



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1, 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION (PLEASE PRINT)

ADDRESS 950 & 962 E. Ralph Hall Pkwy. Rockwall, TX 75032

SUBDIVISION ROCKWALL BUSINESS PARK EAST LOT 13 BLOCK

GENERAL LOCATION RALPH HALL PKWY, TX

ZONING, SITE PLAN AND PLATTING INFORMATION (PLEASE PRINT)

CURRENT ZONING C CURRENT USE C

PROPOSED ZONING PROPOSED USE

ACREAGE 2.649 LOTS (CURRENT) 1 LOTS (PROPOSED)

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION (PLEASE PRINT/CHECK THE PRIMARY CONTACT ORIGINAL SIGNATURES ARE REQUIRED)

<input checked="" type="checkbox"/> OWNER	BUFFALO COUNTRY PROPERTIES LLC	<input checked="" type="checkbox"/> APPLICANT	SRC Land Building and Real Estate LLC.
CONTACT PERSON	Naomi Freeman	CONTACT PERSON	Dnyanada Nevgi
ADDRESS	12050 Research Rd #9305	ADDRESS	811 S Central Expressway, Suite 306
CITY, STATE & ZIP	Frisco, TX 75033	CITY, STATE & ZIP	Richardson, TX - 75080
PHONE	4692334774	PHONE	214-396-3737
E-MAIL	afreeman@pinnaclemontessori.com	E-MAIL	pm@srclandbuilding.com

NOTARY VERIFICATION (REQUIRED)

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Naomi Freeman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$_____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF MARCH 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF MARCH 2024

OWNER'S SIGNATURE

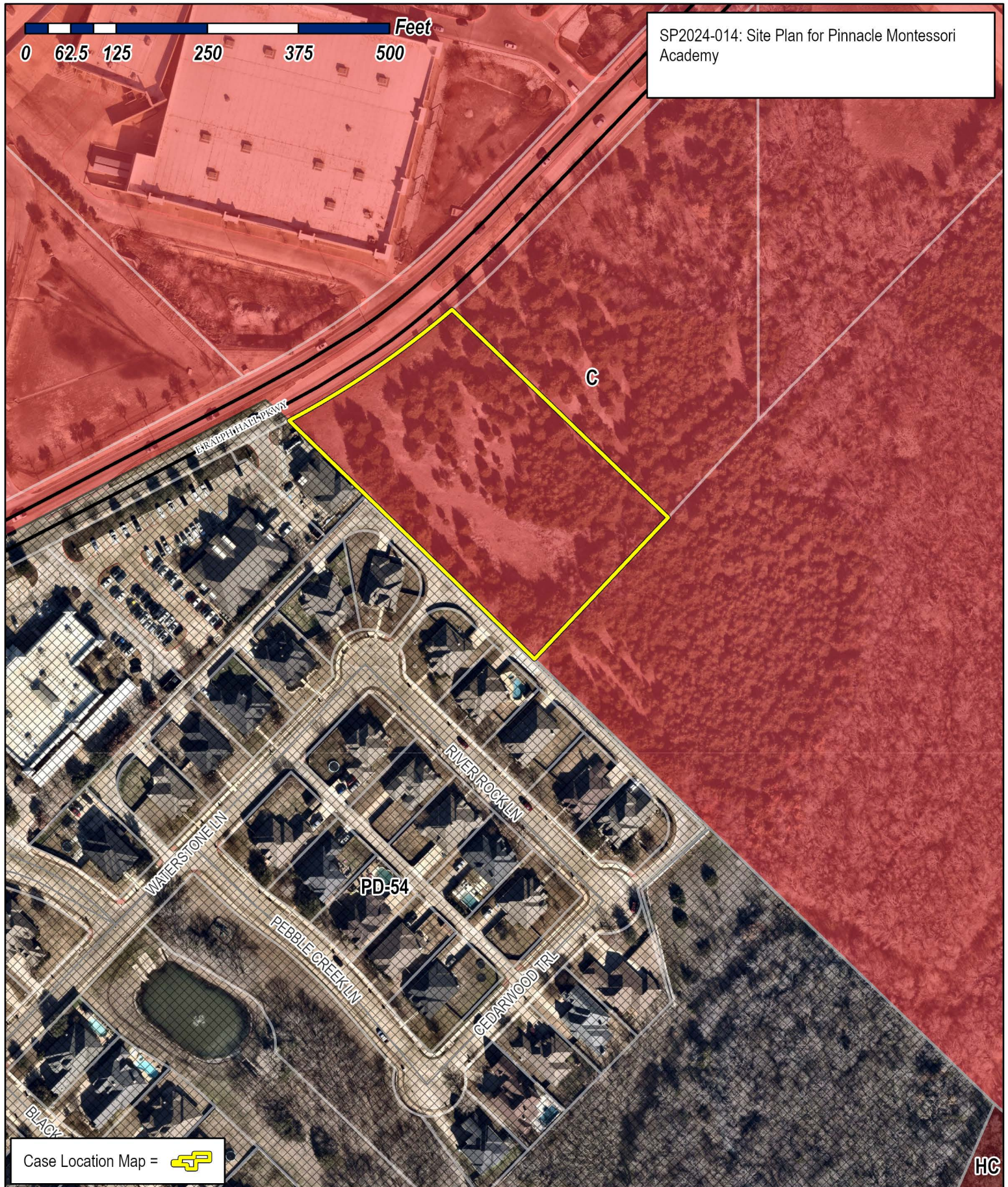
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

PA

Commonwealth of Pennsylvania - Notary Public
PATRICIA LAPORTA - Notary Public
Bucks County

My Commission Expires March 19, 2027

MY COMMISSION NUMBER 134745

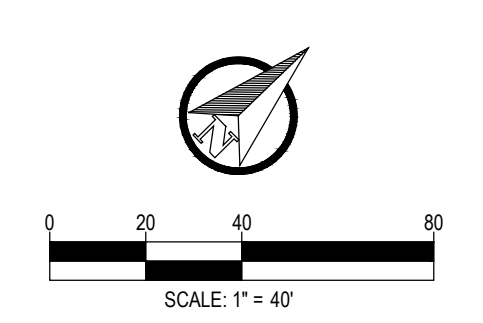
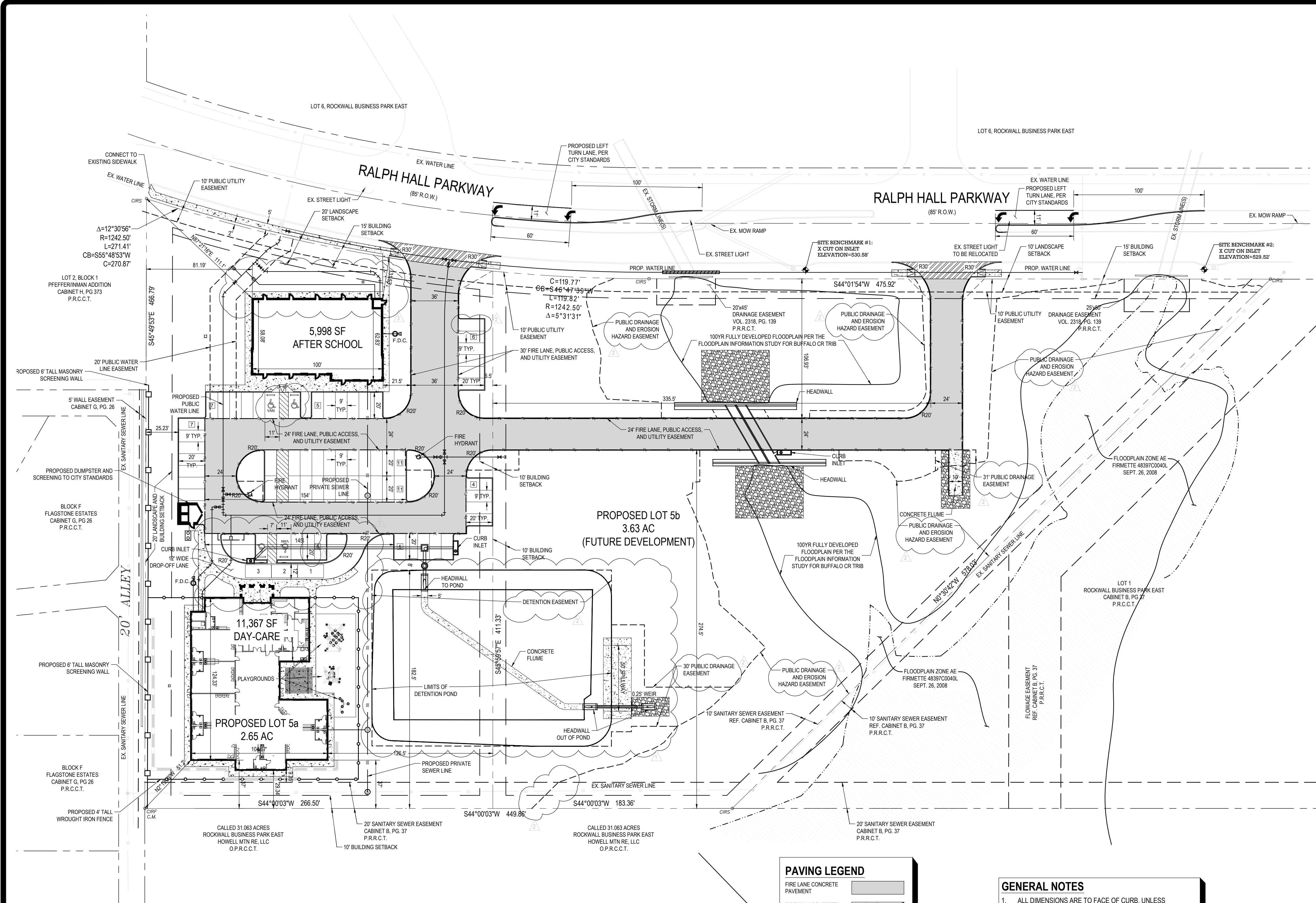


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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811 S. CENTRAL EXPRESSWAY
SUITE #306
RICHARDSON, TX 75080
TBP FIRM NO. F-20145

NGUYEN TUONG NGUYEN
06/23/2022

OMEGA DESIGN HAS REVIEWED COMMENTS ISSUED ON MAY 04, 2021 BY THE CITY OF ROCKWALL WITH RESPECT TO THESE HEREIN CONSTRUCTION PLANS ("PLANS") DESIGNED & PREPARED UNDER THE SEAL OF AND SUBMITTED BY JARED HELMBERGER, P.E. #130231. REVISIONS, ALTERATIONS & CHANGES ("REVISIONS") HAVE BEEN MADE TO THE "PLANS" IN ACCORDANCE WITH MAY 04, 2021, CITY OF ROCKWALL COMMENTS, AND DO NOT RELIEVE THE ENGINEER OF RECORD PRIOR TO NOVEMBER 10, 2021. REVISIONS MADE SUBSEQUENT TO NOVEMBER 10, 2021, ARE HEREIN IDENTIFIED BY "CLOUDS".

Revisions By Omega:
11/10/2021 PER CITY COMMENTS
02/25/2022 PER CITY AND ARCHITECT COMMENTS
06/23/2022 PER CITY BUILDING COMMENTS

ZONING DATA	
ZONING:	"C" COMMERCIAL
LAND USE:	DAY-CARE, RETAIL, OFFICE
OVERLAY DISTRICT:	N/A
FRONT BUILDING SETBACK:	15 FEET
REAR BUILDING SETBACK:	10 FEET
SIDE (WEST) BUILDING SETBACK:	20 FEET
SIDE (EAST) BUILDING SETBACK:	10 FEET
FRONT LANDSCAPE SETBACK:	20 FEET
SIDE (WEST) LANDSCAPE SETBACK:	20 FEET
MAX BUILDING HEIGHT:	3 STORIES OR 45 FEET
PARKING RATIO FOR DAY-CARE:	1 SPACE PER 300 SQUARE FEET
PARKING RATIO FOR RETAIL/OFFICE:	1 SPACE PER 250 SQUARE FEET

