



DEVELOPMENT APPLICATION

City of Rockwall
 Planning and Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	1725 TX-276, Rockwall, TX 75032		
SUBDIVISION	Rockwall Technology Park	LOT	1
		BLOCK	1
GENERAL LOCATION	Lamberth Tract E. of John King between Discovery Blvd. & TX-276		

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial	CURRENT USE	Land/AG
PROPOSED ZONING	Light Industrial	PROPOSED USE	Light Industrial
ACREAGE	18.48	LOTS [CURRENT]	2
		LOTS [PROPOSED]	1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	BSKJ Development Corp.	<input checked="" type="checkbox"/> APPLICANT	Triten Real Estate Partners
CONTACT PERSON	Robert E. Lamberth	CONTACT PERSON	David Shipman
ADDRESS	714 Sanctuary Way	ADDRESS	15110 N. Dallas Parkway
			Suite 550
CITY, STATE & ZIP	Heath, TX 75032	CITY, STATE & ZIP	Dallas, TX 75248
PHONE	972-345-1498	PHONE	817-891-4123
E-MAIL	rglamberth@aol.com	E-MAIL	dshipman@triten.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Shipman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

¹ I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 619.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF June, 2002. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE AND REPRODUCE THIS INFORMATION IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

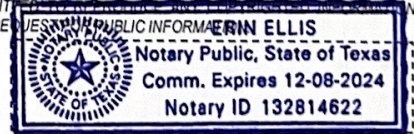
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF June, 2002

OWNERS SIGNATURE

David Shipman

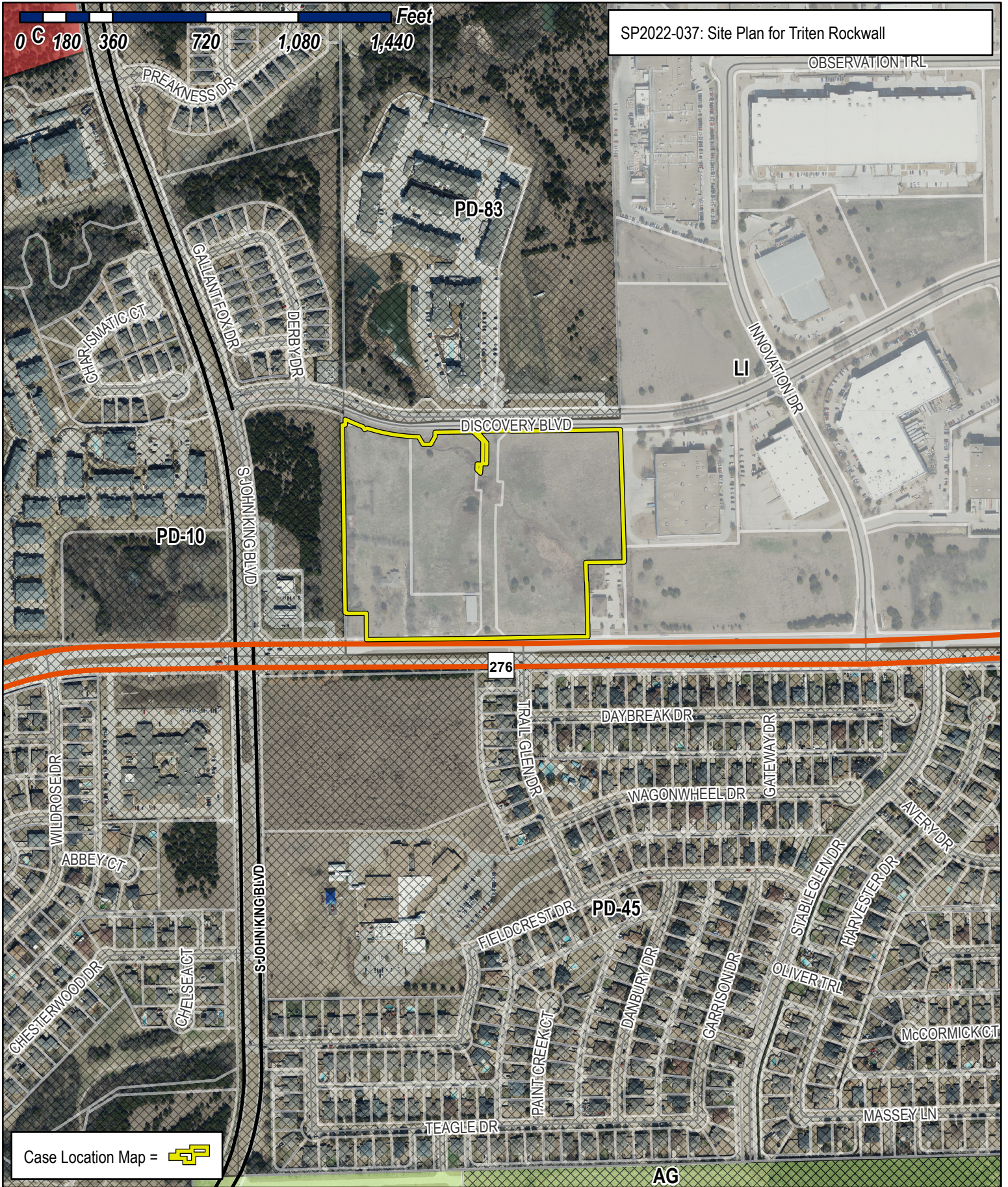
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

DC15D6EA37F4ED




MY COMMISSION EXPIRES

12-08-2024



SP2022-037: Site Plan for Triten Rockwall

0 180 360 720 1,080 1,440 Feet

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall Planning Division
385 S Goliad St.
Rockwall, TX, 75087

June 17, 2022

Per SH 276 overlay district, subsection 6.02H, Article 05, overhead utilities within an overlay district shall be placed underground. Based upon a driving tour of SH276 along the entire length within the City of Rockwall, there is no portion of the road that does not have existing overhead power lines. We respectfully request a variance from this provision based upon existing precedent.



SH 276 east of site



SH 276 east of site



SH 276 east of site



SH 276 east of site



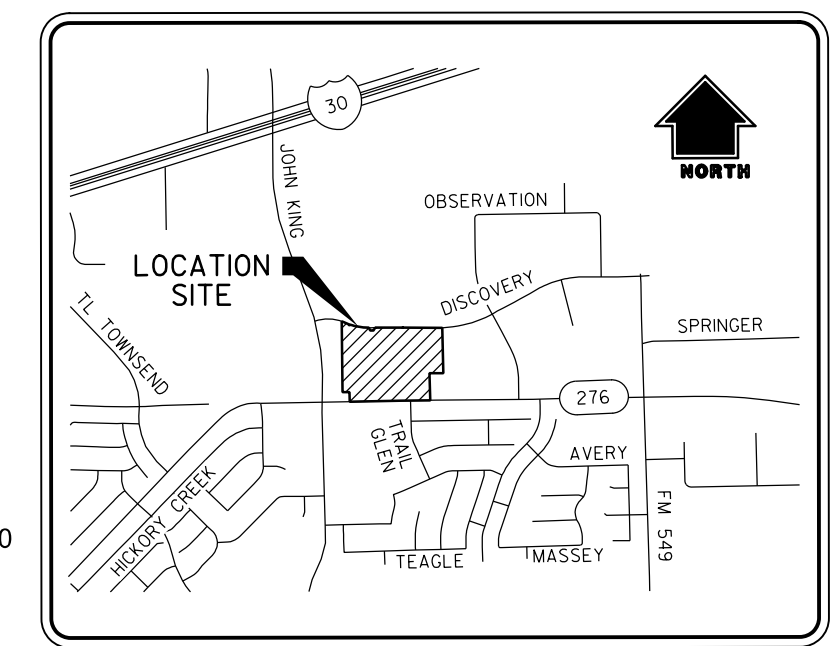
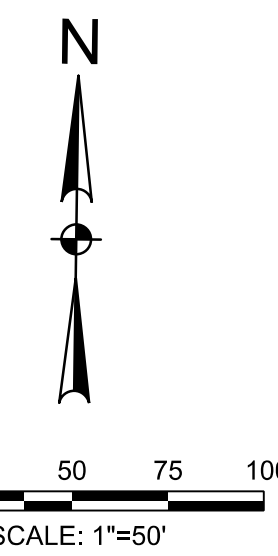
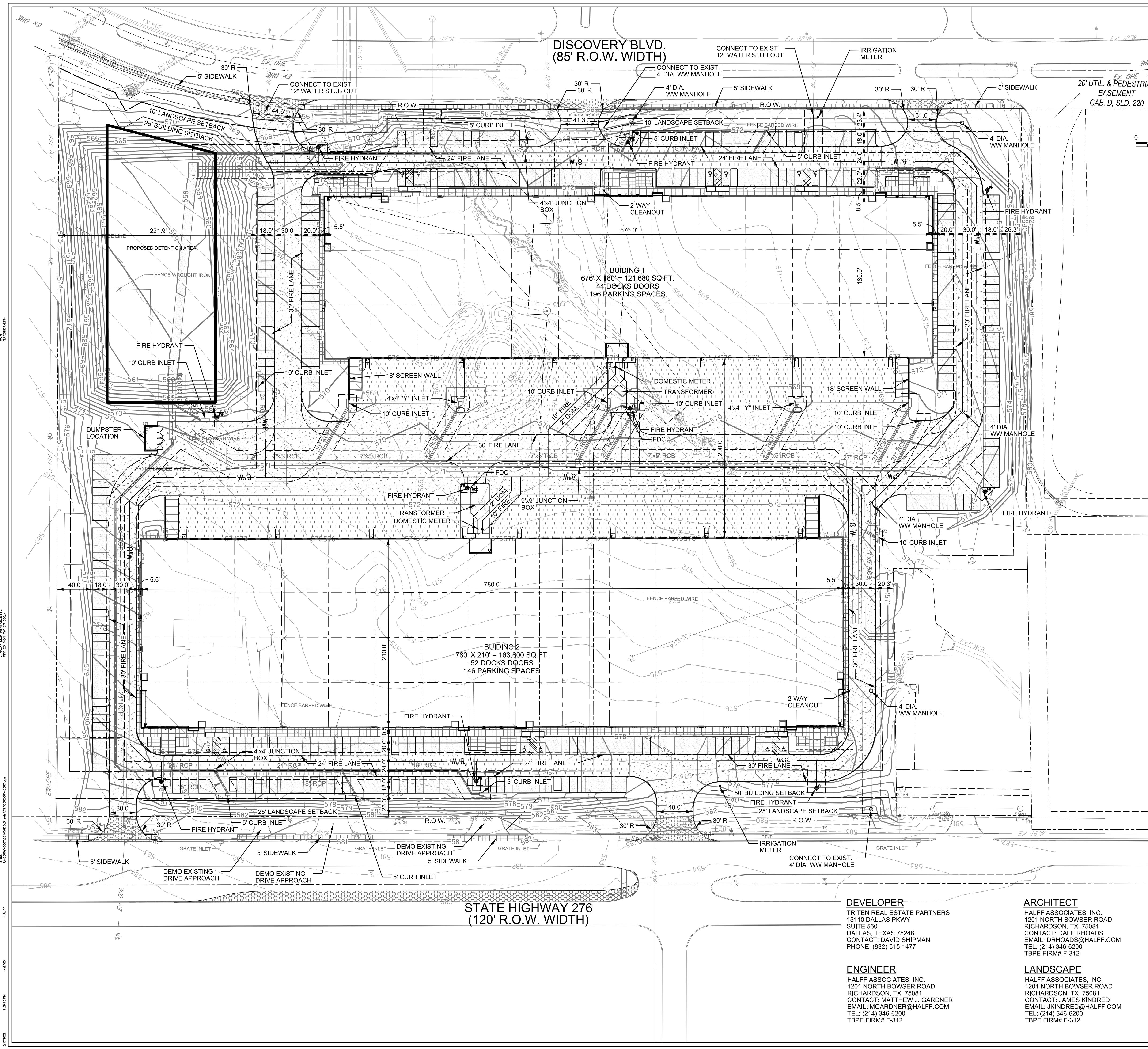
SH 276 east of site



SH 276 west of site



SH 276 west of site



SITE DATA:

CURRENT ZONING:	(LD) LIGHT INDUSTRIAL
PROPOSED LAND USE:	Light Industrial
TOTAL SITE AREA:	18.48 AC. (816,195 SF)
SITE AREAS:	
BUILDING:	284,480 SF
PAVING:	310,100 SF
LANDSCAPE:	216,951 SF
PARKING:	
REQUIRED:	
WAREHOUSE (1:1000 SF)(256,932 sf)	257.00 SPACES
OFFICE (1 SPACE/300 SF)(28,548 sf):	96.00 SPACES
TOTAL REQUIRED:	353 SPACES
PROVIDED:	357 SPACES
ACCESSIBLE SPACES PROVIDED:	12 SPACES

*SPACES ARE INCLUDED IN TOTAL ABOVE

NOTE: ALL CURBS ARE 6" UNLESS NOTED OTHERWISE.

- PAVING LEGEND**
- 9" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #4 BARS AT 18" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
 - 8" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #4 BARS AT 18" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
 - 6" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS AT 18" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
 - 5" THICK, 3,600 PSI CONCRETE PAVEMENT WITH #3 BARS AT 24" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
 - 4" THICK, 3,000 PSI CONCRETE PAVEMENT WITH #3 BARS AT 24" O.C.E.W. OVER LIME STABILIZED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS

- LEGEND**
- PROPERTY LINE
 - LOT LINE
 - EASEMENT LINE
 - EXISTING CONTOUR
 - EXISTING FENCE
 - EXISTING WATER LINE
 - EXISTING FIRE HYDRANT
 - EXISTING WATER METER
 - EXISTING WASTEWATER LINE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING STORM SEWER
 - EXISTING FIBER OPTIC
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING POWER POLE

DISCOVERY ROCKWALL
 1725 TX-276,
 ROCKWALL, TEXAS



Revision No.	Date	Description

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 ROBERT E. GOSSETT 107349
 NAME P.E. NO.
 DATE 6-17-22
 TBPE FIRM # F-312

DISCOVERY ROCKWALL
SITE PLAN
REVELATION
LOT 1, BLOCK 1
 BEING AN
18.480 ACRES
 ADDITION TO THE
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
 SITUATED IN THE
JAMES M. ALLEN SURVEY,
ABSTRACT NO. 2

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 TRITEN REAL ESTATE PARTNERS
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Project No.:	46587
Issued:	APRIL, 2022
Drawn By:	CAD
Checked By:	REG
Scale:	AS SHOWN
Sheet Title	SITE PLAN
Sheet Number	SP1.01

REQUIRED ARCHITECTURAL ELEMENTS

ALL DESIGN STANDARDS SHOWN HERE IN ACCORDANCE WITH CITY OF ROCKWALL UNIFIED DEVELOPMENT CODE | ORDINANCE NO. 22-03, DATED FEBRUARY 7, 2022 | ARTICLE 5 - DISTRICT DEVELOPMENT STANDARDS | SECTION 05: INDUSTRIAL DISTRICTS AND SUBSECTION 06.14: SH-276 OVERLAY (SH-276 OV) DISTRICT.

