ortofino	drive
ZONING, SITE P	LAN AND PLATTING INFORMA	TION [PLEASE	PRINT]				
Current Zoning	PD-22		Current Use	Multifam	ily		
Proposed Zoning	PD-22 (No Zoning change))	Proposed Use	Multifam	ily (No chan	ige requ	ested)
Acreage	6.60 Lo	ts [Current]	No change	Lo	ots [Proposed]	No Cha	ange
[] SITE PLANS ANd process, and fail	D PLATS: By checking this box you acknowled lure to address any of staff's comments by the	ge that due to th date provided on	he passage of <u>HB316</u> the Development Cal	7 the City no la endar will result	onger has flexibility t in the denial of you	with regard ur case.	to its approval
OWNER/APPLI	CANT/AGENT INFORMATION [F		IECK THE PRIMARY C	ONTACT/ORIGI	NAL SIGNATURES A	ARE REQUIRE	D]
[] Owner	Water's Edge at Lake Ray Hubba condominiums owner's association	ard on INC	[] Applicant	Plutus21	Development F	Fund 5 LL	С
Contact Person	Daniyal M. Awan		Contact Person	Daniyal M	. Awan		
Address	6116 N Central Expressway		Address	6116 N Central Expressway			
	Suite 700			Suite 700			
City, State & Zip	Dallas, TX 75206		City, State & Zip	Dallas TX	75206		
Phone	4698536007		Phone	46985360	07		
E-Mail	dm47@live.com		E-Mail	dm47@liv	e.com		
Before me, the unders	ICATION [REQUIRED] Igned authority, on this day personally appeare true and certified the following:	d DANY	AL M. AWAI	[Owner] the	undersigned, who	stated the	information on

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 382 , to cover the cost of this application, has been paid to the City of Rockwall on this the 13 day of DECEMBER, 20 19. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the

