



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	Northeast corner of Data Drive and Springer Road			
SUBDIVISION	Rockwall Technology Park Phase V	LOT	Part of 1	BLOCK B
GENERAL LOCATION	Northeast corner of Data Drive and Springer Road			

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	Light Industrial - SUP No. S-320	CURRENT USE	Undeveloped
PROPOSED ZONING	No Change	PROPOSED USE	Heavy Manufacturing
ACREAGE	22	LOTS [CURRENT]	Part of Larger Lot
		LOTS [PROPOSED]	1 New Lot

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Rockwall EDC	<input checked="" type="checkbox"/> APPLICANT	Kimley-Horn and Associates, Inc.
CONTACT PERSON	Phil Wagner	CONTACT PERSON	Neda Hosseiny
ADDRESS	2610 Observation Suite 104	ADDRESS	13455 Noel Road, Two Galleria Office Tower Suite 700
CITY, STATE & ZIP	Rockwall, Texas 75032	CITY, STATE & ZIP	Dallas, Texas 75240
PHONE	972.772.0025	PHONE	972.770.1300
E-MAIL	pwagner@rockwalledc.com	E-MAIL	neda.hosseiny@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

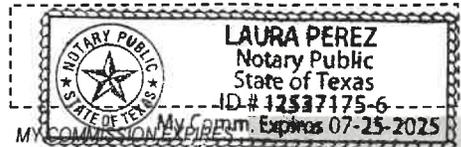
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Phil Wagner [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 740.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14th DAY OF June, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14th DAY OF June, 2024.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 80 160 320 480 640 Feet

SP2024-031: Site Plan for Ballard Facility



Case Location Map = 

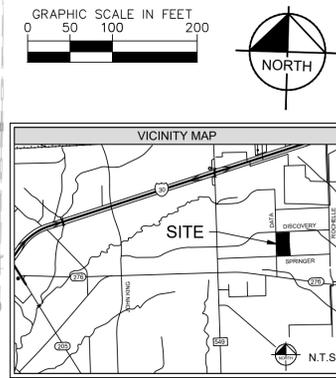
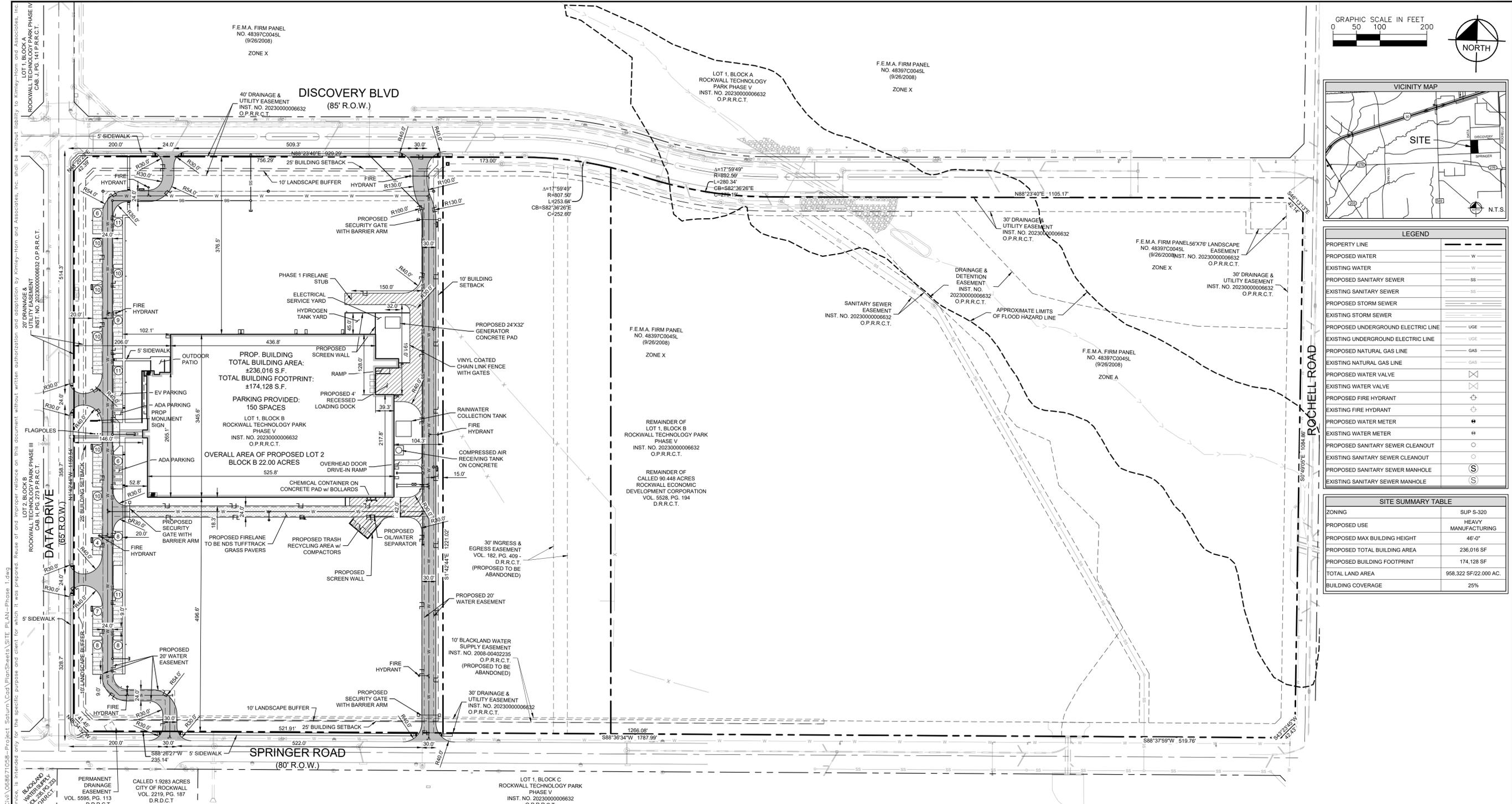


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LEGEND

PROPERTY LINE	---
PROPOSED WATER	W
EXISTING WATER	W
PROPOSED SANITARY SEWER	SS
EXISTING SANITARY SEWER	SS
PROPOSED STORM SEWER	SS
EXISTING STORM SEWER	SS
PROPOSED UNDERGROUND ELECTRIC LINE	UG-E
EXISTING UNDERGROUND ELECTRIC LINE	UG-E
PROPOSED NATURAL GAS LINE	GAS
EXISTING NATURAL GAS LINE	GAS
PROPOSED WATER VALVE	⊗
EXISTING WATER VALVE	⊗
PROPOSED FIRE HYDRANT	⊕
EXISTING FIRE HYDRANT	⊕
PROPOSED WATER METER	⊙
EXISTING WATER METER	⊙
PROPOSED SANITARY SEWER CLEANOUT	○
EXISTING SANITARY SEWER CLEANOUT	○
PROPOSED SANITARY SEWER MANHOLE	⊙
EXISTING SANITARY SEWER MANHOLE	⊙

SITE SUMMARY TABLE

ZONING	SUP S-320
PROPOSED USE	HEAVY MANUFACTURING
PROPOSED MAX BUILDING HEIGHT	46'-0"
PROPOSED TOTAL BUILDING AREA	236,016 SF
PROPOSED BUILDING FOOTPRINT	174,128 SF
TOTAL LAND AREA	958.322 SF/22.000 AC.
BUILDING COVERAGE	25%

PARKING DATA TABLE

PARKING RATIO	1 SPACE PER 0.75 EMPLOYEES
PHASE 1 EMPLOYEE COUNT	198
ULTIMATE EMPLOYEE COUNT	540
PHASE 1 REQUIRED PARKING	149 TOTAL SPACES 144 STANDARD SPACES 5 ADA SPACES
ULTIMATE REQUIRED PARKING	405 TOTAL SPACES 396 STANDARD SPACES 9 ADA SPACES
PHASE 1 PROVIDED PARKING	133 STANDARD SPACES 10 EV SPACES 6 ADA SPACES
ULTIMATE PROVIDED PARKING	386 STANDARD SPACES 10 EV SPACES 9 ADA SPACES

NOTES

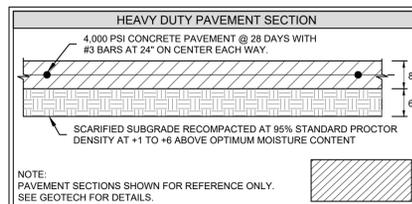
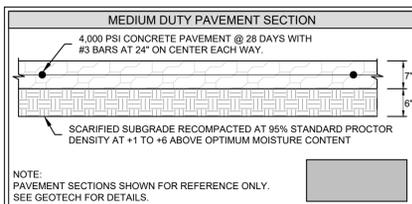
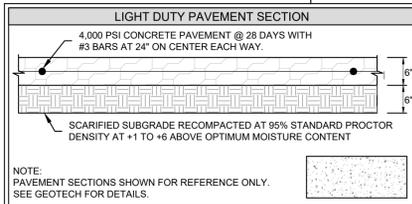
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SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



**SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
KIMLEY-HORN & ASSOCIATES, INC.
13455 NOEL ROAD
TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PH (972) 770-1300
CONTACT: NEDA HOSSEINY, P.E.

DEVELOPER:
ROCKWALL ECONOMIC
DEVELOPMENT CORPORATION
2610 OBSERVATION TRAIL, SUITE 104
ROCKWALL, TX 75032
PH (972) XXX-XXXX
CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley-Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
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PRELIMINARY

FOR REVIEW ONLY NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

Kimley-Horn
Engineer: NEDA M. HOSSEINY
P.E. No. 126707
Date: 06/14/2024

KHA PROJECT	06867.058
DATE	06/14/2024
SCALE	AS SHOWN
DESIGNED BY	TAD
DRAWN BY	AMA
CHECKED BY	NMH

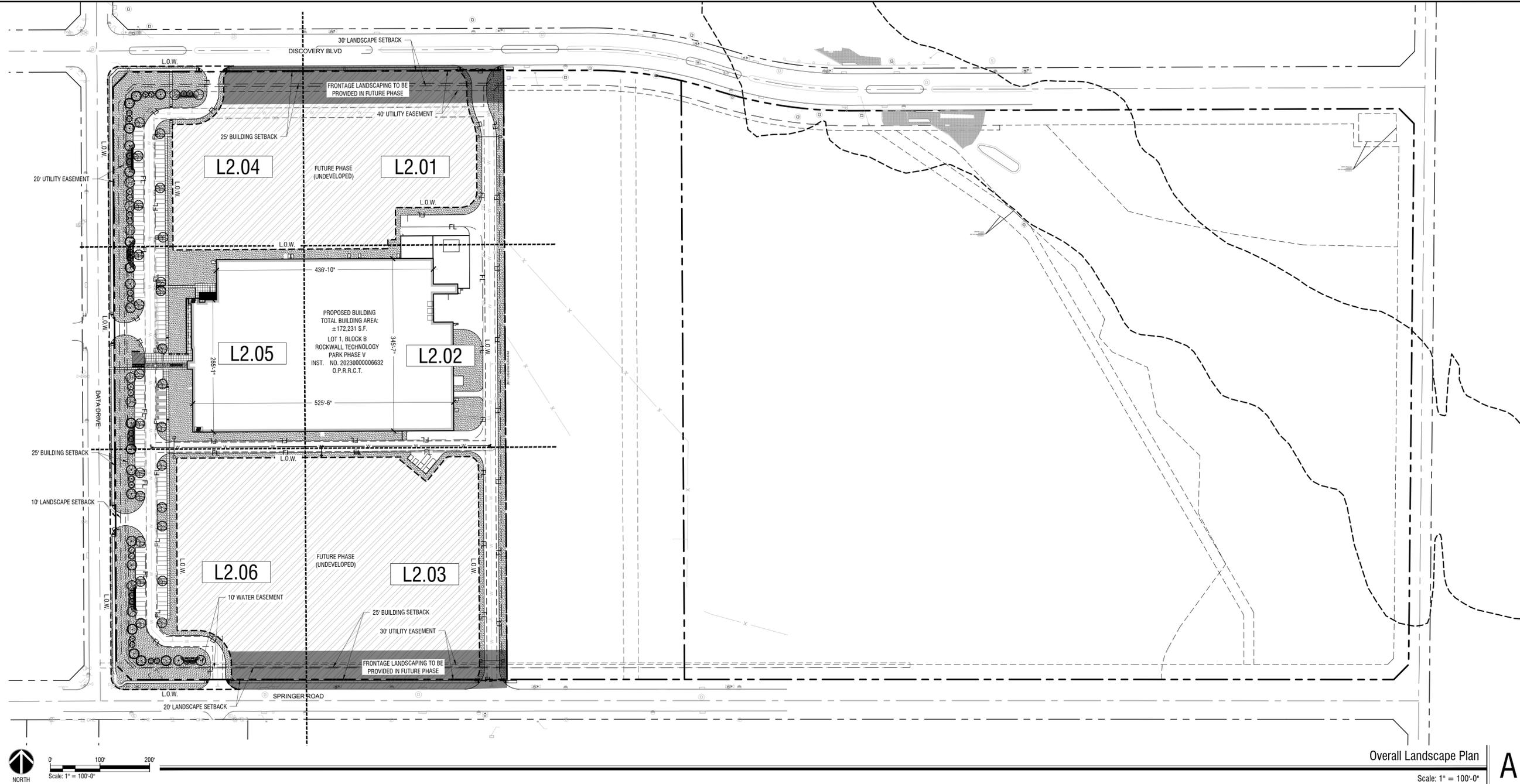
PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