REQUIRED ARCHITECTURAL ELEMENTS BUILDING ELEMENT COMPLIANCE CHART

ALL BUILDINGS SHALL BE ARCHITECTURALLY FINISHED ON ALL FOUR (4) SIDES UTILIZING THE SAME MATERIALS, DETAILING, ARTICULATION, AND FEATURES.

BUILDINGS OVER 100,000 SF SHALL INCLUDE A MINIMUM OF SEVEN (7) OF THE FOLLOWING ARCHITECTURAL ELEMENTS. THE ELEMENTS UTILIZED ON THIS PROJECT ARE SHOWN IN BOLD TEXT:

- a. CANOPIES, AWNINGS, OR PORTICOS
- b. RECESSES / PROJECTIONS
- c. ARCADES
- d. PEAKED ROOF FORMS
- e. ARCHES
- f. OUTDOOR PATIOS
- g. DISPLAY WINDOWS
- h. ARCHITECTURAL DETAILS
- i. ARTICULATED GROUND FLOOR LEVEL OR BASES
- j. ARTICULATED CORNICE LINE
- k. INTEGRATED PLANTERS / WING WALLS
- l. OFFSETS, REVEALS, OR PROJECTING RISBS
- m. EXPRESSING STRUCTURAL BAYS
- n. VARIED ROOF HEIGHTS

INDUSTRIAL BUILDING ARTICULATION STANDARDS

PRIMARY ELEVATION

ELEMENT	FORMULA	REQUIREMENT	PROVIDED
1) WALL HEIGHT (WH)	N/A	N/A	39' - 0"
2) WALL LENGTH (WL)	4 x WH (MAX.)	156' - 0"	96' - 1" (MAX.)
3) WALL PROJECTION (WP)	0.25 x WH (MIN.)	9' - 9"	9' - 9"
4) ENTRY / ARCHITECTURAL ELEMENT LENGTH (E/AEL)	0.33 x WL (MIN.)	52' - 0"	54' - 1 1/2" (CORNER) 76' - 0" (CENTER)
5) PROJECTION HEIGHT (PH)	1.25 x WH (MIN.)	48' - 9"	48' - 9"
6) ENTRY / ARCHITECTURAL ELEMENT WIDTH (E/AEW)	2 x WP (MIN.)	19' - 6"	58' - 2 3/4"

SECONDARY ELEVATION

ELEMENT	FORMULA	REQUIREMENT	PROVIDED
1) WALL HEIGHT (WH)	N/A	N/A	39' - 0"
2) WALL LENGTH (WL)	3 x WH (MAX.)	117' - 0"	58' - 10" (MAX.)
3) SECONDARY ENTRY / ARCHITECTURAL ELEMENT LENGTH (SE/AEL)	0.15 x WL (MIN.)	17' - 7"	53' - 8"
4) SECONDARY ENTRY / ARCHITECTURAL ELEMENT WIDTH (SE/AEW)	0.15 x WH (MIN.)	5' - 10 1/4"	6' - 0"
5) PROJECTION HEIGHT (PH)	1.15 x WH (MIN.)	44' - 10 1/4"	48' - 9"

VARIANCE REQUESTS AND PROPOSED OFFSETS

THE FOLLOWING IS A SUMMARY OF REQUESTED VARIANCES TO THE REQUIRED ARCHITECTURAL ELEMENTS AND THE PROPOSED COMPENSATORY MEASURES:

VARIANCE REQUEST 1

UNIFIED DEVELOPMENT CODE REQUIREMENT: PROVIDED IN LIEU OF CODE REQUIREMENT.
PROPOSED COMPENSATORY MEASURES: ALL OVERHEAD UTILITIES WITHIN AN OVERLAY DISTRICT SHALL BE PLACED UNDERGROUND. LEAVE OVERHEAD UTILITY LINES ABOVE GROUND.

VARIANCE REQUEST 2

UNIFIED DEVELOPMENT CODE REQUIREMENT: PROVIDED IN LIEU OF CODE REQUIREMENT.
PROPOSED COMPENSATORY MEASURES: MINIMUM OF 90% MASONRY REQUIRED ON ALL FACADES. PAINTED CONCRETE TILT-WALL PANELS.
1) 25' LANDSCAPE BUFFER TYPICAL ALONG DISCOVERY BLVD. IN LIEU OF 10' MIN.
2) 40' LANDSCAPE BUFFER ALONG 1/3 OF SH 276 IN LIEU OF 25' MIN

VARIANCE REQUEST 3

UNIFIED DEVELOPMENT CODE REQUIREMENT: PROVIDED IN LIEU OF CODE REQUIREMENT.
PROPOSED COMPENSATORY MEASURES: MINIMUM OF 20% STONE REQUIRED ON ALL FACADES. GREATER THAN 5% ADHERED MANUFACTURED STONE AT MAIN ENTRANCES.
1) PARKING LOT CANOPY TREES EXCEEDS MINIMUM REQUIREMENTS. 36 REQUIRED, 41 PROVIDED.
2) LANDSCAPE BUFFER ACCENT TREES EXCEED MINIMUM REQUIREMENTS. 36 REQUIRED, 67 PROVIDED.

VARIANCE REQUEST 4

UNIFIED DEVELOPMENT CODE REQUIREMENT: PROVIDED IN LIEU OF CODE REQUIREMENT.
PROPOSED COMPENSATORY MEASURES: MINIMUM 10 FT. LANDSCAPE BUFFER ON DISCOVERY BLVD. (AT TRAPEZOIDAL ROW AREA). LANDSCAPE BUFFER OMITTED @ TRAPEZOIDAL ROW AREA
1) SIZE OF SITE LANDSCAPE AREAS EXCEEDS MINIMUM REQUIREMENTS. 122,429 SF REQUIRED, 216,951 SF PROVIDED.
2) DUE TO MULTIPLE BUILDING ARTICULATION ELEMENTS, WALL LENGTH IS BELOW THE MAXIMUM LENGTH ALLOWABLE. 156 FT MAX. ALLOWABLE, 96 FT PROVIDED.

BUILDING MATERIALS TABLE

1) EAST ELEVATION (SECONDARY)

TOTAL SQUARE FOOTAGE: 9,545 SF
TOTAL GLAZING: 987 SF (10.3%)
TOTAL CANOPY: 118 SF (1.2%)
TOTAL MFR. STONE VENEER: 860 SF (9%)
TOTAL TILTWALL W/ REVEAL: 7,580 SF (79.5%)

2) WEST ELEVATION (SECONDARY)

TOTAL SQUARE FOOTAGE: 9,545 SF
TOTAL GLAZING: 987 SF (10.3%)
TOTAL CANOPY: 118 SF (1.2%)
TOTAL MFR. STONE VENEER: 860 SF (9%)
TOTAL TILTWALL W/ REVEAL: 7,580 SF (79.5%)

3) NORTH ELEVATION

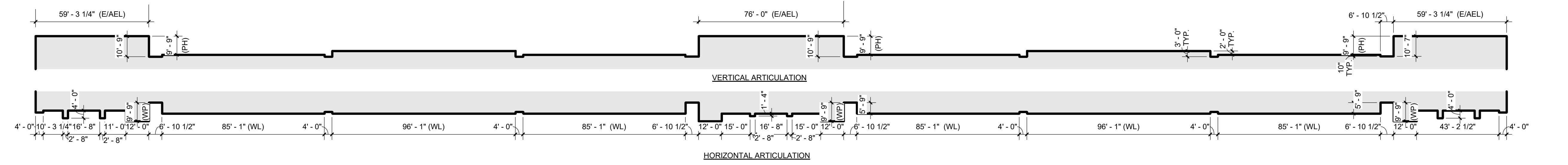
TOTAL SQUARE FOOTAGE: 27,565 SF
TOTAL GLAZING: 590 SF (2%)
TOTAL CANOPY: 0 SF
TOTAL MFR. STONE VENEER: 0 SF (0%)
TOTAL TILTWALL W/ REVEAL: 26,975 SF (98%)

4) SOUTH ELEVATION (PRIMARY)

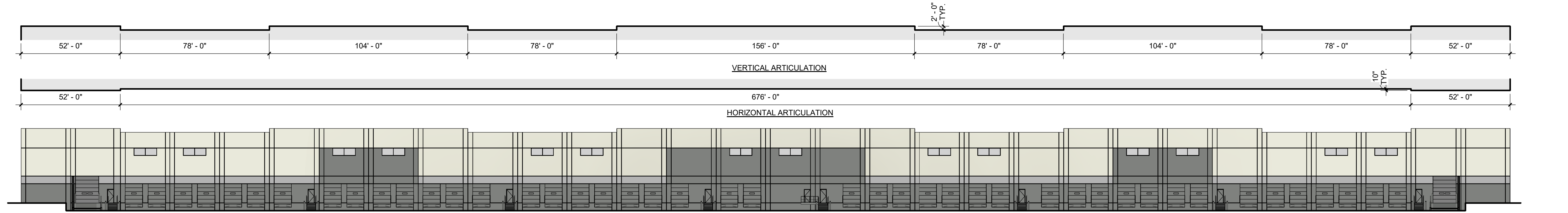
TOTAL SQUARE FOOTAGE: 30,030 SF
TOTAL GLAZING: 2,975 SF (10%)
TOTAL CANOPY: 420 SF (1.3%)
TOTAL MFR. STONE VENEER: 2,378 SF (8%)
TOTAL TILTWALL W/ REVEAL: 24,257 SF (80.7%)

BUILDING MATERIALS LEGEND

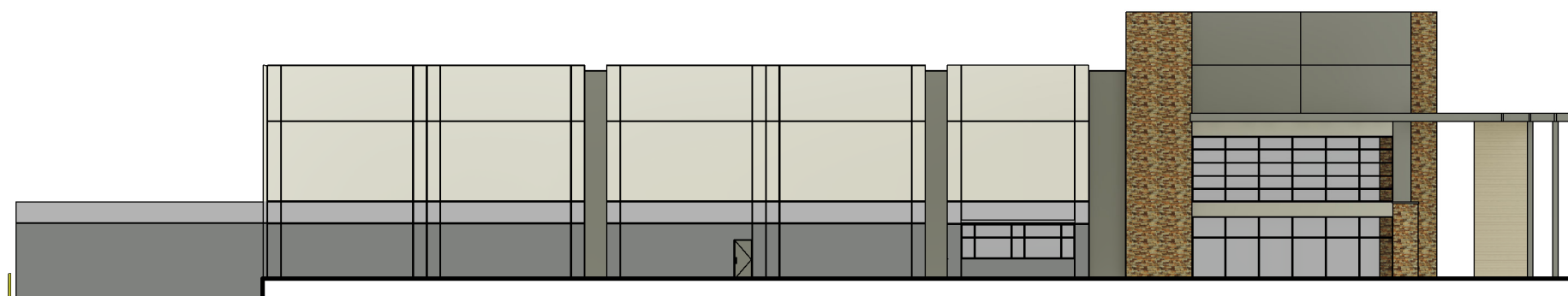
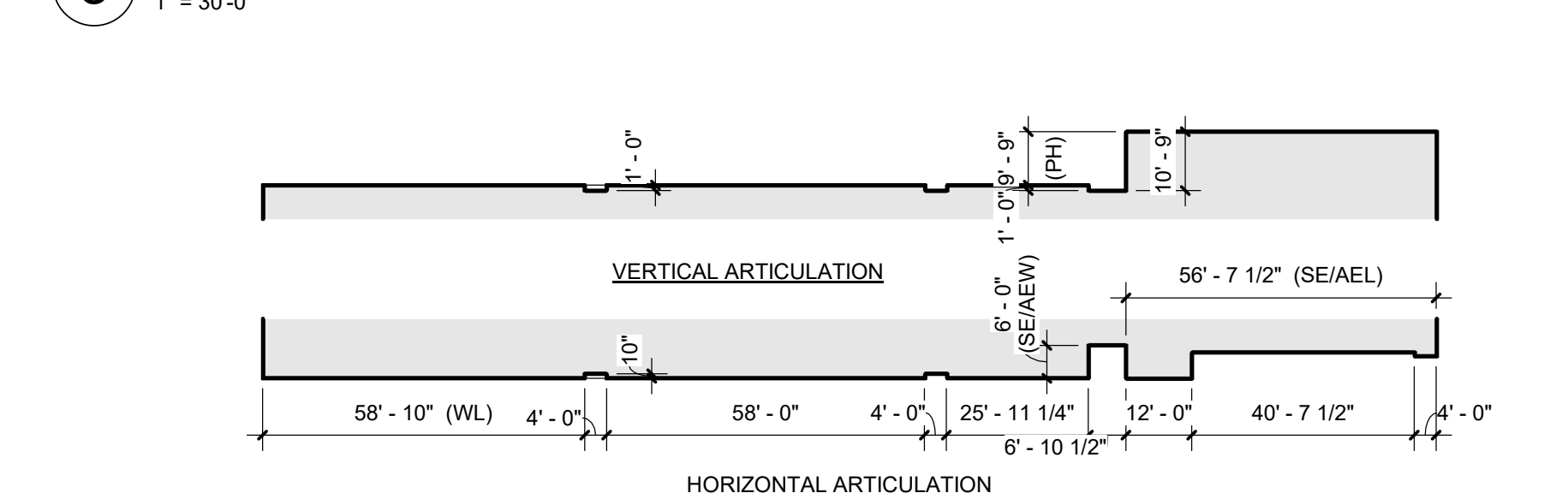
- PAINTED TILTWALL (COLOR 1) W/ TYP. 2" REVEALS
- PAINTED TILTWALL (COLOR 2)
- PAINTED TILTWALL (COLOR 3)
- MANUFACTURED STONE VENEER
- WOOD SLAT WALL
- CANOPIES
- GLAZING
- METAL DOORS