Owner's Signature

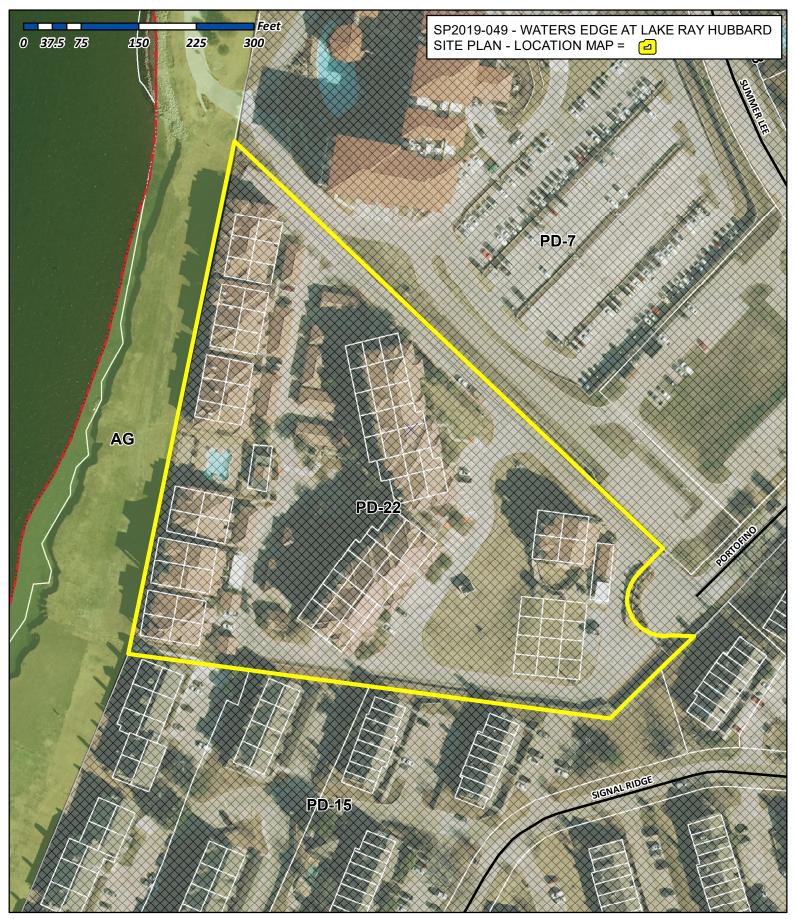
DEVELOPMENT APPLICATION * CITY OF ROCKWA

Notary Public in and for the State of Texas

STEPHANIE SMYTH My Notary ID # 129835160 Expires May 30, 2022

My Commission Expires

5/30/2022

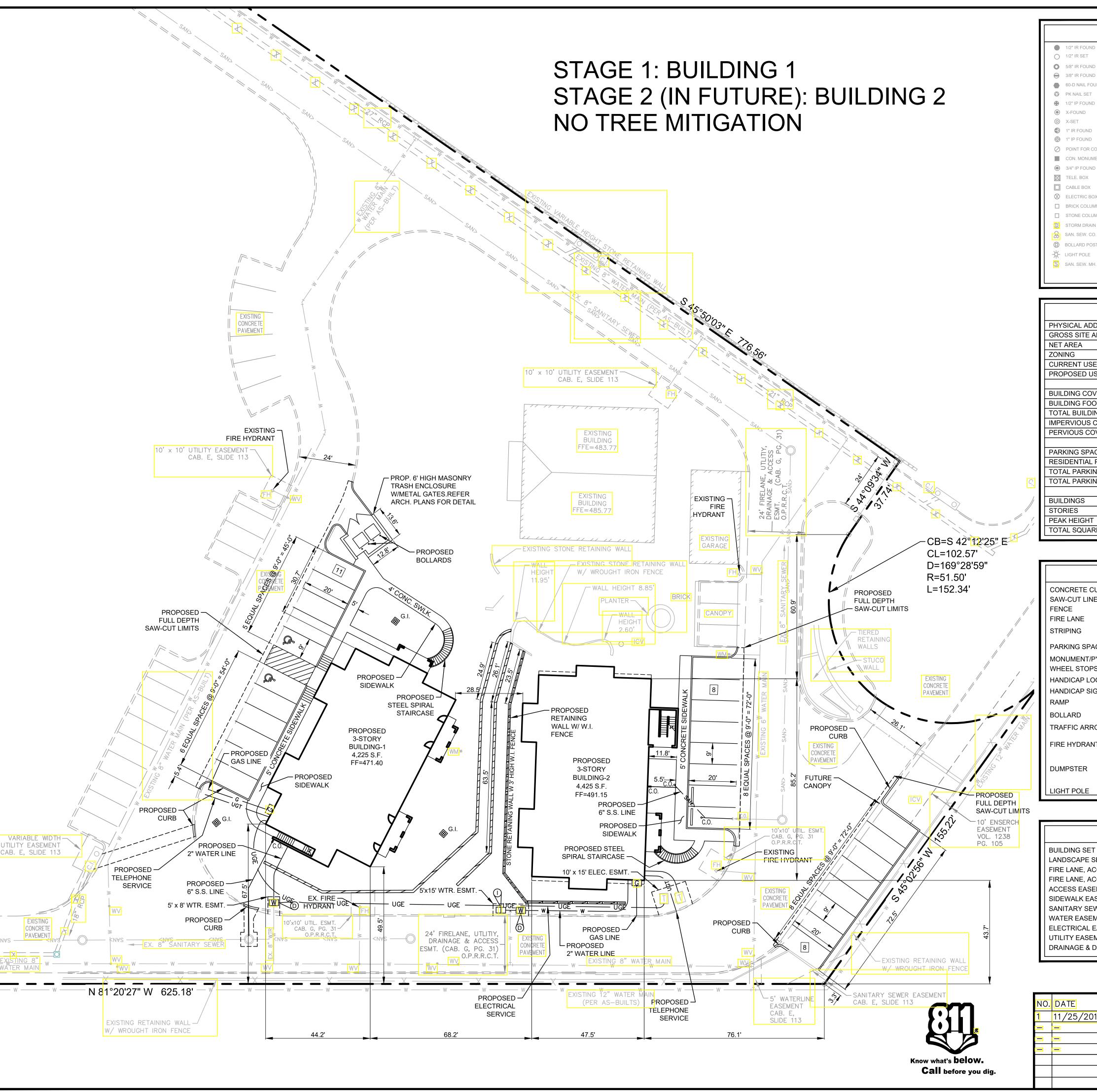




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





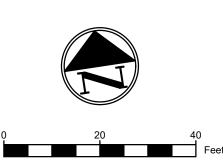


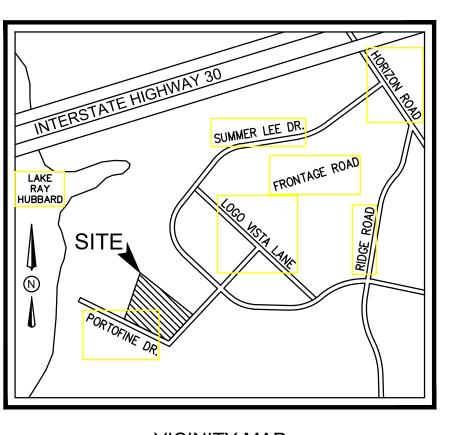
SITE DATA SUMMARY TABLE						
PHYSICAL ADDRESS	PORTOFINO DRIVE					
GROSS SITE AREA	287,476 S.F. / 6.60 ACRES					
NET AREA	T.B.D.					
ZONING	PD-22					
CURRENT USE	CONDOMINIMUMS					
PROPOSED USE	CONDOMINIMUMS					
LOT COVE	RAGE DATA					
BUILDING COVERAGE	25,950 S.F. (%)					
BUILDING FOOTPRINT	8,650 S.F. (%) 1,650 S.F. GARAGE					
TOTAL BUILDING AREA	25,950 S.F. (%)					
IMPERVIOUS COVERAGE	_,S.F. (%)					
PERVIOUS COVERAGE	_, S.F. (%)					
PARKING SUMMARY						