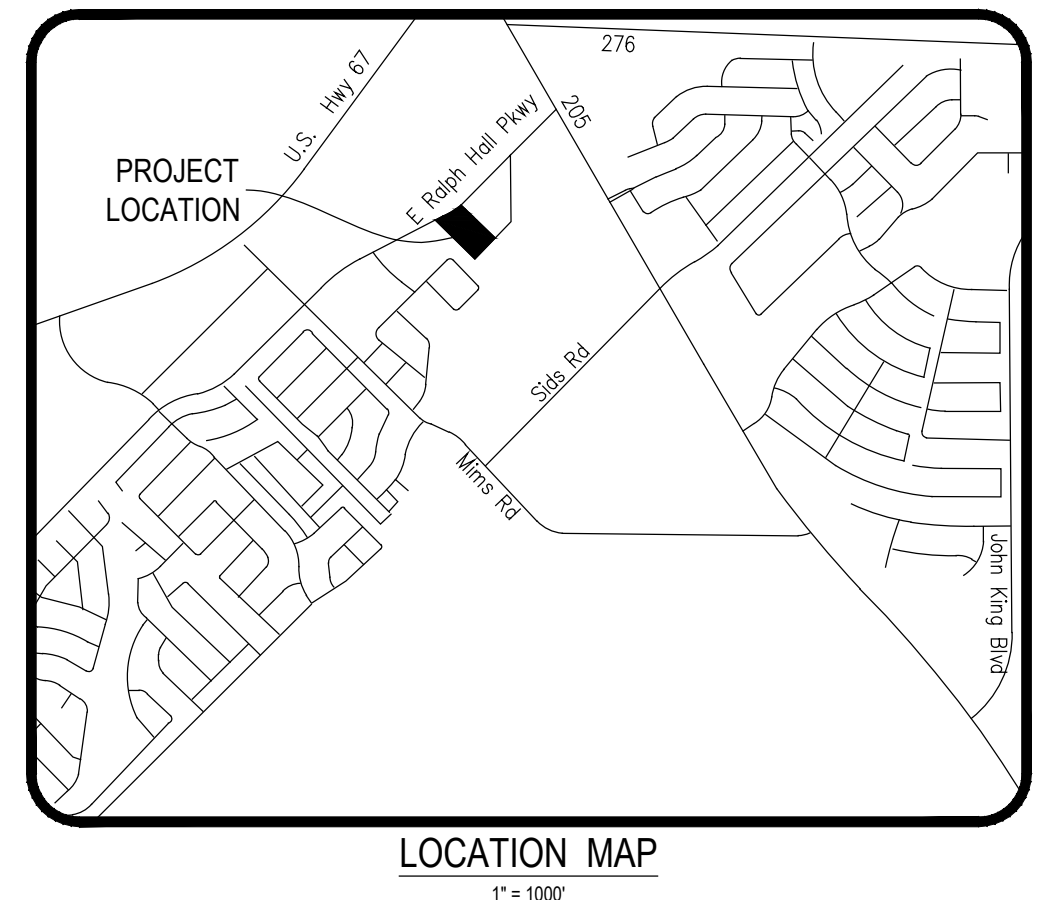
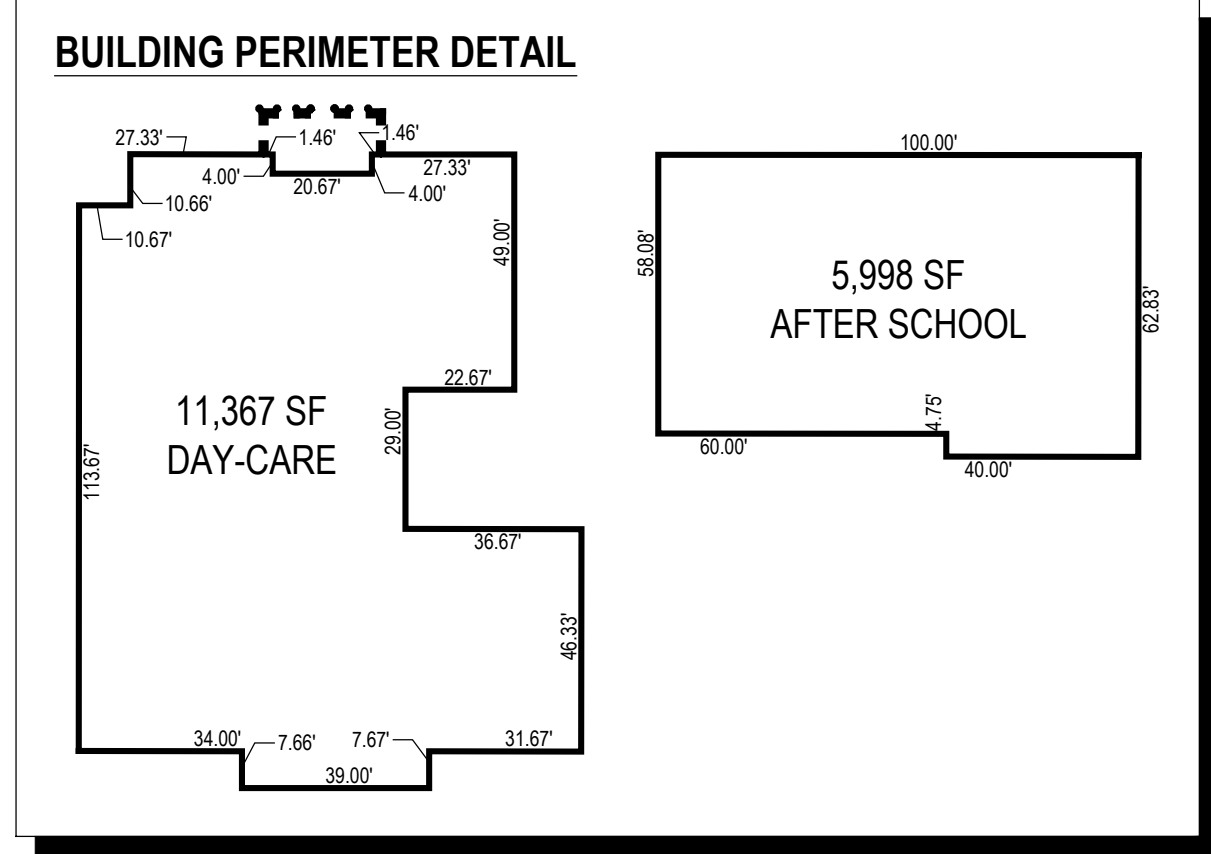
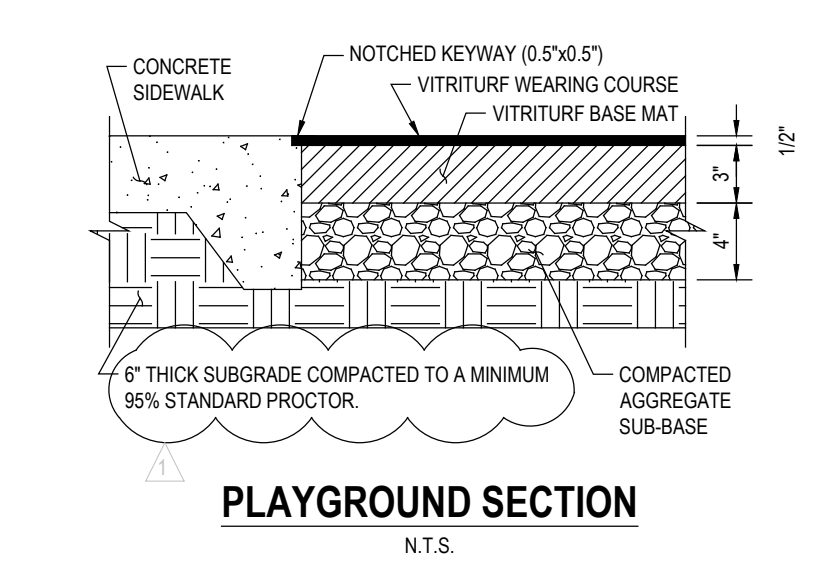
SITE DATA	AREA (SF)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)	-	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%

PARKING DATA	
DAY-CARE:	38 SPACES REQUIRED
1 SPACE PER 300 SF	
RETAIL/OFFICE:	24 SPACES REQUIRED
1 SPACE/250 SQUARE FEET	
TOTAL SPACES REQUIRED:	62 SPACES REQUIRED
TOTAL SPACES PROVIDED:	62 SPACES PROVIDED
HANDICAP SPACES REQUIRED:	3 SPACES REQUIRED
VAN SPACES REQUIRED:	1 SPACE REQUIRED

PAVING LEGEND	
FIRE LANE CONCRETE PAVEMENT	
SIDEWALK CONCRETE PAVEMENT	
10' PUBLIC R.O.W. CONCRETE PAVEMENT	
PLAYGROUND SECTION (VITRITURF)	

- GENERAL NOTES
1. ALL DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
2. ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
3. REFERENCE ARCHITECTURE PLANS FOR EXACT BUILDING DIMENSIONS.
4. FIRE LANE IS TO BE STRIPED IN ACCORDANCE WITH CITY STANDARDS.
5. ALL ADA ROUTES AND RAMPS ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
6. ADA PARKING SPACES AND LOADING ZONES ARE TO BE CONSTRUCTED TO ADA MINIMUM REQUIREMENTS.
7. CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.
8. MECHANICAL EQUIPMENT SHALL BE ROOF MOUNTED.

LEGEND	
PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
EASEMENT LINE	---
EXISTING SANITARY SEWER LINE	---
EXISTING WATER LINE	---
EXISTING STORM LINE	---
EXISTING UNDERGROUND ELECTRIC	---
EXISTING OVERHEAD ELECTRIC	---
PROPOSED FIRE LANE	FL
PROPOSED SANITARY SEWER LINE	SS
PROPOSED WATER LINE	WL
PROPOSED STORM LINE	SL
PROPOSED RETAINING WALL	---
PROPOSED FENCE	---
PROPOSED SCREEN WALL	---
PARKING COUNT	1



ADDRESS:
1808 BONNER ST.,
MCKINNEY, TX 75069
TBP FIRM NUMBER:
F-22218

PROFESSIONAL SEAL:

ISSUE DATE: 12/20/2020

REVISION(S):
DATE:

PROJECT BENCHMARKS:
BM#1 - AN "X" CUT ON TOP OF THE NORTHEAST CORNER OF AN INLET LOCATED 308' S FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HALL PARKWAY. ELEVATION: 530.58'
BM#2 - AN "X" CUT ON TOP OF THE SOUTHEAST CORNER OF AN INLET LOCATED 51' S FROM THE NORTHWEST CORNER OF LOT 5 IN THE EAST RIGHT-OF-WAY LINE OF RALPH HALL PARKWAY. ELEVATION: 529.52'

PROJECT INFORMATION:
PINNACLE MONTESSORI ACADEMY ROCKWALL
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS
PROJECT NUMBER: PMA032

CLIENT INFORMATION:
Buffalo Country Properties, LLC
12050 Research Road, #9305
Frisco, TX 75033

SITE PLAN

SHEET NUMBER:
C1.00



OMEGA DESIGN LLC

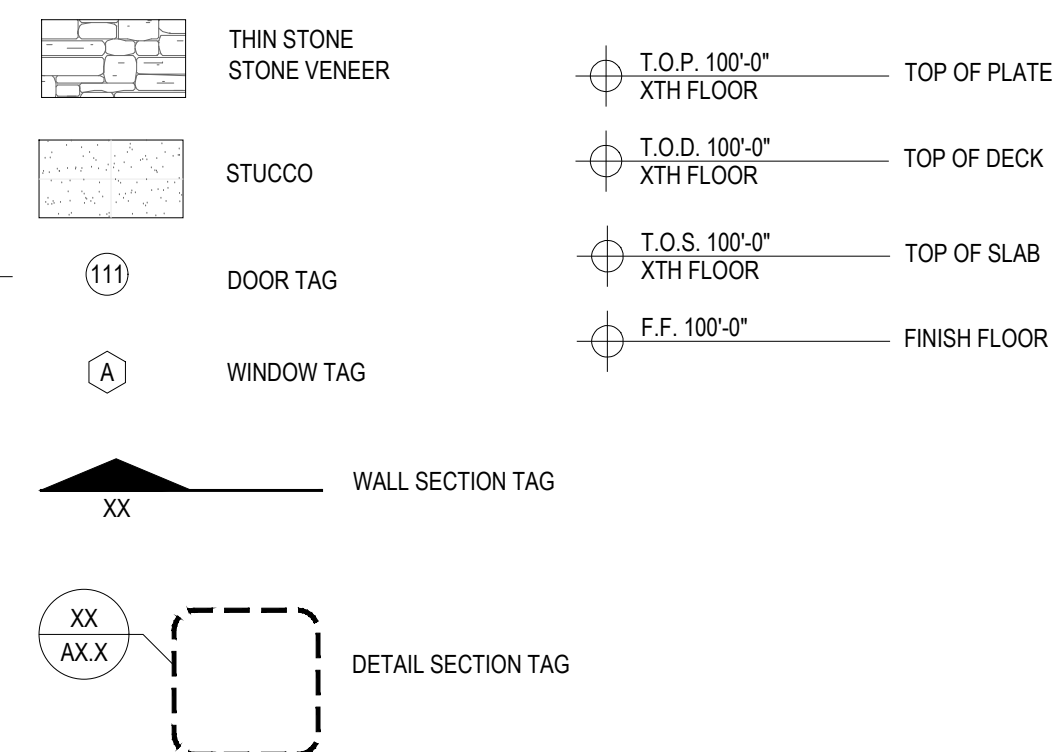
4516 EMERSON AV. #E
DALLAS, TEXAS 75205
214 462 7330

SCHOOL BUILDING EXTERIOR FINISHES		
	CORNICE STUCCO	COLOR - STO #16041
	STUCCO	COLOR - STO #16031
	STONE ACCENT BAND & STONE SILL	WHITE LIMESTONE
	WAINSCOT STONE VENEER	WHITE LIMESTONE - HARD WHITE W/ 30% NICOTINE ACCENTS
	STOREFRONT	ANODIZED ALUMINUM STOREFRONT
	FIBERGLASS WINDOWS	PELLA, POWDER COAT FINISH, COLOR WHITE
	CANOPY SOFFIT	WHITE SG
	H. M. DOORS	SW 6141, SOFTER TAN

ELEVATION NOTES

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. WHERE EXTERIOR WALL MOUNTED LIGHTING PROTRUDES GREATER THAN 4" FROM WALL, BOTTOM OF FIXTURE TO BE 6'-8" A.F.F. MAXIMUM.
3. REFER TO CIVIL FOR FINISH FLOOR ELEVATIONS
3. REFER TO STRUCTURAL DRAWINGS FOR SLAB REINFORCING
4. FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS AND OTHER WEATHER EXPOSED AREAS.
5. ALL PATIOS, AND SIDEWALKS TO BE SLOPED 1/4" PER FOOT / 2% MAXIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
6. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 8 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING.
7. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & DRAWINGS FOR FINAL GRADING.
8. POST AND ADDRESS NUMBERS TO BE 12" HT. INDIVIDUAL MOUNT, METAL REVERSE PAN CHANNEL NUMBER, STREET NUMBERS ONLY.
9. SIGNS ARE FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE PERMIT.

SYMBOL LEGEND - ELEVATIONS



NOTE:

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW
IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.

WHEN PERMITTED EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH BUILDING.

ALL SIGNAGE AREA AND LOCATIONS ARE SUBJECT TO APPROVAL BY
BUILDING INSPECTION DEPARTMENT.

PROJECT

**PINNACLE
MONTESSORI
OF
ROCKWALL**

Site Address:
E. Ralph Hall and Plaza Drive
Rockwall, Texas 75087

PROJECT #
SRC 032

OWNER

**Lakeside
Kids, LLC**

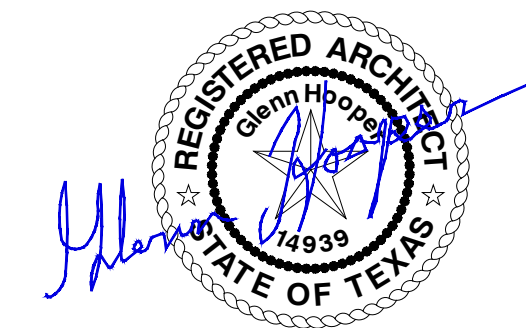
5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:
SCHOOL BUILDING -
EXTERIOR ELEVATIONS

SHEET NO.