**SITE PLAN
PHASE 1**

SHEET NUMBER
C-003

Plotted By: Schwartz, Payton. Date: June 13, 2024. 03:30:28pm. File Path: \\DAL-Civil\068671058-Project Saturn\Cad\Plan\Site\Site PLAN-Phase 1.dwg
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Plotted By: Ferraro, Nick Date: June 13, 2024 06:07:09pm File Path: \\K:\MKH\LA\Projects\06867058 - project saturn\CAD\Sheets\06867058\1.01 LANDSCAPE NOTES AND SITE CALCULATIONS.dwg
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PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING (REFER TO MATERIALS PAGE) BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
- ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PRUNED AS NECESSARY TO CONTROL SIZE BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPAQUE HEDGE IF REQUIRED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE AISLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT.
- CONTRACTOR TO PROVIDE 18 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY (NOT ALREADY INCLUDED IN PLANTING PLANS) TO BE FINE GRADED, AND PLANTED WITH PLANTED WITH PLANTS OR SOD TO MATCH EXISTING CONDITIONS.

IRRIGATION NOTES:

- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
- IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
- ALL PLANTING AREAS TO BE FULLY IRRIGATED.
- IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
- IRRIGATION SYSTEM TO HAVE RAIN AND FREEZE SENSORS.
- ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST TO THE OWNER.
- IRRIGATION SYSTEM TO BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.

NOTE: AN IRRIGATION PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CITY OF ROCKWALL IRRIGATION REQUIREMENTS

TREE PROTECTION NOTES:

- ALL TREES WHICH ARE TO REMAIN ON SITE SHALL BE PROTECTED WITH A (4) TALL BRIGHTLY COLORED PLASTIC FENCE, OR SILT FENCE, PLACED AT THE DRIP LINE OF THE TREES.
- PRIOR TO THE PRE-CONSTRUCTION MEETING OR OBTAINING A GRADING PERMIT, ALL TREE MARKINGS AND PROTECTIVE FENCING SHALL BE INSTALLED BY THE OWNER AND SHALL BE INSPECTED BY THE DEVELOPMENT SERVICES LANDSCAPE ARCHITECT.
- NO EQUIPMENT SHALL BE CLEANED, OR HARMFUL LIQUIDS DEPOSITED WITHIN THE LIMITS OF THE ROOT ZONE OF TREES WHICH REMAIN ON SITE.
- NO SIGNS, WIRES, OR OTHER ATTACHMENTS SHALL BE ATTACHED TO ANY TREE TO REMAIN ON SITE.
- VEHICULAR AND CONSTRUCTION EQUIPMENT SHALL NOT PARK OR DRIVE WITHIN THE LIMITS OF THE DRIP LINE.
- GRADE CHANGES IN EXCESS OF 3 INCHES (CUT OR FILL) SHALL NOT BE ALLOWED WITHIN A ROOT ZONE, UNLESS ADEQUATE TREE PRESERVATION METHODS ARE APPROVED BY THE CITY.
- NO TRENCHING SHALL BE ALLOWED WITHIN THE DRIP LINE OF A TREE, UNLESS APPROVED BY THE CITY.
- ALL REMOVED TREES SHALL BE CHIPPED AND USED FOR MULCH ON SITE OR HAULED OFF-SITE.
- ALL TREE MAINTENANCE TECHNIQUES SHALL BE IN CONFORMANCE WITH AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 INDUSTRY IDENTIFIED STANDARDS. IMPROPER OR MALICIOUS PRUNING TECHNIQUES ARE STRICTLY PROHIBITED.

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP-XXXXXX-XXXX
 SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:
 ROCKWALL ECONOMIC
 DEVELOPMENT COUNCIL
 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX. 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

OWNER:
 BALLARD US INC.
 2495 NE 4TH STREET
 BEND, OR. 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

CASE NO. SP2xxx-xx
 SHEET NUMBER
L1.02

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

OVERALL LANDSCAPE PLAN

Kimley-Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928 INC.
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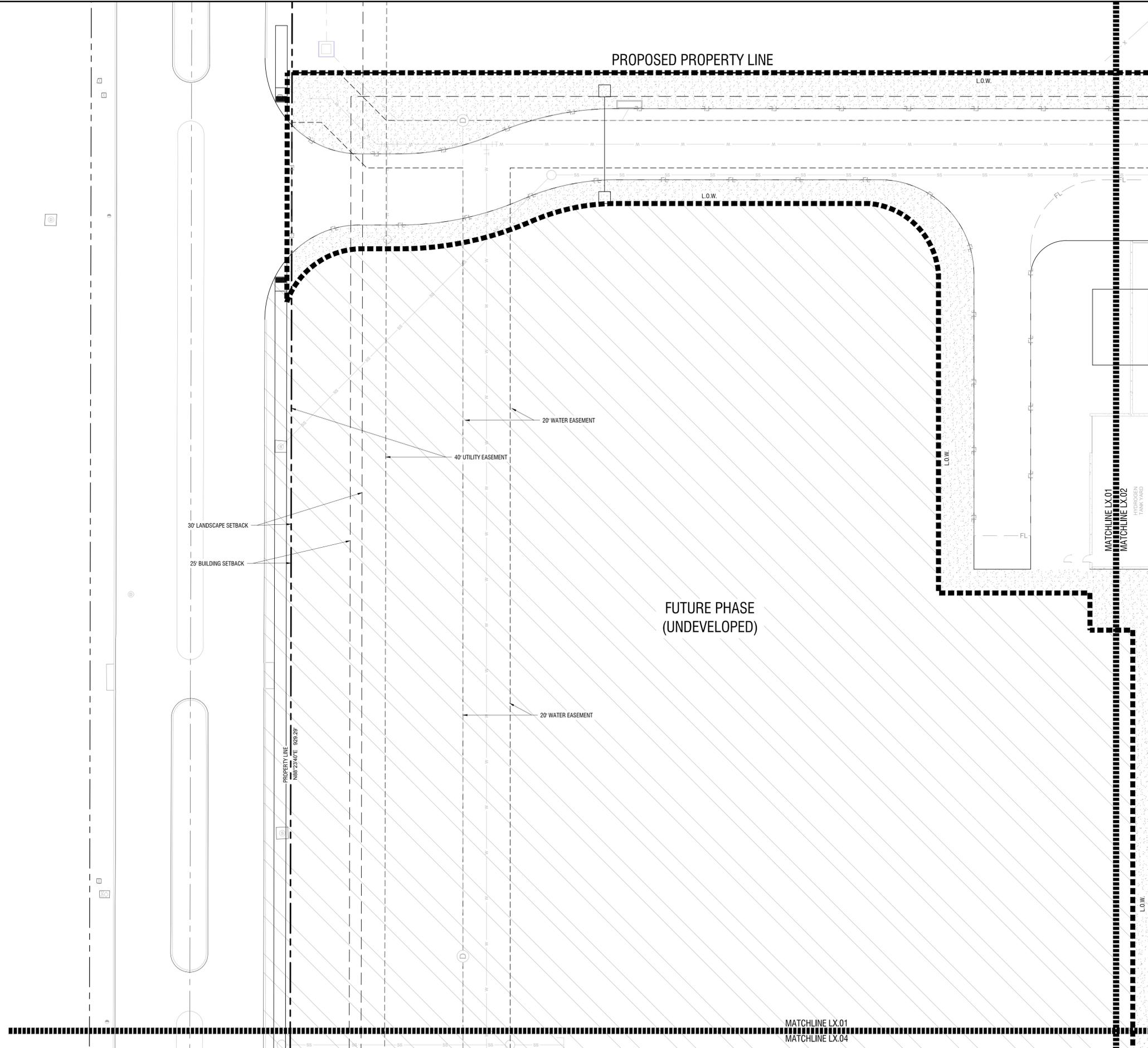
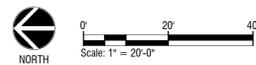
FOR REVIEW ONLY
Not for construction or permit purposes

Kimley-Horn

P.L.A. Paul D. Freeland
L.A. No. 2458 Date: 06.14.2024

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	REVISIONS	DATE
06867058	JUNE 2024	AS SHOWN	PDF	NLF	PDF		

Plotted By: Ferraro, Nick Date: June 13, 2024 05:39:00pm File Path: K:\MKM\LALP\projects\06867058 - project solum\CAD\Sheets\CVAL\L2.01 LANDSCAPE PLAN.dwg
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Landscape Plan
 Scale: 1" = 20'-0"

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Live Oak / Quercus virginiana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Brakelights Red Yucca / Hesperaloe parviflora 'Brakelights' TM
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Asian Jasmine / Trachelospermum asiaticum
	Berkeley Sedge / Carex divulsa
	Bermuda Grass / Cynodon dactylon
	Giant Liriope / Liriope gigantea
	Wintercreeper / Euonymus fortunei

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B
 TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP-XXXXX-XXXX
 SUBMITTED JUNE 14, 2024