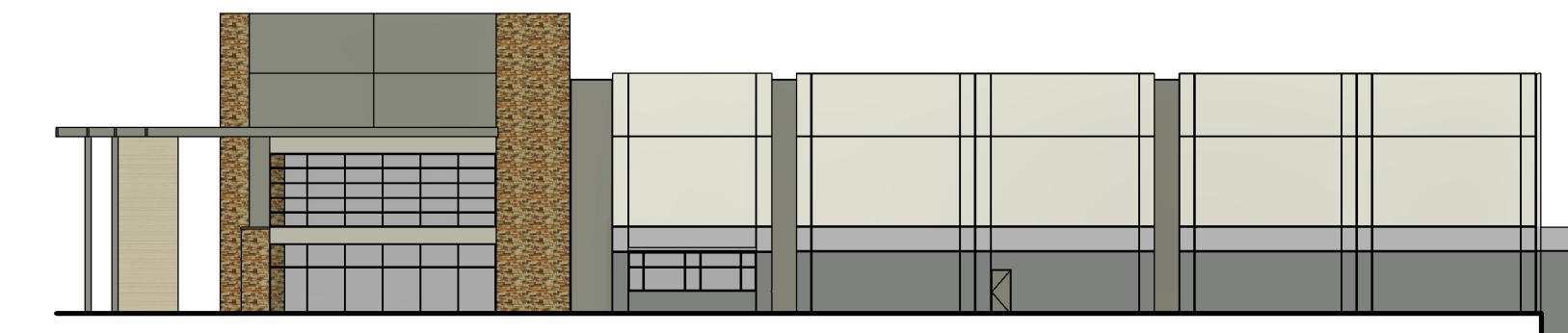
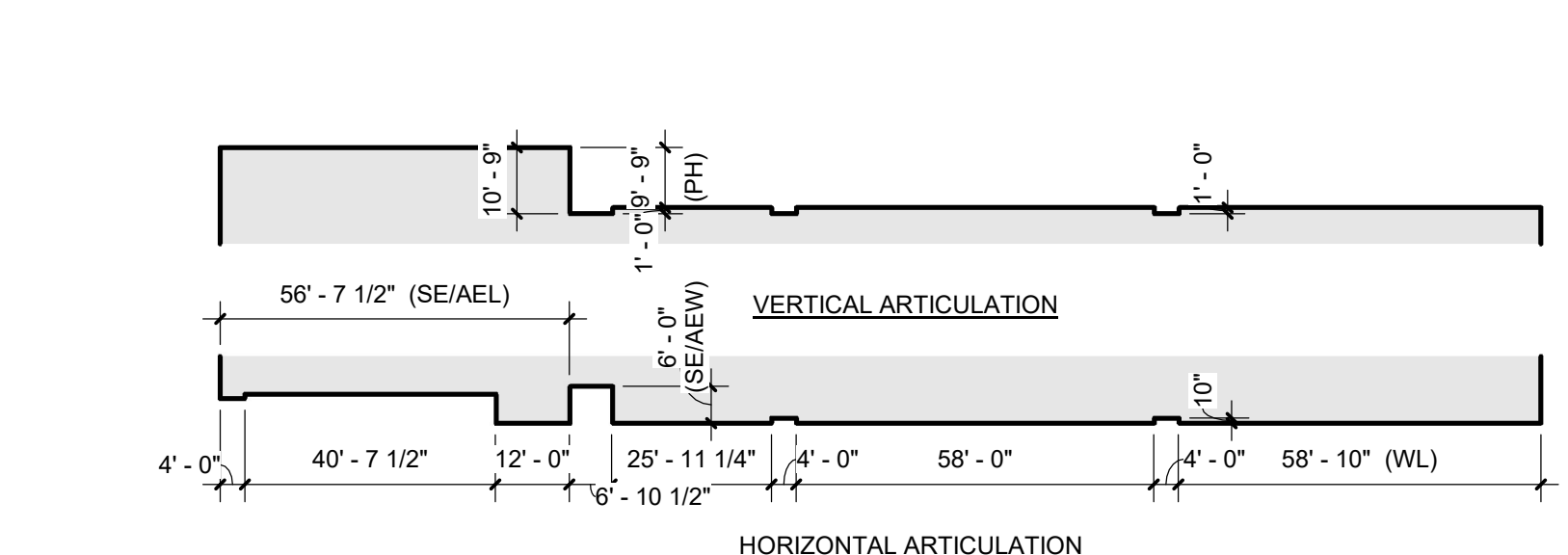
4) BUILDING 2 - SOUTH ELEVATION (PRIMARY)
1" = 30'-0"



3) BUILDING 2 - NORTH ELEVATION
1" = 30'-0"



2) BUILDING 2 - WEST ELEVATION (SECONDARY)
1" = 30'-0"



1) BUILDING 2 - EAST ELEVATION (SECONDARY)
1" = 30'-0"

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**DISCOVERY ROCKWALL
SITE PLAN
OF
REVELATION
LOT 1, BLOCK 1**
BEING AN
18.480 ACRES
ADDITION TO THE
CITY OF ROCKWALL,
ROCKWALL COUNTY, TEXAS
SITUATED IN THE
JAMES M. ALLEN SURVEY,
ABSTRACT NO. 2

DISCOVERY ROCKWALL
1725 TX-276,
Rockwall, Texas 75032
CONCEPTUAL DESIGN

HALFF
1201 NORTH BOWSER ROAD
RICHARDSON, TX 75081-2275
(214) 346-6200

Revision No.	Date	Description

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DALE RHOADS 20504
NAME R.A. NO.
DATE 06/17/2022

AVO:	46587
Issued:	JUNE 17, 2022
Drawn By:	DRW
Checked By:	DJJ
Scale:	As indicated
Sheet Title	EXTERIOR ELEVATIONS
Sheet Number	A200



DISCOVERY ROCKWALL

1725 TX-276
 Rockwall, Texas 75032
 CONCEPTUAL DESIGN



Revision No.	Date	Description

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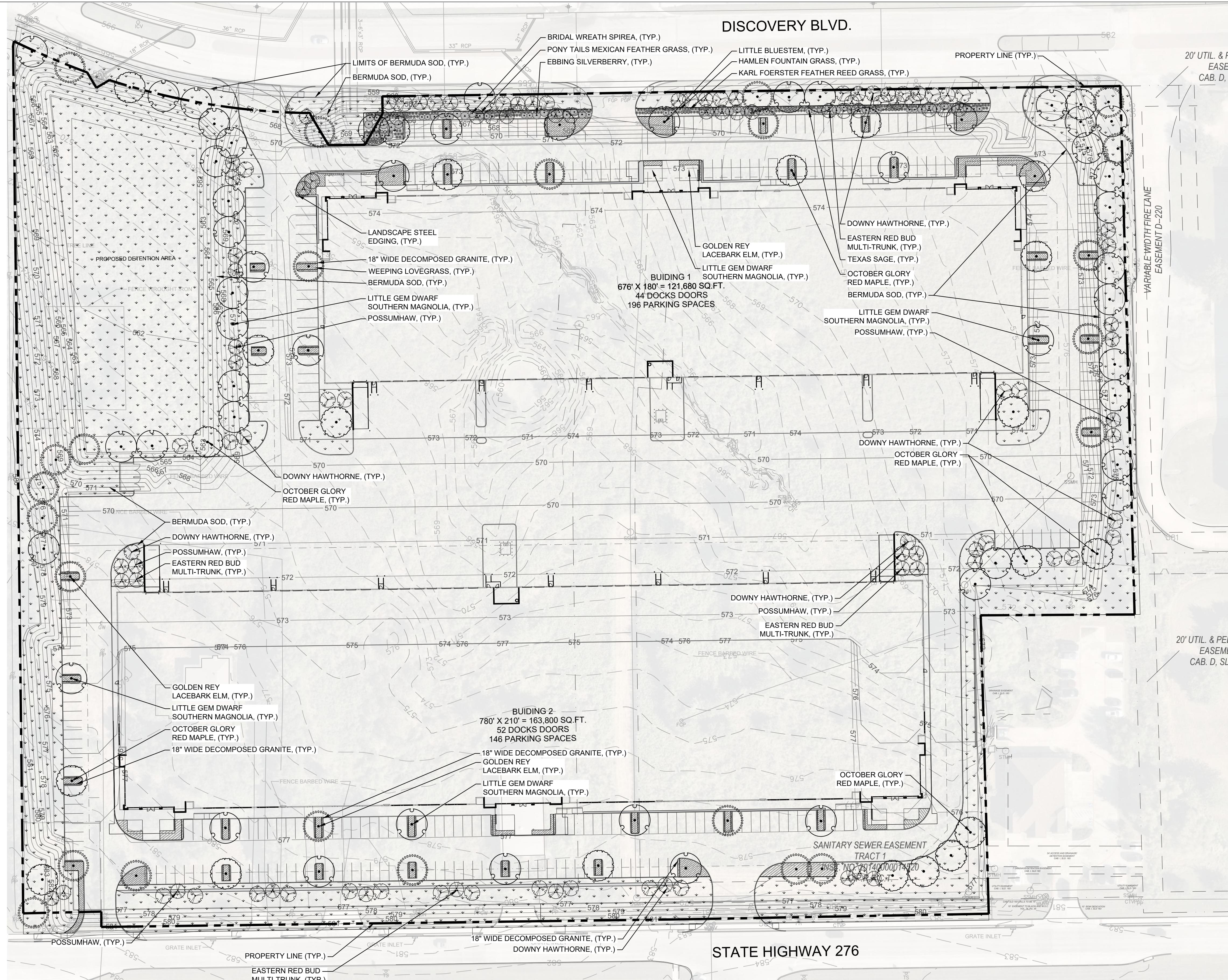
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**DISCOVERY ROCKWALL
 SITE PLAN
 OF
 REVELATION
 LOT 1, BLOCK 1**
 BEING AN
18.480 ACRES
 ADDITION TO THE
**CITY OF ROCKWALL,
 ROCKWALL COUNTY, TEXAS**
 SITUATED IN THE
**JAMES M. ALLEN SURVEY,
 ABSTRACT NO. 2**

AVO:	46587
Issued:	JUNE 17, 2022
Drawn By:	DJJ
Checked By:	DRW

Scale:
 Sheet Title
RENDERINGS
A10.1
 Sheet Number



1 OVERALL LANDSCAPE PLAN
 SCALE: 1" = 50'-0"

CITY OF ROCKWALL - LANDSCAPE REQUIREMENTS				
Site Description	Triten Warehouse			
Zoning	Light Industrial			
Total Site Area	816,195 S.F.			
Building Area	285,480 S.F.			
Vehicular Paving Area	310,100 S.F.			
Total Landscape Area	216,951 S.F.			
REQUIREMENTS	Required	Provided	Comments	
Required Landscape Areas:	Minimum Landscape Area - 15% (816,195 SF x .015 = 122,429 SF)	122,429 S.F. (15%)	216,951 S.F. (26.6%)	
Landscape Buffers:	10' wide min. Discovery Blvd. (832 LF.) 10' wide min. SH 276 (934 LF.)	10' min.	10'	
Buffer Requirements:	(1) Canopy Tree & (1) Accent Tree per 50 LF of Frontage (1,766 LF / 50 = 36 TREES)	36 Canopy Trees 36 Accent Trees	41 Canopy Trees 67 Accent Trees	Sunken grade of site creates natural screening berm: Some canopy trees planted internal to site due to overhead utility conflicts
Parking Landscape:	(1) Large Canopy Tree Per Each (10) Ten Parking Spaces (341 Spaces / 10 = 34 TREES)	34 Canopy Trees	37 Canopy Trees	No space to be more than 80' from the trunk of Canopy Tree

LANDSCAPE REQUIREMENTS for the City of Rockwall, TX

ARTICLE 08: LANDSCAPE AND FENCE STANDARDS

SECTION 05: LANDSCAPE STANDARDS

SUBSECTION 05.01: LANDSCAPE BUFFERS

The minimum requirements for landscape buffers shall be as follows:

(B) **Non-Residential Landscape Buffers** (see Figure 3: Commercial Landscape Buffers Example)

(1) **Abutting a Public Right-of-Way.** A minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way (i.e. collector street, arterial roadway, or alleyway) or a residentially zoned or used property that is located directly across a public street (regardless of the size of the street). All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up berm and shrubbery along the entire length of the frontage. Berms and shrubbery shall have a total minimum height of 30-inches. In these areas a minimum of one (1) canopy tree and one (1) accent tree shall be incorporated into the landscape buffer per 50-linear feet of frontage along the adjacency. Clustering of trees shall be permitted as long as all required trees are situated within the landscape buffer.

SUBSECTION 05.02: LANDSCAPE SCREENING

(A) **Loading Docks and Outside Storage Areas.** Off-street loading docks and outside storage areas shall be screened from all public streets, open space, adjacent properties and any residential zoning districts or residentially used properties that abut or are directly across a public street or alley from the loading dock or outside storage area in accordance with the requirements of Subsection 01.05, Screening Standards, of Article 05, District Development Standards (Screening Wall with Canopy Trees every 20' o.c.).

(C) **Headlight Screening.** Head-in parking adjacent to a street shall incorporate one (1) of the following screening methods to mitigate the potential hazard that headlights may pose for on-street vehicular traffic:

(1) **Alternative #1.** A minimum of a two (2) foot berm with mature evergreen shrubs along the entire adjacency of the parking area.

(2) **Alternative #2.** A wrought iron fence with a mix of two (2) rows of staggered mature evergreen trees and one (1) row of deciduous canopy trees (a minimum six (6) caliper inches) along the entire length of the adjacency. All trees will be planted on 20-foot centers.

SUBSECTION 05.03: LANDSCAPE REQUIREMENTS

(A) **Amount of Landscaping.** The following landscaping percentages shall be required and shall apply to the total site area to be developed: **Light Industrial (LI) District - Required Landscaping 15%.**

(B) **Location of Landscaping.** A minimum of 100% of the total required landscaping shall be located in front of and along the side of buildings with street frontages in the Heavy Commercial (HC), Light Industrial (LI), and Heavy Industrial (HI) Districts.

(E) **Parking Lot Landscaping.** The following landscape requirements will apply to parking lots:

(1) Parking lots with more than two (2) rows of parking spaces (i.e. one (1) drive aisle with rows of parking on either side) shall have a minimum of five (5) percent or 200 SF of landscaping - whichever is greater - in the interior of the parking lot area. Such landscaping shall be counted toward the total required landscaping.

(2) If the parking and maneuvering space exceeds 20,000 SF, one (1) large canopy tree for every ten (10) parking spaces shall be required to be planted internal to the parking areas.

(3) No tree shall be planted closer than five (5) feet to the edge of pavement or five (5) feet from any water or wastewater line that is less than 12-inches. Water and wastewater lines that are 12-inches and greater require trees to be planted a minimum of ten (10) feet from the centerline of the pipe.

(4) No required parking spaces may be located more than 80-feet from the trunk of a canopy tree.

(G) **Landscaping in Landscape Buffers and Public Right-of-Way.** All landscape buffers and public right-of-way located adjacent to a proposed development shall be improved with grass (i.e. sod - hydro mulch shall be prohibited in these areas) prior to the issuance of a Certificate of Occupancy (CO). In addition, it shall be the responsibility of the developer to design the irrigation system within the lot to ensure that the grass placed in public right-of-way is watered and maintained, and to ensure that minimal water will be shed on to the street. The designer of the irrigation system shall base the systems design on the ultimate proposed width of the street. The plans for design of the irrigation system shall be approved by the Building Inspections Department prior to installation and acceptance of the project.