A3.0

ISSUE DATE: SEPTEMBER 30, 2021

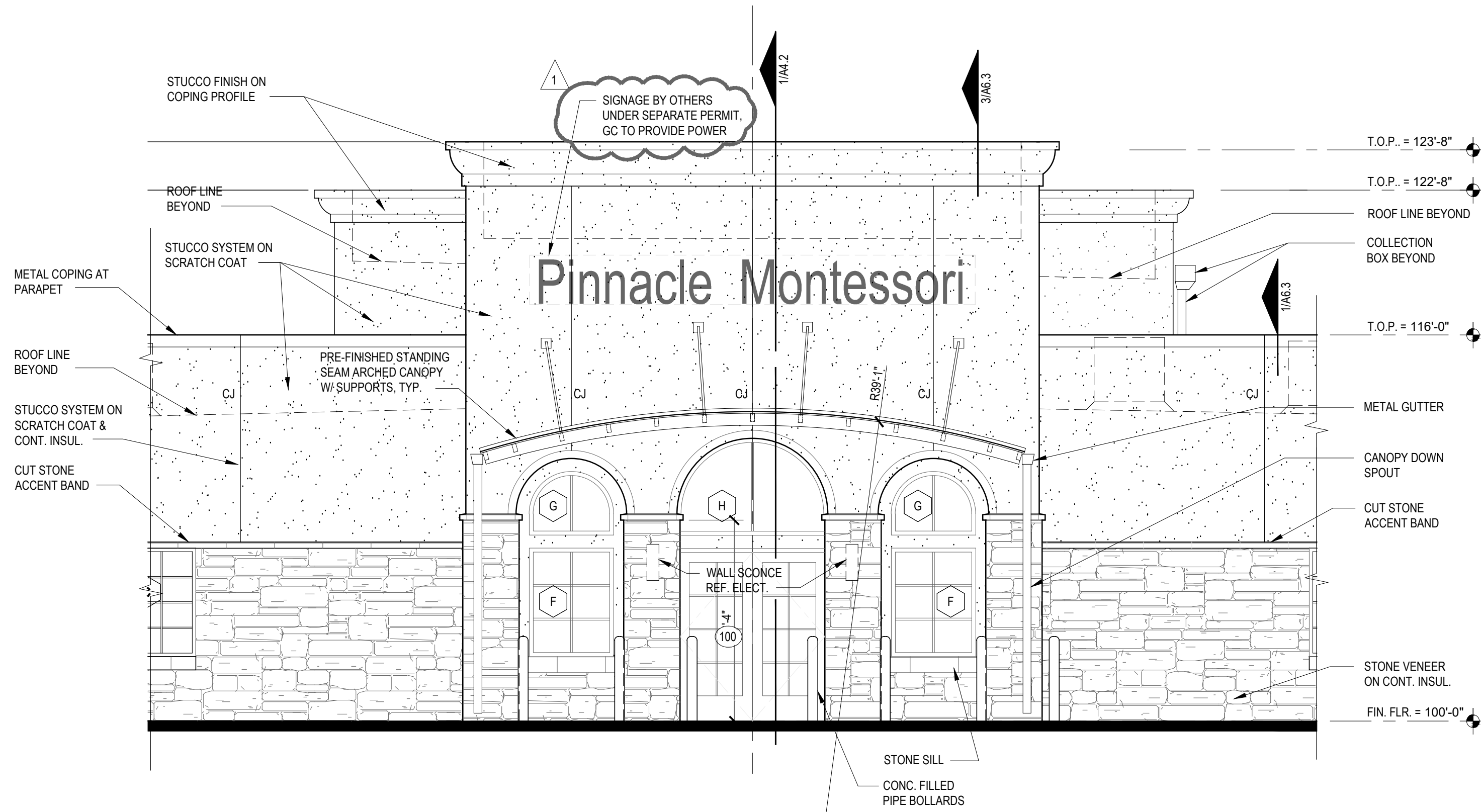


SEPTEMBER 30, 2021

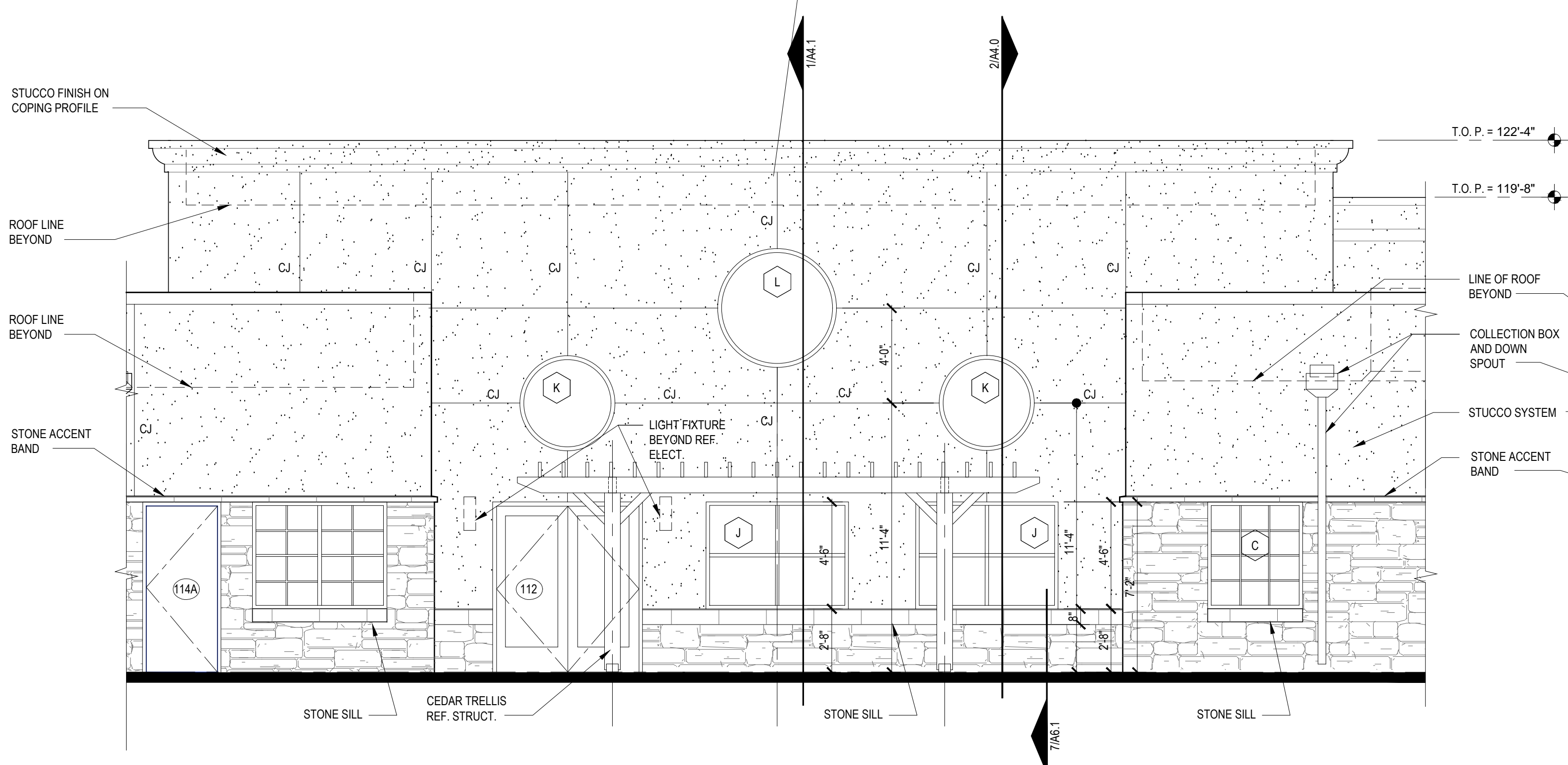
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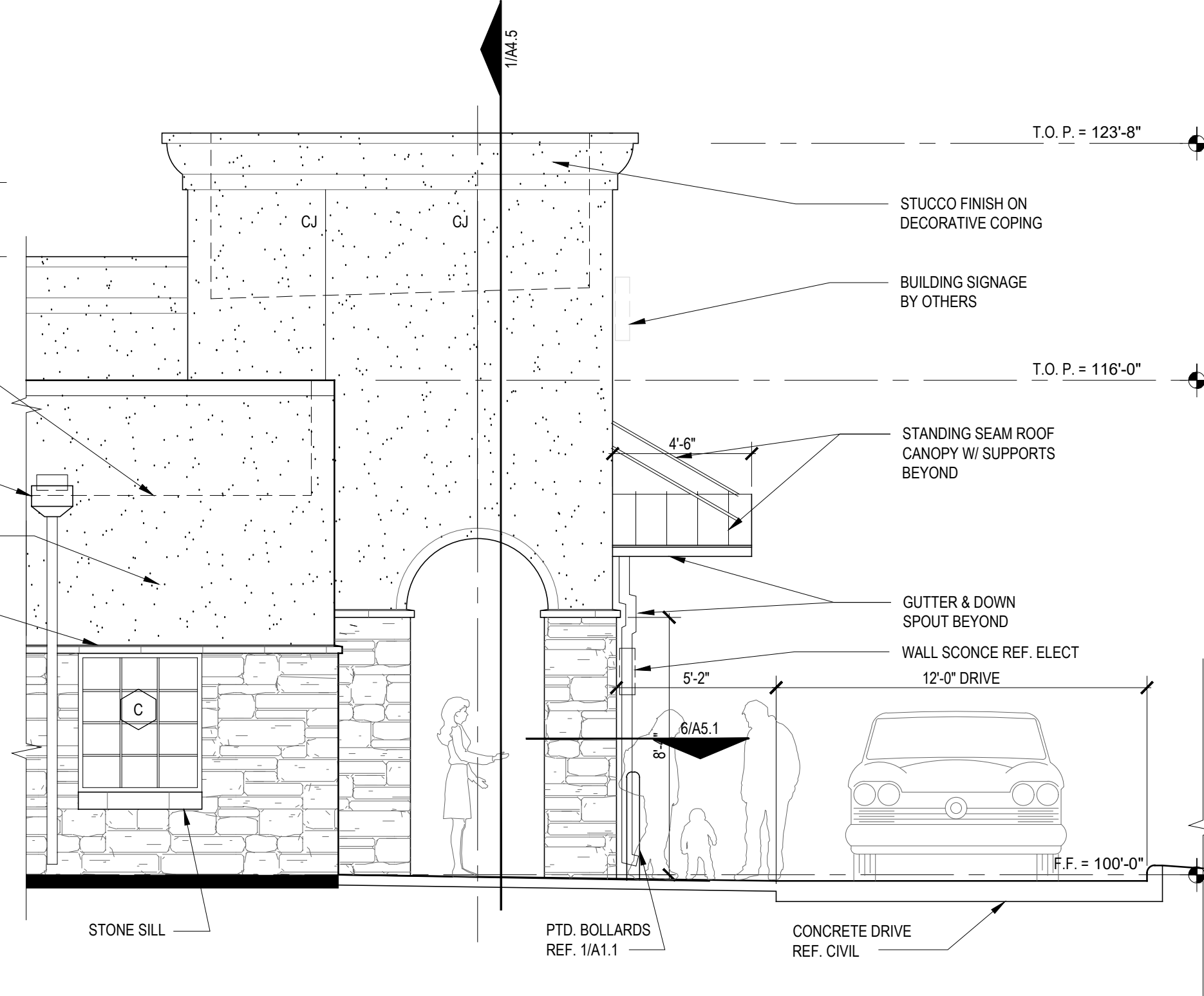
Z:\Architecture\032 Rockwall\A3.1 - ENLARGED - EXTERIOR ELEVATIONS.dwg, 3/17/2022 4:31:23 PM



1 ENLARGED NORTH ELEVATION
SCALE: 1/4"= 1'-0"



2 ENLARGED EAST ELEVATION
SCALE: 1/4"= 1'-0"

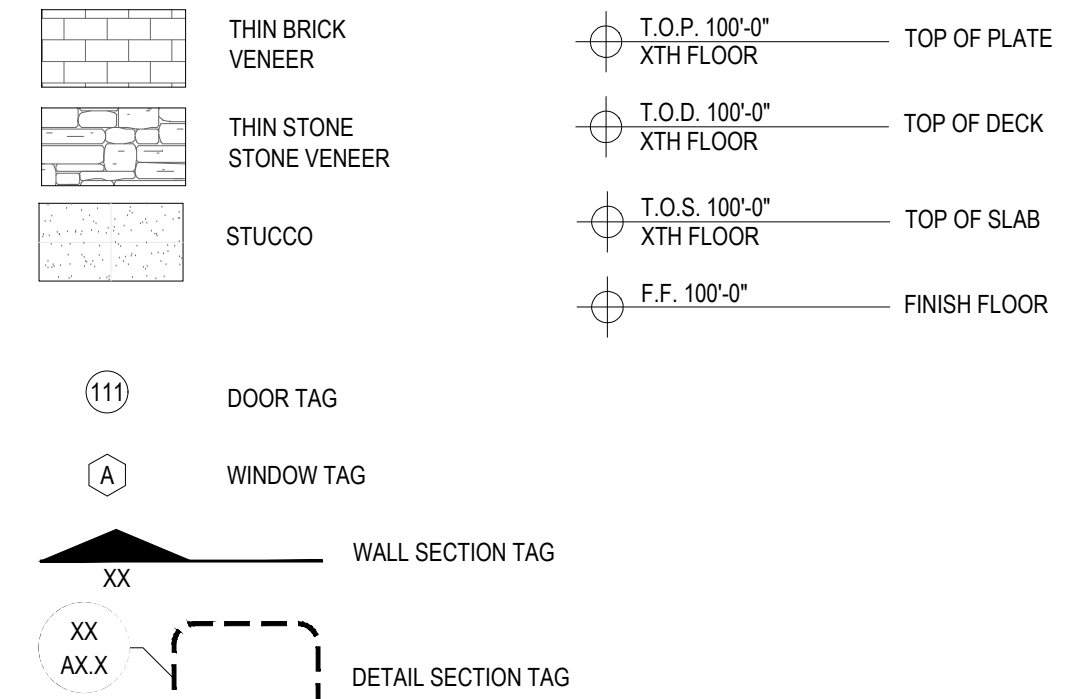


3 ENLARGED EAST ELEVATION
SCALE: 1/4"= 1'-0"

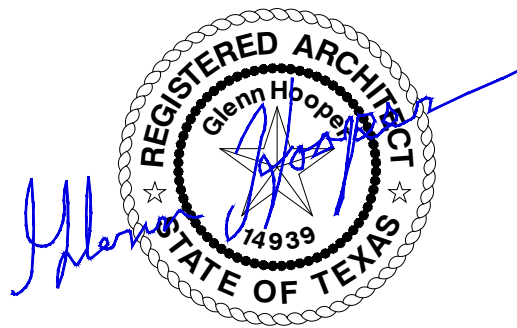
ELEVATION NOTES

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3. REFER TO CIVIL FOR FINISH FLOOR ELEVATIONS
4. REFER TO STRUCTURAL DRAWINGS FOR SLAB BREAKS
5. FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS AND OTHER WEATHER EXPOSED AREAS.
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8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & DRAWINGS FOR FINAL GRADING.
9. PROJECT ADDRESS SIGNAGE TO BE 12" HT. INDIVIDUAL MOUNT, METAL REVERSE PAN CHANNEL NUMBER, STREET NUMBERS ONLY.
10. SIGNS ARE FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE PERMIT.

SYMBOL LEGEND - ELEVATIONS



Revisions:		
#	DATE	COMMENTS
1	MAR 11, 2022	CITY COMMENTS



SEPTEMBER 30, 2021

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PROJECT

PINNACLE MONTESSORI OF ROCKWALL

Site Address:
E. Ralph Hall and Plaza Drive
Rockwall, Texas 75087

PROJECT #
SRC 032

OWNER

Lakeside Kids, LLC

5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:

ENLARGED SCHOOL -
EXTERIOR ELEVATIONS

SHEET NO.