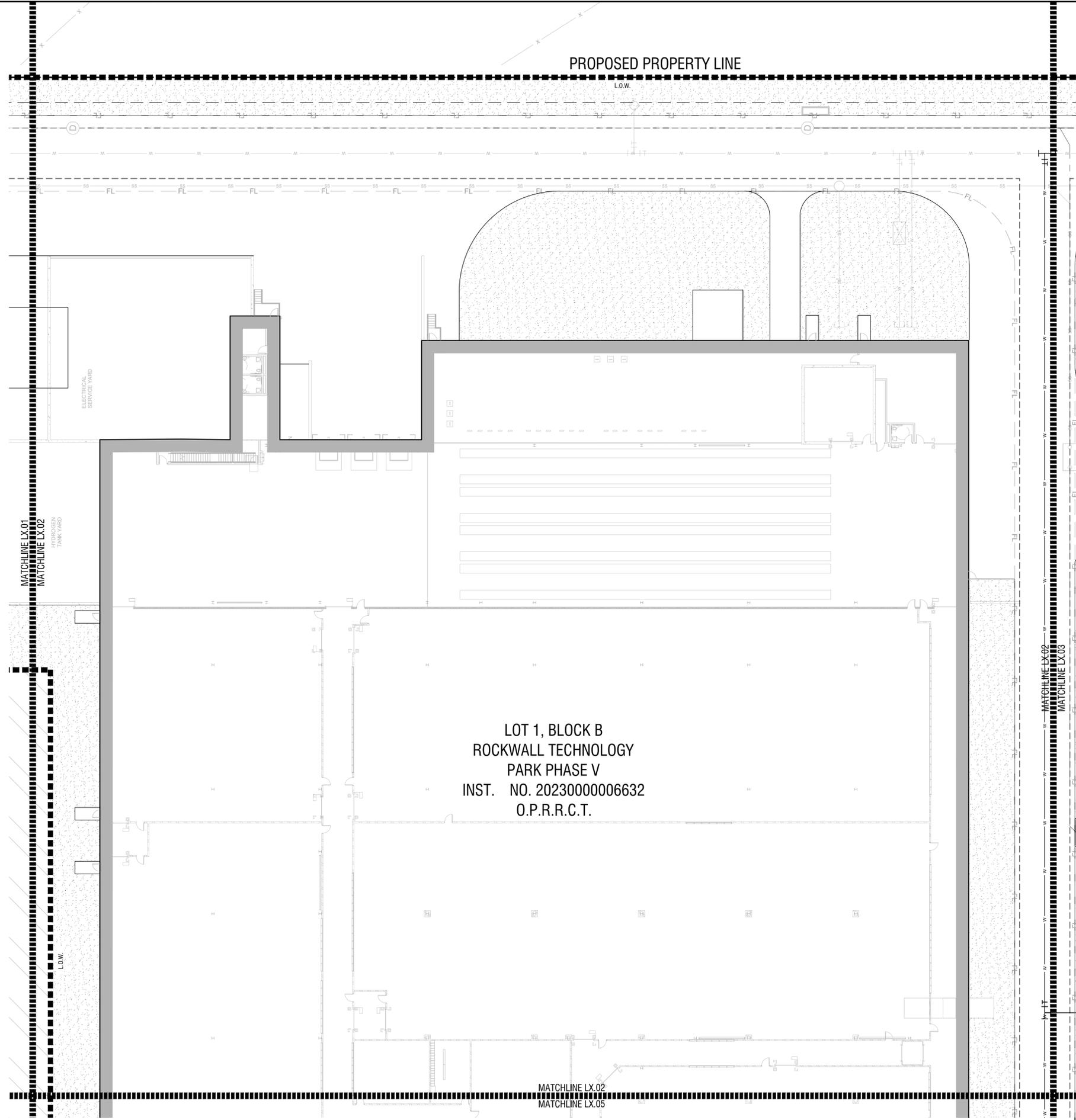
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<p>13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER SUITE 700, DALLAS, TX 75240 PHONE: 972-770-1300 FAX: 972-239-9820 WWW.KIMLEY-HORN.COM TX F-928 INC. © 2024 KIMLEY-HORN AND ASSOCIATES, INC.</p>		REVISIONS	BY
		No.	DATE
<p>PROJECT SATURN CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS</p>		<p>LANDSCAPE PLAN</p>	
<p>KHA PROJECT 06867058</p>		<p>DATE JUNE 2024</p>	
<p>SCALE AS SHOWN</p>		<p>DESIGNED BY PDF</p>	
<p>CHECKED BY PDF</p>		<p>DRAWN BY NLF</p>	
<p>CASE NO. SP2xxx-xx</p>		<p>SHEET NUMBER L2.01</p>	

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LOT 1, BLOCK B
 ROCKWALL TECHNOLOGY
 PARK PHASE V
 INST. NO. 2023000006632
 O.P.R.R.C.T.

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Live Oak / Quercus virginiana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
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**SITE PLAN
 ROCKWALL TECHNOLOGY
 PARK PHASE V
 PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
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 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

NO.	REVISIONS	DATE	BY

Kimley-Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-9820
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P.L.A. Paul D. Freeland
 L.A. No. 2458 Date: 06.14.2024

KHA PROJECT 06667058	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

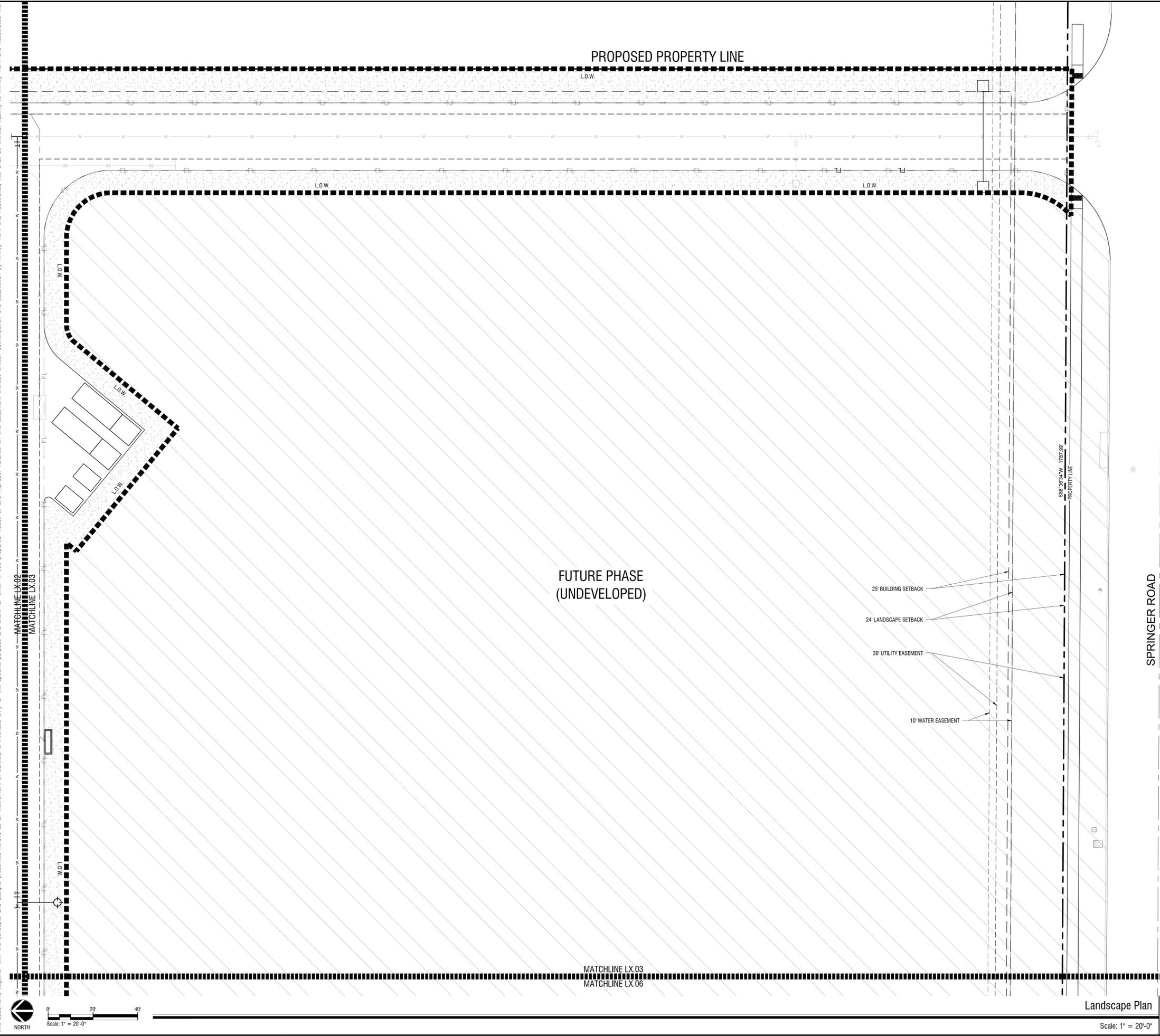
LANDSCAPE PLAN

CASE NO. SP2xxx-xx
 SHEET NUMBER
L2.02

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Landscape Plan
 Scale: 1" = 20'-0"

Plotted By: Ferraro, Nick Date: June 13, 2024 05:39:20pm File Path: K:\MKH_LALP_projects\06667058 - project saturn\CAD_Sheets\DWG\L2.01 LANDSCAPE PLAN.dwg
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PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Live Oak / Quercus virginiana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
	Mexican Buckeye / Unguadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Brakelights Red Yucca / Hesperaloe parviflora 'Brakelights' TM
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Asian Jasmine / Trachelospermum asiaticum
	Berkeley Sedge / Carex divulsa
	Bermuda Grass / Cynodon dactylon
	Giant Liriope / Liriope gigantea
	Wintercreeper / Euonymus fortunei

No.	REVISIONS	DATE	BY

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DATE	JUNE 2024
SCALE	AS SHOWN
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CHECKED BY	PDF

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

CASE NO. SP2xxx-xx
 SHEET NUMBER
L2.03

SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP-XXXXX-XXXX
 SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
 TWO GALLERIA OFFICE TOWER, SUITE 700
 DALLAS, TEXAS 75240
 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

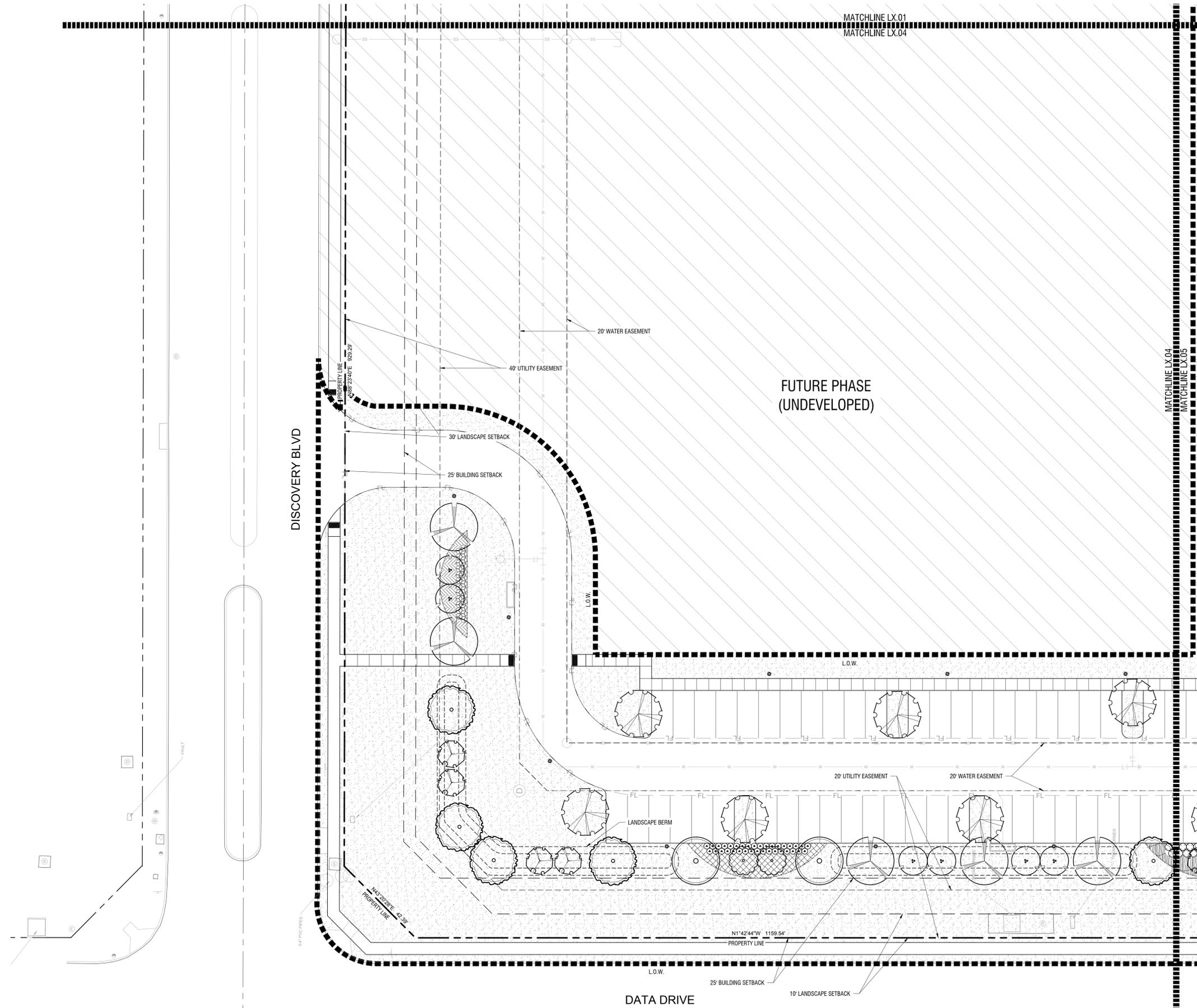
OWNER:
 BALLARD US INC.
 2495 NE 4TH STREET
 BEND, OR 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