LEGEND

ORNAMENTAL TREES	COMMON / BOTANICAL NAME
	Eastern Redbud Multi-trunk / Cercis canadensis
	Downy Hawthorne / Crataegus mollis
	Possumhaw / Ilex decidua
SHADE TREE	COMMON / BOTANICAL NAME
	October Glory Red Maple / Acer rubrum 'October Glory'
	Little Gem Dwarf Southern Magnolia / Magnolia grandiflora 'Little Gem'
	Golden Rey Lacebark Elm / Ulmus parvifolia 'Golden Rey'
SHRUBS	COMMON / BOTANICAL NAME
	Ebbing Silverberry / Elaeagnus x ebbingei
	Texas Sage / Leucophyllum frutescens
	Bridal Wreath Spirea / Spiraea prunifolia 'Bridalwreath'
ORNAMENTAL GRASSES	COMMON / BOTANICAL NAME
	Karl Foerster Feather Reed Grass / Calamagrostis x acutiflora 'Karl Foerster'
	Hamlen Fountain Grass / Pennisetum alopecuroides 'Hamlen'
	Little Bluestem / Schizachyrium scoparium
	Pony Tails Mexican Feather Grass / Stipa tenuissima 'Pony Tails'
GROUND COVERS	COMMON / BOTANICAL NAME
	Bermuda Grass / Cynodon dactylon
	Weeping Lovegrass / Eragrostis curvula
MISCELLANEOUS	COMMON / BOTANICAL NAME
	Decomposed Granite / Native decompsed granite
	Landscape Steel Edging

DISCOVERY ROCKWALL

ROCKWALL, TEXAS

HALFF
 AECOM
 10000 ROCKWALL BOULEVARD
 ROCKWALL, TEXAS 75087-2275
 (214) 346-6200

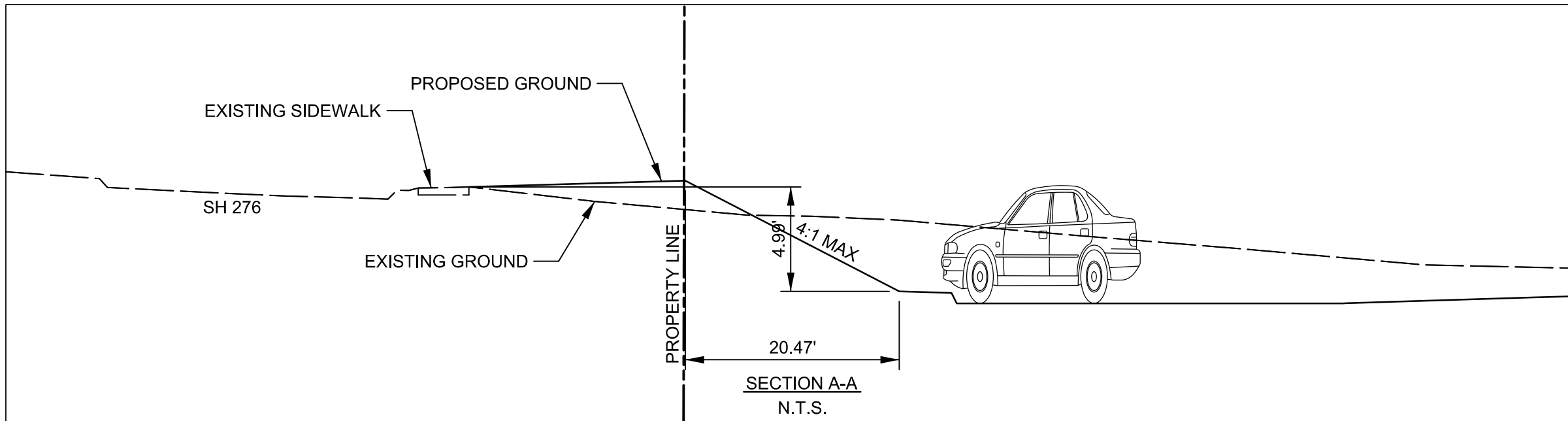
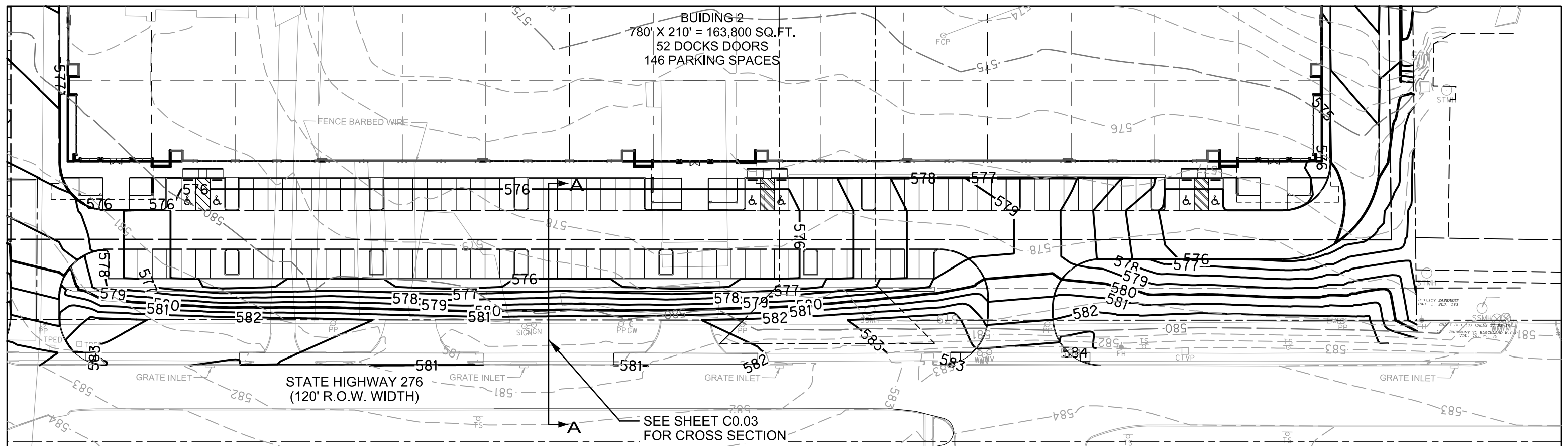
Revision No.	Date	Description

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JAMES R. KINDRED 2255
 NAME R.L.A. NO.
 DATE 06/17/2022

Project No.: 46587
 Issued: APRIL, 2022
 Drawn By: CP
 Checked By: JRK
 Scale: AS SHOWN
 Sheet Title
LANDSCAPE PLAN
L1.00
 Sheet Number



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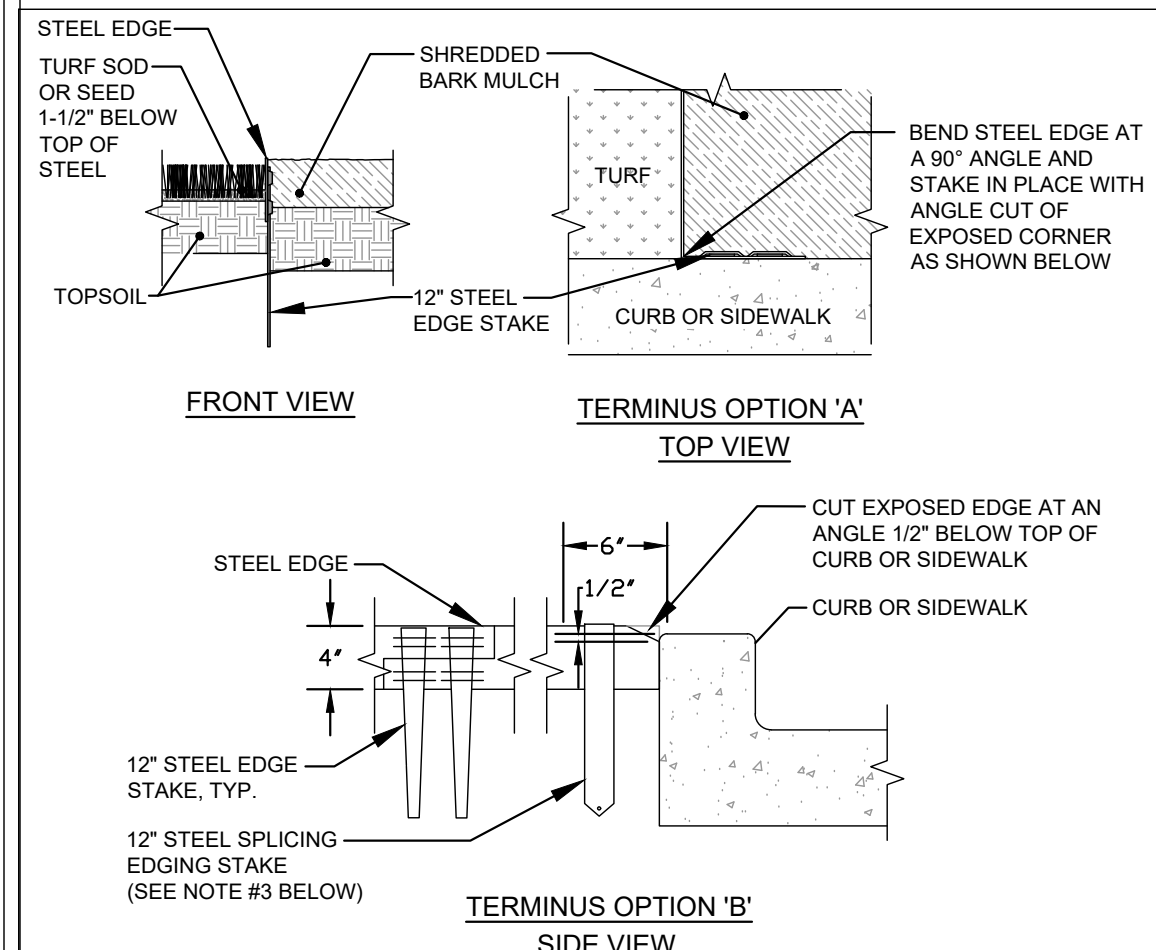
ROBERT E. GOSSETT	107349
NAME	P.E. NO.
DATE	6-17-22
TBPE FIRM # F-312	



DISCOVERY ROCKWALL
1725 TX-276,
ROCKWALL, TEXAS

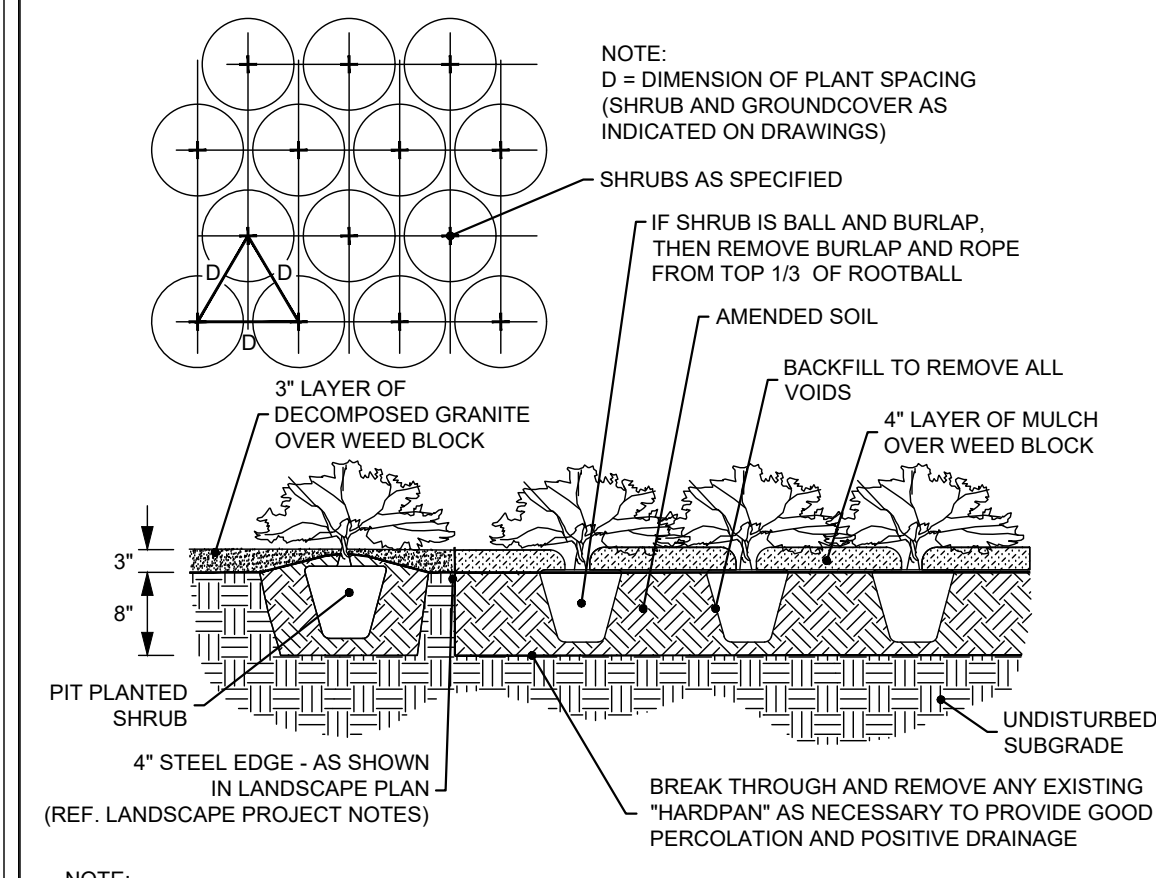


Project No.: 46587
Issued:
**TX 276 SECTION
DETAIL**



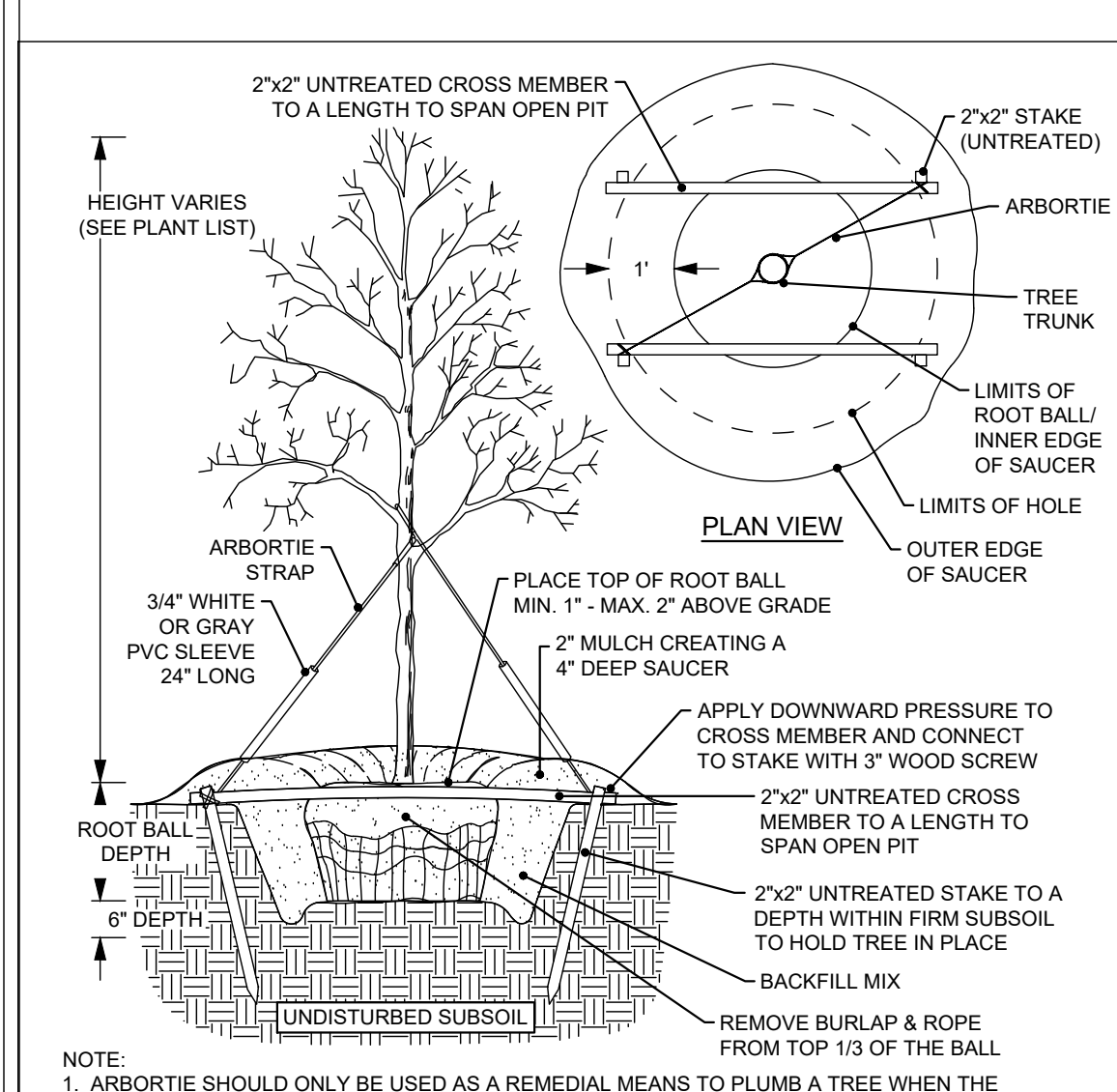
- NOTES:**
- INSTALL STEEL EDGING TO UTILIZE FULL SECTIONS UNLESS CONTROLLED OTHERWISE WITH PLAN SHEET DIMENSIONS.
 - CUT STEEL EDGING AT AN ANGLE TO ACHIEVE A FINISHED STEEL EDGE HEIGHT OF 1/2" BELOW THE TOP OF ADJACENT HARDSCAPE.
 - IF STAKING IS NOT AVAILABLE WITHIN 12" OF THE EDGING TERMINATION, INSTALL A SPLICING EDGING STAKE WITHIN 6" OF THE TERMINATING EDGE AS SHOWN WITH OPTION 'B'.
 - WHERE POSSIBLE, EDGE TERMINATION SHALL BE INSTALLED AS SHOWN IN TERMINUS OPTION 'A'.