A3.1

ISSUE DATE: SEPTEMBER 30, 2021

SHELL BUILDING										
BUILDING MATERIALS	NORTH		SOUTH		EAST		WEST		TOTALS	
	SF	%	SF	%	SF	%	SF	%	SF	%
STUCCO	498	39.4 %	498	39.4 %	798	16 %	916	48.5 %	2,710	27.9 %
STONE VENEER	519	41 %	519	41 %	206	4 %	741	39.3 %	1,985	20.4 %
ALUM. WINDOWS	135	10.6 %	135	10.6 %	3,450	68 %	0	0 %	3,951	40.7 %
DOORS	0	0 %	0	0 %	105	6.7 %	126	6.7 %	231	2.4 %
METAL CANOPY	102	8 %	102	8 %	500	24 %	70	3.7 %	774	8 %
STONE SHELF	11	1 %	11	1 %	4	0 %	33	1.8 %	59	0.6 %
TOTALS	1,265	100 %	1,265	100 %	5,060	100 %	1,886	100 %	9,710	100 %

NOTE:

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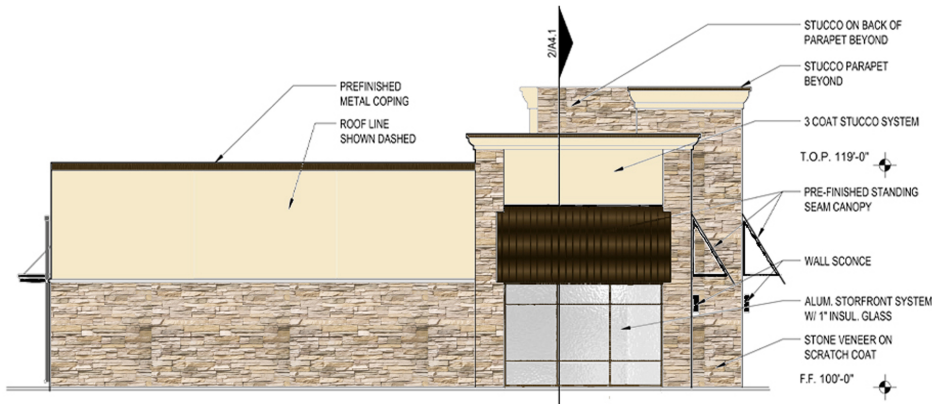
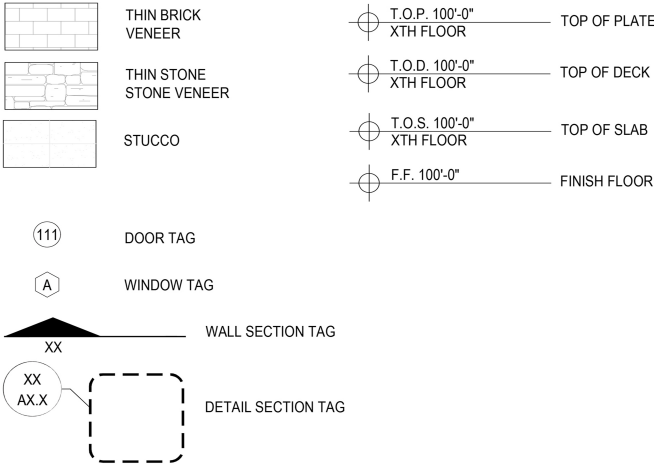
WHEN PERMITTED EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH BUILDING.

ALL SIGNAGE AREA AND LOCATIONS ARE SUBJECT TO APPROVAL BY BUILDING INSPECTION DEPARTMENT.

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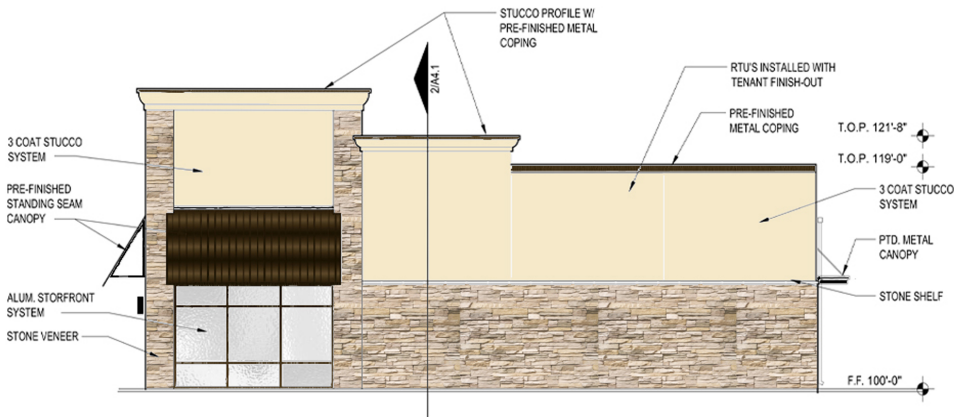
SYMBOL LEGEND - ELEVATIONS



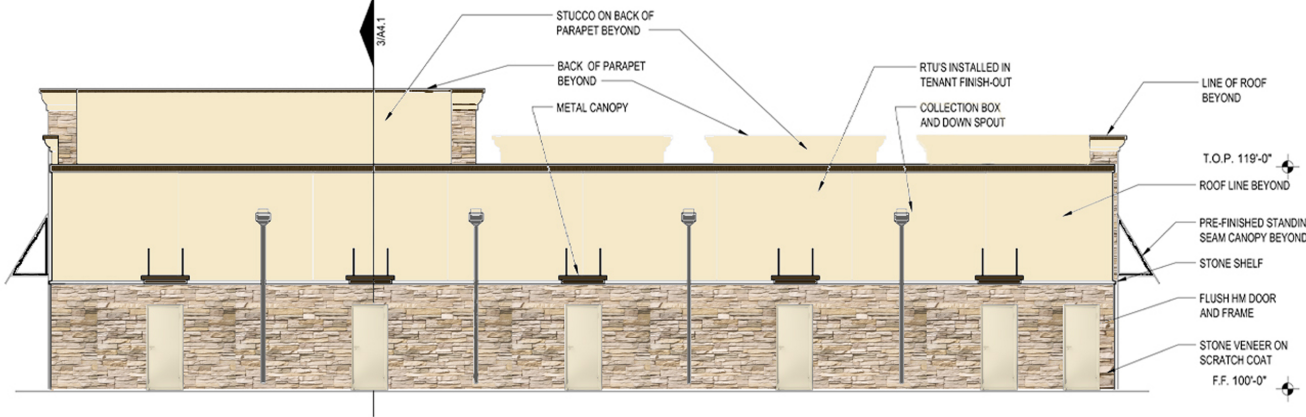
1 EAST ELEVATION
SCALE:



3 SOUTH ELEVATION
SCALE:



2 NORTH ELEVATION
SCALE:



4 WEST ELEVATION
SCALE:

Revisions:		
#	DATE	COMMENTS



TINA SANGHRAJKA
REG # 29302 - 3/01/2024

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PROJECT

PINNACLE MONTESSORI SHELL BUILDING

Site Address:
E. Ralph Hall and Plaza Drive
Rockwall, Texas 75087

PROJECT #
SRC 032

OWNER

Lakeside Kids, LLC

5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:

MATERIAL SHEET

SHEET NO.

A01

ISSUE DATE: SEPTEMBER 30, 2021

Revisions:		
#	DATE	COMMENTS



TINA SANGHRAJKA
REG # 29302 - 3/01/2024

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PROJECT

PINNACLE
MONTESSORI
SHELL
BUILDING

Site Address:
E. Ralph Hall and Plaza Drive
Rockwall, Texas 75087

PROJECT #
SRC 032

OWNER

Lakeside
Kids, LLC

5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:
MATERIAL SHEET

SHEET NO.
A01

ISSUE DATE: SEPTEMBER 30, 2021



3 SOUTH ELEVATION
SCALE:

1 4 6 7

3

2

5

LIME STONE

BRONZE METAL

STUCCO FINISH
(STO - 16031)

GLASS

SHELL BUILDING										
BUILDING MATERIALS	NORTH		SOUTH		EAST		WEST		TOTALS	
	SF	%	SF	%	SF	%	SF	%	SF	%
STUCCO	498	39.4 %	498	39.4 %	798	16 %	916	48.5 %	2,710	27.9 %
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WHEN PERMITTED EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH BUILDING.

ALL SIGNAGE AREA AND LOCATIONS ARE SUBJECT TO APPROVAL BY BUILDING INSPECTION DEPARTMENT.

[illegible]

REG # 29302 - 3/01/2024

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**PINNACLE
MONTESSORI
OF
ROCKWALL**

PROJECT :
SRC 032

**Lakeside
Kids, LLC**

5909 Beth Drive
Plano, Texas 75093

SHEET TITLE:
SCHOOL BUILDING -
EXTERIOR ELEVATIONS

SHEET NO

A3.0

ISSUE DATE: SEPTEMBER 30, 2021

1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
2. WHERE EXTERIOR WALL MOUNTED LIGHTING PROTRUDES GREATER THAN 4" FROM WALL, BOTTOM OF FIXTURE TO BE 6'-8" A.F.F. MAXIMUM.
3. REFER TO CIVIL FOR FINISH FLOOR ELEVATIONS
3. REFER TO STRUCTURAL DRAWINGS FOR SLAB BREAKS
4. FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL PENETRATIONS, JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS AND OTHER WEATHER EXPOSED AREAS.
5. ALL PATIOS, AND SIDEWALKS TO BE SLOPED 1/4" PER FOOT / 2% MAXIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
6. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 8 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING.
7. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & DRAWINGS FOR FINAL GRADING.
8. ALL ROOF DRAINAGE TO BE 12" HT. INDIVIDUAL MOUNT, METAL REVERSE PAN CHANNEL NUMBER, STREET NUMBERS ONLY.
9. SIGNS ARE FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE PERMIT.

THIN BRICK VENEER

THIN STONE STONE VENEER

STUCCO

111 DOOR TAG

A WINDOW TAG

XX WALL SECTION TAG

XX AX.X DETAIL SECTION TAG

T.O.P. 100'-0" XTH FLOOR

T.O.D. 100'-0" XTH FLOOR

T.O.S. 100'-0" XTH FLOOR

F.F. 100'-0"

TOP OF BRICK

TOP OF DECK

TOP OF SLAB

FINISH FLOOR

SCHOOL BUILDING						
BUILDING MATERIALS	SOUTH	NORTH	EAST	WEST	TOTALS	
	SF	SF	SF	SF	SF	%
STUCCO	1,006	972	1,480	1,529	4,987	57 %
THIN STONE VENEER	600	613	631	601	2,445	28 %
DOORS	0	42	105	168	315	4 %
WINDOWS	134	115	290	146	685	8 %
STONE WINDOW SILLS	17	9	12	18	56	1 %
STONE SHELF	27	25	34	35	121	1 %
STANDING SEAM CANOPY	0	12	9	9	30	1 %
TOTALS	1,784	1,845	2,579	2,524	8,732	100 %