DEVELOPER:
 ROCKWALL ECONOMIC
 DEVELOPMENT COUNCIL
 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

Landscape Plan
 Scale: 1" = 20'-0"

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PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Live Oak / Quercus virginiana
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FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Brakelights Red Yucca / Hesperaloe parviflora 'Brakelights' TM
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud' TM
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Asian Jasmine / Trachelospermum asiaticum
	Berkeley Sedge / Carex divulsa
	Bermuda Grass / Cynodon dactylon
	Giant Liriope / Liriope gigantea
	Wintercreeper / Euonymus fortunei

**SITE PLAN
 ROCKWALL TECHNOLOGY
 PARK PHASE V
 PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP-XXXX-XXXX
 SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
 KIMLEY-HORN & ASSOCIATES, INC.
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 DALLAS, TEXAS 75240
 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

OWNER:
 BALLARD US INC.
 2495 NE 4TH STREET
 BEND, OR 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

DEVELOPER:
 ROCKWALL ECONOMIC
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 ROCKWALL, TX 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

NO.	REVISIONS	DATE	BY

Kimley-Horn

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P.L.A. Paul D. Freeland
 L.A. No. 2458 Date: 06.14.2024

KHA PROJECT 06667058	DATE JUNE 2024	SCALE AS SHOWN	DESIGNED BY PDF	DRAWN BY NLF	CHECKED BY PDF
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PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

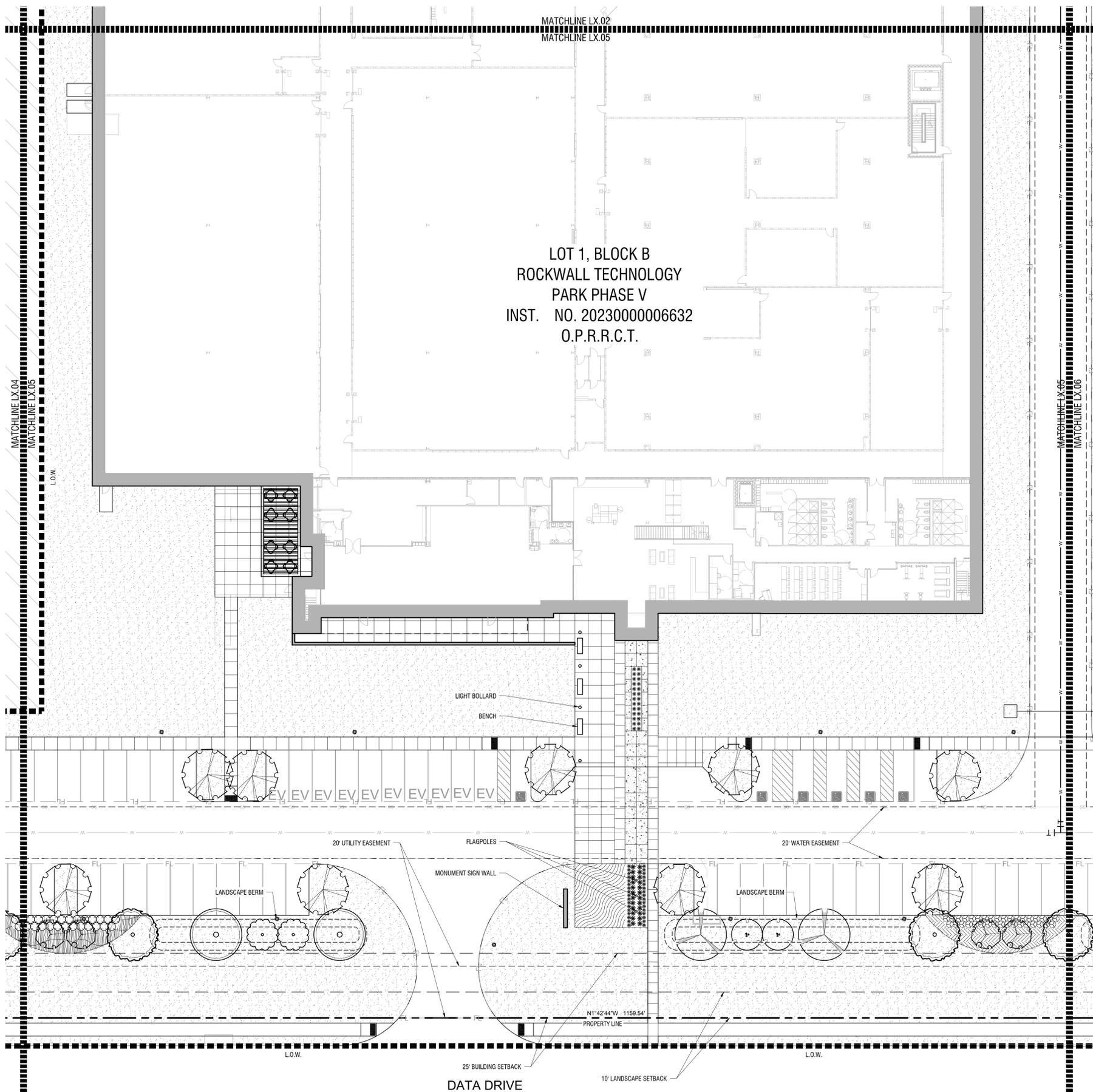
LANDSCAPE PLAN

CASE NO. SP2xxx-xx
 SHEET NUMBER
L2.04

Landscape Plan
 Scale: 1" = 20'-0"

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LOT 1, BLOCK B
 ROCKWALL TECHNOLOGY
 PARK PHASE V
 INST. NO. 2023000006632
 O.P.R.R.C.T.

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
	Bald Cypress / Taxodium distichum
	Cedar Elm / Ulmus crassifolia
	Live Oak / Quercus virginiana
	Texas Red Oak / Quercus buckleyi
FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Brakelights Red Yucca / Hesperaloe parviflora 'Brakelights'™
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud'™
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
SYMBOL	COMMON / BOTANICAL NAME
GROUND COVERS	
	Asian Jasmine / Trachelospermum asiaticum
	Berkeley Sedge / Carex divulsa
	Bermuda Grass / Cynodon dactylon
	Giant Liriope / Liriope gigantea
	Wintercreeper / Euonymus fortunei

**SITE PLAN
 ROCKWALL TECHNOLOGY
 PARK PHASE V
 PART OF LOT 2, BLOCK B**

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP-XXXXX-XXXX
 SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
 KIMLEY-HORN & ASSOCIATES, INC.
 13455 NOEL ROAD
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 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

DEVELOPER:
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 2610 OBSERVATION TRAIL, SUITE 104
 ROCKWALL, TX 75032
 PH. (972) 772-0025
 CONTACT: PHIL WAGNER

OWNER:
 BALLARD US INC.
 2495 NE 4TH STREET
 BEND, OR 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

NO.	REVISIONS	DATE	BY

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PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

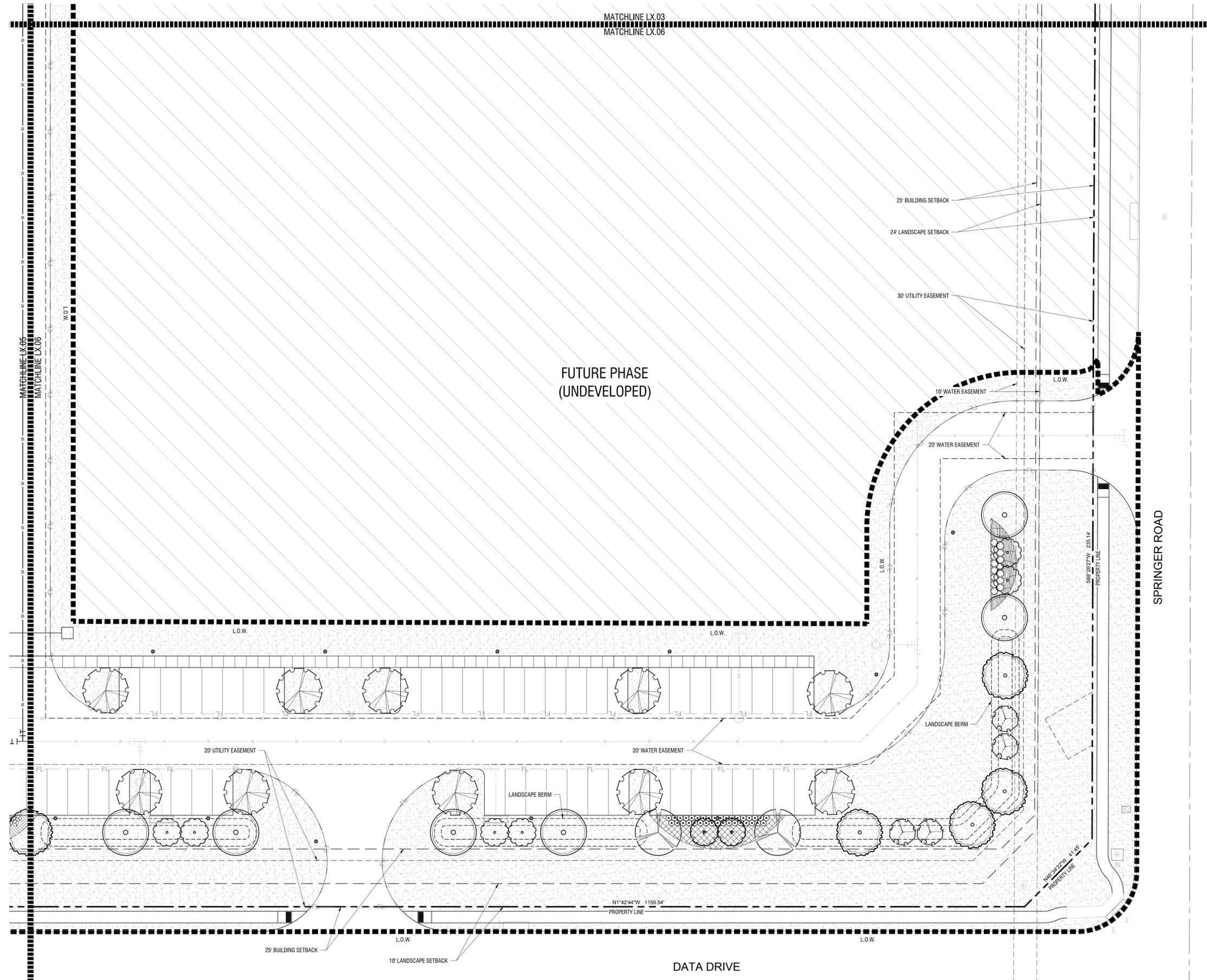
LANDSCAPE PLAN

CASE NO. SP2xxx-xx
 SHEET NUMBER
L2.05

Landscape Plan
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PLANT SCHEDULE