STEEL EDGE TERMINATION N.T.S.



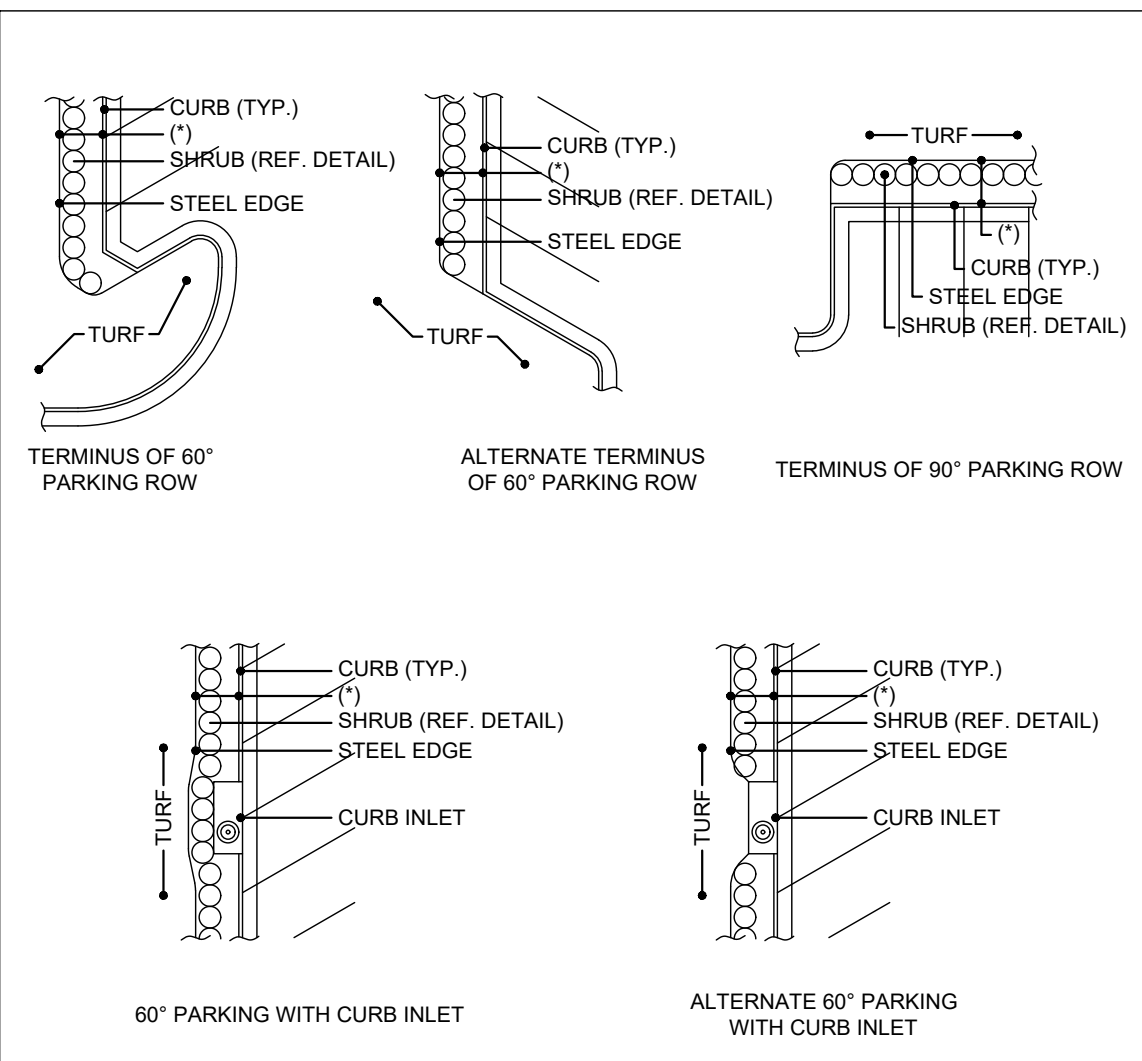
- NOTE:**
- SEE LANDSCAPE NOTES FOR THE TYPE OF WEED BLOCK AND MULCH MATERIAL TO USE.
 - OMIT WEED BLOCK WHEN PLANT SPACING IS 16" O.C. OR LESS.

SHRUB PLANTING AND SPACING N.T.S.



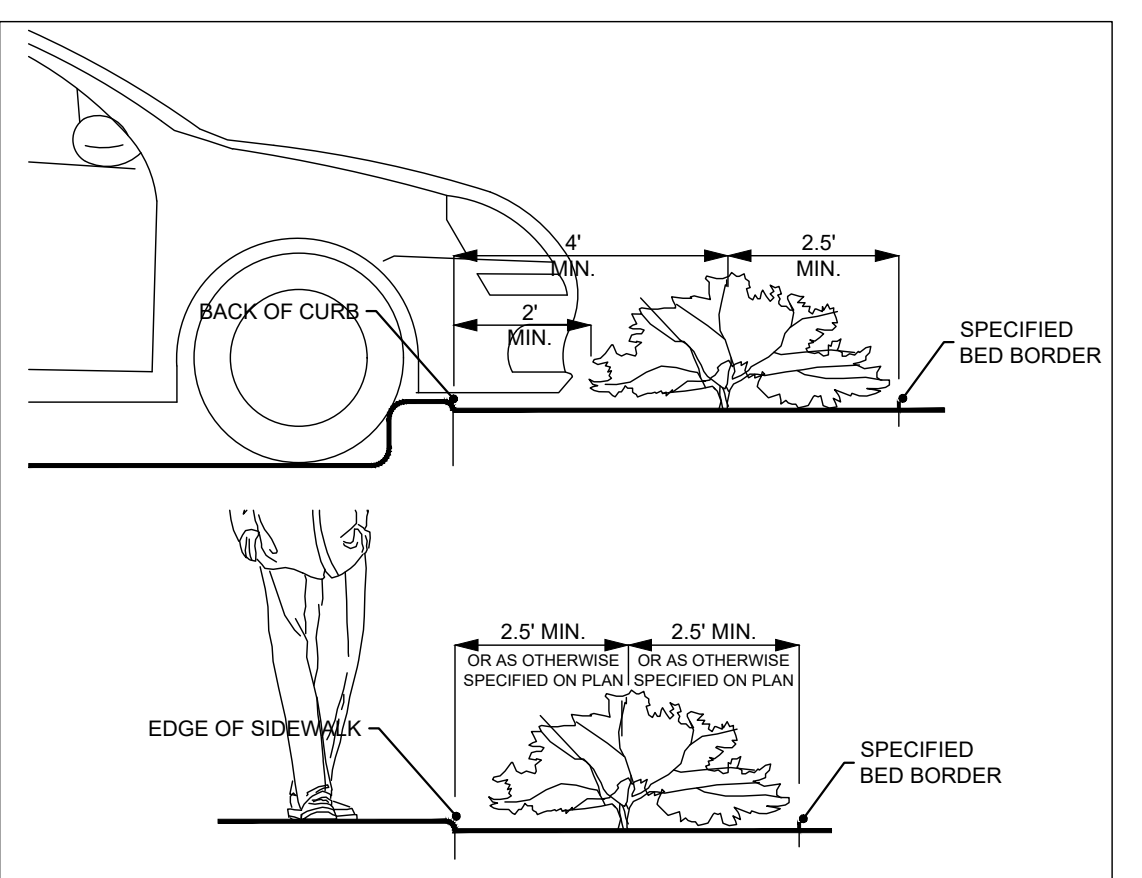
- NOTE:**
- ARBORTIE SHOULD ONLY BE USED AS A REMEDIAL MEANS TO PLUMB A TREE WHEN THE PRIMARY BELOW GRADE STAKING CAN NO LONGER BE ADJUSTED EFFECTIVELY AND CONDITIONS ARE WARRANTED BY THE LANDSCAPE ARCHITECT.
 - SEE LANDSCAPE NOTES FOR THE TYPE OF WEED BLOCK AND MULCH MATERIAL TO USE.

TREE PLANTING N.T.S.



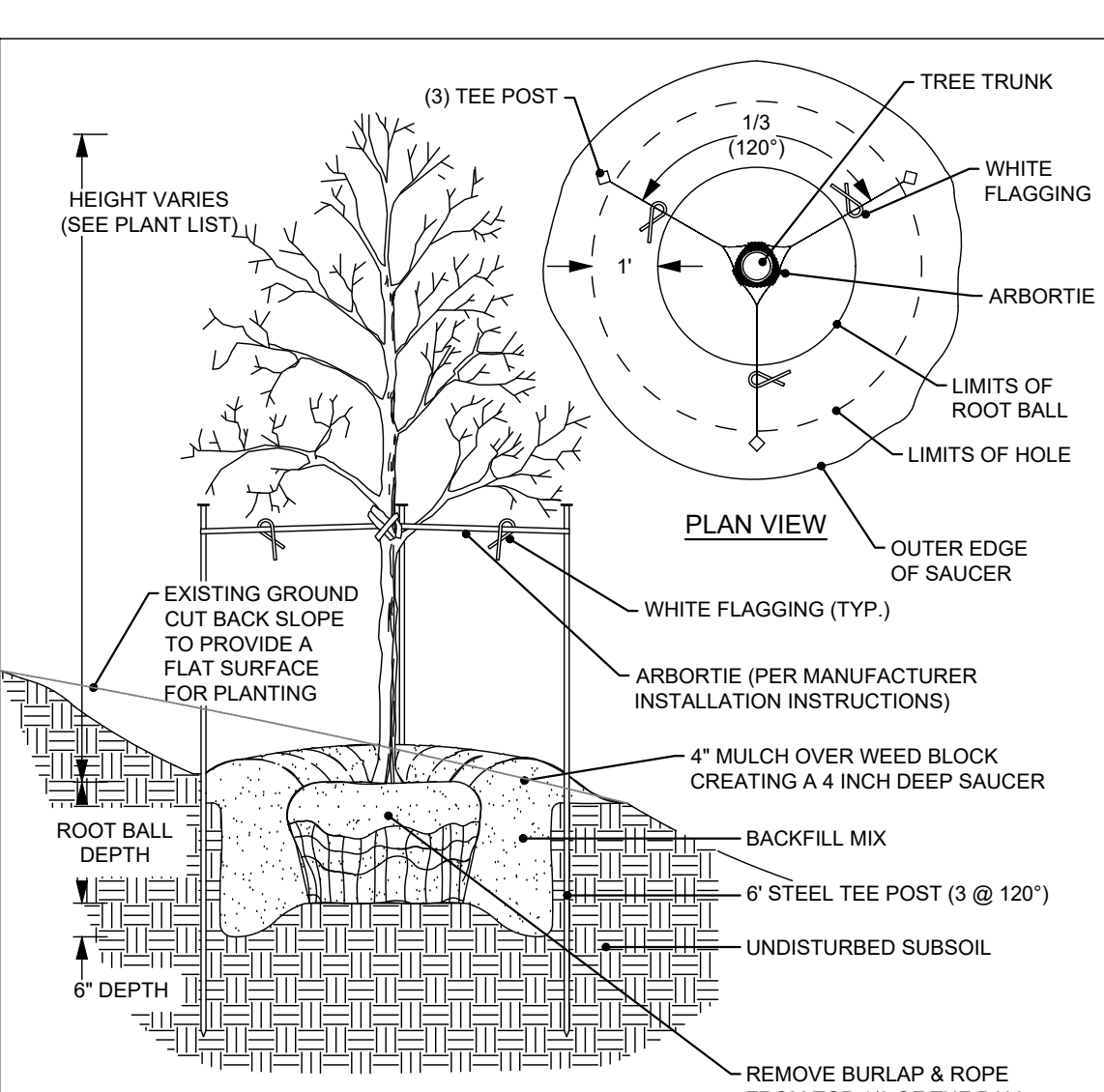
(*) SEE SHRUB PLANTING DETAIL FOR DIMENSIONS. REFERENCE PLANT MATERIAL LIST FOR PLANT TYPES AND LOCATIONS.

GENERAL STEEL EDGE ALIGNMENT EXAMPLES N.T.S.



NOTE: SEE LANDSCAPE NOTES AND SHRUB PLANTING AND SPACING DETAIL FOR INSTALLATION.

SHRUB DISTANCE FROM EDGE OF BED N.T.S.



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF WEED BLOCK AND MULCH MATERIAL TO USE.

TREE PLANTING ON A SLOPE N.T.S.

IRRIGATION NOTES

SUBSECTION 05.04: IRRIGATION REQUIREMENTS

(A) General Irrigation Requirements. The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:

- Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
- Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
- Be maintained and kept operational at all times to provide for efficient water distribution.

(B) Irrigation Methods.

- Landscaped Areas. One (1) of the following irrigation methods shall be used to ensure adequate watering of plant material in landscaped areas:
 - Conventional System. An automatic or manual underground irrigation system that may be a conventional spray or bubbler type heads.
 - Drip or Leaky-Pipe System. An automatic or manual underground irrigation system in conjunction with a watersaving system such as a drip or a leaky pipe system.
 - Temporary and Aboveground Watering. Landscaped areas utilizing xeriscape plants and installation techniques, including areas planted with native grasses and wildflowers, may use a temporary and above ground system, and shall be required to provide irrigation for the first two (2) growing seasons only.
- Natural and Undisturbed Areas. No irrigation shall be required for undisturbed natural areas or undisturbed existing trees.
- Compliance with State Law. All irrigation systems shall comply with the irrigation code of Chapter 10, Buildings and Building Regulations, Article XVI, Irrigation Code, of the City of Rockwall Code of Ordinances, and all applicable state laws, as may be amended.

