



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) †
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) †
- FINAL PLAT (\$300.00 + \$20.00 ACRE) †
- REPLAT (\$300.00 + \$20.00 ACRE) †
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) †
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) †
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) †
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) †

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST (\$100.00)

NOTES:

† IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **2235 S. Goliad**

SUBDIVISION **Rockwall Centre Corners**

LOT **11** BLOCK **1**

GENERAL LOCATION **East of I-30, north of S. Goliad**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial w/ IH30 Overlay**

CURRENT USE **Vacant - former resturant**

PROPOSED ZONING **Commercial w/ IH30 Overlay**

PROPOSED USE _____

ACREAGE **2.2297 acres**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **CM Goliad I GP, LLC**

APPLICANT **Baldwin Associates, LLC**

CONTACT PERSON **Matt Gillen**

CONTACT PERSON **Rob Baldwin**

ADDRESS **4514 Travis Street**

ADDRESS **3904 Elm Street - Suite B**

Suite 326

CITY, STATE & ZIP **Dallas, Texas 75205**

CITY, STATE & ZIP **Dallas, Texas 75226**

PHONE **(214) 269-1641**

PHONE **(214) 729-7949**

E-MAIL **mgillen@cienda.com**

E-MAIL **rob@baldwinplanning.com**

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Gillen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

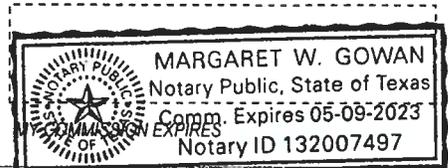
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION. ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT. AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 21 DAY OF July 2021 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION. IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF July 2021

OWNER'S SIGNATURE

[Handwritten Signature]
[Handwritten Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



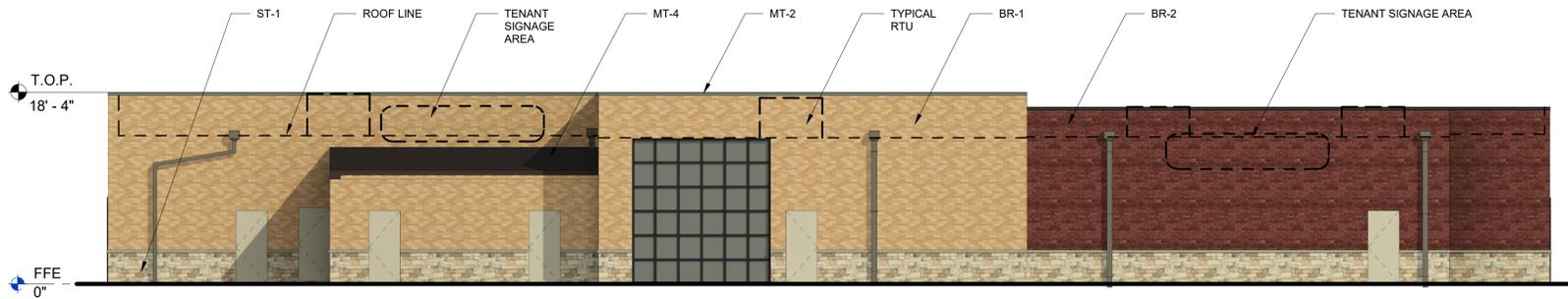


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



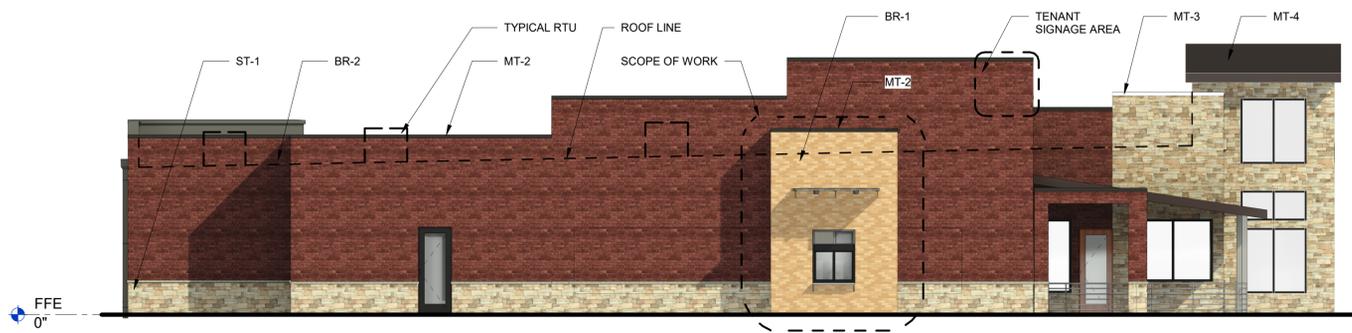


MATERIAL SCHEDULE		
P-1	SW6258 TRICORN BLACK PAINT OVER EXISTING BRICK	
P-2	SW6868 REAL RED PAINT OVER EXISTING EIFS	
MT-1	BLACK ANONIZED ALUMINIUM STOREFRONT	
MT-2	COPING METAL / PAC-CLAD - BLACK	
MT-3	COPING METAL / PAC-CLAD - CREAM	
MT-4	STANDING SEAM - DARK BRONZE - EXISTING	
EIFS-1	COLOR AS SHOWN	
BR-1	TAN BRICK	
BR-2	RED BRICK	
ST-1	STONE BLEND	

MATERIAL TOTALS		
BRICK	5546 SF	70.8%
STONE	2142 SF	27.3%
EIFS	145 SF	1.9%
TOTAL WITHOUT GLAZING	7833 SF	100%
GLAZING	1125 SF	
TOTAL WITH GLAZING	8958 SF	