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	Bald Cypress / Taxodium distichum
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	Live Oak / Quercus virginiana
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FLOWERING TREES	
	Mexican Buckeye / Ungnadia speciosa
	Possumhaw Holly / Ilex decidua
	Yaupon Holly / Ilex vomitoria
SHRUBS	
	Brakelights Red Yucca / Hesperaloe parviflora 'Brakelights'™
	Emerald Snow Loropetalum / Loropetalum chinense 'Emerald Snow'
	Glossy Abelia / Abelia x grandiflora
	Green Cloud Texas Ranger / Leucophyllum frutescens 'Green Cloud'™
	Whale's Tongue Agave / Agave ovatifolia 'Frosty Blue'
SYMBOL	COMMON / BOTANICAL NAME
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	Asian Jasmine / Trachelospermum asiaticum
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	Bermuda Grass / Cynodon dactylon
	Giant Liriope / Liriope gigantea
	Wintercreeper / Euonymus fortunei

KHA PROJECT	06867058
DATE	JUNE 2024
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 L.A. No. 2458 Date: 06.14.2024

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

LANDSCAPE PLAN

CASE NO. SP2xxx-xx
 SHEET NUMBER
L2.06

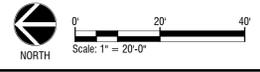
SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
 CITY PROJECT NO. SP-XXXX-XXXX
 SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
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 PH (469) 301-2599
 CONTACT: PAUL FREELAND, P.L.A.

OWNER:
 BALLARD US INC.
 2495 NE 4TH STREET
 BEND, OR 97701
 PH. (XXX) XXX-XXXX
 CONTACT: LEE SWEETLAND

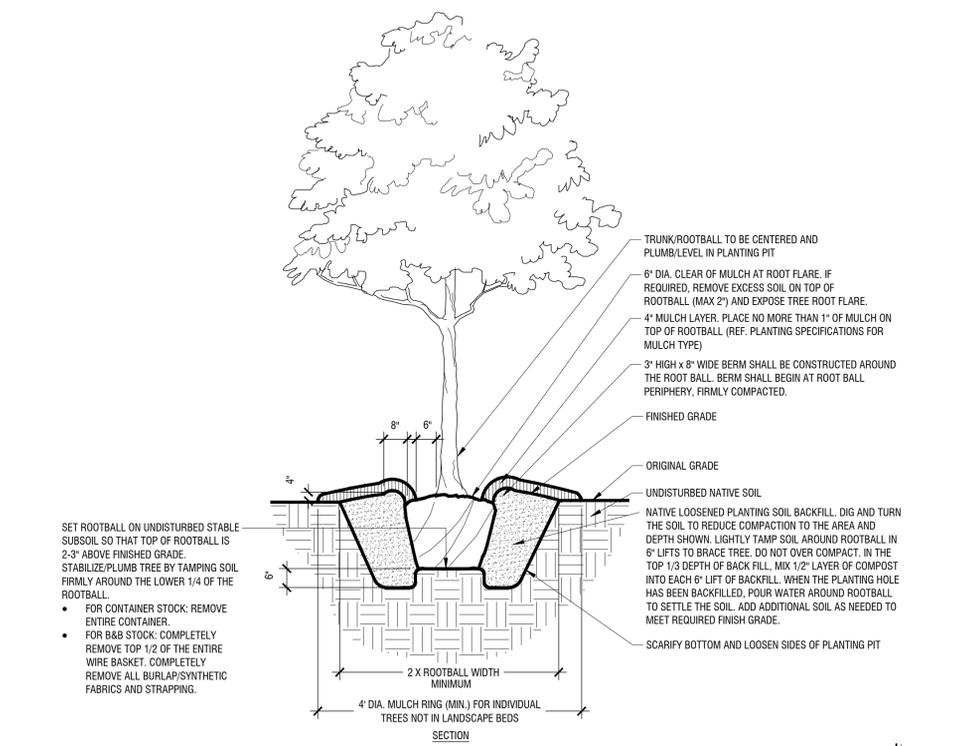
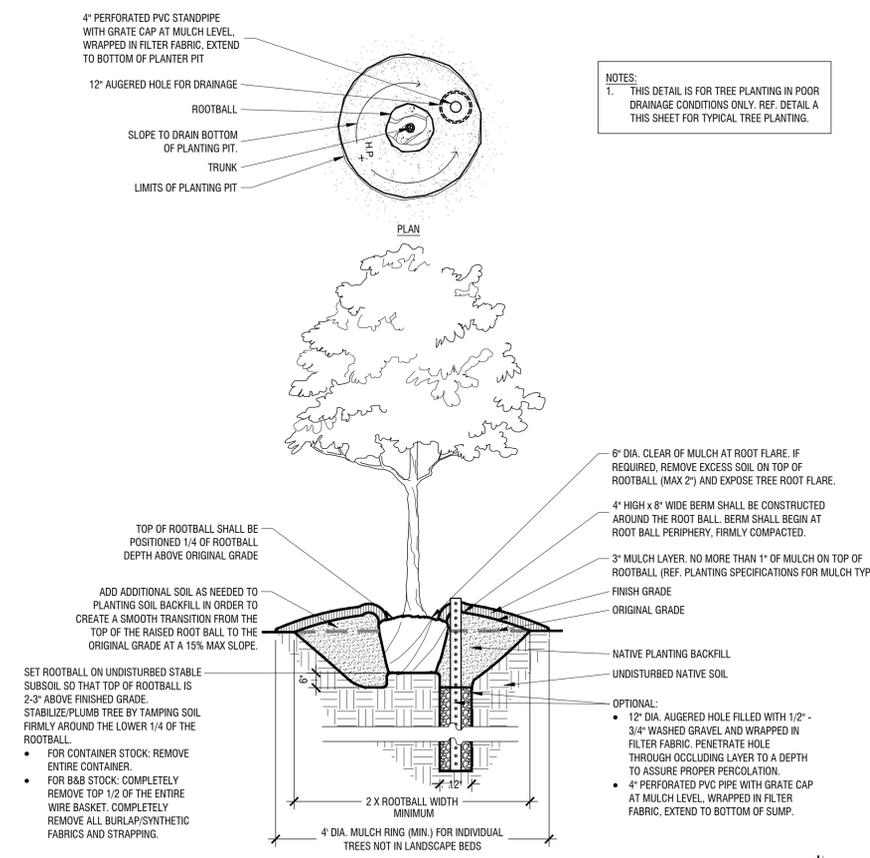
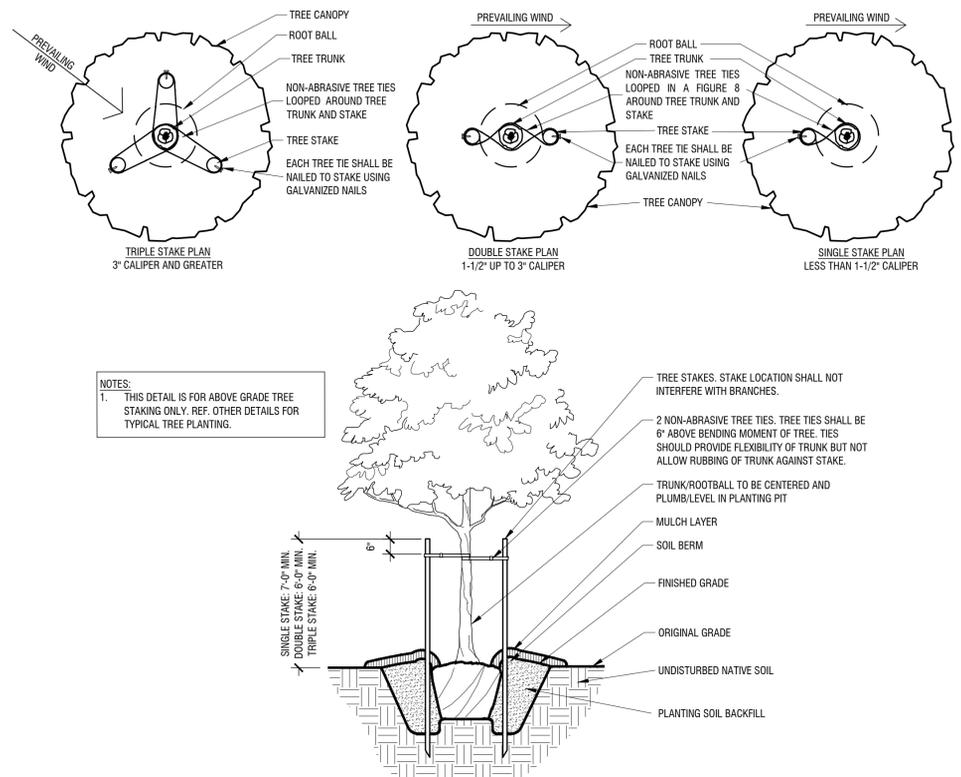
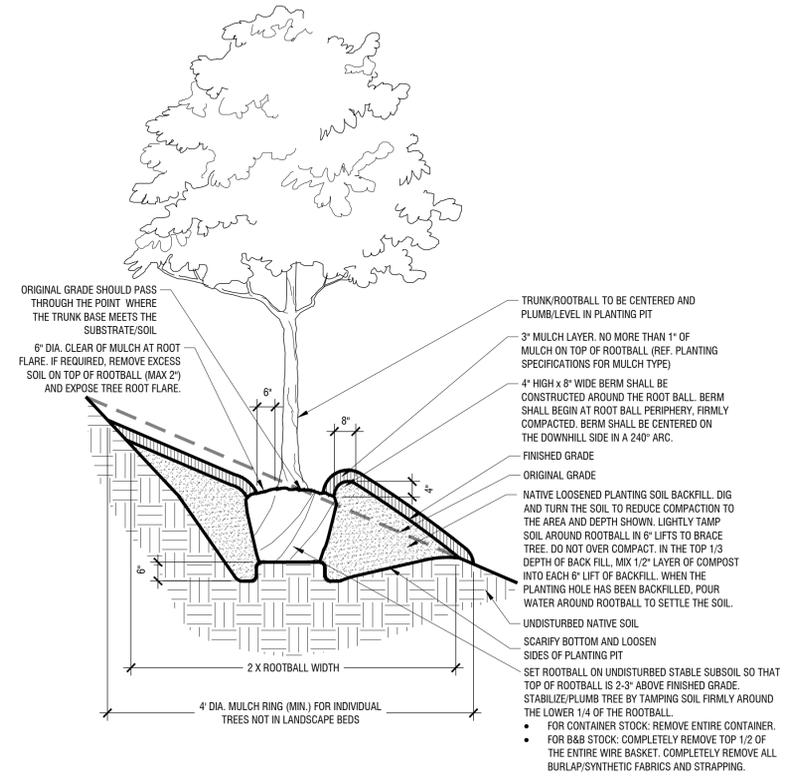
DEVELOPER:
 ROCKWALL ECONOMIC
 DEVELOPMENT COUNCIL
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 CONTACT: PHIL WAGNER



Landscape Plan
 Scale: 1" = 20'-0"

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SITE PLAN
ROCKWALL TECHNOLOGY
PARK PHASE V
PART OF LOT 2, BLOCK B

TOTAL ACREAGE: 22.000 ACRES
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CITY PROJECT NO. SP-XXXXXX-XXXX
SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT:
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CONTACT: PAUL FREELAND, P.L.A.