ORNAMENTAL TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
	30	Cercis canadensis / Eastern Redbud Multi-trunk	B&B/Cont.	3" Cal	8' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	47	Crataegus mollis / Downy Hawthorne	B&B/Cont.	3" Cal	8' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	30	Ilex decidua / Possumhaw	B&B/Cont.	3" Cal	8' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
SHADE TREE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	REMARKS
	23	Acer rubrum 'October Glory' / October Glory Red Maple	B&B/Cont.	4" Cal	12' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	49	Magnolia grandiflora 'Little Gem' / Little Gem Dwarf Southern Magnolia	B&B/Cont.	4" Cal	12' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
	24	Ulmus parvifolia 'Golden Rey' / Golden Rey Lacebark Elm	B&B/Cont.	4" Cal	12' HT Minimum, Full Canopy, Healthy, Good Form, Strong Central Leader.
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	24	Elaeagnus x ebbingei / Ebbing Silverberry	5 gal	4'-8" HT 6'-8" SPD	
	28	Leucophyllum frutescens / Texas Sage	5 gal	4'-8" HT 4'-8" SPD	
	18	Spiraea prunifolia 'Bridalwreath' / Bridal Wreath Spirea	5 gal	4'-8" HT 6'-8" SPD	
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	48	Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	5 gal	2'-6" HT 36" O.C.	
	81	Pennisetum alopecuroides 'Hamelin' / Hamelin Fountain Grass	5 gal	2'-3" 1'-3" Spd	
	77	Schizachyrium scoparium / Little Bluestem	5 gal	3'-4" 12"-18" Spd	
	38	Stipa tenuissima 'Pony Tails' / Pony Tails Mexican Feather Grass	5 gal	1'-2" HT 36" O.C.	
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	201,076 sf	Cynodon dactylon / Bermuda Grass	Sod		
	9,793 sf	Eragrostis curvula / Weeping Lovegrass	3 gal		
MISCELLANEOUS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	REMARKS
	1,517 sf	-Native decompsed granite / Decomposed Granite	flat		
	2,362 LF	Landscape Steel Edging			

LANDSCAPE PROJECT NOTES

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tiled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, to the outside of utility easements with a clear ten feet (10') around fire hydrants and twenty feet (20') min. from all irrigation control zone meter boxes. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 1/4" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees and within all beds with plants spaced 16" o.c. or greater. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of decomposed granite shall be over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier of locally available material, installed to a compacted depth of three inches (3") to be flush with the top of curb, paved surface, and/or the top of steel edge.

TURF PROJECT NOTES

EROSION CONTROL:
Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the erosion in place at specified grades. **Topsoil and turfgrass losses due to erosion or any construction disturbance will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.**

SOIL PREPARATION:
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tillage and cleaning, all areas to receive turf shall be leveled, fine graded, and drug with a weighted spike harrow or float drag. The top two (2") inches shall be pulverized to provide a uniform bed for seeding or sod as described below.

GRASS SOD:
At a minimum, three feet (3') of solid sod shall be installed along all impervious edges. This includes, but is not limited to: curbing, sidewalks, building foundation, storm water inlets, manholes, and planting bed perimeter treatments. Additional areas of sod installation will be as indicated on the design plans. **All areas from back of curb within the roadway ROWs and 10' Landscape Buffer shall be sod.** Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a grown-in appearance.

SPRING AND SUMMER PERMANENT GRASSING (May 15 through September 15):
Hydromulch seed with hulled Common Bermuda at a rate of 4 lbs/1000 sf. Seeding shall be accomplished immediately after bed preparation. Hydromulch mixture shall contain cellulose mulch applied at a rate of 2000 lbs/acre, with a maximum of 50 lbs/100 gallons of water. If seeding is delayed after mixing 0.5 - 2 hours, add 50% seed mix. If delay is longer than 2 hours, begin with new mixture.

FALL AND WINTER TEMPORARY GRASSING (September 15 through May 15):
Seed with annual rye at a rate of 10 lbs/1000 sf. After May 15, Contractor shall remove rye to effectively establish permanent seeding.

IRRIGATION:
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod/seed temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

MAINTENANCE REQUIREMENTS:
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

ESTABLISHMENT AND ACCEPTANCE:
All disturbed areas being seeded shall receive topsoil as specified and be adequately established with turf such that any absence of water will not kill the turf, but promote a state of turf dormancy, until the next rainfall event.

Regardless of unreasonable climatic conditions or other adverse conditions affecting planting operations and the growth of the turf grass, it shall be the sole responsibility of the Contractor to establish a uniform stand of grass. UNIFORM STAND OF GRASS is defined as minimum 80% coverage per square foot (no bare areas).

Contractor to make a written request for inspection to Owner or Owner's representative a minimum of 5 days prior to the anticipated inspection date.

DISCOVERY ROCKWALL

ROCKWALL, TEXAS

HALFF
A DIVISION OF
ROCKWALL, TEXAS
(214) 346-6000

Revision No.	Date	Description

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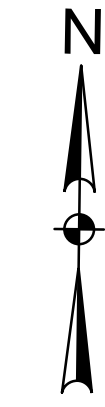
JAMES R. KINDRED 2255 R.L.A. NO.
NAME: APRIL, 2022
DATE: 06/17/2022

Project No.: 46587
Issued: APRIL, 2022
Drawn By: CP
Checked By: JRK
Scale: AS SHOWN
Sheet Title: LANDSCAPE NOTES AND DETAILS

L1.01

Sheet Number

DISCOVERY BLVD.



STANDARD PRESERVATION NOTES FOR TREE AND NATURAL AREA PROTECTION

- All trees and natural areas shown on plan to be preserved shall be protected during construction with temporary fencing and other measures as needed which may include retaining walls, pruning of limbs, roots, etc.
- Protective fences shall be erected according to City Standards for Tree Protection.
- Protective fences shall be installed prior to the start of any site preparation work (clearing, grubbing or grading), and shall be maintained throughout all phases of the construction project.
- Erosion and sedimentation control barriers shall be installed or maintained in a manner which does not result in soil build-up within tree drip lines.
- Protective fences shall surround the trees or group of trees, and will be located no closer than the outermost limit of branches (drip line) plus an additional 2'-0" away from the limits of dripline. For natural areas, protective fences shall follow the Limit of Construction line, in order to prevent the following:
 - Soil compaction in the root zone area resulting from vehicular traffic or storage of equipment or materials;
 - Root zone disturbances due to grade changes (greater than 6 inches cut or fill), or trenching not reviewed and authorized by the City Parks Department;
 - Wounds to exposed roots, trunk or limbs by mechanical equipment;
 - Other activities detrimental to trees such as chemical storage, cement truck tracking, and fires.
- Exceptions to installing fences at tree drip lines may be permitted in the following cases:
 - Where there is to be an approved grade change, impermeable paving surface, tree well, or other such site development, erect the fence approximately 2 to 4 feet beyond the area disturbed;
 - Where permeable paving is to be installed within a tree's drip line, erect the fence at the outer limits of the permeable paving area (prior to site grading so that this area is graded separately by hand prior to paving installation to minimize root damage);
 - Where trees are close to proposed buildings, erect the fence to allow root pruning in the work space between the fence and the building, prior to disturbance. The fence can be erected at the point of root pruning;
 - Where there are severe space constraints due to tract size, or other special requirements, contact an Arborist to discuss alternatives.

Special Note: Exceptions are permitted for areas outside the critical root zone. No disturbances are permitted within the critical root zone (75% of the dripline area). For the protection of natural areas, no exceptions to installing fences at the Limit of Construction line will be permitted, and no silting of stock piling of material or dirt is allowed around trees.

- Where any of the above exceptions result in a fence being closer than 4 feet to a tree trunk, protect the trunk with strapped-on planking to a height of 8 ft. in addition to the reduced fencing provided.
- Trees approved for removal shall be removed in a manner which does not impact trees to be preserved.
- Any roots exposed by construction activity shall be pruned flush with the soil. Backfill root areas with good quality top soil as soon as possible. If exposed root areas are not backfilled within 2 days, cover them with organic material in a manner which reduces soil temperature and minimizes water loss due to evaporation.
- Trenching required for the installation of irrigation shall be placed as far from existing tree trunks as possible.
- No landscape topsoil dressing greater than 2 inches shall be permitted within the drip line of trees. No soil or mulch is permitted on the root flare of any tree.
- Limbing & pruning to provide clearance for structures, traffic and equipment shall take place before damage occurs.
- All finished pruning shall be done according to recognized, approved standards of the industry (Reference the National Arborist Association Pruning Standards for Shade Trees).

DISCOVERY ROCKWALL
1725 TX-276,
ROCKWALL, TEXAS



Revision No.	Date	Description

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NAME P.E. NO.
DATE 6/17/2022
TBPE FIRM # F-312

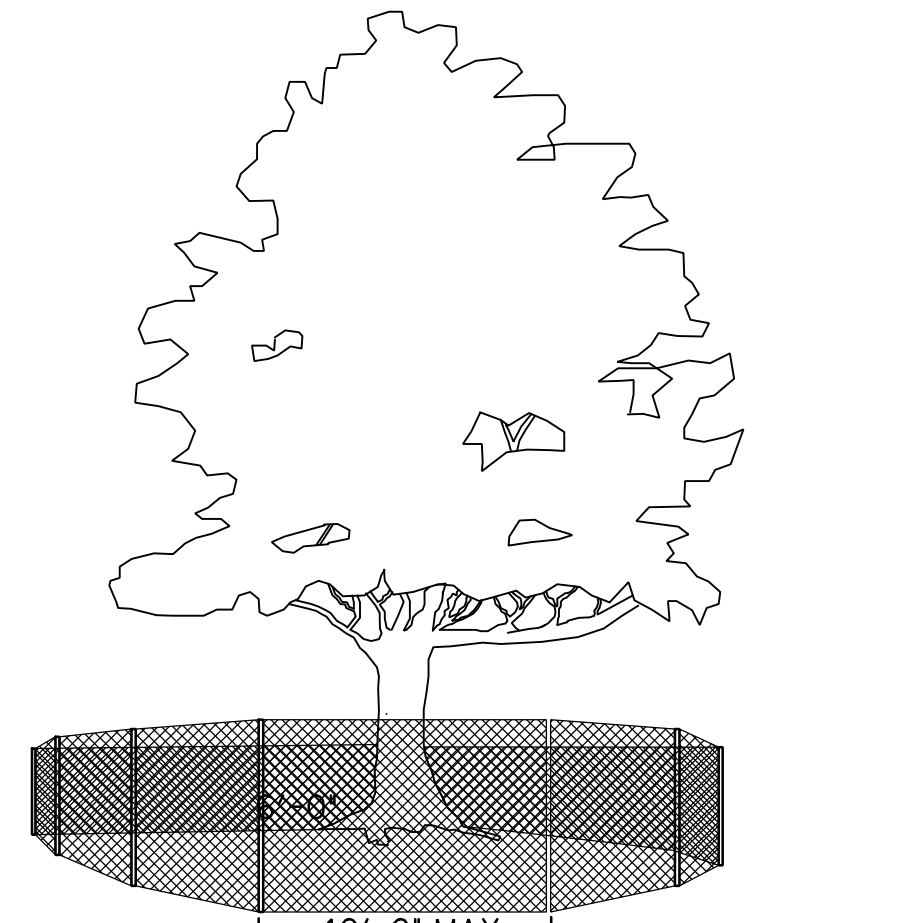
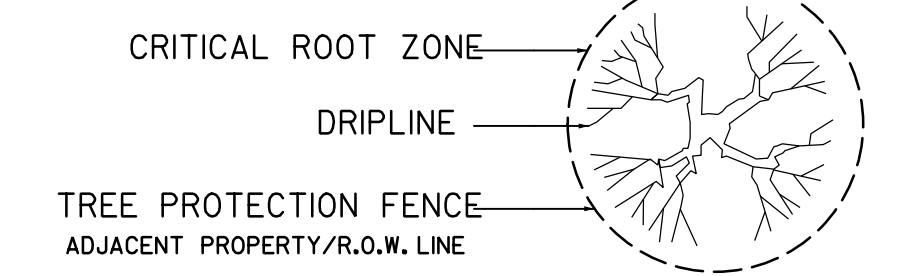
Project No.:	46587
Issued:	APRIL, 2022
Drawn By:	CAD
Checked By:	REG
Scale:	AS SHOWN
Sheet Title	TREESCAPE PLAN
Sheet Number	C0.05

LOT 1, BLOCK 1
GROSS AREA
18.480 ACRES
(804,976 SQ. FT.)
PERIMETER= 3,434 FT

BUILDING 1
676' X 180' = 121,680 SQ. FT.
34 DOCK DOORS
196 PARKING SPACES

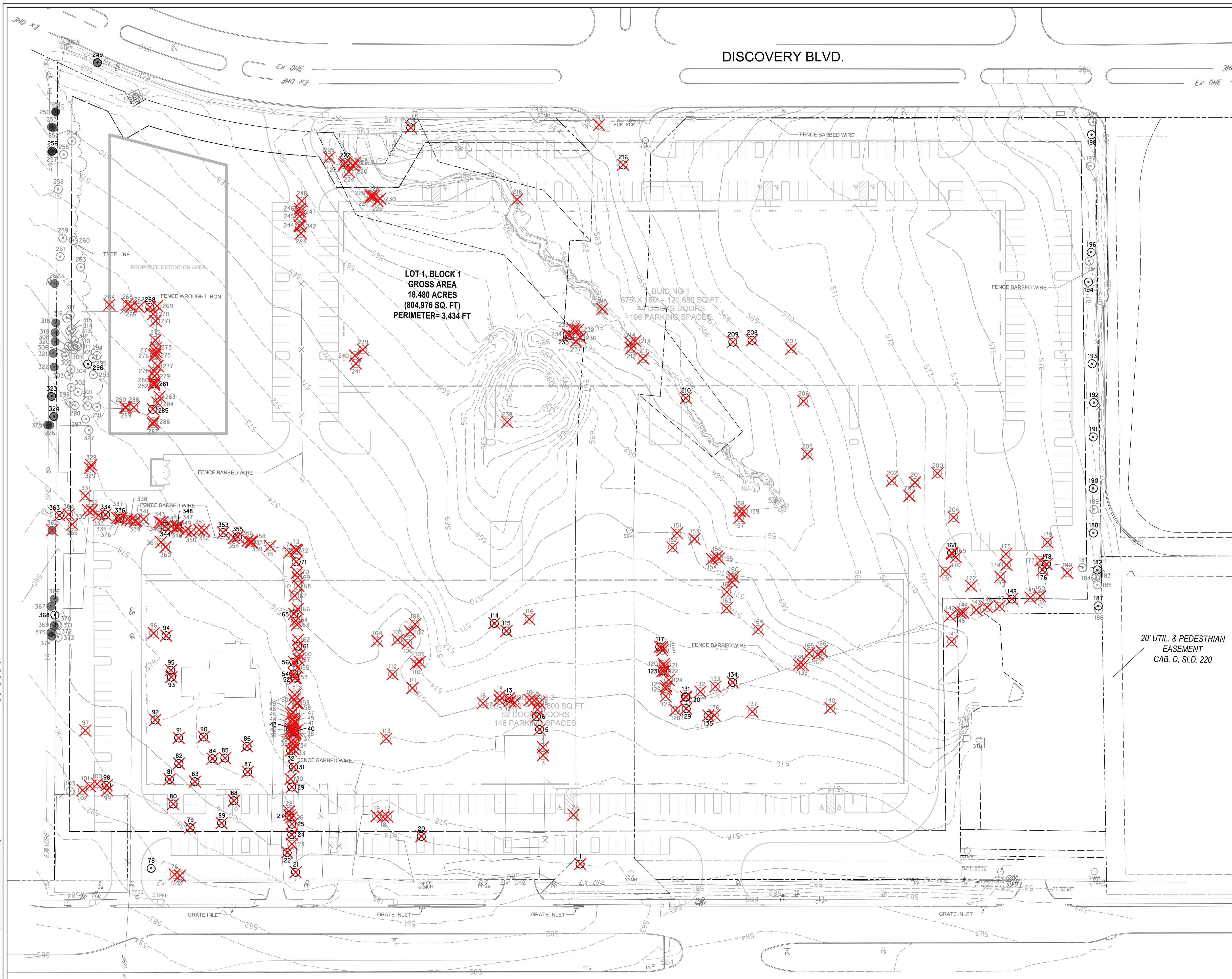
BUILDING 2
300 SQ. FT.
52 DOCK DOORS
146 PARKING SPACES

20' UTIL. & PEDESTRIAN EASEMENT
CAB. D, SLD. 220



NOTE:
FULL SITE TREESCAPE PLAN WILL BE PROVIDED WITH THE NEXT SUBMITTAL.