4 NORTHEAST ELEVATION
1/8" = 1'-0"

NORTHEAST		
BRICK	1684 SF	83.8%
STONE	326 SF	16.2%
TOTAL SF	2010 SF	100%



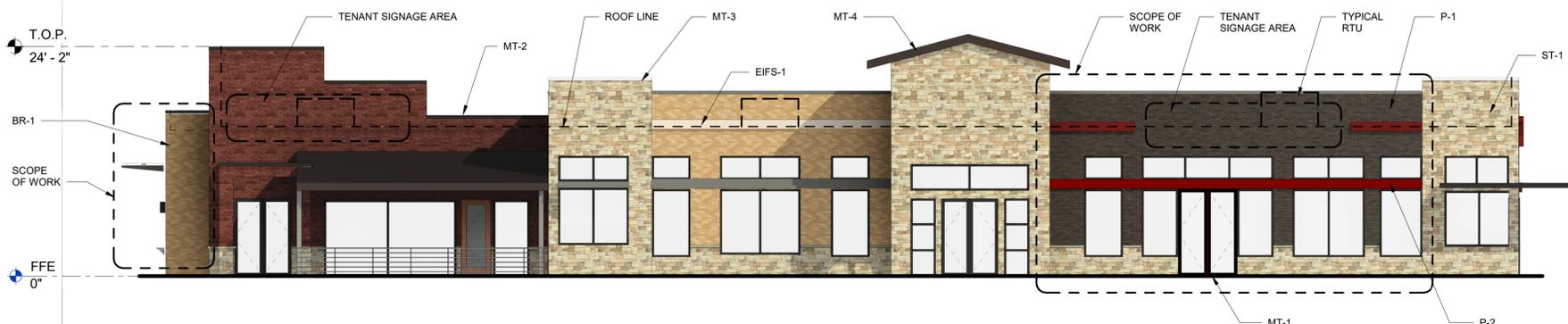
3 NORTHWEST ELEVATION
1/8" = 1'-0"

NORTHWEST		
BRICK	1509 SF	73.8%
STONE	533 SF	26.2%
TOTAL SF	2042 SF	100%



2 SOUTHEAST ELEVATION
1/8" = 1'-0"

SOUTHEAST		
BRICK	1224 SF	67%
STONE	564 SF	30.9%
EIFS	39 SF	2.1%
TOTAL SF	1827 SF	100%



1 SOUTHWEST ELEVATION (FACES PUBLIC R.O.W.)
1/8" = 1'-0"

SOUTHWEST		
BRICK	1127 SF	57.7%
STONE	718 SF	36.8%
EIFS	106 SF	5.5%
TOTAL SF	1951 SF	100%

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2021.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:
CIENDA PARTNERS, LP
4514 TRAVIS ST., SUITE 326
DALLAS, TX 75205
CONTACT: MATT GILLEN
PH: 214-269-1641
EMAIL: MGILLEN@CIENDA.COM

2235 S. GOLIAD ST. RETAIL
ROCKWALL CENTRE CORNERS ADDITION, LOT 11, BLOCK 1
ROCKWALL, ROCKWALL COUNTY, TEXAS
2.230 ACRES (97,126 SF)
COMMERCIAL - C

ARCHITECT:
GFF
2808 FAIRMOUNT ST., SUITE 300
DALLAS, TX 75201
CONTACT: GRANT WICKARD
PH: 214-303-1500
EMAIL: GRANT.WICKARD@GFF.COM
DATE OF PREPARATION: 07/16/2021

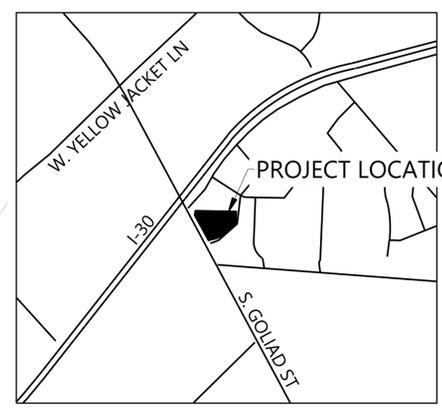
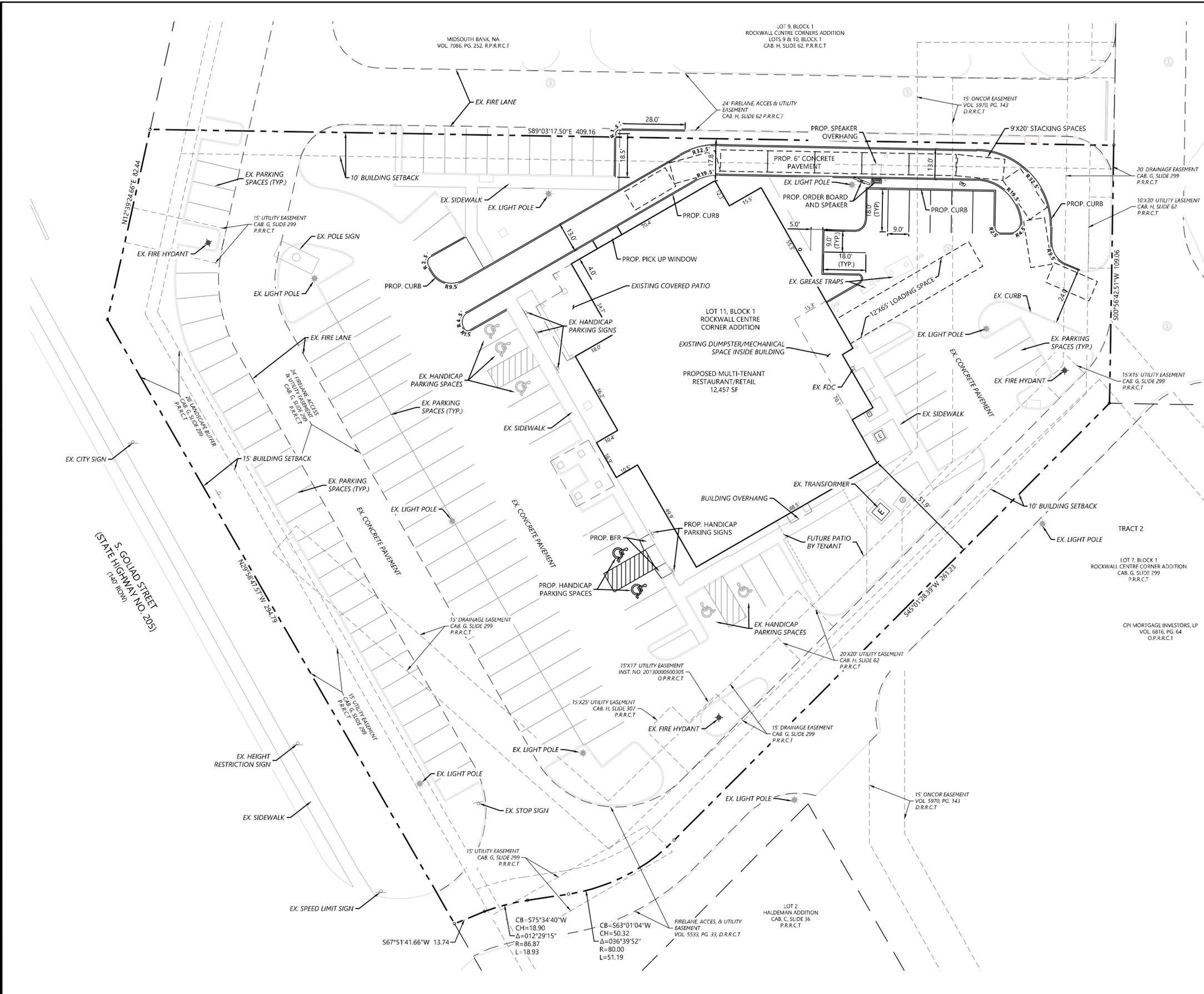
CASE #