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ROCKWALL, TX 75032
PH. (972) 772-0025
CONTACT: PHIL WAGNER

OWNER:
BALLARD US INC.
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BEND, OR 97701
PH. (XXX) XXX-XXXX
CONTACT: LEE SWEETLAND

CASE NO. SP2xxx-xx
SHEET NUMBER
L2.08

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WWW.KIMLEY-HORN.COM TX F-928
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REVISIONS

No.	DATE

PROJECT SATURN
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

PLANTING DETAILS

KHA PROJECT
06867058

DATE
JUNE 2024

SCALE
AS SHOWN

DESIGNED BY
PDF

DRAWN BY
NLF

CHECKED BY
PDF

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GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER EXPENSES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.

C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS USE OF EQUIPMENT, STOCKPIPING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRISPLINE OR THE SPRING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRISPLINE. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT. TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPE AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PER CENT PER INCH OVER FOUR (4) INCHES CALIPER AS FINE AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.

D. MATERIALS

1. GENERAL SAMPLES OF MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER. UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

MATERIALS SAMPLES MULCH ONE (1) CUBIC FOOT TOPSOIL ONE (1) CUBIC YARD PLANTS ONE (1) OF EACH VARIETY

2. PLANT MATERIALS

A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO STANDARDIZED PLANT NAMES, EDITION ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND FREE OF DISEASE AND INSECTS. INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B. MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE GROUND OR ACROSS THE NORMAL SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL BRANCH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY, SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS. LATENT DEFECTS OF PLANTS SHALL BE REJECTED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

E. TOPSOIL

1. ASTM D698, NATURAL, FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING CHARACTERISTICS OF REPRESENTATIVE TOPSOIL IN THE VICINITY THAT PRODUCES HEAVY GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 7.4 PERCENT, FREE FROM SUBSOIL, OBJECTIONABLE WEEDS, LITTER, SODS, STIFF CLAY, STONES LARGER THAN 1/2 INCH IN DIAMETER, STUMPS, ROOTS, TRASH, HERBICIDES, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER PLANTING OPERATIONS. TOP SOIL SHALL CONTAIN A MINIMUM OF THREE PERCENT ORGANIC MATERIAL.

2. SALVAGED OR EXISTING TOPSOIL, REUSE SUITABLE TOPSOIL, STOCKPILED ON-SITE OR EXISTING TOPSOIL, ACQUIRED BY GRADING OR EXCAVATION OPERATIONS, CLEAN TOPSOIL OF ROOTS, PLANTS, SODS, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.

3. VERIFY AMOUNT OF SUITABLE TOPSOIL, STOCKPILED IF ANY, AND SUPPLY ADDITIONAL IMPORTED TOPSOIL, AS NEEDED. FOUR (4) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL TURF AREAS. TWENTY FOUR (24) INCHES OF TOPSOIL TO BE PROVIDED FOR ALL PLANTING AREAS WITH INTERIOR LANDSCAPE ISLANDS AND FOUNDATION PLANTINGS. FOR ALL OTHER PLANTING AREAS, TWELVE (12) INCHES OF TOPSOIL MINIMUM TO BE PROVIDED.

4. IMPORTED TOPSOIL, SUPPLEMENT SALVAGED TOPSOIL, WITH IMPORTED TOPSOIL FROM OFF-SITE SOURCES WHEN EXISTING QUANTITIES ARE INSUFFICIENT.

5. OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 6 INCHES DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BODS, OR MARSHES.

6. VERIFY BODROW AND DISPOSAL SITES ARE PERMITTED AS REQUIRED BY STATE AND LOCAL REGULATIONS. OBTAIN WRITTEN CONFIRMATION THAT PERMITS ARE CURRENT AND ACTIVE.

7. OBTAIN PERMITS REQUIRED BY STATE AND LOCAL REGULATIONS FOR TRANSPORTING TOPSOIL. PERMITS SHALL BE CURRENT AND ACTIVE.

8. AMEND EXISTING AND IMPORTED TOPSOIL AS INDICATED BELOW.

- a. ORGANIC SOIL AMENDMENTS 1. MANURE: WELL-ROTTED, UNLEACHED, STABLE OR CATTLE MANURE CONTAINING NOT MORE THAN 25 PERCENT BY VOLUME OF STRAW, SAWDUST, OR OTHER BEDDING MATERIALS, FREE OF TOXIC SUBSTANCES, STONES, STICKS, SOIL, WEED SEED, AND MATERIAL HARMFUL TO PLANT GROWTH. 2. BACK TO NATURE COTTON BURR COMPOST OR APPROVED EQUIVALENT. 3. COMPOST: DECOMPOSED ORGANIC MATERIAL INCLUDING LEAF LITTER, MANURE, SAWDUST, PLANT TRIMMINGS AND/OR HAY, MIXED WITH SOIL. 4. PECAN HULLS: COMPOSTED PECAN HULLS FOR LOCAL SOURCE. 5. BIOSOLIDS: USE GRADE 1 CONTAINING LOWER PATHOGEN LEVELS. 6. WORM CASTINGS: EARTHWORMS.

b. INORGANIC SOIL AMENDMENTS

- 1. LIME: ASTM C602, CLASS 0 AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80 PERCENT CALCIUM CARBONATE EQUIVALENT WITH A MINIMUM OF 95 PERCENT PASSING NO. 6 SIEVE AND MINIMUM OF 50 PERCENT PASSING NO. 10 SIEVE. 2. SULFUR: GRANULAR, BIODISGRADABLE, CONTAINING A MINIMUM OF 90 PERCENT SULFUR WITH A MINIMUM OF 99 PERCENT PASSING NO. 6 SIEVE AND A MAXIMUM OF 10 PERCENT PASSING NO. 40 SIEVE. 3. IRON SULFATE: GRANULATED FERROUS SULFATE CONTAINING A MINIMUM OF 20 PERCENT IRON AND 10 PERCENT SULFUR. 4. AGRICULTURAL GYPSUM: FINELY GROUND, CONTAINING A MINIMUM OF 90 PERCENT CALCIUM SULFATE. 5. SAND: CLEAN, WASHED, NATURAL OR MANUFACTURED, FREE OF TOXIC MATERIALS.

c. PLANTING SOIL MIX

- 1. PLANTING MIX MAY BE PROVIDED BY LIVING EARTH OR MIMICK MATERIALS OR APPROVED EQUAL. 2. PLANTING MEDIUM CONTAINING 75 PERCENT SPECIFIED TOPSOIL, MIXED WITH 15 PERCENT ORGANIC SOIL AMENDMENTS AND 10 PERCENT SHARP WASHED SAND. INSTALL TO DEPTHS, PER PLANTING DETAILS (12" MIN). FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.

3. SOD/SEED AREA TOPSOIL

ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL. PRIOR TO INSTALLATION, TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, WITH 2% (MIN) ORGANIC MATERIAL, AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGG BRANCHES. THE PARTICLE SIZES SHALL BE SUCH THAT 90.5% OF THE TOPSOIL WILL PASS THROUGH A 1/2 INCH SCREEN, AND 99% MORE SHALL PASS THROUGH A 3/4 INCH SCREEN. TOPSOIL SHALL BE REVIEWED/APPROVED BY OWNER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO SUBMIT SAMPLES IN 1 GAL. MIN. CONTAINER.

I. WATER

WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MANMADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

J. COMMERCIAL FERTILIZER

COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA. IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS.

- 1. SHRUBS AND TREES: MILORGANITE OR APPROVED EQUAL 2. ANIMALS AND ORGANIC WASTES: OSMOCOTE/SERRA BLEND 14-14-14 3. SOD - 4-6-6 FERTILIZER

IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS. ALL PLANTING TABLETS SHALL BE PLACED AT A DEPTH OF ROOT BALL AT THE RATE AS SPECIFIED BY MANUFACTURER.

K. MULCH

MULCH MATERIAL SHALL BE MOSTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF 3 INCHES. SEE PLANT LIST FOR TYPE OF MATERIAL AND GRADE.

L. DIGGING AND HANDLING

1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSPORT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAYED WITH AN ANTI-TRANSPIRANT PRODUCT ("WILTPRO" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE ROOTS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLEED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS SPECIFIED AFTER THE MINIMUM OF FRONDS HAVE BEEN REMOVED. ALL PALMS SHALL BE BRACED PER DETAIL.

5. EXCAVATION OF TREE PITS SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.

M. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSLATED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NOT BE PERMITTED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE OWNER AND LANDSCAPE ARCHITECT.

N. COLLECTED STOCK

WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOTBALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

O. NATIVE STOCK

PLANTS COLLECTED FROM WILD OR NATIVE STANDS SHALL BE CONSIDERED NURSERY GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) YEARS. PLANTS SHALL BE GROWN IN ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

P. MATERIALS LIST

QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE BIDDERS TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSIONS OF BIDS. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

Q. FINE GRADING

- 1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN ROUGH GRADED BY OTHERS, BEING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. 2. THE LANDSCAPE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND MULCH. THE DEPTH THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE. 3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

R. PLANTING PROCEDURES

- 1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE REMOVED FROM THE SURFACE OF ALL PLANT BEDS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY ADVERSELY AFFECT THE PLANT GROWTH, HE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR. 2. VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. 3. SURGRADE EXCAVATION: SITE CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIME ROCK AND LIMESTONE SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO A MINIMUM DEPTH OF 36" . SITE CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMESTONE OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS 36" DEEP EXCAVATION BY SITE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT OR OWNER. 4. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND REQUIRED. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE. 5. GENERAL: COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONFORM TO ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED. 6. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION TRIMS AND PLANTS. 7. ALL PLANTING PITS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD FOR NURSERY STOCK 269.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN (SECTION H). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PIPING OR DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STOP" OR EQUAL IS RECOMMENDED. 8. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES. 9. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION H OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING PIT SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS: - TWO (2) TABLETS PER 1 GAL. PLANT - THREE (3) TABLETS PER 3 GAL. PLANT - FOUR (4) TABLETS PER 10 GAL. PLANT - LARGER MATERIAL - TWO (2) TABLETS PER 1/2" OF TRUNK CALIPER 10. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING. 11. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES. STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH. 12. PRUNING: EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE PLANT AS SHOWN ON THE DRAWINGS. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. 13. SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6"; REMOVE AND DISPOSE ALL DEBRIS. TILL INTO TOP 4" OF PLANTING SOIL MIX AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION. 14. MULCHING: PROVIDE A THREE (3) INCH MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER AND VINE BED AND TREE PIT. 15. HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK, IF DIRECTED BY THE OWNER. "POON-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL. TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFIC INSTRUCTIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

S. LAWN SODDING

1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLET, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE WHOLE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH THAT IS UP TO THE REQUIRED GRADE.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR (4) INCHES DEEP. APPLY FERTILIZER AT RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM UTILIZING APPROVED MECHANICAL SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE (3) INCHES. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.

4. SODDING

A. THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.

B. THE SOD SHALL BE CERTIFIED TO MEET THE STATE PLANT BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASE OF ANY KIND.

C. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAD UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDCAPE ELEMENTS. PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS: A FOUR INCH MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP DRESSING IS NECESSARY AFTER ROLLING TO FILL THE JOISTS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

D. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

5. SEEDING

A. PROVIDE FRESH, CLEAN, NEW GROWN SEED MIXTURE. FURNISH TO OWNER DEMONSTRATION GUARANTEED STATEMENT OF COMPOSITION OF MIXTURE AND PERCENTAGE OF PURITY AND GERMINATION OF EACH VARIETY.