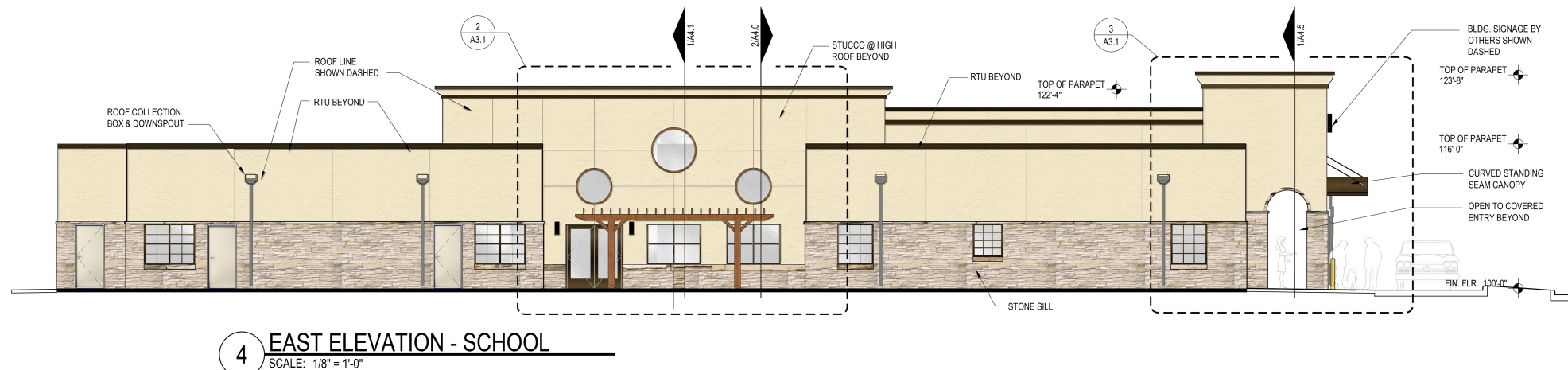
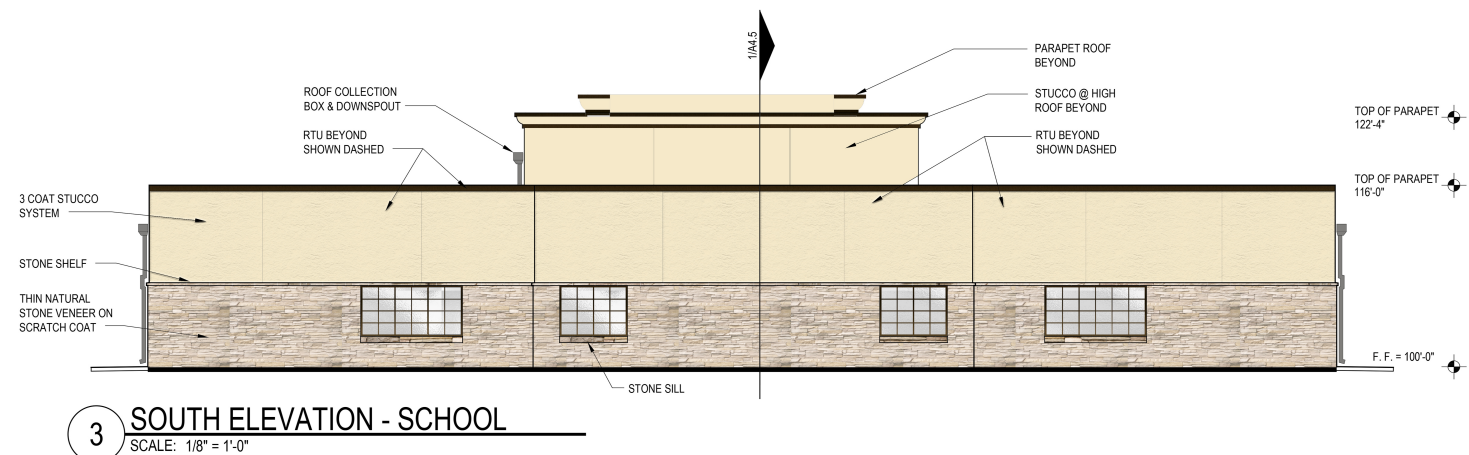
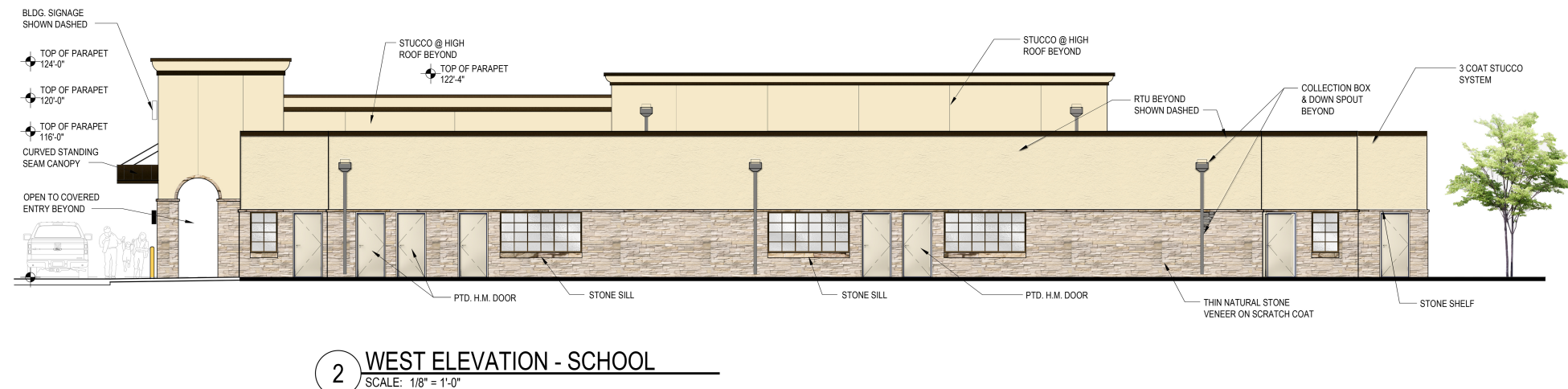
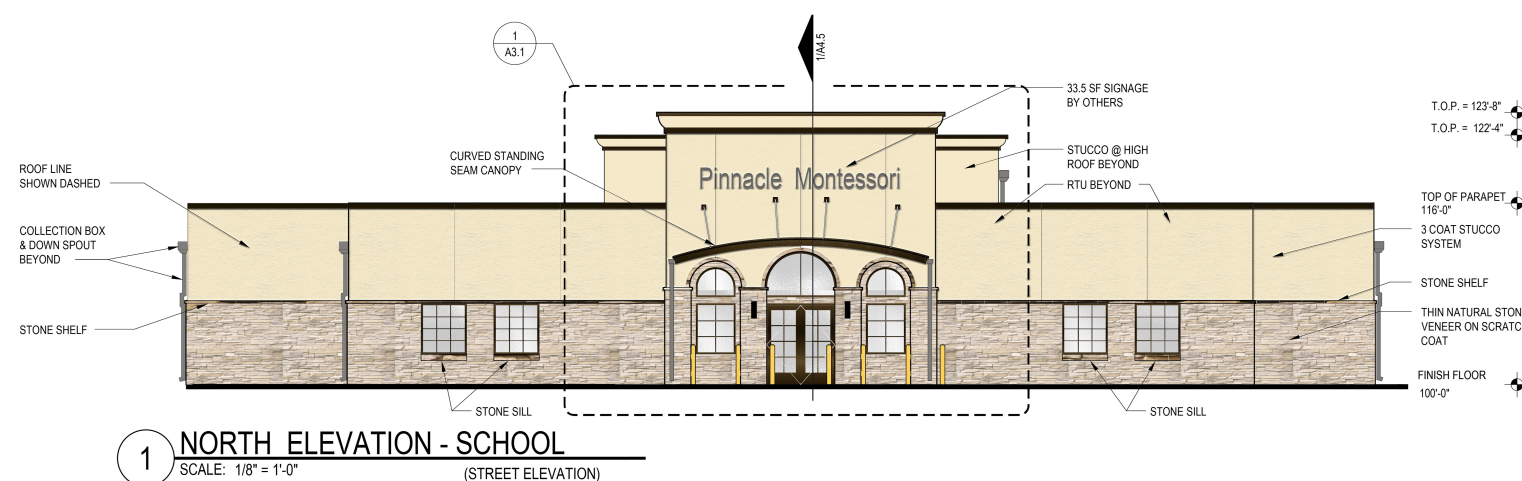
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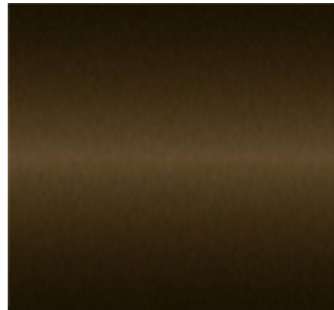
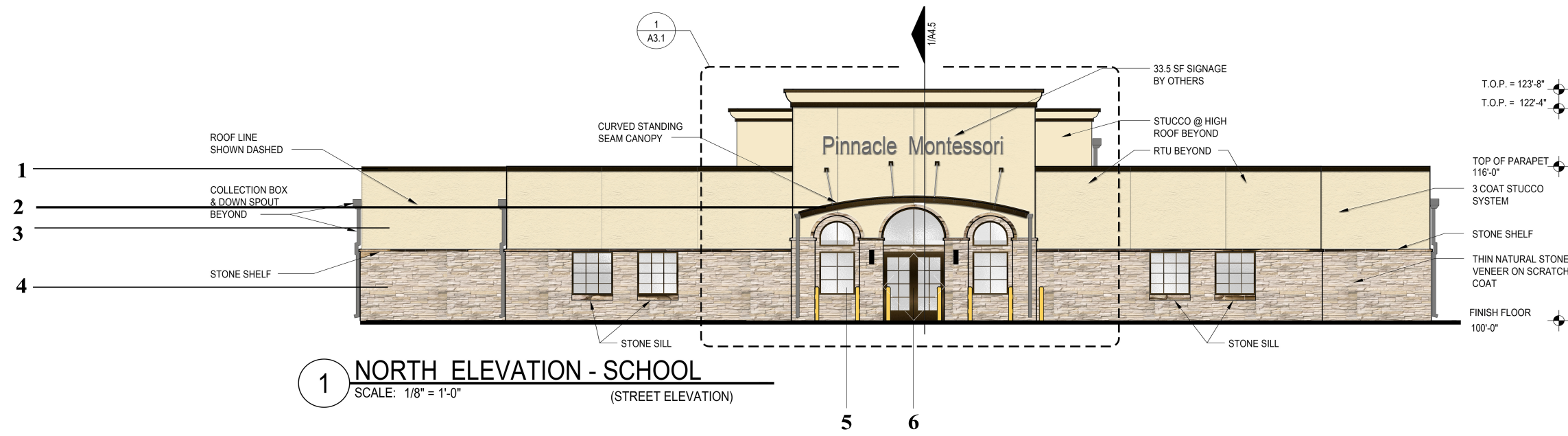
THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW
IN ACCORDANCE WITH THE COMPREHENSIVE ZONING ORDINANCE.

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BUILDING INSPECTION DEPARTMENT.





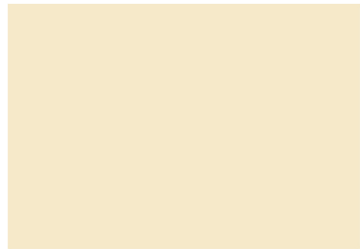
BRONZE METAL - 1 2 6



GLASS - 5



LIMESTONE - 4



STUCCO FINISH - 3



WOOD TEXTURE AT BACK SIDE OF ELEVATION

SCHOOL BUILDING						
BUILDING MATERIALS	SOUTH	NORTH	EAST	WEST	TOTALS	
	SF	SF	SF	SF	SF	%
STUCCO	1,006	972	1,480	1,529	4,987	57 %
THIN STONE VENEER	600	613	631	601	2,445	28 %
DOORS	0	42	105	168	315	4 %
WINDOWS	134	115	290	146	685	8 %
STONE WINDOW SILLS	17	9	12	18	56	1 %
STONE SHELF	27	25	34	35	121	1 %
STANDING SEAM CANOPY	0	12	9	9	30	1 %
TOTALS	1,784	1,845	2,579	2,524	8,732	100 %

Revisions:		
#	DATE	COMMENTS

PROJECT
**PINNACLE
MONTESSORI
SCHOOL
BUILDING**

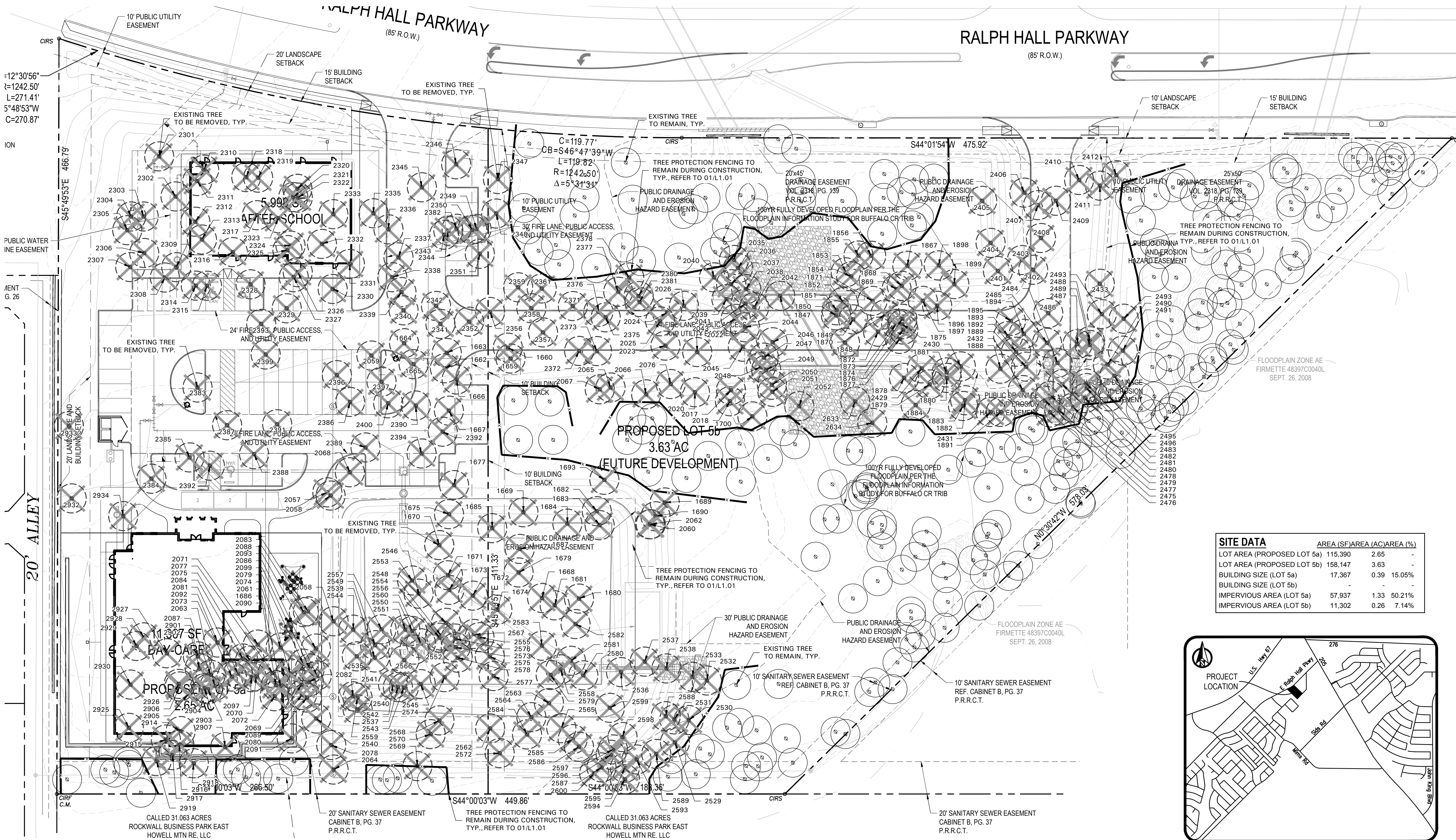
Site Address:
E. Ralph Hall and Plaza Drive
Rockwall, Texas 75087

PROJECT #
SRC 032

OWNER
**Lakeside
Kids, LLC**
5909 Beth Drive
Plano, Texas 75093

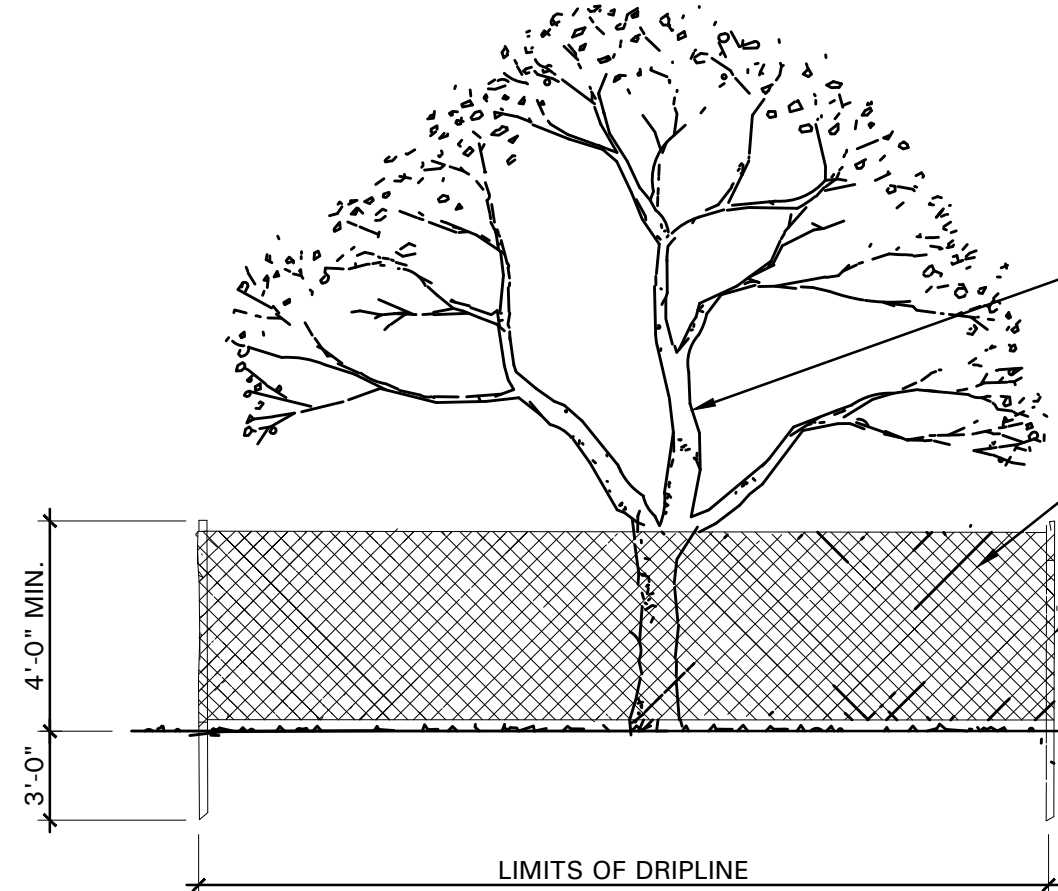
SHEET TITLE:
MATERIAL SHEET

SHEET NO.
A01



TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPOSED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.