BUILDING ELEVATIONS



2335 S. Goliad St
Rockwall, Texas

N:\030961\001\PROJECT DATA\DWG\CIVIL\030961 - SITE PLAN.DWG



VICINITY MAP
N.T.S.

CAUTION !!!
EXISTING UTILITIES
EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



LEGEND

- R RADIUS
- FC FACE OF CURB
- BFR BARRIER FREE RAMP
- TYP. TYPICAL

NOTE:
ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.

PARKING TABLE			
RESTAURANT PARKING REQUIREMENTS: 1 SPACE/100 SF			
SPACES REQUIRED	SPACES PROVIDED	HANDICAP SPACES REQUIRED	HANDICAP SPACES PROVIDED
125	127	5	7

SITE DATA	
CURRENT ZONING	C COMMERCIAL
PROPOSED LAND USE	C COMMERCIAL
GROSS AREA	2.230 ACRES
NO. OF LOTS	1
FRONT YARD SETBACK	15 FT
REAR YARD SETBACK	10 FT
SIDE YARD SETBACK	10 FT
MAXIMUM BUILDING HEIGHT	240 FT HEIGHT

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____ 2021.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

OWNER/DEVELOPER:

CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204
CONTACT: MATT GILLEN
PHONE: 214-636-1505
EMAIL: MGILLEN@CIENDA.COM

CASE NO. _____

DESIGNED: _____
CHECKED: _____
DRAWN: _____
HORIZONTAL SCALE: _____
VERTICAL SCALE: _____

INITIAL ISSUE: _____
REVISIONS: _____

PREPARED FOR:
CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204

PRELIMINARY
FOR INTERIM REVIEW ONLY
NOT TO BE USED FOR:
CONSTRUCTION OR
BIDDING PURPOSES.
Engineer: **KLIN W. SMITH, PE**
P.E. No.: 96877
Date: 07-16-2021
Westwood

2335 S. GOLIAD RETAIL
ROCKWALL, TEXAS

Westwood
Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com
Westwood Professional Services, Inc.
TYPE FIRM REGISTRATION NO. F-11752
TPLS FIRM REGISTRATION NO. 10074301

SITE PLAN

SHEET NUMBER:

SP-1

DATE:

LANDSCAPE NOTES

- CONTRACTOR SHALL CONTACT UNDERGROUND UTILITY LOCATORS TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL.
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ONE YEAR GUARANTEE OF ALL PLANT MATERIAL. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER CITY & ANSI STANDARD PLANTING PRACTICES. CITY STANDARDS OVERRIDE OTHER NOTES, UNLESS APPROVED OTHERWISE.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
- OPEN TOP OF BURLAP ON BB MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
- STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING AND PER CONTRACTORS COST. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR OF ANY SOIL AMENDMENTS ADDED.
- TOPSOIL AND PLANTING SOIL TO ADHERE TO INDUSTRY STANDARDS AND FREE OF ROOTS, ROCKS LARGER THAN ONE INCH, SUBSOIL DEBRIS, AND LARGE WEEDS UNLESS SPECIFIED OTHERWISE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH PLANTING SOIL FOR TREE, SHRUBS, AND PERENNIALS. SCARIFY AND LOOSEN COMPACTED SUBGRADE UNDER PLANTING BEDS, BELOW PLANTING SOIL.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR, REPLACE, OR PROVIDE SOD/SEED AS REQUIRED FOR ANY DISTURBED AREAS ADJACENT TO THE SITE DISTURBED DURING CONSTRUCTION.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- ALL LANDSCAPED AREAS SHALL HAVE FULLY AUTOMATED UNDERGROUND IRRIGATION SYSTEM AS INSTALLED BY A LICENSED LANDSCAPE IRRIGATION CONTRACTOR.
- LAWN AREAS SHALL BE COVERED WITH GRASS TYPE AS SPECIFIED USING HYDROMULCH.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM TREE CALIPER MEASUREMENT HEIGHT ABOVE GRADE AS REQUIRED BY CITY.
- PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
- CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
- MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES. INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
- AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
- TURF AND GROUNDCOVER PLANTED IN REQUIRED LANDSCAPE AREA SHALL ATTAIN 100 PERCENT COVERAGE WITHIN ONE YEAR OF PLANTING.
- SHADED GROUND AREAS BENEATH CANOPY TREES SHALL BE MAINTAINED WITH A MULCH BED.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING TOWN IRRIGATION SYSTEMS.
- ANY EXISTING IRRIGATION (RAW WATER LINE/PURPLE PIPE) IN PUBLIC ROW SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
- PROVIDE IRRIGATION TO ALL PLANTED AREAS WITHIN PROJECT BOUNDARY AND TO LANDSCAPE AREAS TO THE SOUTH AND WEST ALONG ROADWAY AS DEFINED BY 'LIMITS OF IRRIGATION'. TEMPORARY IRRIGATION SHOULD BE PLACED TO COVER FUTURE WAREHOUSE SITE UNTIL FINAL BUILDING IS CONSTRUCTED AND PERMANENT LANDSCAPING AND IRRIGATION IS PLACED.
- DISTURBED LANDSCAPE AREAS TO BE FIELD VERIFIED AND SEEDED WITH BERMUDA HYDROMULCH OR EQUAL OR WHAT PREVIOUSLY EXISTED.