PARKING SPACE REQUIREMENTS						
RESIDENTIAL PARKING - 2 SPACES PEI	R UNIT					
TOTAL PARKING SPACES REQUIRED =	24					
TOTAL PARKING SPACES PROVIDED =	27					
BUILDI	NG DATA					
BUILDINGS	2 BUILDINGS & 1 GARAGE					
STORIES	3					
PEAK HEIGHT	35'-0"					
TOTAL SQUARE FOOTAGE	25,950 S.F.					

		SITE LEGEND
//	CONCRETE CURB SAW-CUT LINE	
	FENCE FIRE LANE	X
	STRIPING	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\
	PARKING SPACES	9
	MONUMENT/PYLON SIGN WHEEL STOPS	
ż	HANDICAP LOGO	&
1	HANDICAP SIGN RAMP	
<u> </u>	BOLLARD	— <u>F621</u> ●
	TRAFFIC ARROW	→
	FIRE HYDRANT	
	DUMPSTER	
	LIGHT POLE	€ □

EASEMENT/SETBACK	LEGEND
BUILDING SET BACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

NO.	DATE	DESCRIPTION	BY	
1	11/25/2019	1st CITY SUBMITTAL	ΚP	
_	_	=	KP	
_	_	=	KP	KARTAVYA
_	_	=	ΚP	975
				A STANSON
				11/07/2019





VICINITY MAP

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.