B. SEED MIXTURE: PROVIDE SEED OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT AND MINIMUM PERCENTAGES OF PURITY, GERMINATION AND MAXIMUM PERCENTAGE OF SEED MIXTURE VARY BY REGION AND SEASON AND SHALL COMPLY WITH STATE DOB AND LOCAL SOIL CONSERVATION SERVICE STANDARDS FOR LAWN TURF.

C. DO NOT PERFORM SEEDING IN WINDY CONDITIONS.

D. SEEDING SHALL BE DISPENSED IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.

E. PERMANENTLY SEED AND MULCH CUT AND FILL SLOPES AS CONSTRUCTION PROCEEDS TO EXTENT CONSIDERED DESIRABLE AND PRACTICAL. IN THE EVENT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES SHALL BE STABILIZED WITH STRAW MULCH AND TACKER, BONDED FIBER MATRIX, NETTING, BLANKETS OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.

F. SEED LAWN AREAS BY SOWING EVENLY WITH APPROVED MECHANICAL SEEDER AT RATE OF MINIMUM OF 6 POUNDS PER 1,000 SQUARE FEET. AMOUNT WILL VARY BASED ON VARIETY AND/OR SPECIES. CULTI-PACKER OR APPROX SIMILAR EQUIPMENT MAY BE USED TO CORN SEED AND TO FORM SEED BEDS. IN ONE OPERATION, AREAS INACCESSIBLE TO CUTI-PACKER, LIGHTLY RAKE SEEDED GROUND WITH FLEXIBLE RAKES AD ROLL WITH WATER BALLAST ROLLER. AFTER ROLLING, MULCH WITH STRAW MULCH AT THE RATE OF 2 TONS PER ACRE.

G. SURFACE LAYER OF SOIL FOR SEEDED AREAS SHALL BE KEPT MOST DURING GERMINATION PERIOD. WATER SEEDED AREAS TWICE FIRST WEEK TO 4 MINIMUM DEPTH OF 4 INCHES WITH FINE SPRAY AND ONCE PER WEEK THEREAFTER AS NECESSARY TO SUPPLEMENT NATURAL RAIN TO EQUIVALENT OF 6 INCHES DEPTH.

H. CONTRACTOR TO REAPPLY SEED AS NECESSARY IN ORDER TO KEEP ALL SEEDED AREAS ESTABLISHED AS INTENDED.

6. LAWN MAINTENANCE

A. WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK (INCLUDING REGRADING, IF NECESSARY).

B. WATER EVERY DAY FOR TEN (10) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) FOR TWO (2) ADDITIONAL WEEKS. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO DEPTH OF FOUR (4) INCHES. CONTRACTOR TO DETERMINE IF SITE IS IN A DROUGHT RESTRICTION AREA AND MUST FOLLOW CITY/COUNTY PROTOCOL IF ANY ARE IN PLACE.

T. CLEAN UP

UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

U. PLANT MATERIAL MAINTENANCE

ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. MAINTENANCE AFTER THE CERTIFICATION OF ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF 90 CALENDAR DAYS COMMENCING AFTER ACCEPTANCE.

V. MAINTENANCE (ALTERNATE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR MAINTENANCE FOLLOWING THE INITIAL 90 DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

W. GUARANTEE

- 1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. 2. THE LIFE AND SATISFACTORY CONDITION OF ALL OTHER PLANT MATERIAL (INCLUDING SOD) INSTALLED BY THE LANDSCAPE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF 90 CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE LANDSCAPE ARCHITECT OR OWNER. 3. REPLACEMENT MATERIAL NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED UNDER "PLANTING," AT NO ADDITIONAL COST TO THE OWNER. 4. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO USE THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE. 5. FINAL INSPECTION AND ACCEPTANCE OF WORK

FINAL INSPECTION AT THE END OF THE GUARANTEE PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

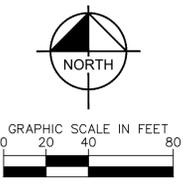
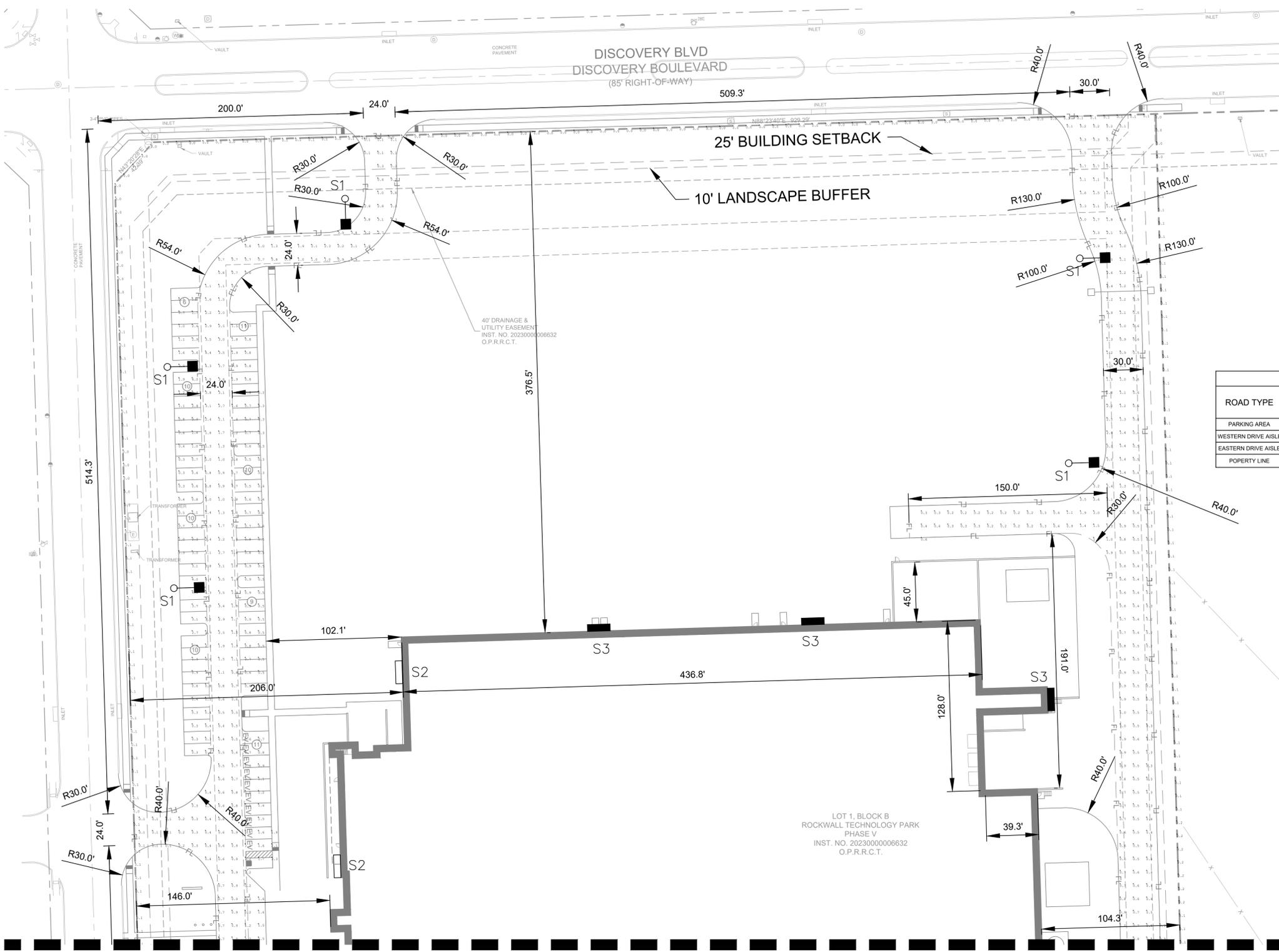
SITE PLAN ROCKWALL TECHNOLOGY PARK PHASE V PART OF LOT 2, BLOCK B TOTAL ACREAGE: 22,000 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CITY PROJECT NO. SP-XXXXXX-XXXX SUBMITTED JUNE 14, 2024

ENGINEER / SURVEYOR / APPLICANT: KIMLEY-HORN & ASSOCIATES, INC. 13455 NOEL ROAD TWO GALLERIA OFFICE TOWER, SUITE 700 DALLAS, TEXAS 75240 PH (469) 301-2599 CONTACT: PAUL FREELAND, P.L.A.

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Table with columns: RHA PROJECT (06867.058), DATE (JUNE 2024), SCALE (AS SHOWN), DESIGNED BY (PDF), DRAWN BY (NJP), CHECKED BY (PDF), REVISIONS (NO), DATE, BY. Includes project title 'PROJECT SATURN CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS' and sheet number 'L2.09'.

Plotted By: Neilenbach, David Date: June 14, 2024 10:32:44am File Path: \\kimley-horn.com\CN_DAL_DAL_Civil\068671058-Project Saturn\Cad\PlanSheets\E-Phot.dwg
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PHOTOMETRIC CRITERIA	
PROPERTY LINE	ILLUMINANCE MAXIMUM (FC)
	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.18	0.30	4.40	3.93
WESTERN DRIVE AISLE	1.50	0.30	4.50	5.00
EASTERN DRIVE AISLE	0.99	0.20	4.30	4.95
PROPERTY LINE	0.06	0.00	0.20	N/A

MATCHLINE: SEE SHEET E-102

LUMINAIRE SCHEDULE													
SYMBOL	LABEL	QTY	DESCRIPTION	ARRANGEMENT	LLF	MAKE AND MODEL	WATTS	LUMENS	MOUNT HEIGHT	LAMP	DISTRIBUTION TYPE	VOLTAGE	LIGHT POLE MODEL
	S1	10	POLE MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX1-LED-P6-40K-T2M-MVOLT-SPA-PIRH-DDBXD	165	20,302	20'	LED	TYPE 2	120-277	AMERICAN LITE POLE SNS-16-40-11-AB-DB-D28-BC
	S2	3	WALL MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX2-LED-P5-40K-T4M-MVOLT-SPA-PIRH-DDBXD	325	40,738	30'	LED	TYPE 4	120-277	N/A
	S3	5	WALL MOUNTED AREA LIGHT	SINGLE	0.90	LITHONIA DSX2-LED-P5-40K-T3M-MVOLT-SPA-PIRH-DDBXD	325	40,183	30'	LED	TYPE 3	120-277	N/A



NTMWD UTILITIES LOCATED BY NTMWD NOT 811
CAUTION!
 EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

NO.	REVISIONS	DATE	BY

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 WWW.KIMLEY-HORN.COM TX F-928 INC.
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Kimley-Horn
 Engineer DUSTIN J. COLWELL
 P.E. No. 125914
 Date 06/14/2024