GRADING NOTES

- CONTRACTOR SHALL FINE GRADE AREAS PRIOR TO PLANTING. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS LARGER THAN 2", ETC. FROM THE SITES, AND ENSURE POSITIVE DRAINAGE.
- PLANTER BACKFILL MIX SHALL BE AS PER SPECIFICATIONS.
- THE CONTRACTOR SHALL MEET EXISTING GRADES UNIFORMLY WITH A SMOOTH TRANSITION AT PROJECT BOUNDARIES. FINISH GRADES SHALL BE AS INDICATED ON THE PLANS WHERE SHOWN IN PLAN OR DETAIL CROSS-SECTION. NO SEPARATION BETWEEN FINISHED GRADE AND ADJACENT GRADE ELEVATION IS ACCEPTABLE. CONSTRUCTED SURFACES ARE TO MEET ADJACENT EXISTING WORK AT THE SAME ELEVATION AND CONFORM TO STANDARDS AND PRACTICES RELATED TO SAFE AND ACCESSIBLE PEDESTRIAN WALKWAYS. FINISH GRADES SHALL BE 1/2" BELOW THE TOP TRANSITION OF ADJACENT WALKS AND HEADERS UNLESS OTHERWISE NOTED ON PLANS.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING STRUCTURES SUCH AS BUILDINGS, WALLS, UTILITY EQUIPMENT, ETC.
- LANDFORMS, MOUNDS, AND SWALES SHALL BE GRADED TO A SMOOTH, FLOWING, ROUNDED SURFACE PROVIDING POSITIVE DRAINAGE AND VISUAL LANDFORM CONTINUITY. ROUGH GRADE IS TO BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE TOP DRESSING TO ESTABLISH FINAL GRADE.
- CONTRACTOR SHALL FINE GRADE AND COVER AREAS DISTURBED BY CONSTRUCTION WITH AN APPROVED TOP DRESSING AS SPECIFIED IN THE PLANS OR SPECIFICATIONS.

PLANTING NOTES

- TREES AND OTHER PLANT MATERIAL SHALL CONFORM TO GRADE, TYPE, ETC. AS SET FORTH IN THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL BRANCHED, AND DENSELY FOLIATED (WHEN IN LEAF) AS IS TYPICAL FOR THE SPECIES. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS (NOT POT BOUND); A NORMAL HABIT OF GROWTH CONSISTENT WITH INDUSTRY STANDARDS; AND BE FREE OF BRUISES, CUTS, OR OTHER ABNORMALITIES.
- QUANTITIES SHOWN ON PLANT LIST ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL GOVERN.
- NO PLANT SUBSTITUTIONS OR TYPE, SIZE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE PLANS ARE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT SATISFY THE INTENT OF THE LANDSCAPE DESIGN BASED ON SIZE, SHAPE, EVIDENCE OF STRESS, OR IMPROPER CARE BOTH AT THE NURSERY AND ON THE SITE FOLLOWING DELIVERY, UNLOADING OF PLANT MATERIAL, AND PLANTING.
- PROTECTED PLANT MATERIAL THAT IS DESTROYED OR DIES DURING CONSTRUCTION OR THE MAINTENANCE PERIOD WILL BE REPLACED WITH A PLANT OF THE SAME SIZE AND TYPE BY THE RESPONSIBLE PARTY A MINIMUM OF 90 DAYS BEFORE THE COMPLETION OF THE PROJECT. REPLACEMENT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
- PLANT MATERIALS BEST SIDE SHALL BE ALIGNED TO THE WALKS, PEDESTRIAN AREAS, ROADS, AND PARKING AREAS UNLESS OTHERWISE SHOWN ON THESE PLANS. SPACING SHALL BE ADJUSTED AS NECESSARY, SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT.
- PLANTINGS AT MATURITY SHALL MAINTAIN 6'-0" CLEARANCE AROUND FIRE HYDRANTS AND FIRE SUPPRESSION DEVICES.
- PLANTINGS SHALL NOT INTERFERE WITH TRAFFIC CONTROL SIGNS AND SHALL MAINTAIN A MAXIMUM HEIGHT OF 2'-6" WITHIN SIGHT DISTANCE TRIANGLES.
- TREES SHALL MAINTAIN A MINIMUM 6'-0" CLEARANCE FROM PUBLIC WATER OR SEWER LINES. PLANTINGS SHALL MAINTAIN A SUFFICIENT DISTANCE TO SANITARY AND STORM SEWER MANHOLES TO ALLOW ACCESS BY MAINTENANCE VEHICLES.
- SHRUBS SHALL BE INSTALLED FROM BACK OF CURB, EDGE OF WALK, OR EDGE OF PAVING A MINIMUM OF 2' AT MATURE SIZE.
- PLANT MATERIAL LOCATIONS SHALL BE STAKED IN THE FIELD BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- THE IRRIGATION SYSTEM IS TO BE FULLY OPERATIONAL AND EFFECTIVE PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- PROJECT REQUIRES A 120-DAY MAINTENANCE PERIOD TO BEGIN AT THE DATE OF SUBSTANTIAL COMPLETION AS DETERMINED BY THE OWNER.
- TREES PLANTED WITHIN FIVE FEET OF RETAINING WALLS, AND WITHIN TEN FEET OF PUBLIC IMPROVEMENTS, IN THE PUBLIC RIGHT-OF-WAY, SHALL BE PROTECTED BY ROOT GUARDS AND APPROPRIATE TREE PROTECTION FOR NO LESS THAN TWO YEARS.
- INSTALL APPROVED IMPORTED PLANTING MIX TO MIN DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
- INSTALL APPROVED IMPORTED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
- WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REFERENCE CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
- VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT OF POTENTIAL CONFLICTS OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT TO THE OWNER'S REPRESENTATIVE AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.