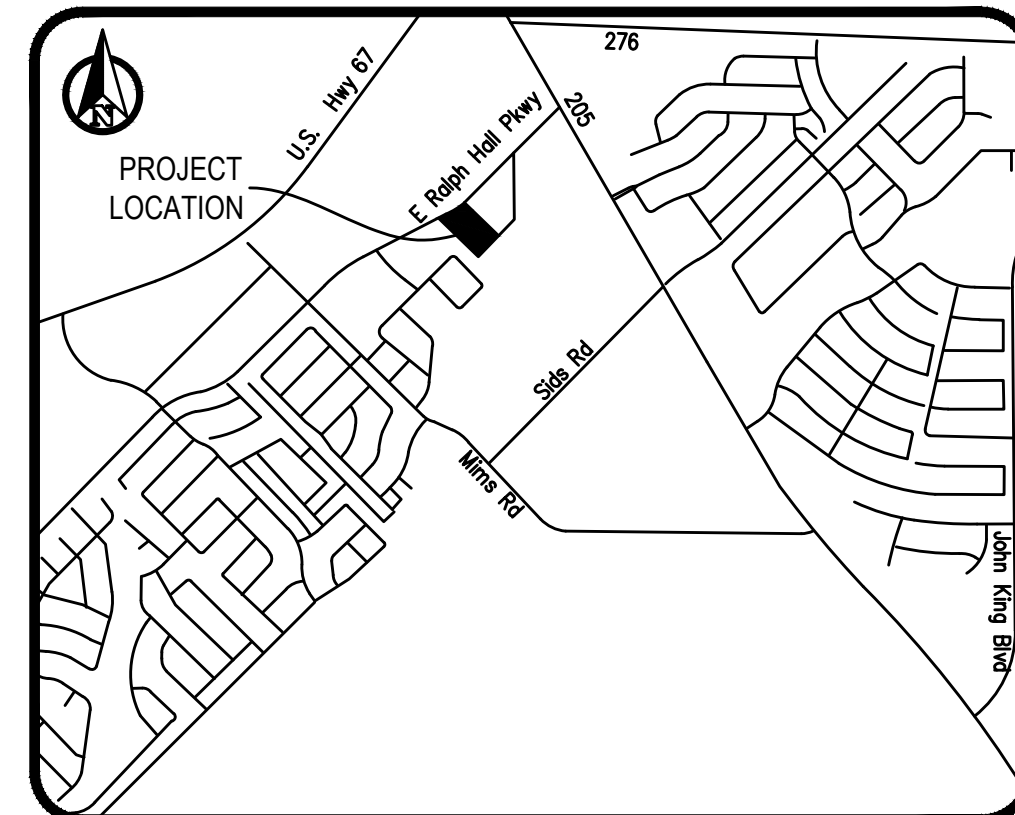
01 TREE PROTECTIVE FENCING
NOT TO SCALE

EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01/L1.01



SCALE: 1" = 30'-0"



PROJECT NAME: PINNACLE MONTESSORI ROCKWALL	
EXISTING LEGAL DESCRIPTION: LOT 5A, ROCKWALL BUSINESS PARK EAST	
CASE NUMBER: P2022-006	
CURRENT OWNER:	BUFFALO COUNTRY PROPERTIES LLC, ATTN: RAJESH MALVIYA 12050 RESEARCH ROAD, #9305 FRISCO, TX 75033
DEVELOPER:	SRC LAND BUILDING AND REAL ESTATE LLC 811 S. CENTRAL EXPRESSWAY, SUITE 306 RICHARDSON, TX 75080



4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

OMEGA DESIGN, LLC
811 S. CENTRAL EXPRESSWAY
SUITE 306
RICHARDSON, TX 75080

TBPE FIRM NO. F-20145

REVISIONS		
#	DATE	COMMENTS
1	05.06.20	City Comments
2	10.13.20	City Comments
3	11.19.21	City Comments
4	12.06.21	City Comments
5	03.03.22	City Comments
6	08.05.22	City Comments

PROFESSIONAL SEAL



08/05/22

OWNER INFORMATION

Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PROJECT INFORMATION

PINNACLE MONTESSORI
ACADEMY ROCKWALL
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE

TREE
PRESERVATION
PLAN

SHEET NUMBER

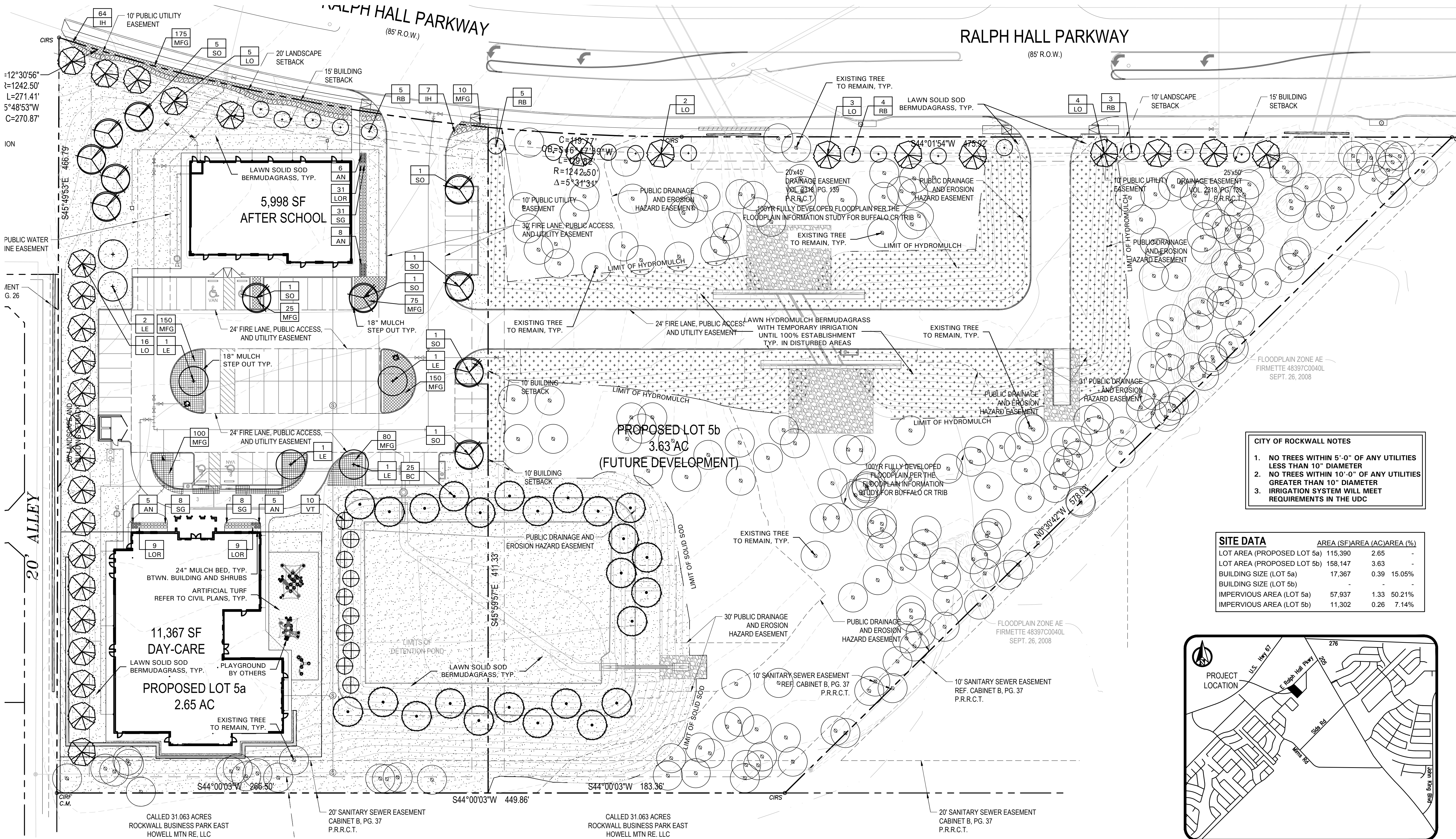
L1.01

ISSUE DATE: 03-20-2020

TREE SURVEY FIELD DATA				
No.	Dis (Inches)	Species (Common Name)	Status	Mitigation (Inches)
1659	6	Cedar	TO BE REMOVED	
1660	8	Cedar	TO BE REMOVED	
1661	18	Cedar	TO REMAIN	
1662	6	Cedar	TO BE REMOVED	
1663	6	Cedar	TO BE REMOVED	
1664	6	Cedar	TO BE REMOVED	
1665	6	Cedar	TO BE REMOVED	
1666	6	Cedar	TO BE REMOVED	
1667	6	Cedar	TO BE REMOVED	
1668	6	Cedar	TO BE REMOVED	
1669	6	Cedar	TO BE REMOVED	6
1670	12	Cedar	TO BE REMOVED	
1671	8	Cedar	TO REMAIN	6
1672	6	Cedar	TO BE REMOVED	
1673	6	Cedar	TO BE REMOVED	
1674	6	Cedar	TO BE REMOVED	
1675	12	Cedar	TO BE REMOVED	
1676	8	Cedar	TO REMAIN	
1677	12	Cedar	TO REMAIN	
1678	6	Cedar	TO REMAIN	
1679	6	Cedar	TO BE REMOVED	
1680	6	Cedar	TO BE REMOVED	
1681	6	Cedar	TO BE REMOVED	
1682	6	Cedar	TO BE REMOVED	
1683	6	Cedar	TO BE REMOVED	
1684	6	Cedar	TO REMAIN	
1685	12	Cedar	TO BE REMOVED	6
1686	6	Cedar	TO REMAIN	
1687	10	Cedar	TO BE REMOVED	
1688	6	Cedar	TO REMAIN	
1689	6	Cedar	TO BE REMOVED	
1690	6	Cedar	TO BE REMOVED	
1691	6	Cedar	TO REMAIN	
1692	6	Cedar	TO REMAIN	
1693	14	Cedar	TO BE REMOVED	7
1694	10	Cedar	TO REMAIN	
1695	8	Cedar	TO REMAIN	
1696	6	Cedar	TO REMAIN	
1697	16	Cedar	TO REMAIN	
1698	6	Cedar	TO REMAIN	
1699	6	Cedar	TO REMAIN	
1700	18	Cedar	TO BE REMOVED	9
1838	12	Hackberry	TO REMAIN	
1839	12	Hackberry	TO REMAIN	
1840	8	Green Ash	TO REMAIN	
1841	10	Hackberry	TO REMAIN	
1842	10	Hackberry	TO REMAIN	
1843	12	Gulf Black Willow	TO REMAIN	
1844	10	Gulf Black Willow	TO REMAIN	
1845	10	Cottonwood	TO REMAIN	
1846	6	Green Ash	TO REMAIN	
1847	6	Cottonwood	TO REMAIN	
1848	6	Hackberry	TO BE REMOVED	DECLINE
1849	12	Hackberry	TO BE REMOVED	6
1850	8	Hackberry	TO BE REMOVED	DECLINE
1851	6	Green Ash	TO BE REMOVED	6
1852	6	American Elm	TO BE REMOVED	6
1853	8	Hackberry	TO BE REMOVED	
1854	12	Hackberry	TO BE REMOVED	6
1855	8	Hackberry	TO BE REMOVED	DECLINE
1856	6	Hackberry	TO BE REMOVED	DECLINE
1857	12	Hackberry	TO REMAIN	
1858	12	Cedar Elm	TO REMAIN	
1859	6	Hackberry	TO REMAIN	
1860	10	Hackberry	TO REMAIN	
1861	8	American Elm	TO REMAIN	
1862	8	Cedar Elm	TO REMAIN	
1863	8	Cedar	TO REMAIN	
1864	10	American Elm	TO REMAIN	
1865	6	Hackberry	TO REMAIN	
1866	6	Hackberry	TO REMAIN	
1867	10	Cottonwood	TO BE REMOVED	
1868	8	Hackberry	TO BE REMOVED	DECLINE
1869	6	Hackberry	TO BE REMOVED	DECLINE
1870	6	Hackberry	TO BE REMOVED	
1871	10	Hackberry	TO BE REMOVED	
1872	6	Hackberry	TO BE REMOVED	
1873	10	American Elm	TO BE REMOVED	10
1874	8	Hackberry	TO BE REMOVED	
1875	6	Hackberry	TO BE REMOVED	
1876	8	Cedar	TO BE REMOVED	
1877	6	Hackberry	TO BE REMOVED	
1878	6	Cedar	TO BE REMOVED	
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1880	10	Hackberry	TO BE REMOVED	
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1882	6	Hackberry	TO BE REMOVED	
1883	6	Hackberry	TO BE REMOVED	
1884	6	Hackberry	TO BE REMOVED	
1885	12	Cedar	TO REMAIN	
1886	10	Cedar	TO REMAIN	
1887	12	Cedar	TO REMAIN	
1888	8	American Elm	TO BE REMOVED	8
1889	8	Cedar	TO BE REMOVED	
1890	12	Cedar	TO REMAIN	
1891	6	Hackberry	TO BE REMOVED	
1892	8	Cedar	TO BE REMOVED	
1893	6	Cedar	TO BE REMOVED	
1894	10	Green Ash	TO BE REMOVED	10
1895	6	Cedar	TO BE REMOVED	
1896	22	Cottonwood	TO BE REMOVED	
1897	8	Hackberry	TO BE REMOVED	
1898	12	Cedar	TO BE REMOVED	6
1899	10	Cedar	TO BE REMOVED	
2017	6	Cedar	TO BE REMOVED	
2018	6	Cedar	TO BE REMOVED	
2020	6	Cedar	TO BE REMOVED	
2022	14	Cedar	TO BE REMOVED	7
2023	10	Cedar	TO BE REMOVED	
2024	6	Cedar	TO BE REMOVED	
2025	6	Cedar	TO BE REMOVED	
2026	6	Cedar	TO BE REMOVED	
2027	24	Cedar	TO REMAIN	
2028	6	Cedar	TO REMAIN	
2029	10	Cedar	TO REMAIN	
2030	6	Cedar	TO REMAIN	
2031	8	Cedar	TO REMAIN	
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2033	20	Cedar	TO REMAIN	
2034	6	Cedar	TO REMAIN	
2035	6	Cedar	TO BE REMOVED	
2036	6	Cedar	TO BE REMOVED	
2037	6	Cedar	TO BE REMOVED	