2. A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT

3. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.

4. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.

5. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.

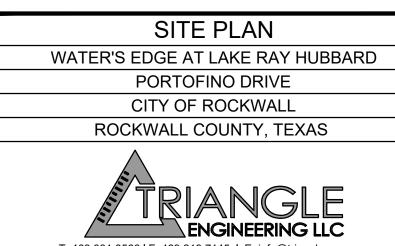
6. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.

7. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.

8. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.

9. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

WATER METER & SANITARY SEWER SCHEDULE								
ID	ID TYPE SIZE NO. SAN. SEW.							
(D)	DOM.	2"	2	6"				
\odot	IRR.	1"	1	N/A				



T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Managemen

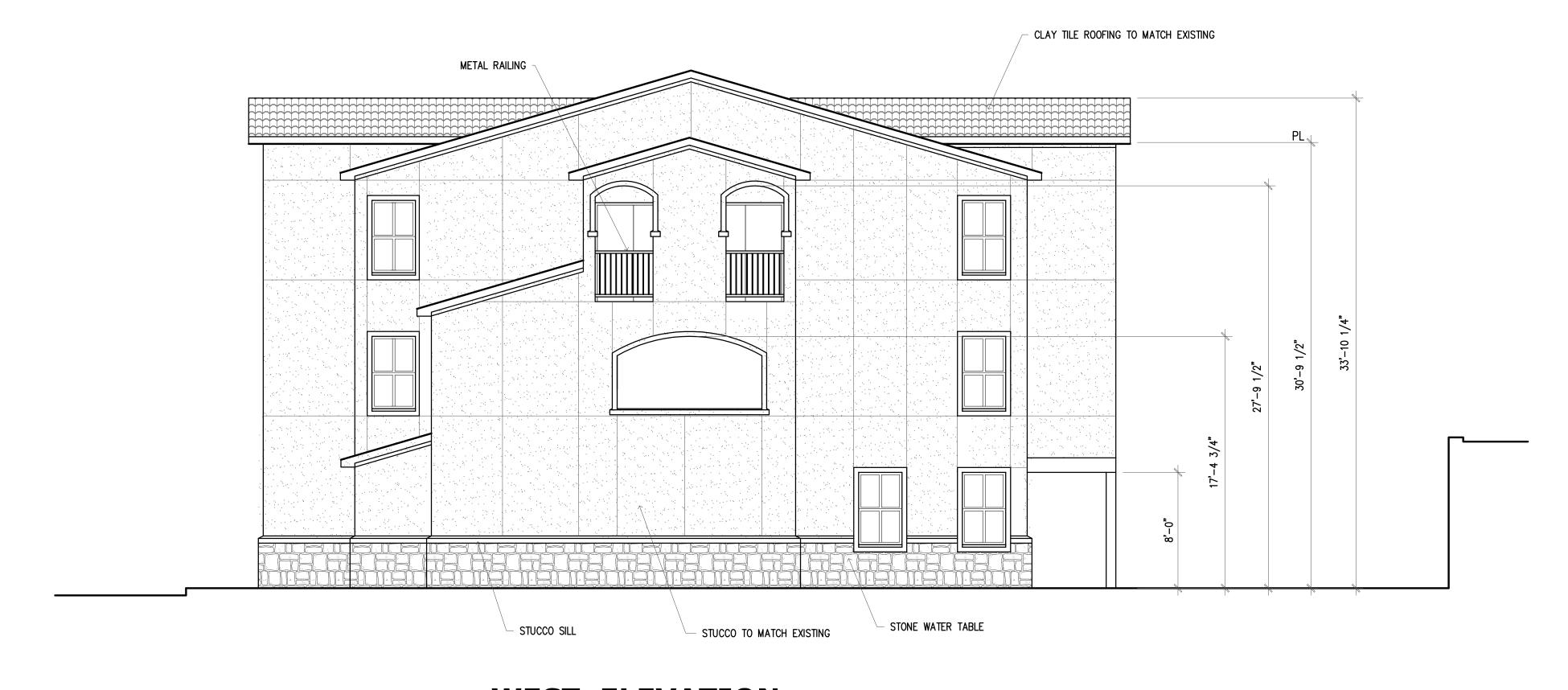
DESIGN DRAWN | DATE | SCALE | PROJECT NO. | SHEET NO. |

KP | MLM | 11/7/2019 | SCALE BAR | 040-19

TX PE FIRM #11525



NORTH ELEVATION



WEST ELEVATION

OWNER
PLUTUS21 DEVELOPMENT 6116 N. CENTRAL EXPWY #700 DALLAS, TEXAS 75206

CASE #SP2019-000

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PRICING & CONSTRUCTION

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

SHEET **A6**

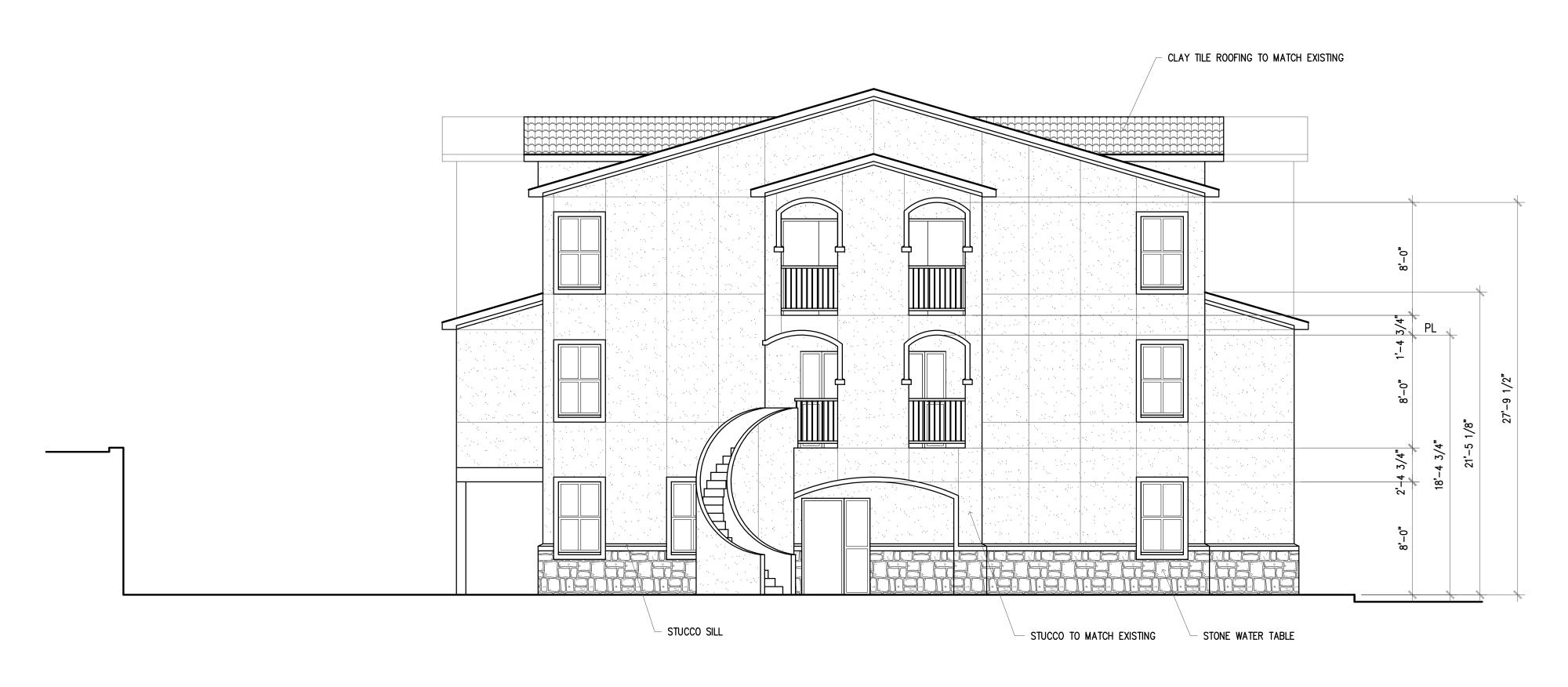
Scale: 3/16" = 1'-0"