GENERAL NOTES

- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP BETWEEN THE LANDSCAPE ARCHITECT AND THE CONTRACTOR OR SUBCONTRACTOR.
- THE OWNER AND THEIR REPRESENTATIVE ARE NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR FOR SAFETY PRECAUTIONS OR PROGRAMS UTILIZED IN CONNECTION WITH THE WORK. THE OWNER AND THEIR REPRESENTATIVE SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROVIDE LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL THE WORK INDICATED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAREFUL SITE INSPECTION, DETAILED REVIEW OF THE PLANS, SEQUENCING, AND COORDINATION WITH OTHER CONTRACTORS ON SITE PRIOR TO INSTALLATION. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IN WRITING IMMEDIATELY. EQUIPMENT AND MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS BUT REQUIRED TO COMPLETE THIS INSTALLATION SHALL BE SUPPLIED BY THE CONTRACTOR AS A PART OF THIS CONTRACT WORK.
- THE CONTRACTOR SHALL COMPLY WITH LOCAL, STATE, AND FEDERAL LAWS, CODES, AND REGULATIONS APPLICABLE TO THE WORK COVERED BY THESE PLANS AND SPECIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, STORM WATER POLLUTION PREVENTION PLAN PERMITTING AND COMPLYING WITH LOCAL CODES GOVERNING DUST CONTROL, HOURS OF OPERATION, AND SAFETY MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH PERMITS REQUIRED TO COMPLETE THE WORK COVERED BY THESE PLANS.
- THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INSTALLATION CONDITIONS.
- THE CONTRACTOR SHALL LOCATE SURVEY MARKS, INCLUDING BENCH MARKS AND PROPERTY LINES, IN ORDER THAT THE EXACT LINES OF CONSTRUCTION LIMITS MAY BE DETERMINED.
- THE CONTRACTOR SHALL PROTECT EXISTING OR TEMPORARY TOPOGRAPHIC TRAVERSE POINTS AND BENCH MARKS UNTIL THE CONSTRUCTION BENCH MARKS AND BASELINES ARE ESTABLISHED AND REFERENCED BY THE CONTRACTOR. PROJECT CONTROL POINTS, WHICH MAY BE LOST OR DESTROYED SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL VERIFY BUILDING SETBACK LINES, RIGHT-OF-WAY LINES, EASEMENT LINES, VISIBILITY LINES, ETC., IN THE FIELD. THE CONTRACTOR SHALL REPORT DISCREPANCIES TO THE OWNER IN WRITING PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CONFIRM BOUNDARY LOCATION WITH THE OWNER. NEED FOR WORK OUTSIDE THE LIMIT OF WORK BOUNDARY SHALL BE CONFIRMED BY THE OWNER PRIOR TO PERFORMING WORK OUTSIDE THE LIMIT OF WORK BOUNDARY.
- PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH THE LOCATIONS OF UTILITIES, PIPES, AND STRUCTURES. THE OWNER ASSUMES NO RESPONSIBILITY FOR THE UTILITIES OR STRUCTURES NOT SHOWN, OR NOT IN THE LOCATION SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGES TO SAID UTILITIES CAUSED AS A RESULT OF THE CONTRACTOR'S WORK. FORTY-EIGHT HOURS PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL CALL 811 TO VERIFY LOCATIONS AND DEPTHS OF UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THIS WORK. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS MAINS, SEWER LINES, WATER LINES, COMMUNICATION LINES, AND ELECTRICAL LINES. IF UNDERGROUND OR ABOVE GROUND CONSTRUCTION IS LOCATED AS TO SIGNIFICANTLY HINDER INSTALLATION OR FUNCTION OF THE WORK, THE OWNER SHALL BE NOTIFIED IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY CONDITIONS AT THE JOB SITE AND NOTIFY THE OWNER OF DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING WORK. DO NOT SCALE DRAWINGS. CONTRACTOR IS RESPONSIBLE TO OBTAIN CLARIFICATION BEFORE PROCEEDING FURTHER WITH OTHER RELATED WORK. DISCREPANCIES FOUND BETWEEN PLAN DIMENSIONS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER. WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL VERIFY QUANTITIES. IN CASE OF DISCREPANCIES, GRAPHICALLY SHOWN QUANTITIES SHALL TAKE PRECEDENCE. THE CONTRACTOR SHALL NOTIFY THE OWNER OF DISCREPANCIES.
- THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE. SUCH IMPROVEMENTS OR STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORILY TO REQUIRED STANDARDS AND THE OWNER AT NO EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPENSATING THE OWNER FOR ADDITIONAL COORDINATION AND/OR DESIGN CHANGES DUE TO ERRORS, FAULTY MATERIAL, OR FAULTY WORKMANSHIP.
- THE CONTRACTOR SHALL FINE GRADE AREAS DISTURBED DURING CONSTRUCTION. UNDISTURBED AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND APPROPRIATE DISPOSAL OFFSITE OF CLEARED VEGETATION, DEBRIS, CONSTRUCTION WASTE, ETC. FROM THE SITE.
- THE JOB SITE, AT THE COMPLETION OF THE CONSTRUCTION AND PRIOR TO FINAL REVIEW, SHALL BE CLEARED OF DEBRIS OR SPOIL RESULTING FROM THE CONSTRUCTION.
- MATERIALS REQUIRED SHALL BE OF A GRADE AND QUALITY SPECIFIED AND CONSISTENT WITH ACCEPTED INDUSTRY STANDARDS.
- THE CONTRACTOR SHALL PROVIDE OWNER WITH WARRANTY INFORMATION, INSTRUCTION MANUALS AND OTHER PRODUCT INFORMATION FOR NEW EQUIPMENT OR MACHINERY INSTALLED PRIOR TO THE REQUEST FOR SUBSTANTIAL COMPLETION REVIEW BY THE OWNER OR THEIR REPRESENTATIVE.

CAUTION !!!

EXISTING UTILITIES

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION. TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY	
	MYRICA CERIFERA / WAX MYRTLE CONTAINER GROW, MATCHING 4' HEIGHT, MULTI-TRUNKED FULL, 4' SPREAD	4" HT.	2	
	QUERCUS MACROCARPA / BURR OAK	4" CALIPER	3	
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK SINGLE TRUNK, FULL, 6' SPREAD	4" CALIPER	1	
	ULMUS CRASSIFOLIA / EXISTING CEDAR ELM EXISTING CEDAR ELM TO REMAIN	EXISTING	1	
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	
	ABELIA X GRANDIFLORA / GLOSSY ABELIA	5 GAL	12	
	MISCANTHUS CAPENSIS / SILVERGRASS	5 GAL	22	
	ROSA X 'RED CASCADE' / RED CASCADE ROSE	3 GAL	20	
SHRUB AREAS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	HEMEROCALLIS X ORANGE / DAY LILY 'ORANGE' FULL POTS	1 GAL	12" o.c.	489
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	CYNODON DACTYLON / BERMUDA GRASS	N/A		2,864 SF
	LANTANA X 'NEW GOLD' / NEW GOLD LANTANA FULL POTS, AT LEAST 3 RUNNERS PER POT. RUNNERS MUST BE 8" IN LENGTH	1 GAL		570 SF
	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	1 GAL		610 SF

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	EXISTING LANDSCAPE. CONTRACTOR TO PROTECT IN PLACE. ANY PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH EXISTING SPECIES AND SIZE AT NO COST TO OWNER
	3/8" MINUS DECOMPOSED GRANITE - COLOR: GOLD 3" DEPTH WEED BARRIER TO BE INSTALLED UNDERNEATH GRANITE

IRRIGATION SYSTEM IS EXISTING. THE NEW CONSTRUCTION WILL MEET REQUIREMENTS OF UDC.