- EXISTING TREES**
- PROTECTED TREE
 - NON-PROTECTED TREE
 - TREES OFF PROPERTY
 - EXISTING TREE TO BE REMOVED



STATE HIGHWAY 276

TREE INVENTORY / MITIGATION						
Tag ID	Common Name	Scientific Name	DBH (in)	Trunks	Condition	Status
1	Eastern red cedar	<i>Juniperus virginiana</i>	11.5		Good	Secondary Protected
2	Black willow	<i>Salix nigra</i>	10	7X	Good	Non-protected
3	Sugar hackberry	<i>Celtis laevigata</i>	7	2X	Poor	Non-protected
4	Sugar hackberry	<i>Celtis laevigata</i>	4	3X	Good	Non-protected
5	Red mulberry	<i>Morus rubra</i>	6	7X	Poor	Primary Protected
6	Sugar hackberry	<i>Celtis laevigata</i>	11.5	2X	Good	Secondary Protected
7	Sugar hackberry	<i>Celtis laevigata</i>	5		Good	Non-protected
8	Sugar hackberry	<i>Celtis laevigata</i>	8.5		Good	Non-protected
9	Sugar hackberry	<i>Celtis laevigata</i>	5.5		Good	Non-protected
10	Sugar hackberry	<i>Celtis laevigata</i>	6.5		Good	Non-protected
11	Sugar hackberry	<i>Celtis laevigata</i>	6.5		Good	Non-protected
12	Eastern red cedar	<i>Juniperus virginiana</i>	9		Good	Non-protected
13	Eastern red cedar	<i>Juniperus virginiana</i>	13.5	3X	Poor	Secondary Protected
14	Sugar hackberry	<i>Celtis laevigata</i>	5.5	2X	Good	Non-protected
15	Sugar hackberry	<i>Celtis laevigata</i>	7		Good	Non-protected
16	Sugar hackberry	<i>Celtis laevigata</i>	10	3X	Good	Non-protected
17	Eastern cottonwood	<i>Populus deltoides</i>	22.5		Good	Non-protected
18	Eastern cottonwood	<i>Populus deltoides</i>	17		Good	Non-protected
19	Eastern cottonwood	<i>Populus deltoides</i>	15		Good	Non-protected
20	Red mulberry	<i>Morus rubra</i>	30	2X	Good	Feature Protection
21	Sugar hackberry	<i>Celtis laevigata</i>	18.5	3X	Good	Secondary Protected
22	Eastern redbud	<i>Cercis canadensis</i>	6.5	2X	Poor	Primary Protected
23	Sugar hackberry	<i>Celtis laevigata</i>	6.5		Good	Non-protected
24	Sugar hackberry	<i>Celtis laevigata</i>	16.5	2X	Good	Secondary Protected
25	Sugar hackberry	<i>Celtis laevigata</i>	11		Good	Secondary Protected
26	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
27	Sugar hackberry	<i>Celtis laevigata</i>	22	3X	Good	Secondary Protected
28	Sugar hackberry	<i>Celtis laevigata</i>	10.5	2X	Good	Non-protected
29	Arizona ash	<i>Fraxinus velutina</i>	22	4X	Good	Primary Protected
30	Sugar hackberry	<i>Celtis laevigata</i>	4		Good	Non-protected
31	Eastern red cedar	<i>Juniperus virginiana</i>	13.5	2X	Good	Secondary Protected
32	Sugar hackberry	<i>Celtis laevigata</i>	13.5	3X	Good	Secondary Protected
33	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
34	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
35	Sugar hackberry	<i>Celtis laevigata</i>	4	2X	Good	Non-protected
36	Sugar hackberry	<i>Celtis laevigata</i>	5		Good	Non-protected
37	Eastern red cedar	<i>Juniperus virginiana</i>	7		Good	Non-protected
38	Sugar hackberry	<i>Celtis laevigata</i>	8.5		Good	Non-protected
39	Eastern red cedar	<i>Juniperus virginiana</i>	8.5		Good	Non-protected
40	Hercules club	<i>Zanthoxylum clava-herculis</i>	7		Good	Primary Protected
41	Sugar hackberry	<i>Celtis laevigata</i>	7.5		Good	Non-protected
42	Eastern red cedar	<i>Juniperus virginiana</i>	4.5		Good	Non-protected
43	Hercules club	<i>Zanthoxylum clava-herculis</i>	4		Poor	Primary Protected
44	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
45	Sugar hackberry	<i>Celtis laevigata</i>	7.5		Good	Non-protected
46	Sugar hackberry	<i>Celtis laevigata</i>	8		Good	Non-protected
47	Sugar hackberry	<i>Celtis laevigata</i>	5.5		Good	Non-protected
48	Sugar hackberry	<i>Celtis laevigata</i>	7	2X	Good	Non-protected
49	Sugar hackberry	<i>Celtis laevigata</i>	8.5		Good	Non-protected
50	Sugar hackberry	<i>Celtis laevigata</i>	8.5		Good	Non-protected
51	Sugar hackberry	<i>Celtis laevigata</i>	4		Good	Non-protected
52	Sugar hackberry	<i>Celtis laevigata</i>	12		Good	Secondary Protected
53	Sugar hackberry	<i>Celtis laevigata</i>	4		Good	Non-protected
54	Sugar hackberry	<i>Celtis laevigata</i>	19	3X	Good	Secondary Protected
55	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
56	Sugar hackberry	<i>Celtis laevigata</i>	16.5	2X	Good	Secondary Protected
57	Sugar hackberry	<i>Celtis laevigata</i>	5.5		Good	Non-protected
58	Sugar hackberry	<i>Celtis laevigata</i>	6.5		Good	Non-protected
59	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
60	Sugar hackberry	<i>Celtis laevigata</i>	8.5	3X	Good	Non-protected
61	Sugar hackberry	<i>Celtis laevigata</i>	23	2X	Good	Secondary Protected
62	Sugar hackberry	<i>Celtis laevigata</i>	5		Good	Non-protected
63	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
64	Sugar hackberry	<i>Celtis laevigata</i>	8.5	3X	Good	Non-protected
65	Western soapberry	<i>Sapindus saponaria</i>	7	2X	Good	Primary Protected
66	Sugar hackberry	<i>Celtis laevigata</i>	7		Good	Non-protected
67	Sugar hackberry	<i>Celtis laevigata</i>	9	3X	Good	Non-protected
68	Sugar hackberry	<i>Celtis laevigata</i>	7.5		Good	Non-protected
69	Sugar hackberry	<i>Celtis laevigata</i>	9.5	2X	Good	Non-protected
70	Sugar hackberry	<i>Celtis laevigata</i>	9		Good	Non-protected
71	Sugar hackberry	<i>Celtis laevigata</i>	11.5	3X	Good	Secondary Protected
72	Sugar hackberry	<i>Celtis laevigata</i>	6	3X	Good	Non-protected
73	Sugar hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-protected
74	Sugar hackberry	<i>Celtis laevigata</i>	7.5	2X	Good	Non-protected
75	Sugar hackberry	<i>Celtis laevigata</i>	7.5	3X	Good	Non-protected
76	Eastern cottonwood	<i>Populus deltoides</i>	22.5		Poor	Non-protected
77	Sugar hackberry	<i>Celtis laevigata</i>	6.5	4X	Good	Non-protected
78	Eastern redbud	<i>Cercis canadensis</i>	10	10X+	Good	Primary Protected
79	Pecan	<i>Carya illinoensis</i>	12	2X	Poor	Primary Protected
80	Red mulberry	<i>Morus rubra</i>	22.5		Good	Primary Protected
81	Red mulberry	<i>Morus rubra</i>	19.5		Poor	Primary Protected
82	Red mulberry	<i>Morus rubra</i>	18.5		Poor	Primary Protected
83	Eastern red cedar	<i>Juniperus virginiana</i>	21.5		Good	Secondary Protected
84	Red mulberry	<i>Morus rubra</i>	34		Poor	Feature Protection
85	Arizona ash	<i>Fraxinus velutina</i>	14		Good	Primary Protected
86	Pecan	<i>Carya illinoensis</i>	15.5		Good	Primary Protected
87	Red mulberry	<i>Morus rubra</i>	23		Poor	Primary Protected
88	Red mulberry	<i>Morus rubra</i>	25		Poor	Primary Protected
89	Pecan	<i>Carya illinoensis</i>	10.5		Good	Primary Protected
90	Pecan	<i>Carya illinoensis</i>	14.9		Good	Primary Protected
91	Pecan	<i>Carya illinoensis</i>	19		Good	Primary Protected
92	Bradford pear	<i>Pyrus calleryana</i>	19.5	5X	Good	Primary Protected
93	Sugar hackberry	<i>Celtis laevigata</i>	25.5	3X	Good	Feature Protection
95	Sugar hackberry	<i>Celtis laevigata</i>	24.5		Good	Secondary Protected
94	Pecan	<i>Carya illinoensis</i>	13	4X	Good	Primary Protected
96	Sugar hackberry	<i>Celtis laevigata</i>	10.5	3X	Good	Non-protected
97	Bols d'arc	<i>Maclura pomifera</i>	37	2X	Good	Non-protected
98	Sugar hackberry	<i>Celtis laevigata</i>	22.5		Good	Secondary Protected
99	Sugar hackberry	<i>Celtis laevigata</i>	6.5		Good	Non-protected
100	Bols d'arc	<i>Maclura pomifera</i>	10	2X	Good	Non-protected