MM/DD/YY Project No.: 190602 Designed: GW Drawn: GW

Checked: WM

SOUTH ELEVATION

- STUCCO TO MATCH EXISTING



- 8" X 8" WOOD COLUMNS

STUCCO SILL

EAST ELEVATION

OWNER
PLUTUS21 DEVELOPMENT 6116 N. CENTRAL EXPWY #700 DALLAS, TEXAS 75206

CASE #SP2019-000

STONE WATER TABLE

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SHEET

Scale: 3/16" = 1'-0"MM/DD/YY

Project No.: 190602 Designed: GW Drawn: GW Checked: WM

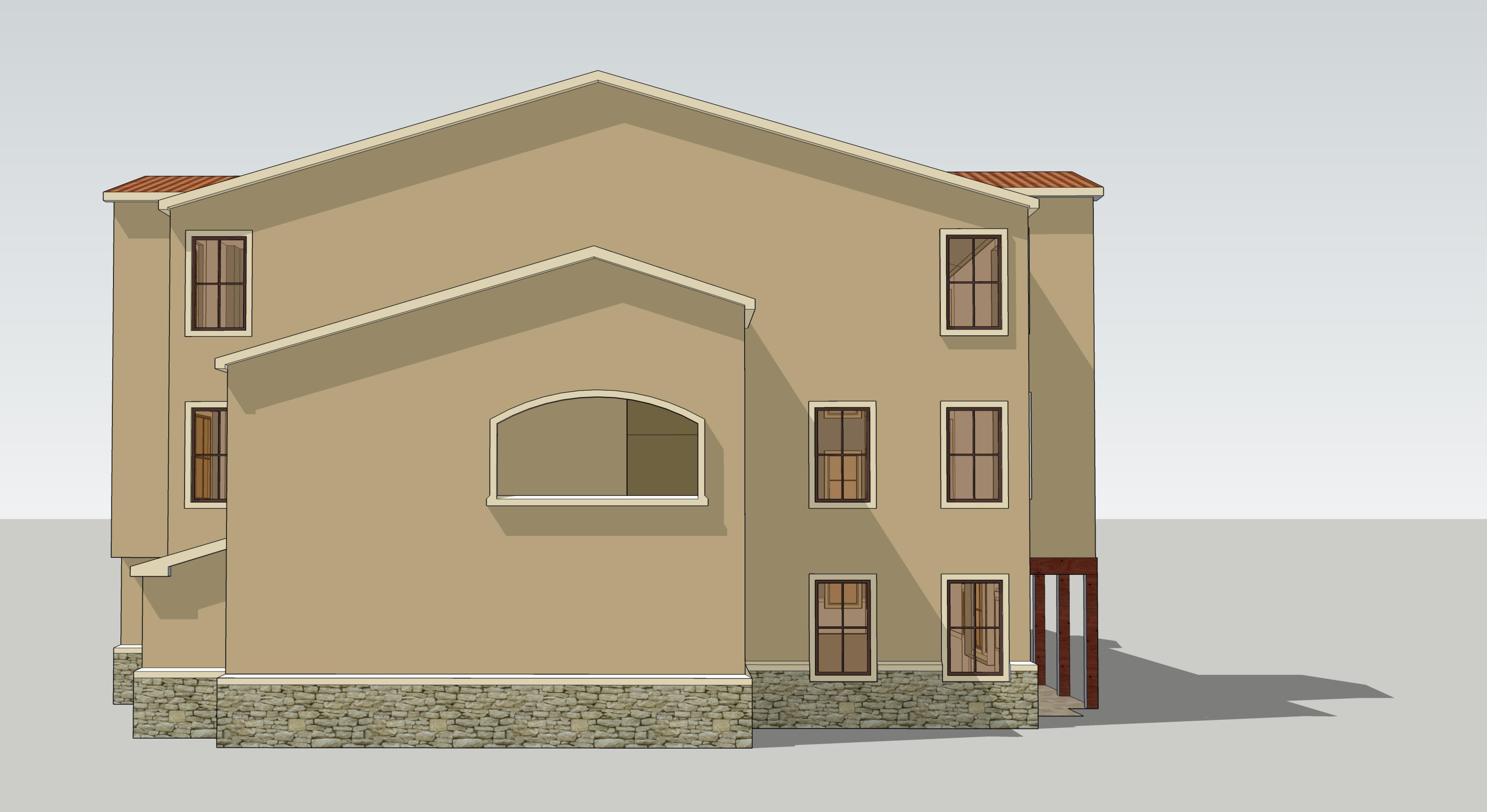


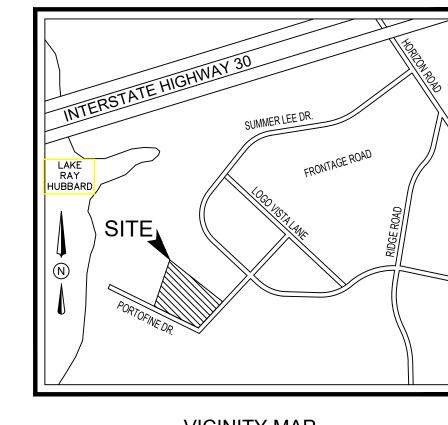












- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES
- 3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE
- COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- 7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM

INCLUDE RAIN AND FREEZE SENSORS.

OTHERWISE NOTED ON THE DRAWINGS.

LANDSCAPE NOTES

STRUCTURES.

UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS.

6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN

VICINITY OF UNDERGROUND UTILITIES.

LANDSCAPE AND IRRIGATION PERMITS.

-CB=S 42°42'25" E

PORTOFINO DRIVE

(60' RIGHT-OF-WAY) VOL. 382, PG. 205 O.P.R.R.C.T.

┌S 4,6°31'49",É

O' ENSERCH EASEMENT

VOL. 1238

PG. 105

23.17'

SIGNAL RIDGE NO. 2 CAB. B, PG. 73

O.P.R.R.C.T.

-EXISTING RETAINING WALL

SANITARY SEWER EASEMENT

CAB. E, SLIDE 113

−N 46°48'12" W

24.33'

W/ WROUGHT IRON FENCE

CL=102.57'

D=169°28'59"

R=51.50'

L=152.34'

CONCRETE PAVEMENT

-√¶ERED

RETAINING

√ WALL

RIM=492.30'

10'x10' UTIL. ESMT. — CAB. G, PG. 31 O.P.R.R.C.T.

-5' WATERLIN<mark>E</mark>

EASEMENT

SLIDE 113

CAB. E,

 $NE-8"_1FL=480.90$

 $NW-6''_1$ FL=481.1

EXISTING

CONCRETE PAVEMENT

10' x 10' ─\ UTILITY

EASEMENT

VARIABLE -WIDTH UTILITY

EASEMENT

CURB INLET -

TOP = 467.84'18" FL=463.09'

EXISTING

PAVEMEN

STMMH-

FL=

RIM = 466.90

N 8<mark>1°20'27" W 625.18'</mark>

FXISTING RETAINING WALL -W/ WROUGHT IRON FENCE

10' x 10'. UTILITY

EASEMENT

EXISTING BUILDING

FFE=483.77

EXISTING BUILDING

FFE=485.77

11 11 11 11 11 11 11 11 11

-EXISTING STONE RETAINING WALL

HEIGHT

11 95'

EXISTING

GARAGE

CONCRETE

PAVEMENT

EXISTING STONE RETAINING WALL

W/ WROUGHT IRON FENCE

- WALL HEIGHT 8.85

PROPOSED

3-STORY

/4,425 S.F.

FF=491.15

BUILDING-2

SOLID SOD BERMUDA GRASS

TYPICAL FOR ALL TURF AREAS

(PER AS-BUILTS)

HEIGHT

SOLID SOD BERMUDA GRASS TYPICAL FOR ALL TURF AREAS

0.6676 AC

(29,083 S.F.)

24' FIRELANE, UTLITIY,

DRAINAGEI & ACCESS_

ESMT. (CAB. | G, PG. | 31)

SIGNAL RIDGE NO. 3

CAB. B, PG. 89 O.P.R.R.C.T.

PROPOSED

3-STORY

BUILDING-1

24,225 S.F.