OWNER/DEVELOPER:

CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204
CONTACT: MATT GILLEN
PHONE: 214-636-1505
EMAIL: MGILLEN@CIENDA.COM

SHEET NUMBER:

6.00

DATE:

DESIGNED: _____
CHECKED: _____
DRAWN: _____
HORIZONTAL SCALE: _____
VERTICAL SCALE: _____

INITIAL ISSUE: _____
REVISIONS: _____

PREPARED FOR:

CIENDA MANAGEMENT, LLC.
4514 TRAVIS STREET, SUITE 326
DALLAS, TEXAS 75204



NOT FOR CONSTRUCTION

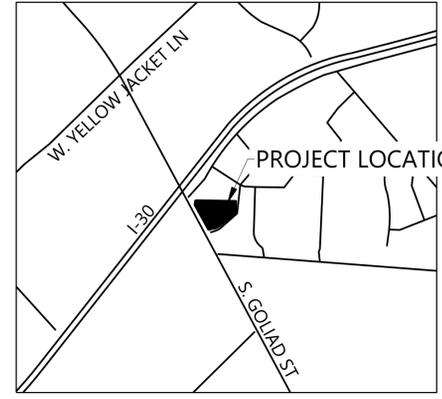
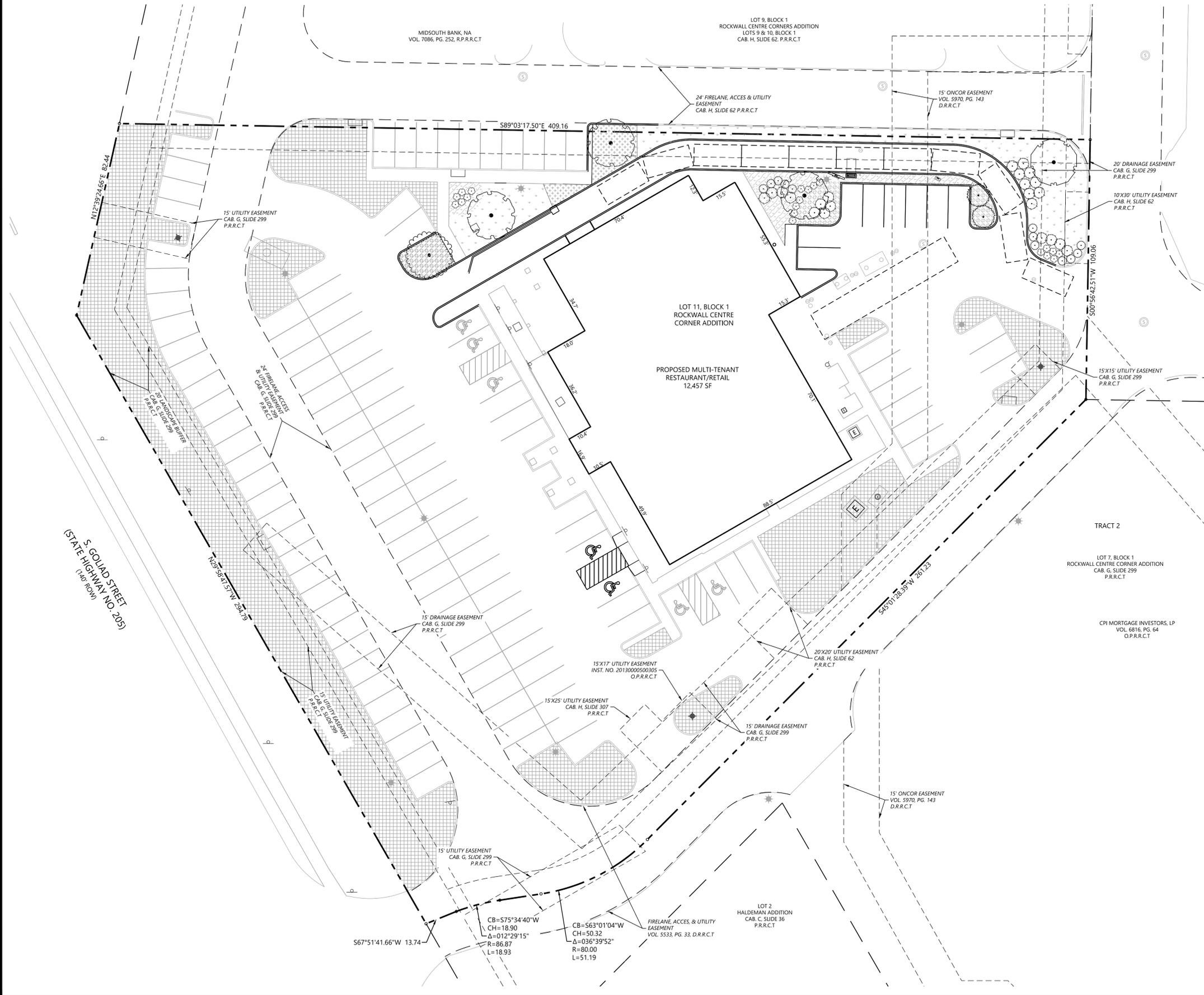
2335 S. GOLIAD RETAIL
ROCKWALL, TEXAS

Westwood

Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
Toll Free (888) 937-5150 Plano, TX 75093
westwoodps.com

Westwood Professional Services, Inc.
TBE FIRM REGISTRATION NO. F-11752
TBSL FIRM REGISTRATION NO. 10074301

LANDSCAPE NOTES



CAUTION !!!
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 4514 TRAVIS STREET, SUITE 326
 DALLAS, TEXAS 75204
 CONTACT: MATT GILLEN
 PHONE: 214-636-1505
 EMAIL: MGILLEN@CIENDA.COM

N:\030961.001\PROJECT DATA\DWG\CIVIL\030961-LA-PT.DWG

DESIGNED:	INITIAL ISSUE:
CHECKED:	REVISIONS:
DRAWN:	
HORIZONTAL SCALE:	
VERTICAL SCALE:	