2038	6	Cedar	TO BE REMOVED	
2039	6	Cedar	TO BE REMOVED	
2040	6	Cedar	TO BE REMOVED	
2041	6	Cedar	TO BE REMOVED	
2042	6	Cedar	TO BE REMOVED	
2043	6	Cedar	TO BE REMOVED	
2044	6	Cedar	TO BE REMOVED	
2045	6	Cedar	TO BE REMOVED	
2046	10	American Elm	TO BE REMOVED	10
2047	6	Cedar	TO BE REMOVED	
2048	12	Green Ash	TO BE REMOVED	12
2049	8	Cedar	TO BE REMOVED	
2050	10	Green Ash	TO BE REMOVED	10
2051	10	Pecan	TO BE REMOVED	
2052	6	Cedar	TO BE REMOVED	
2053	10	Cedar	TO REMAIN	
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2083	6	Cedar	TO BE REMOVED	
2084	6	Cedar	TO BE REMOVED	
2085	8	Cedar	TO REMAIN	
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2090	6	Cedar	TO BE REMOVED	
2091	6	Cedar	TO BE REMOVED	
2092	16	Cedar	TO BE REMOVED	8
2093	6	Cedar	TO BE REMOVED	
2095	6	Cedar	TO REMAIN	
2096	16	Cedar	TO REMAIN	
2097	6	Cedar	TO BE REMOVED	
2098	6	Cedar	TO REMAIN	
2099	6	Cedar	TO BE REMOVED	
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2326	6	Cedar	TO BE REMOVED	
2327	6	Cedar	TO BE REMOVED	
2328	12	Cedar	TO BE REMOVED	6
2329	6	Cedar	TO BE REMOVED	
2330	8	Cedar	TO BE REMOVED	
2331	6	Cedar	TO BE REMOVED	
2332	22	Cedar	TO BE REMOVED	11
2333	6	Cedar	TO BE REMOVED	
2335	8	Cedar	TO BE REMOVED	
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2342	6	Cedar	TO BE REMOVED	
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2345	10	Cedar	TO BE REMOVED	
2346	12	Cedar	TO BE REMOVED	6
2347	14	Cedar	TO BE REMOVED	7
2348	8	Cedar	TO BE REMOVED	
2349	12	Cedar	TO BE REMOVED	6
2350	6	Cedar	TO BE REMOVED	
2351	12	Cedar	TO BE REMOVED	6
2352	18	Cedar	TO BE REMOVED	9
2353	14	Cedar	TO BE REMOVED	7
2354	12	Cedar	TO BE REMOVED	6
2355	14	Cedar	TO REMAIN	
2356	16	Cedar	TO REMAIN	
2357	8	Cedar	TO BE REMOVED	
2358	8	Cedar	TO BE REMOVED	
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2360	8	Cedar	TO BE REMOVED	
2361	8	Cedar	TO REMAIN	
2362	6	Cedar	TO BE REMOVED	
2363	6	Cedar	TO REMAIN	
2364	10	Cedar	TO REMAIN	
2365	10	Cedar	TO REMAIN	
2366	12	Cedar	TO REMAIN	
2367	14	Cedar	TO REMAIN	

2368	8	Cedar	TO REMAIN	
2369	16	Cedar	TO REMAIN	
2370	8	Cedar	TO REMAIN	
2371	6	Cedar	TO REMAIN	
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2376	18	Cedar	TO BE REMOVED	9
2377	10	Cedar	TO BE REMOVED	
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2379	6	Cedar	TO REMAIN	
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2381	6	Cedar	TO BE REMOVED	
2382	6	Cedar	TO BE REMOVED	
2383	6	Cedar	TO BE REMOVED	
2384	6	Cedar	TO BE REMOVED	
2385	6	Cedar	TO REMOVED	
2386	6	Cedar	TO BE REMOVED	
2387	6	Cedar	TO BE REMOVED	
2388	8	Cedar	TO BE REMOVED	
2389	6	Cedar	TO BE REMOVED	
2390	6	Cedar	TO BE REMOVED	
2391	6	Cedar	TO BE REMOVED	
2392	6	Cedar	TO BE REMOVED	
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2398	6	Cedar	TO BE REMOVED	
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2425	16	Cedar	TO REMAIN	
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2428	10	Cedar	TO REMAIN	
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2484	10	Cedar	TO BE REMOVED	
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2489	6	Cedar	TO BE REMOVED	
2490	8	Cedar	TO BE REMOVED	
2491	8	Cedar	TO BE REMOVED	
2492	6	Cedar	TO REMAIN	
2493	8	Cedar	TO BE REMOVED	
2494	6	Cedar	TO REMAIN	
2495	6	Cedar	TO BE REMOVED	
2496	8	Cedar	TO BE REMOVED	
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2499	12	Cedar	TO REMAIN	



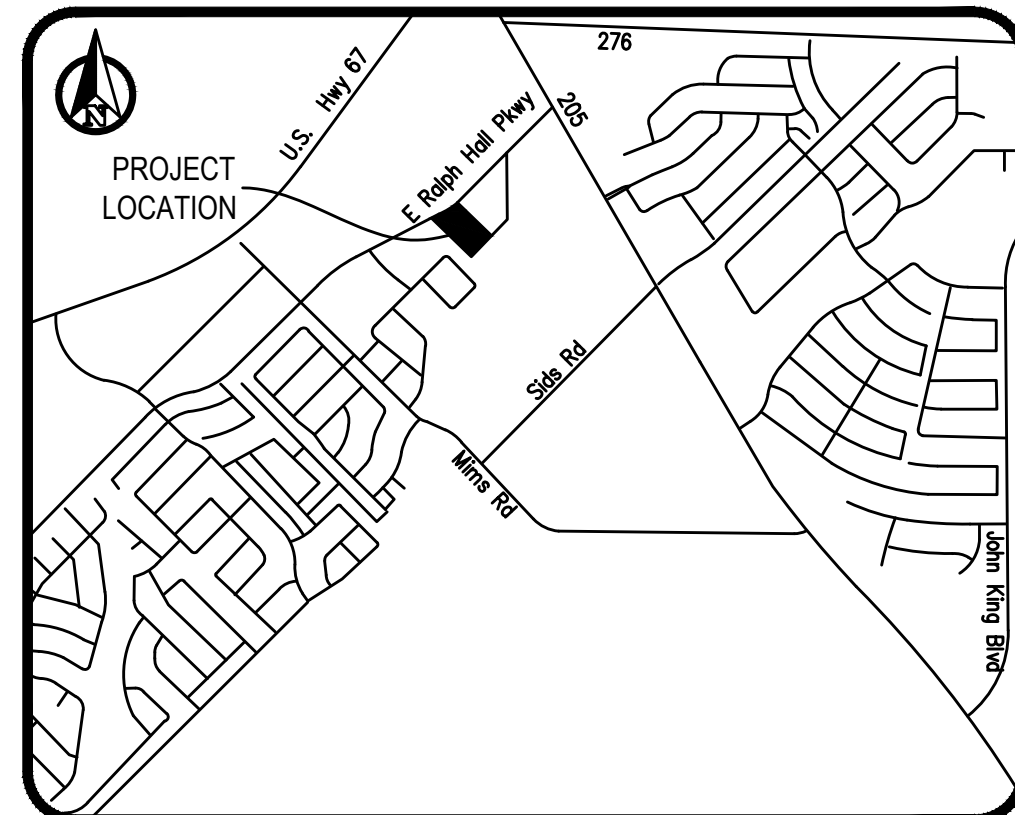
PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	TYPE	QTY.	SIZE	REMARKS
TREES						
BC	<i>Taxodium distichum</i>	Bald Cypress	Canopy	25	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
LE	<i>Ulmus parvifolia</i> 'Sempervirens'	Lacebark Elm	Canopy	6	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
LO	<i>Quercus virginiana</i>	Live Oak	Canopy	30	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
RB	<i>Cercis canadensis</i> 'Oklahoma'	Oklahoma Redbud	Accent	17	30 gal.	container grown, 8' ht., 4' spread min.
SO	<i>Quercus shumardii</i>	Shumard Red Oak	Canopy	11	4" cal.	container grown, 15' ht., 6' spread, 6' branching ht., matching
VT	<i>Vitex agnus-castus</i>	Vitex	Accent	10	2" cal.	B&B or container grown, 8' ht., 4' spread, 3 trunk min.
				Total Canopy Trees:	72	
				Total Accent Trees:	27	
SHRUBS/GROUND COVER						
AN	<i>Juniperus tobira</i> 'Andorra'	Andorra Juniper		24	5 gal.	container full, 20" spread, 24" o.c.
IH	<i>Raphiolepis indica</i> 'Clara'	Indian Hawthorne 'Clara'		71	5 gal.	container full, 24" spread, 36" o.c.
LOR	<i>Loropetalum chinensis</i> 'Plum Delight'	Loropetalum 'Plum Delight'		49	3 gal.	container full, 18" spread, 24" o.c.
MFG	<i>Nassella tenuissima</i>	Mexican Feathergrass		765	1 gal.	container full, 24" o.c.
SG	<i>Salvia greggii</i> 'Red'	Salvia Greggii 'Red'		47	5 gal.	container full, 20" spread 24" o.c.
				Cynodon dactylon		
				Common Bermudagrass		

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

- CITY OF ROCKWALL NOTES
- NO TREES WITHIN 5'-0" OF ANY UTILITIES LESS THAN 10" DIAMETER
 - NO TREES WITHIN 10'-0" OF ANY UTILITIES GREATER THAN 10" DIAMETER
 - IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

SITE DATA	AREA (SF)	AREA (AC)	AREA (%)
LOT AREA (PROPOSED LOT 5a)	115,390	2.65	-
LOT AREA (PROPOSED LOT 5b)	158,147	3.63	-
BUILDING SIZE (LOT 5a)	17,367	0.39	15.05%
BUILDING SIZE (LOT 5b)	-	-	-
IMPERVIOUS AREA (LOT 5a)	57,937	1.33	50.21%
IMPERVIOUS AREA (LOT 5b)	11,302	0.26	7.14%



PROJECT NAME:	PINNACLE MONTESSORI ROCKWALL
EXISTING LEGAL DESCRIPTION:	LOT 5A, ROCKWALL BUSINESS PARK EAST
CASE NUMBER:	P2022-006
CURRENT OWNER:	BUFFALO COUNTRY PROPERTIES LLC, ATTN: RAJESH MALVIYA 12050 RESEARCH ROAD, #9305 FRISCO, TX 75033
DEVELOPER:	SRC LAND BUILDING AND REAL ESTATE LLC 811 S. CENTRAL EXPRESSWAY, SUITE 306 RICHARDSON, TX 75080



SCALE: 1" = 30'-0"



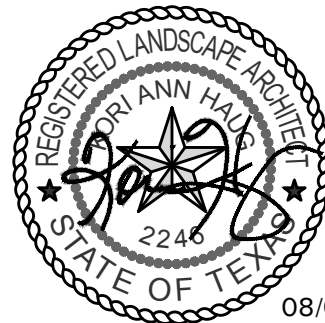
4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

OMEGA DESIGN, LLC
811 S. CENTRAL EXPRESSWAY
SUITE 306
RICHARDSON, TX 75080

TBPE FIRM NO. F-20145

REVISIONS	#	DATE	COMMENTS
	1	05.06.20	City Comments
	2	10.13.20	City Comments
	3	11.19.21	City Comments
	4	12.06.21	City Comments
	5	03.03.22	City Comments
	6	08.05.22	City Comments

PROFESSIONAL SEAL



OWNER INFORMATION

Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PROJECT INFORMATION

PINNACLE MONTESSORI
ACADEMY ROCKWALL
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

L2.01

ISSUE DATE:

03-20-2020

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
5. CONTRACTOR SHALL CROWN ALL LANDSCAPE ISLANDS TO 6" HEIGHT, TYPICAL AND UNIFORM THROUGHOUT THE SITE.
6. CONTRACTOR SHALL OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF FINE GRADING, CROWNS, AND BERMS PRIOR TO INSTALLING LANDSCAPE. NOTIFY LANDSCAPE ARCHITECT 72 HOURS IN ADVANCE TO SCHEDULE A SITE VISIT.
7. ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
8. TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
9. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
10. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
11. CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
3. ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
4. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
6. CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

1. CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
4. ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
5. CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
6. CONTRACTOR SHALL PROVIDE AN ADD ALTERNATE PRICE TO INSTALL (2") TWO INCHES OF IMPORTED TOPSOIL ON ALL LAWN AREAS IN LIEU OF USING EXISTING TOPSOIL ON-SITE. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
7. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
8. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

SOLID SOD NOTES

1. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
2. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
4. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

HYDROMULCH NOTES

1. CONTRACTOR SHALL SCARIFY, RIP AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
2. BERMUDAGRASS SEED SHALL BE EXTRA HULLED AND TREATED LAWN TYPE, SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET STATE LAW REQUIREMENTS.
3. FIBER SHALL BE ONE HUNDRED PERCENT (100%) WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'CONWEB' OR EQUAL.
4. FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL BE 'TERRO-TACK ONE', AS MANUFACTURED BY GROWERS, INC. OR EQUAL.
5. HYDROMULCH WITH BERMUDAGRASS SEED AT A RATE OF TWO (2) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.
6. USE A 4'X8' BATTER BOARD AGAINST ALL BED AREAS.
7. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MAY 1, ALL HYDROMULCH AREAS TO BE WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDAGRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
8. ALL LAWN AREAS TO BE HYDROMULCHED SHALL HAVE ONE HUNDRED PERCENT (100%) COVERAGE PRIOR TO FINAL ACCEPTANCE.

LANDSCAPE TABULATIONS - Lot 5a
THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.V. BUFER

1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) i.f. and one accent tree per (50) i.f., to include groundcover, berm, and shrubbery

RALPH HALL PARKWAY: 272 i.f.

Required	Provided
10' wide buffer	20' wide buffer
(5) trees, 4" cal.	(5) trees, 4" cal.
(5) accent trees	(5) accent trees

RESIDENTIAL BUFFER

1. Twenty (20') foot-wide landscape buffer with one tree per twenty (20) i.f.

Residential Adjacency: 320 i.f.

Required	Provided
20' wide buffer	20' wide buffer
(16) trees, 4" cal.	(16) trees, 4" cal.

PARKING LOT LANDSCAPING

1. Five (5%) percent of the interior parking lot shall be landscape.

2. One tree per ten (10) spaces for lots over 20,000 s.f.

Total interior parking lot area: 23,980 s.f.