FF=471.40

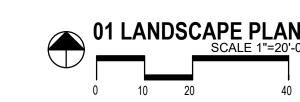
RIM = 480.76'

W-8" FL=4____'

E-8" FL=4____

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CM LO	6 6	Crepe Myrtle 'Dallas Red' Live Oak	Lagerstroemia indica 'Dallas Red' Quercus virginiana	6' ht. 3" cal.	container, 3 or 5 trunks, 4' spread min.,tree for container, 13' ht., 5' spread, 5' clear straight k
SHRUBS					
TYPE	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DYH IH LOR NPH	14 11 24 27	Dwarf Yaupon Holly Indian Hawthorn 'Clara' Loropetalum 'Ruby' Needlepoint Holly	Ilex vomitoria 'nana' Rhaphiolepis indica 'clara' Loropetalum chinensis 'Ruby' Ilex cornuta "Needlepoint'	5 gal. 5 gal. 5 gal. 5 gal.	container, 18" ht., 18" spread container, 20" ht., 20" spread container, 20" ht., 20" spread container , 24" ht., 20" spread
	DCOVERS	COMMON NAME	DOTANICAL NAME	SIZE	REMARKS
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	NEIVIANNO
		'419' Bermudagrass	Cynodon dactylon '419'		Solid Sod refer to notes

material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



LANDSCAPE ARCHITECT STUDIO GREEN SPOT, INC. 1784 W. McDERMOTT DR. SUITE 110 ALLEN, TEXAS 75013 (469) 369-4448 CHRIS@STUDIOGREENSPOT.COM



HUBBARD A PORTOFINO DRIVE ROCKWALL, TEXAS AKE AT

EDGE

WATER'S

ISSUE: FOR APPROVAL 11.21.2019

DATE:

11.21.2019

SHEET NAME: LANDSCAPE PLAN

SHEET NUMBER:

L .

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- . Planting (trees, shrubs, and grass) Bed preparation and fertilization
- Notification of sources 4. Water and Maintenance until final acceptance

Guarantee 1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on
- Product Data: Submit complete product data and specifications on all other specified
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

Landscape Contractor to inspect all existing conditions and report any deficiencies to the

All planting areas shall be conditioned as follows:

1.000) square feet

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand
- 2. All planting areas shall receive a two (2") inch layer of specified mulch. 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
- 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

Maintenance:

- 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
- 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
- 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

this section.

should be thoroughly moist before removing containers.

bound, if so follow standard nursery practice of 'root scoring'.

Do not wrap trees.

Do not over prune.

nches over the entire bed or pit

Landscape Contractor.

secure tree against seasonal prevailing winds.

standards provided by National Arborist Association

Pruning shall be done with clean, sharp tools.

obtain Owners approval prior to installation.

Do not install steel edging along sidewalks.

Steel Curbing Installation:

3.3 CLEANUP AND ACCEPTANCE

- 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such
- cases, the opinion of the Owner shall be final. a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a
- twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the
- premises immediately. c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of

Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than

the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension.

Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants

the surface of the ground. The sides of the hole should be rough and jagged, never slick

Percolation Test: Fill the hole with water. If the water level does not percolate within 24

Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When

the hole is dug in solid rock, topsoil from the same area should not be used. Carefully

as well as all nylon, plastic string and wire mesh. Container trees will usually be pot

settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball,

Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the

area above the top of the ball and mulch with at least two (2") inches of specified mulch.

All plant beds and trees to be mulched with a minimum settled thickness of two (2")

Obstruction below ground: In the event that rock, or underground construction work or

section, alternate locations may be selected by the Owner. Where locations cannot be

properly set at the required grade. The work of this section shall include the removal from

changed, the obstructions shall be removed to a depth of not less than three (3') feet

below grade and no less than six (6") inches below the bottom of ball when plant is

Trees and large shrubs shall be staked as site conditions require. Position stakes to

Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in

accordance with standard horticultural practice following Fine Pruning, Class I pruning

tipping of the branched is not permitted. Do not cut terminal branches

All steel curbing shall be free of kinks and abrupt bends. Top of curbing shall be 3/4" maximum height above grade.

areas clean by sweeping or hosing at end of each days work.

3. Cut steel edging at 45 degree angle where edging meets sidewalk.

END OF SECTION

Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved

. Dead wood or suckers and broken badly bruised branches shall be removed. General

. Immediately after planting operations are completed, all tree pits shall be covered with

a layer of organic material two (2") inches in depth. This limit of the organic material

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and

Stakes are to be installed on the planting bed side of the curbing, as opposed to the

the site of such rock or underground obstructions encountered at the cost of the

obstructions are encountered in any plant pit excavation work to be done under this

hours, the tree needs to move to another location or have drainage added. Install a PVC

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications
- 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and
- 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
- 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development. 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and
- protect root mass.

A. Delivery:

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored
- 2. Deliver only plant materials that can be planted in one day unless adequate storage
- and watering facilities are available on job site.
- 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves.
- Keep plants moist at all times. Cover all materials during transport. 5. Notify Architect of delivery schedule 72 hours in advance so plant material may be
- observed upon arrival at job site. 6. Remove rejected plant material immediately from site.
- 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter, Measured six (6") inched above ball. Nomenclature conforms to the customary nursery usage: for clarification, the term
- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

"multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter

A = ROW SPACING

B = ON CENTER SPACING

INDICATED ON PLANT LIST.

MULCH IN BED PRIOR TO -

GROUNDCOVER PLANTING DETAIL

SPACE PLANTS IN A TRIANGULAR

PATTERNAS SHOWN, SPACED EQUALLY FROM EACHOTHER AT SPACING

2" MULCH DOUBLE SHREDDED HARDWOOD

PLANTING GROUNDCOVER/ANNUALS.