PREPARED FOR:
CIENDA MANAGEMENT, LLC.
 4514 TRAVIS STREET, SUITE 326
 DALLAS, TEXAS 75204

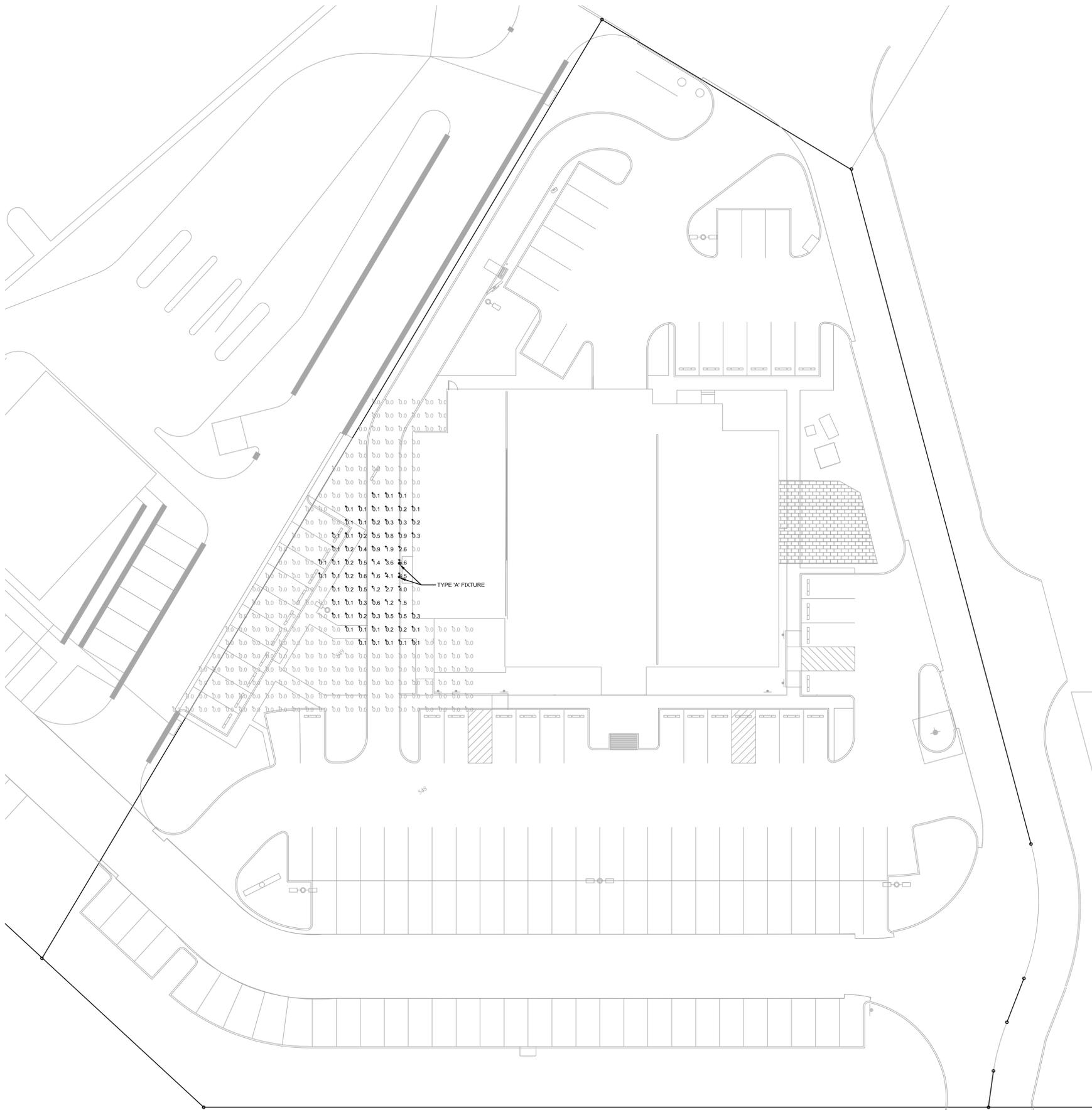


2335 S. GOLIAD RETAIL
 ROCKWALL, TEXAS

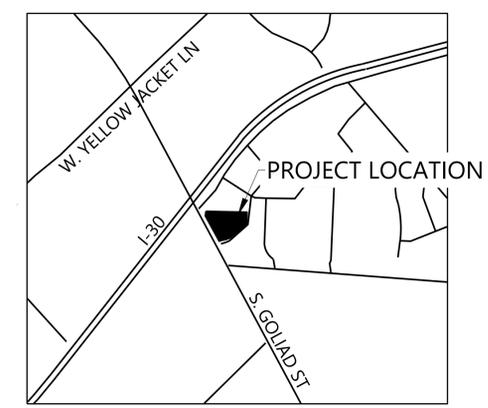
Westwood
 Phone (214) 473-4640 2901 Dallas Parkway, Suite 400
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 westwoodps.com
 Westwood Professional Services, Inc.
 TPE FIRM REGISTRATION NO. F-11752
 TPLS FIRM REGISTRATION NO. 10074301

LANDSCAPE PLAN

SHEET NUMBER:
 6.01
DATE:



GENERAL NOTES:
 A. FIXTURE TYPE 'A' TO BE KIRLIN MODEL LSR-12484-1500L-120-41K-37-80 AND BE MOUNTED TO UNDERSIDE OF CANOPY AT NEW DRIVE THRU WINDOW. ALL OTHER LIGHTING ON SITE IS EXISTING TO REMAIN.



VICINITY MAP
N.T.S

SITE PLAN SIGNATURE BLOCK

APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2021.

WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021

 PLANNING & ZONING COMMISSION, CHAIRMAN

 DIRECTOR OF PLANNING AND ZONING

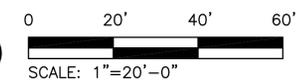
OWNER:

CIENDA MANAGEMENT, LLC.
 4514 TRAVIS STREET, SUITE 326
 DALLAS, TEXAS 75204
 CONTACT: MATT GILLEN
 PHONE: 214-636-1505
 EMAIL: MGILLEN@CIENDA.COM

DEVELOPER:

CIENDA MANAGEMENT, LLC.
 4514 TRAVIS STREET, SUITE 326
 DALLAS, TEXAS 75204
 CONTACT: MATT GILLEN
 PHONE: 214-636-1505
 EMAIL: MGILLEN@CIENDA.COM

1 SITE PHOTOMETRIC PLAN
 SCALE: 1"=20'-0"



CASE NO. _____

3 CONSULTING ENGINEERS
VIGILANT - VIABLE - VIRTUOUS
 TEXAS REGISTRATION F-20374
 V3 PROJECT #: 21012



2335 S. GOLIAD RETAIL
 ROCKWALL, TEXAS

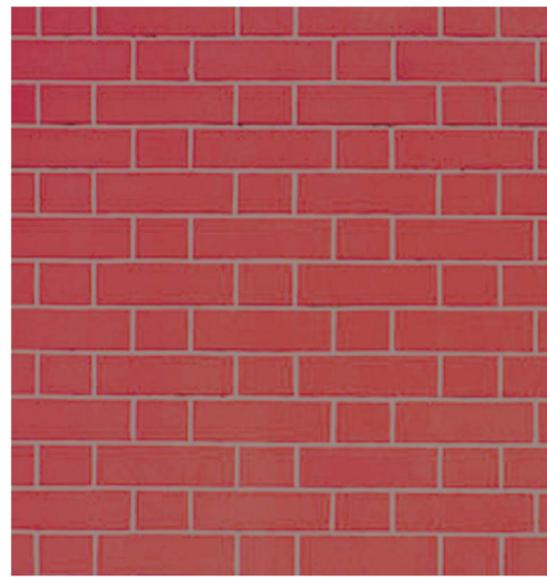
Issue: _____ Date: _____

Drawing Title
 SITE PHOTOMETRICS

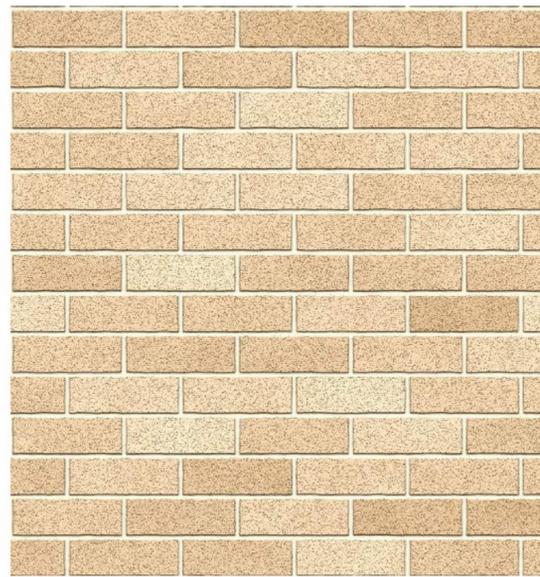
Sheet
PH1.01



EIFS - Color to Match Sherwin Williams SW6868 Real Red Paint



Existing Brick - Red



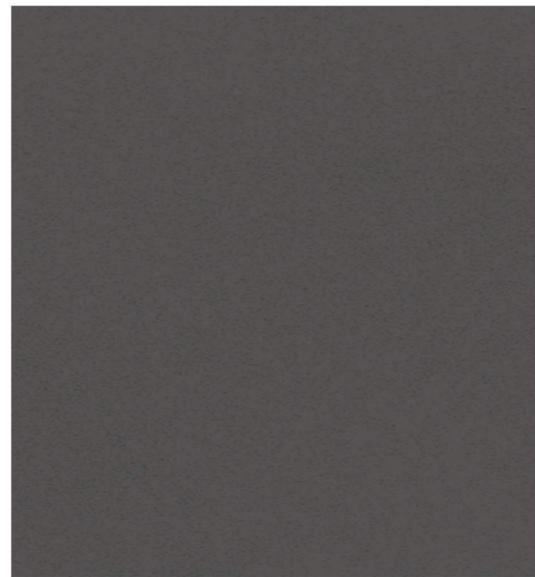
Existing Brick - Light Brown



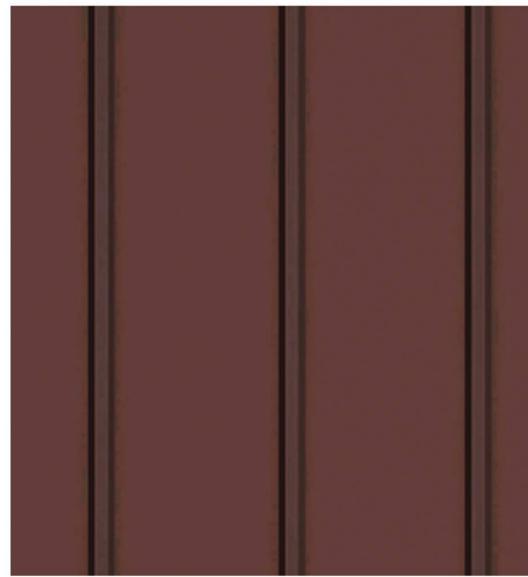
Metal Coping and Downspouts - Pac-Clad - "Black"



Existing Stone- Texas Mix



Sherwin Williams SW6258 Tricorn Black Paint Over Existing Brick



Dark Bronze- Metal Roof



Black Anodized Aluminum Storefront

MATERIAL BOARD

2335 S. Goliad St
Rockwall, Texas

Job #: 21015
Date: 07/16/21
Drawn by: DE / JJ

Scale: 1/16" = 1'-0"

File Name: BIM 360://21015 - Lubys Rockwall/21015_Lubys_Rockwall_A21.rvt

Not for regulatory approval, permitting, or construction

SITE PLAN SIGNATURE BLOCK	
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, 2021.	
WITNESS OUR HANDS, THIS ____ DAY OF _____, 2021	
_____ PLANNING & ZONING COMMISSION, CHAIRMAN	_____ DIRECTOR OF PLANNING AND ZONING
OWNER/DEVELOPER: CIENDA PARTNERS, LP 4814 TRAVIS ST., SUITE 336 DALLAS, TX 75205 CONTACT: MATT GILLEN PH: 214-269-1841 EMAIL: MGILLEN@CIENDA.COM	2235 S. GOLIAD ST. RETAIL ROCKWALL CENTRE CORNERS ADDITION, LOT 11, BLOCK 1 ROCKWALL, ROCKWALL COUNTY, TEXAS 2.230 ACRES (97,128 SF) COMMERCIAL - C
ARCHITECT: GFF 2608 FARMINGTON ST., SUITE 300 DALLAS, TX 75201 CONTACT: GRANT WICKARD PH: 214-953-1550 EMAIL: GRANT.WICKARD@GFF.COM DATE OF PREPARATION: 07/16/2021	CASE #