TREE INVENTORY / MITIGATION						
Tag ID	Common Name	Scientific Name	DBH (in)	Trunks	Condition	Status
101	Sugar hackberry	<i>Celtis laevigata</i>	9.5	2X	Good	Non-protected
102	Sugar hackberry	<i>Celtis laevigata</i>	4	2X	Good	Non-protected
103	Sugar hackberry	<i>Celtis laevigata</i>	4		Good	Non-protected
104	Eastern cottonwood	<i>Populus deltoides</i>	5	2X	Good	Non-protected
105	Eastern cottonwood	<i>Populus deltoides</i>	4	3X	Good	Non-protected
106	Eastern cottonwood	<i>Populus deltoides</i>	4	2X	Good	Non-protected
107	Eastern cottonwood	<i>Populus deltoides</i>	6	2X	Good	Non-protected
108	Eastern cottonwood	<i>Populus deltoides</i>	4		Good	Non-protected
109	Eastern cottonwood	<i>Populus deltoides</i>	4.5	3X	Good	Non-protected
110	Eastern cottonwood	<i>Populus deltoides</i>	5	4X	Good	Non-protected
111	Eastern cottonwood	<i>Populus deltoides</i>	4		Good	Non-protected
112	Eastern cottonwood	<i>Populus deltoides</i>	4	2X	Good	Non-protected
113	Eastern cottonwood	<i>Populus deltoides</i>	4		Good	Non-protected
114	Red mulberry	<i>Morus rubra</i>	4		Good	Primary Protected
115	Red mulberry	<i>Morus rubra</i>	7.5		Good	Primary Protected
116	Bols d'arc	<i>Maclura pomifera</i>	20	2X	Good	Non-protected
117	Sugar hackberry	<i>Celtis laevigata</i>	11		Good	Secondary Protected
118	Honey locust	<i>Gleditsia triacanthos</i>	7		Good	Non-protected
119	Honey locust	<i>Gleditsia triacanthos</i>	5.5		Good	Non-protected
120	Sugar hackberry	<i>Celtis laevigata</i>	5.5	3X	Good	Non-protected
121	Sugar hackberry	<i>Celtis laevigata</i>	5.5	2X	Good	Non-protected
122	Sugar hackberry	<i>Celtis laevigata</i>	5	2X	Good	Non-protected
123	Western soapberry	<i>Sapindus saponaria</i>	4.5	2X	Good	Primary Protected
124	Sugar hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-protected
125	Sugar hackberry	<i>Celtis laevigata</i>	5	2X	Good	Non-protected
126	Sugar hackberry	<i>Celtis laevigata</i>	5	2X	Good	Non-protected
127	Sugar hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-protected
128	Sugar hackberry	<i>Celtis laevigata</i>	6.5	4X	Good	Non-protected
129	Eastern red cedar	<i>Juniperus virginiana</i>	16		Good	Secondary Protected
130	Eastern red cedar	<i>Juniperus virginiana</i>	14		Good	Secondary Protected
131	Eastern red cedar	<i>Juniperus virginiana</i>	13		Good	Secondary Protected
132	Sugar hackberry	<i>Celtis laevigata</i>	6.5	2X	Good	Non-protected
133	Sugar hackberry	<i>Celtis laevigata</i>	8		Good	Non-protected
134	Eastern red cedar	<i>Juniperus virginiana</i>	16	3X	Good	Secondary Protected
135	Sugar hackberry	<i>Celtis laevigata</i>	16.5	6X	Poor	Secondary Protected
136	Sugar hackberry	<i>Celtis laevigata</i>	7	2X	Good	Non-protected
137	Eastern red cedar	<i>Juniperus virginiana</i>	9	2X	Good	Non-protected
138	Sugar hackberry	<i>Celtis laevigata</i>	7	3X	Good	Non-protected
139	Honey locust	<i>Gleditsia triacanthos</i>	7		Good	Non-protected
140	Sugar hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-protected
141	Black willow	<i>Salix nigra</i>	16.5	2X	Good	Non-protected
142	Sugar hackberry	<i>Celtis laevigata</i>	5	2X	Good	Non-protected
143	Sugar hackberry	<i>Celtis laevigata</i>	4		Good	Non-protected
144	Sugar hackberry	<i>Celtis laevigata</i>	5.5		Good	Non-protected
145	Sugar hackberry	<i>Celtis laevigata</i>	6		Good	Non-protected
146	Sugar hackberry	<i>Celtis laevigata</i>	5.5		Good	Non-protected
147	Sugar hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-protected
148	Sugar hackberry	<i>Celtis laevigata</i>	24.5		Good	Secondary Protected
149	Sugar hackberry	<i>Celtis laevigata</i>	9		Good	Non-protected
150	Sugar hackberry	<i>Celtis laevigata</i>	22.5	4X	Good	Non-protected
151	Sugar Hackberry	<i>Celtis laevigata</i>	8.5	2X	Good	Non-Protected
152	Sugar Hackberry	<i>Celtis laevigata</i>	6	2X	Good	Non-Protected
153	Sugar Hackberry	<i>Celtis laevigata</i>	4		Good	Non-Protected
154	Osage Orange	<i>Maclura pomifera</i>	5.5	2X	Good	Non-Protected
155	Sugar Hackberry	<i>Celtis laevigata</i>	6	3X	Good	Non-Protected
156	Osage Orange	<i>Maclura pomifera</i>	8		Good	Non-Protected
157	Black Willow	<i>Salix nigra</i>	15	4X	Good	Non-Protected
158	Black Willow	<i>Salix nigra</i>	18	6X	Good	Non-Protected
159	Black Willow	<i>Salix nigra</i>	5	2X	Good	Non-Protected
160	Sugar Hackberry	<i>Celtis laevigata</i>	8	2X	Good	Non-Protected
161	Sugar Hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-Protected
162	Sugar Hackberry	<i>Celtis laevigata</i>	7.5	2X	Good	Non-Protected
163	Sugar Hackberry	<i>Celtis laevigata</i>	10	2X	Good	Non-Protected
164	Sugar Hackberry	<i>Celtis laevigata</i>	5		Good	Non-Protected
165	Honey Locust	<i>Gleditsia triacanthos</i>	5		Good	Non-Protected
166	Sugar Hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-Protected
167	Honey Locust	<i>Gleditsia triacanthos</i>	6		Good	Non-Protected
168	Sugar Hackberry	<i>Celtis laevigata</i>	17.5		Good	Secondary Protected
169	Osage Orange	<i>Maclura pomifera</i>	15	10X+	Poor	Non-Protected
170	Eastern Red Cedar	<i>Juniperus virginiana</i>	7.5		Good	Non-Protected
171	Sugar Hackberry	<i>Celtis laevigata</i>	5	2X	Good	Non-Protected
172	Sugar Hackberry	<i>Celtis laevigata</i>	7	10X+	Good	Non-Protected
173	Sugar Hackberry	<i>Celtis laevigata</i>	4.5	2X	Good	Non-Protected
174	Sugar Hackberry	<i>Celtis laevigata</i>	6		Good	Non-Protected
175	Sugar Hackberry	<i>Celtis laevigata</i>	8.5	3X	Good	Non-Protected
176	Sugar Hackberry	<i>Celtis laevigata</i>	13		Good	Secondary Protected
177	Honey Locust	<i>Gleditsia triacanthos</i>	9.5		Good	Non-Protected
178	Sugar Hackberry	<i>Celtis laevigata</i>	13.5		Poor	Secondary Protected
179	Osage Orange	<i>Maclura pomifera</i>	9.5	2X	Good	Non-Protected
180	Honey Locust	<i>Gleditsia triacanthos</i>	7.5		Good	Non-Protected
181	Sugar Hackberry	<i>Celtis laevigata</i>	5.5	2X	Good	Non-Protected
182	Sugar Hackberry	<i>Celtis laevigata</i>	13	2X	Good	Secondary Protected
183	Sugar Hackberry	<i>Celtis laevigata</i>	5.5		Good	Non-Protected
184	Eastern Red Cedar	<i>Juniperus virginiana</i>	10	3X	Good	Non-Protected
185	Eastern Red Cedar	<i>Juniperus virginiana</i>	9.5		Good	Non-Protected
186	Osage Orange	<i>Maclura pomifera</i>	8.5		Good	Non-Protected
187	Eastern Red Cedar	<i>Juniperus virginiana</i>	15.5	2X	Good	Secondary Protected
188	Hercules Club	<i>Zanthoxylum clava-herculis</i>	10	4X	Good	Primary Protected
189	Sugar Hackberry	<i>Celtis laevigata</i>	4.5		Good	Non-Protected
190	Red Mulberry	<i>Morus rubra</i>	8.5	3X	Good	Primary Protected
191	Red Mulberry	<i>Morus rubra</i>	9.5	6X	Good	Primary Protected
192	Hercules Club	<i>Zanthoxylum clava-herculis</i>	8.5	4X	Good	Primary Protected
193	Hercules Club	<i>Zanthoxylum clava-herculis</i>	8.5		Good	Primary Protected
194	Hercules Club	<i>Zanthoxylum clava-herculis</i>	9.5	2X	Good	Primary Protected
195	Sugar Hackberry	<i>Celtis laevigata</i>	5.5		Good	Non-Protected
196	Hercules Club	<i>Zanthoxylum clava-herculis</i>	9.5	4X	Good	Primary Protected
197	Sugar Hackberry	<i>Celtis laevigata</i>	5.5	6X	Good	Non-Protected

Parameter Table

Model	ADK-75W0T	ADK-115W0T	ADK-145W0T	ADK-180W0T	ADK-200W0T	ADK-210W0T	ADK-300W0T	ADK-420W0T	
Power(W)	75 W	115 W	145 W	180 W	200 W	210 W	300 W	420 W	
Input voltage	100-277VAC, 50/60Hz, 347/480VAC optional								
THD	7.50%	7.00%	6.50%	3.20%	2.80%	2.70%	3.30%	2.70%	
PF	0.98	0.98	0.99	0.98	0.99	0.99	0.99	0.99	
Operating temperature	-40°C to 50°C (-40 °F to 122 °F)								
Control Option	DALI, 1-10V/ PWM / timer dimming, Home, Z-wave, Presence detection sensor, Dim-to-Off with standby power <=0.5W, DIP switch.								
Driver	Meanwell / Inventronics/Noxon								
Surge Protection	10kV / 20kV optional								
Photometric Data									
ΦBeam(m/W) (LUMILEDS Std. Dev. 3%)	T901	244 lm/W	283 lm/W	333 lm/W	342 lm/W	340 lm/W	228 lm/W	228 lm/W	
	T902	166 lm/W	155 lm/W	152 lm/W	161 lm/W	161 lm/W	160 lm/W	153 lm/W	
	T901	140 lm/W	135 lm/W	127 lm/W	141 lm/W	140 lm/W	135 lm/W	131 lm/W	
	T902	147 lm/W	148 lm/W	141 lm/W	170 lm/W	163 lm/W	160 lm/W	149 lm/W	
	T901	146 lm/W	130 lm/W	129 lm/W	143 lm/W	140 lm/W	139 lm/W	130 lm/W	
	T902	169 lm/W	140 lm/W	133 lm/W	119 lm/W	148 lm/W	137 lm/W	125 lm/W	
ΦBeam(m/W) (SOLA Std. Dev. 13%)	T901	171 lm/W	170 lm/W	165 lm/W	173 lm/W	173 lm/W	170 lm/W	158 lm/W	
	T902	170 lm/W	169 lm/W	165 lm/W	176 lm/W	175 lm/W	170 lm/W	150 lm/W	
	T902	176 lm/W	172 lm/W	169 lm/W	179 lm/W	178 lm/W	173 lm/W	160 lm/W	
	T901	10763 lm	12084 lm	14278 lm	25440 lm	28928 lm	31122 lm	37868 lm	
	T902	22467 lm	18533 lm	21002 lm	30420 lm	32328 lm	30938 lm	42617 lm	
	T901	10503 lm	15518 lm	18401 lm	24454 lm	27930 lm	31121 lm	39357 lm	
Luminous Flux (lm) (LUMILEDS)	T902	12528 lm	13927 lm	23867 lm	30668 lm	32662 lm	36911 lm	44763 lm	
	T901	10984 lm	15179 lm	18656 lm	23744 lm	27918 lm	30492 lm	38913 lm	
	T902	12288 lm	18077 lm	21279 lm	31845 lm	35272 lm	36282 lm	46479 lm	
	T902	22613 lm	18491 lm	21978 lm	31151 lm	34591 lm	35254 lm	50517 lm	
	T901	10984 lm	15179 lm	18656 lm	23744 lm	27918 lm	30492 lm	38913 lm	
	T902	12288 lm	18077 lm	21279 lm	31845 lm	35272 lm	36282 lm	46479 lm	
Luminous Flux (lm) (SOLA)	T902	12781 lm	15491 lm	23992 lm	31766 lm	35978 lm	39385 lm	48053 lm	
	T901	11174 lm	19824 lm	24540 lm	32145 lm	35672 lm	39569 lm	51087 lm	
	LICR = @Luminaire installation PT								
	CCT	3000K, 4000K, 5000K, 5700K, 6500K							
	CRI	70Ra, 80Ra, 90Ra optional							
	Beam angle	Type III/Type IV/Type V/T5/T12							
LED Manufacturer	LUMILEDS/SOLA								
LED model	Lumileds 3030/3030/3030/3030/3030/3030								
Working current of single LED (mA)	T901	0.065	0.101	0.127 (0.12)	0.08	0.088	0.099	0.128	
	T902	0.033	0.051	0.064	0.044	0.049	0.055	0.071	
	T901	0.065	0.101	0.127 (0.12)	0.08	0.088	0.099	0.128	
	T902	0.033	0.051	0.064	0.044	0.049	0.055	0.071	
	T901	0.065	0.101	0.127 (0.12)	0.08	0.088	0.099	0.128	
	T902	0.033	0.051	0.064	0.044	0.049	0.055	0.071	
Lens Polycarbonate (better impact resistance than glass)									
Mechanical Data									
IP/RK	IP68/IK10, according to standard EN 60529 and EN 62482								
Vibration resistance	5G, conform to standard IEC 60721-2-2								
Sub	Front: 0.119(37mm) From side: 0.013(2mm), Side: 0.020(7mm)		Front: 0.179(6mm) From side: 0.019(6mm), Side: 0.024(8mm)		Front: 0.201(20mm) From side: 0.021(8mm), Side: 0.048(6mm)				
Mounting/Materials	Heavy duty die-cast aluminum (EN-AC46100)								
Surface treatment	Anti-UV thermosetting polyester / 80 micron epoxy primer + Anti-UV thermosetting polyester (for extremely corrosive environments).								
Painting	Black, Bronze, Custom request								
Cable	Pre-wired with a 75 cm cable (other lengths on request)								
Mounting	Strip fixture/Arm-mount/Track-mount/Din Rail & Link/Recessed panel/Recessed panel/Flush-mount								

OT Series Specification Sheet

*Due to the constant improvements in product development, individual parameters might change. Please refer to our sales or R&D team for most up-to-date content as specifications are subject to change without notice.

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 #1-800-866-6000 (US)
 #670-700-7446 (CAN)

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Others

Model	ADK-75W0T	ADK-115W0T	ADK-145W0T	ADK-180W0T	ADK-200W0T	ADK-210W0T	ADK-300W0T	ADK-420W0T
Life span	150000 > 30000h, @25°C							
Warranty	5 years (90000 hours) extension up to 20 years on request							
Certification	UL60361, FCC, CE, EN60598, RoHS, REACH, other certificates please request							
Product size	500*121*185mm	500*121*185mm	500*121*185mm	500*121*185mm	500*121*185mm	500*121*185mm	600*140*190mm	600*140*190mm
Net weight (kg)	0.7kg	0.9kg	1.0kg	1.2kg	1.3kg	1.4kg	1.8kg	2.4kg
Recommended min. installation height	General: 4.2m, based on actual project requirements							
Application field	Suitable for area lighting such as parking lot, loading bay and street, tennis court							

Dual LEDs CCT adjustable solution specification

Watt(W)	LED Chips	CCT	Current Output(mA)	Power(W)	T901	T902
75	C6E-W46	4000	515	3000	74.5	148
				4000	72.8	161
				5000	74.16	158
				6000	75.25	146
				8000	76.6	166
				9000	77.9	144
115	C6E-W46	4000	790	3000	109.3	161
				4000	109.3	161
				5000	112.2	156
				6000	113.9	151
				8000	114.4	138
				9000	114.4	138
145	C6E-W46	4000	885	3000	137.4	157
				4000	141.7	151
				5000	144.1	146
				6000	144.4	138
				8000	147.4	153
				9000	147.4	153
180	C8E-W84	4000	1045	3000	172.6	166
				4000	177.1	161
				5000	179.0	157
				6000	199.3	147
				8000	199.3	147
				9000	199.2	144
200	C8E-W84	4000	1155	3000	196.4	159
				4000	199.1	154
				5000	218.5	144
				6000	218.6	143
				8000	225.1	158
				9000	228.5	152
210	C8E-W84	4000	1315	3000	225.1	158
				4000	228.5	152
				5000	228.5	152
				6000	228.5	152
				8000	228.5	152
				9000	228.5	152

Ordering Information

WATTS	VOLTAGE	LED CHIPS	TYPE OF SENSOR	CCT&CRI	DISTRIBUTION	MOUNT	HOUSING	OPTIONS
75W0T	NV-100-277V	LS-LUMILED 3030	00-W/without Sensor	3000-3000K T901	T5-TYPE 3	W/strip Filter	BK-Black	SPS 100V
115W0T	NV-247/480V	LS-LUMILED 3030	SN-Motion Sensor	4000-4000K T901	T4-TYPE 4	Bi-Adjustable Arm	BZ-Bronze	SPS 200V
145W0T	SS-SECOL 5050	PH-ROBCEL II	PH-PhotoCell	5000-5000K T901	T5-TYPE 5	C/Yoke Mount	WH-White	DIP Switch
180W0T	W3-SECOL W3	DVI-Dimmable		5700-5700K T901	T512-TYPE T5W0	D- Slide and Lock	SG-Silver Gray	
200W0T				6000-6000K T901		E- Square Flce	RD-Red	
210W0T				3000-3000K T901		F- Round Flce	RL-Blue	
300W0T				4000-4000K T901		G- Trunion Mount		
420W0T				5000-5000K T901				
				5700-5700K T901				
				6000-6000K T901				

SCHEDULE	LABEL	MANUFACTUER	WATTAGE	DESCRIPTION
A	AOK		198	AOK-200W0T-NV-L-S-00-5070-T402-P
B	AOK		114	AOK-115W0T-NV-L-S-00-5070-T402-P
C	AOK		75	AOK-75W0T-NV-L-S-00-5070-T401-P
D	LIGHTOLIER BY SIGNIFY		32	EASYLYTE

STATISTICS	AVG	MAX	MIN	DESCRIPTION
	3.0 ft	11.7 ft	0.0 ft	OVERALL SITE
	0.2 ft	0.7 ft	0.0 ft	PROPERTY LINE

DISCOVERY ROCKWALL
 TRITEN
 ROCKWALL



Revision No.	Date	Description

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 PHILLIP R. APPELBAUM 68404
 NAME P.E. NO.
 DATE 06/17/2022
 TBP&S FIRM #F-312

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