PREPARE GROUNDCOVER

AREA. PROVIDE SOIL MIX EFINED IN THE LANDSCAPE

RED BY TILLING ENTIRE RED-

2.2 SOIL PREPARATION MATERIALS

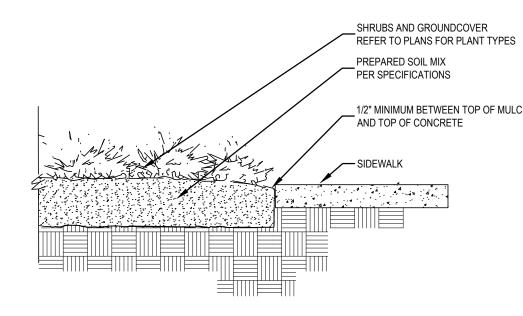
- A. Sandy Loam:
 - 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam
 - containing Dallasgrass or Nutgrass shall be rejected. 2. Physical properties as follows:
 - Clay between 7-27 percent Silt - between 15-25 percent
 - Sand less than 52 percent
 - 3. Organic matter shall be 3%-10% of total dry weight. 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas;
- Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron,
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or

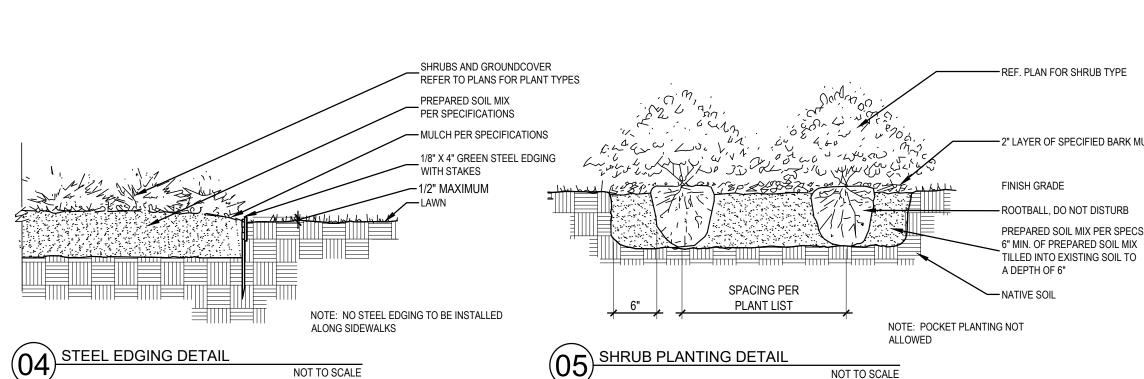
2.3 MISCELLANEOUS MATERIALS

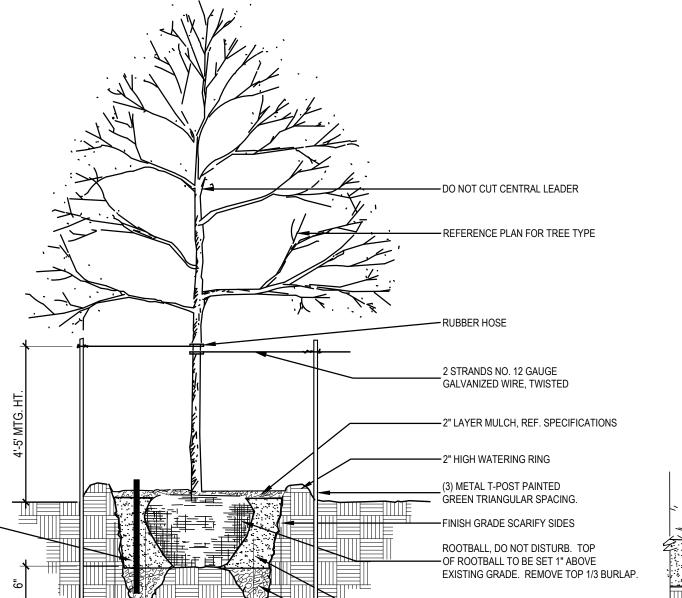
- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:

other approved organic material.

- 1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint green.
- 2. Wire: 12 gauge, single strand, galvanized wire. 3. Rubber hose: 2 ply, fiber reinforced hose, minimum $\frac{1}{2}$ inch inside diameter. Color:
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



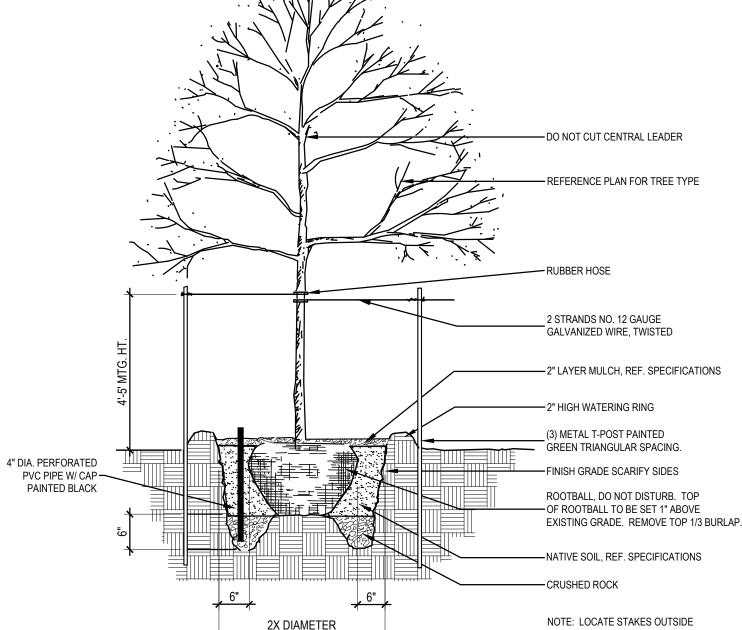




OF TREE WELL. POSITION STAKES

PREVAILING WINDS.