Total parking spaces: 64 spaces

Required	Provided
1,199 s.f. (5%)	4,288 s.f.
(7) trees, 4" cal.	(12) trees, 4" cal.

SITE LANDSCAPING

1. Fifteen (15%) percent of the total site shall be landscaped for COMMERCIAL.

2. Fifty (50%) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 273,538 s.f.

Required	Provided
41,031 s.f. (15%)	56,373 s.f. (21%)
20,516 s.f. (50%)	24,603 s.f. (60%)

DETENTION BASIN LANDSCAPING

1. One (1) canopy tree and (1) accent tree per 750 s.f. of dry area.

Detention Basin Area: 8,051 s.f.

Required	Provided
(10) trees, 4" cal.	(10) trees, 4" cal.
(10) accent trees	(10) accent trees

LANDSCAPE TABULATIONS - Lot 5b
THE CITY OF ROCKWALL, TEXAS

NON-RESIDENTIAL R.O.V. BUFER

1. Ten (10') foot-wide landscape buffer with one tree per fifty (50) i.f. and one accent tree per (50) i.f.

RALPH HALL PARKWAY: 596 i.f.

Required	Provided
10' wide buffer	10' wide buffer
(12) trees, 4" cal.	(9) trees, 4" cal.
(12) accent trees	(12) accent trees
	(3) existing trees

- CITY OF ROCKWALL NOTES
1. NO TREES WITHIN 5'-0" OF ANY UTILITIES LESS THAN 10" DIAMETER

2. NO TREES WITHIN 10'-0" OF ANY UTILITIES GREATER THAN 10" DIAMETER

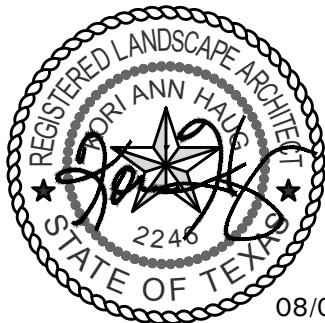
3. IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

OMEGA DESIGN, LLC

811 S. CENTRAL EXPRESSWAY
SUITE 306
RICHARDSON, TX 75080

TBPE FIRM NO. F-20145		
REVISIONS		
#	DATE	COMMENTS
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PROFESSIONAL SEAL



OWNER INFORMATION

Lakeside Kids, LLC
5909 Beth Drive
Plano, TX 75093

PINNACLE MONTESSORI
ACADEMY ROCKWALL
E. RALPH HALL PARKWAY AND PLAZA DRIVE
ROCKWALL, TEXAS

PROJECT NUMBER: PM4032

SHEET TITLE

LANDSCAPE
NOTES

SHEET NUMBER

L2.02

ISSUE DATE: 03-20-2020



SCALE: 1" = 30'-0"

0 15 30 60



BELLE
FIRMA

• 4245 North Central Expy
• Suite 501
• Dallas, Texas 75205
• 214.865.7192 office
•

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

- A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

- A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs and grasses)
- Bed preparation and fertilization
- Notification of sources
- Water and maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (Z60.1) – plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

- Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as the weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

- C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 - Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 - Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 - Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 - Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 - Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 - Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 - Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 - Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 - Remove rejected plant material immediately from job site.
 - To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)

- Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

- Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
- Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
- Organic matter shall be 3%-10% of total dry weight.
- If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.

- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
- Staking Material for Shade Trees: refer to details.
- Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- Filter Fabric: 'Mirafi Mirascope' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- River Rock: 'Colorado' or native river rock, 2" - 4" dia.

- Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- All planting areas shall receive a two (2") inch layer of specified mulch.
- Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

C. Grass Areas:

- Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (¾") inch in diameter. Plants should be thoroughly moist before removing containers.
- Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

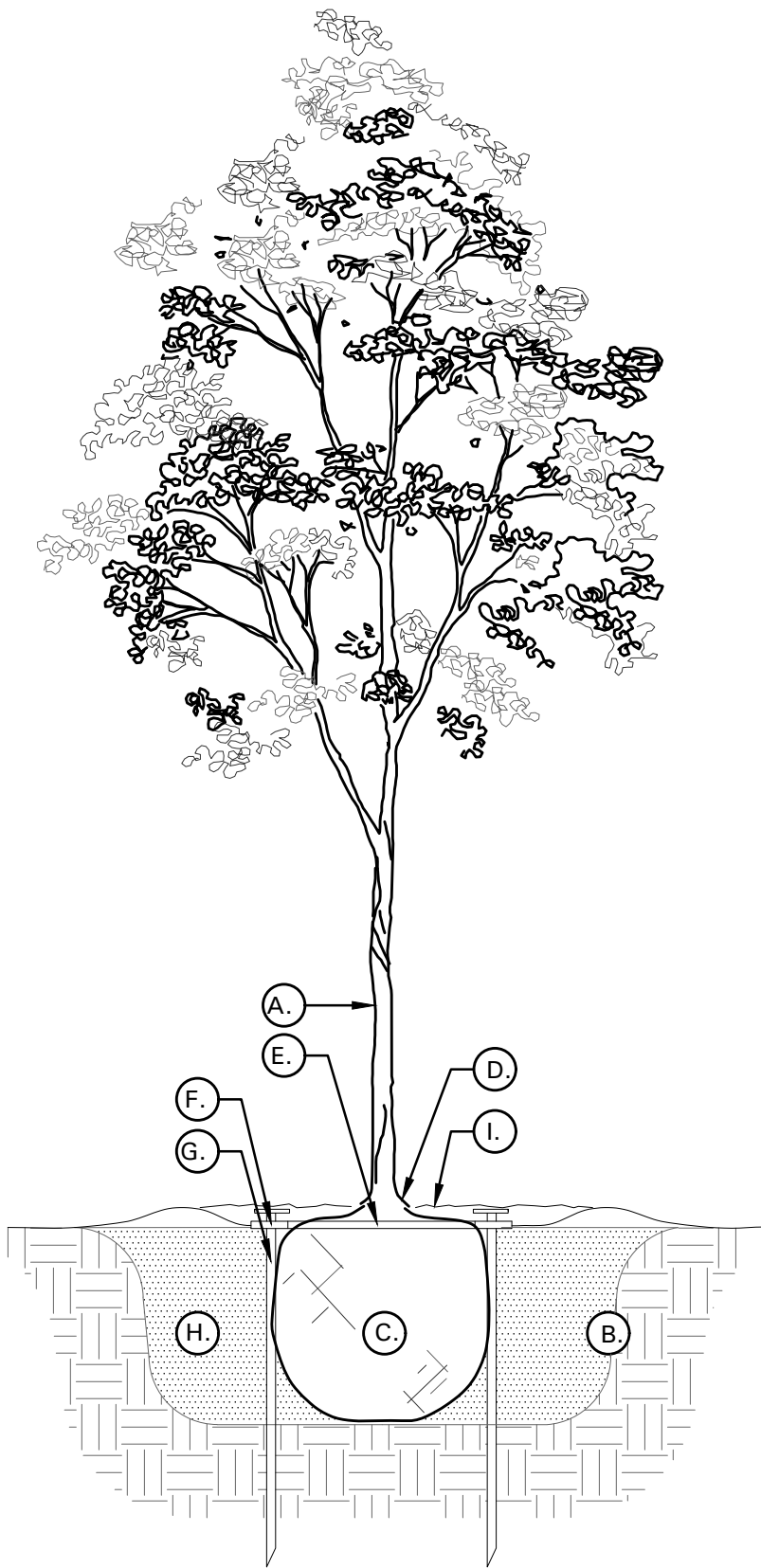
- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice of "root scoring".
- Do not wrap trees.
- Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.

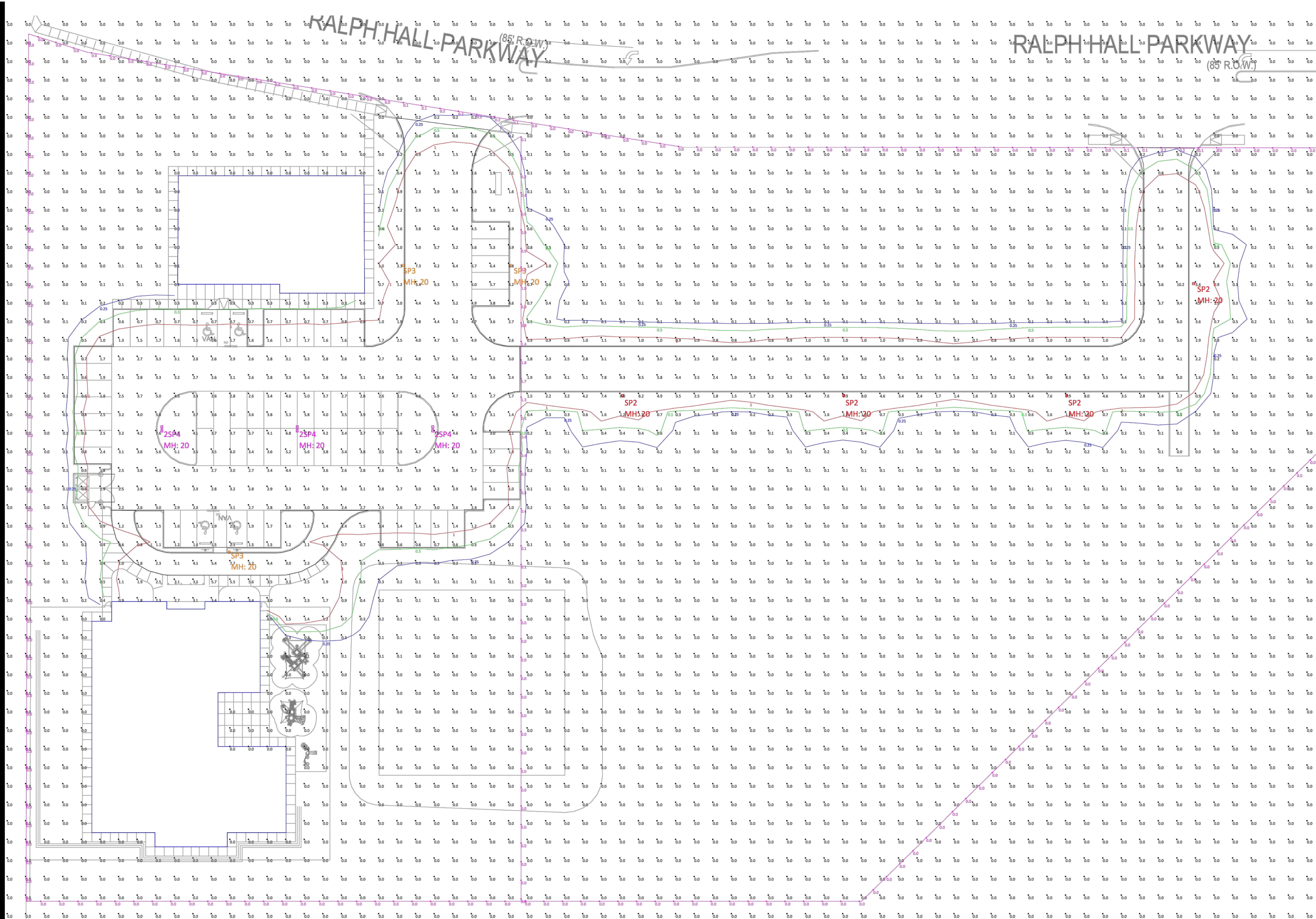
- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- Pruning shall be done with clean, sharp tools.
- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Steel Curbing Installation:
 - Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 - All steel curbing shall be free of kinks and abrupt bends.
 - Top of curbing shall be ½" maximum height above final finished grade.
 - Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 - Do not install steel edging along sidewalks or curbs.
 - Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION





1 SITE PLAN PHOTOMETRIC
Scale: NOT TO SCALE

Luminaire Schedule						
Symbol	Label	Qty	Arrangement	Manufacturer & Part Number	LLF	Lum. Lumens
	2SP4	3	BACK-BACK	BEACON VP-L-64L-135-4K7-4 2@180DEGREES	0.900	14935
	SP2	4	SINGLE	BEACON VP-L-64L-135-4K7-2	0.900	17761
	SP3	3	SINGLE	BEACON VP-L-64L-135-4K7-3	0.900	17791

Calculation Summary										
Label	CalcType	Units	PtSpclr	PtSpctb	Avg	Max	Min	Avg/Min	Max/Min	Description
Grade	Illuminance	Fc	10	10	0.22	10.2	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG
Property Line	Illuminance	Fc	10	N.A.	0.07	1.8	0.0	N.A.	N.A.	Readings taken at 0'-0" AFG
Drop Off	Illuminance	Fc			2.77	7.7	0.6	4.62	12.83	Readings taken at 0'-0" AFG
East Drive	Illuminance	Fc			3.67	10.2	0.1	36.70	102.00	Readings taken at 0'-0" AFG
Parking Lot & Drives	Illuminance	Fc			3.22	7.7	0.4	8.05	19.25	Readings taken at 0'-0" AFG

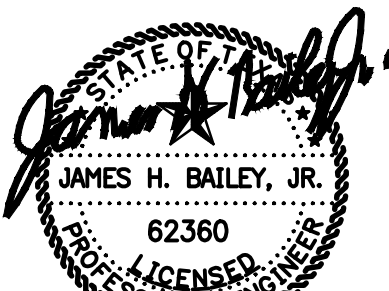
- NOTES:
- 1) Fixture Mounting Heights (MH) are indicated next to each fixture.
 - 2) All fixtures labeled with "_alt" indicates an alternative fixture different from what was listed in the fixture schedule received was used in this calculation
 - 3) All fixtures labeled with "_ph" indicates that another fixture's IES file was used as a placeholder due to unavailable IES files from the specified Manufacturer.
 - 4) Interior reflectances 80/50/20; exterior reflectances 20% UON.
 - 5) Quantity (QTY) indicated on HLPS Luminaire Schedule is for what is included in this calculation study only - Not final counts.
 - 6) Contractor to verify exact fixture quantities and fixture run lengths before ordering.

ARJO ENGINEERS, INC.
Consulting Engineers
5501 LBJ FREEWAY, SUITE 435
DALLAS, TEXAS 75240
PH. (214) 520-7799 FAX (214) 520-7897
TEXAS REGISTERED ENGINEERING FIRM F-33



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Revisions:		
#	DATE	COMMENTS



10-06-2021

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PROJECT

PINNACLE MONTESSORI OF ROCKWALL

Site Address:
E. Ralph Hall and
Plaza Drive,
Rockwall, Texas

PROJECT
SRC 032
(5916.08)

OWNER

Lakeside Kids, LLC

5909 Beth Drive
Plano, Texas 75093

SHEET TITLE: SITE PLAN - PHOTOMETRIC

SHEET NO.

E1.01

ISSUE DATE: MARCH 20, 2021