TO SECURE TREE AGAINST SEASONAL



1/2" MINIMUM BETWEEN TOP OF MULCH (03) SIDEWALK / MULCH DETAIL

no steel along sidewalks

- 2" LAYER OF SPECIFIED BARK MULCH PREPARED SOIL MIX PER SPECS. NOT TO SCALE

TREE PLANTING DETAIL NOT TO SCALE

OF ROOTBALL

4 2 AKE A **GE**

4

 $\mathbf{\Omega}$

UB

S

WATER

STUDIO GREEN SPOT. INC

1784 W. McDERMOTT DR.

SUITE 110

ALLEN, TEXAS 75013

(469) 369-4448

CHRIS@STUDIOGREENSPOT.COM

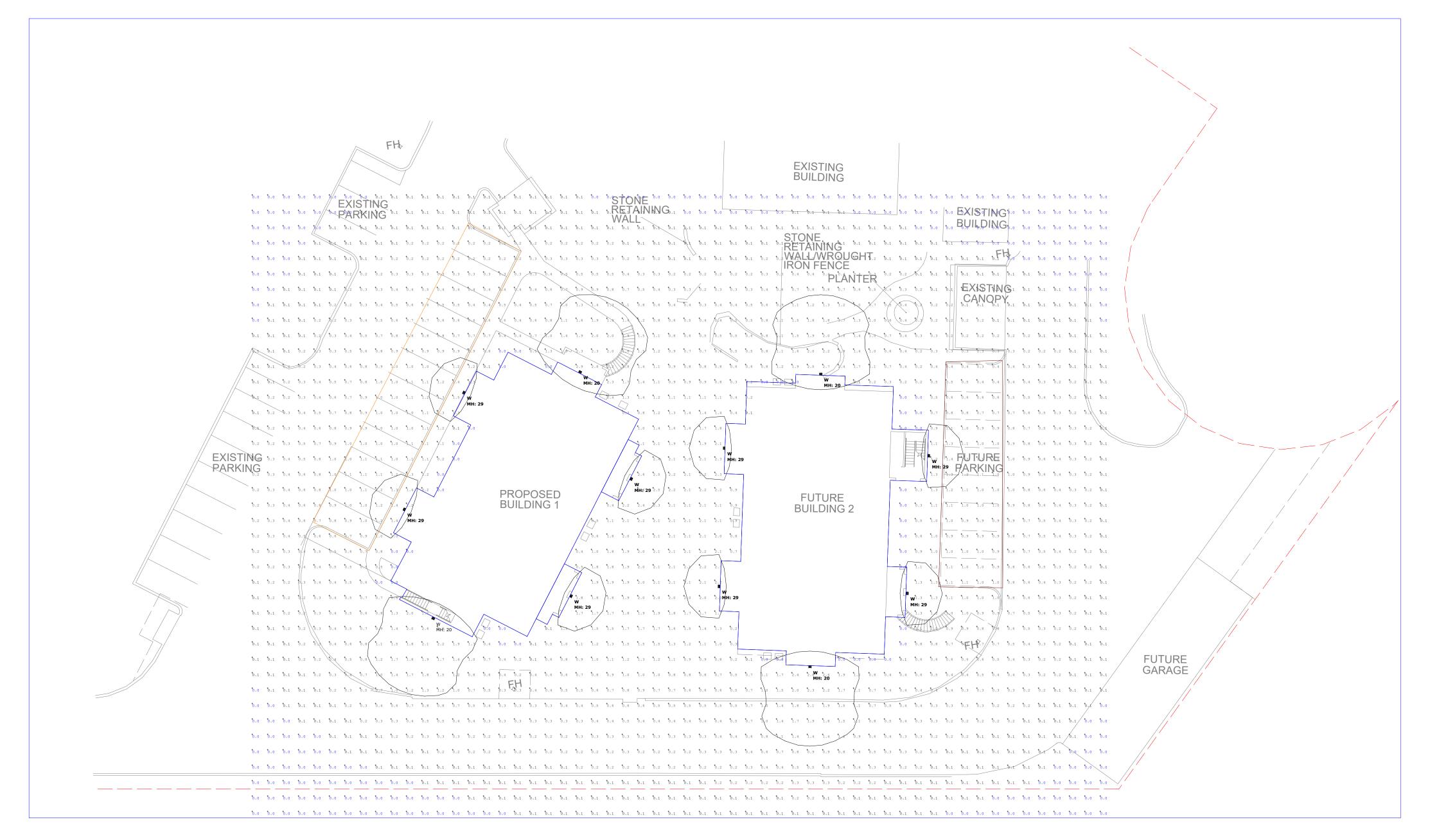
ISSUE: FOR APPROVAL 11.21.2019

DATE:

11.21.2019

SHEET NAME: LANDSCAPE SPECIFICATIONS

SHEET NUMBER:



Luminaire Sched	ule						
Symbol Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
· W	12	LITHONIA WDGE2 LED P3 40K 80CRI VW VOLTAGE MOUNTING FINISH	3214	22.55	1.000	0.808	1.000

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
GRADE_Planar	0	Fc	0.53	2.9	0.0	N.A.
PARKING1		Fc	0.83	1.4	0.1	8.30
PARKING2		Fc	0.90	1.4	0.3	3.00

PARKING1

Illuminance (Fc)
Average = 0.83

Maximum = 1.4

Minimum = 0.1

Avg/Min Ratio = 8.30

Max/Min Ratio = 14.00

Illuminance (Fc)
Average = 0.90
Maximum = 1.4
Minimum = 0.3
Avg/Min Ratio = 3.00
Max/Min Ratio = 4.67

PARKING2

Notes:

1. Surface reflectances: Vertical/Horizontal - 50/20.

2. Calculation values are at height indicated in summary table.

3. Mounting heights are designated on drawing with "MH."

4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.

5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.

6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.

7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

FILE: 191210_WATERS EDGE AT LAKE RAY HUBBARD_V3