KHA PROJECT 068671058
 DATE 06/07/2024
 SCALE AS SHOWN
 DESIGNED BY TAD
 DRAWN BY AKA
 CHECKED BY NWH

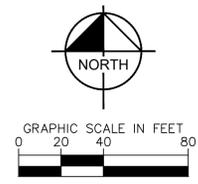
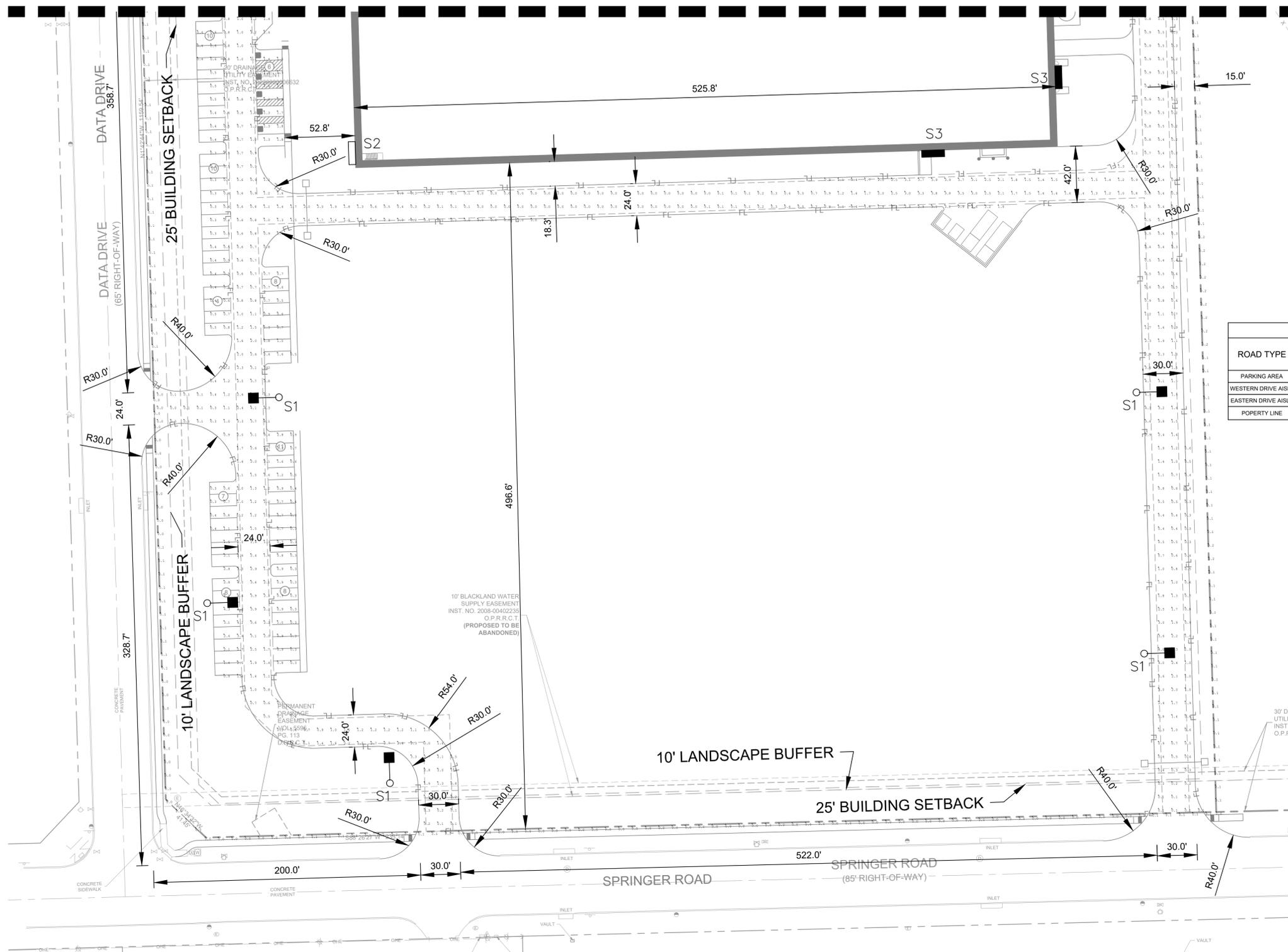
PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PHOTOMETRIC PLAN

SHEET NUMBER
E-101

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MATCHLINE: SEE SHEET E-101



PHOTOMETRIC CRITERIA	
PROPERTY LINE	ILLUMINANCE MAXIMUM (FC)
	0.2

PHOTOMETRIC ANALYSIS				
ROAD TYPE	ILLUMINANCE AVERAGE (FC)	ILLUMINANCE MINIMUM (FC)	ILLUMINANCE MAXIMUM (FC)	UNIFORMITY (AVE/MIN)
PARKING AREA	1.18	0.30	4.40	3.93
WESTERN DRIVE AISLE	1.50	0.30	4.50	5.00
EASTERN DRIVE AISLE	0.99	0.20	4.30	4.95
PROPERTY LINE	0.06	0.00	0.20	N/A

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 Engineer DUSTIN J. COLWELL
 P.E. No. 125914
 Date 06/14/2024

KHA PROJECT	068671058
DATE	06/07/2024
SCALE	AS SHOWN
DESIGNED BY	TAD
DRAWN BY	AMA
CHECKED BY	NWH

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PHOTOMETRIC PLAN

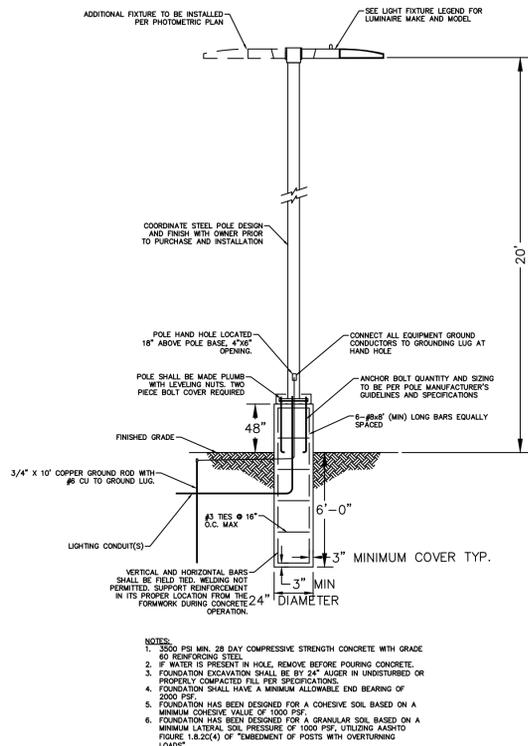
SHEET NUMBER
E-102



NTMWD UTILITIES LOCATED BY NTMWD NOT 811
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1 POLE FOUNDATION DETAIL
 E-103 N.T.S.

D-Series Size 1 LED Area Luminaire

d^{series}
 Specifications:
 EPA: 0.69 ft² (0.06 m²)
 Length: 32.71" (833 mm)
 Width: 14.26" (362 mm)
 Height H1: 7.88" (200 mm)
 Height H2: 2.73" (69 mm)
 Weight: 34 lbs (15.4 kg)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.
 The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DBXD

Series	LEDs	Color Temperature*	Color Rendering Index*	Distribution	Voltage	Mounting	
DSX1 LED	Forward optics (this section 70CRI only)						
	P1	P6	30K 3000K	70CRI	AIR	Automotive front row	
	P2	P7	40K 4000K	70CRI	T1S	Type I short	
	P3	P8	50K 5000K	70CRI	T2M	Type II medium	
	P4	P9	(this section 80CRI only, extended lead times apply)	80CRI	T3M	Type III medium	
	Rotated optics						
	P10	P12	30K 3000K	80CRI	T3LG	Type III low glare ¹	
	P11	P13	30K 3000K	80CRI	T4M	Type IV medium	
			35K 3500K	80CRI	T4LG	Type IV low glare ¹	
			40K 4000K	80CRI	T4M	Type IV medium	
		50K 5000K	80CRI	T4M	Type IV medium		
Shipped included							
				SPK	Square pole mounting (#8 drilling)		
				RPA	Round pole mounting (#8 drilling)		
				SPAS	Square pole mounting #5 drilling ²		
				RPAS	Round pole mounting #5 drilling ²		
				SPARN	Square narrow pole mounting #6 drilling ²		
				RPARN	Round narrow pole mounting #6 drilling ²		
				MA	Max arm adapter (mounts on 2.38" OD horizontal tenon)		
Control options							
Shipped installed		Other options		Finish options			
NLTAIR2 PIRHN	ALight AIR gen 2 enabled with hi-level motion / ambient sensor & 40' mounting height, ambient sensor enabled at 26" h.s.a.s. ³	PER7	Seven-pin receptacle only (controls ordered separately) ^{4,5}	SPD20KV	20KV surge protection	DBRD	Dark Bronze
PIR	High flow, motion/ambient sensor & 40' mounting height, ambient sensor enabled at 26" h.s.a.s. ³	FAO	Field adjustable output ^{6,7}	NS	Household shield (black finish standard) ⁸	DBLD	Black
PER	NEMA twist lock receptacle only (controls ordered separately) ⁴	BL30	B-level switched dimming 30% h.s.a.s. ⁹	DWHD	White	DBND	Natural Aluminum
PERS	Five-pin receptacle only (controls ordered separately) ^{4,5}	BL50	B-level switched dimming 50% h.s.a.s. ⁹	DSDTD	Textured dark bronze	DBBD	Textured dark bronze
		DWG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁰	CCE	General Construction ¹¹	DBLD	Textured black
		DS	Dual switching h.s.a.s. ¹²	HA	50°C ambient operation ¹³	DNATD	Textured natural aluminum
				BAA	Buy America ¹⁴ Act Compliant	DWNGD	Textured white
				SF	Single fuse (120, 277, 347V) ¹⁵		
				DF	Double fuse (208, 240, 480V) ¹⁶		
				ESGR	External Glass Shield (removable, field install required, matches housing finish)		
				BSDB	Red Splice (field install required)		

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 COMMERCIAL OUTDOOR

2 PHOTOMETRIC CUTSHEETS
 E-103 N.T.S.

D-Series Size 2 LED Area Luminaire

d^{series}
 Specifications:
 EPA: 1.06 ft² (0.10 m²)
 Length: 40.59" (1030 mm)
 Width: 16.76" (424 mm)
 Height H1: 8.11" (206 mm)
 Height H2: 3.96" (100 mm)
 Weight: 46 lbs (20.9 kg)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.
 The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of up to 80% vs. 100W HID and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX2 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DBXD

Series	LEDs	Color Temperature*	Color Rendering Index*	Distribution	Voltage	Mounting	
DSX2 LED	Forward optics (this section 70CRI only)						
	P1	P5	30K 3000K	70CRI	AIR	Automotive front row	
	P2	P6	40K 4000K	70CRI	T1S	Type I short	
	P3	P7	50K 5000K	70CRI	T2M	Type II medium	
	P4	P8	(this section 80CRI only, extended lead times apply)	80CRI	T3M	Type III medium	
	Rotated optics						
	P10	P13	30K 3000K	80CRI	T3LG	Type III low glare ¹	
	P11	P14	30K 3000K	80CRI	T4M	Type IV medium	
			35K 3500K	80CRI	T4LG	Type IV low glare ¹	
			40K 4000K	80CRI	T4M	Type IV medium	
		50K 5000K	80CRI	T4M	Type IV medium		
Shipped included							
				SPK	Square pole mounting (#8 drilling)		
				RPA	Round pole mounting (#8 drilling)		
				SPAS	Square pole mounting #5 drilling ²		
				RPAS	Round pole mounting #5 drilling ²		
				SPARN	Square narrow pole mounting #6 drilling ²		
				RPARN	Round narrow pole mounting #6 drilling ²		
				MA	Max arm adapter (mounts on 2.38" OD horizontal tenon)		
Control options							
Shipped installed		Other options		Finish options			
NLTAIR2 PIRHN	ALight AIR gen 2 enabled with hi-level motion / ambient sensor & 40' mounting height, ambient sensor enabled at 26" h.s.a.s. ³	PER7	Seven-pin receptacle only (controls ordered separately) ^{4,5}	SPD20KV	20KV surge protection	DBRD	Dark Bronze
PIR	High flow, motion/ambient sensor & 40' mounting height, ambient sensor enabled at 26" h.s.a.s. ³	FAO	Field adjustable output ^{6,7}	NS	Household shield (black finish standard) ⁸	DBLD	Black
PER	NEMA twist lock receptacle only (controls ordered separately) ⁴	BL30	B-level switched dimming 30% h.s.a.s. ⁹	DWHD	White	DBND	Natural Aluminum
PERS	Five-pin receptacle only (controls ordered separately) ^{4,5}	BL50	B-level switched dimming 50% h.s.a.s. ⁹	DSDTD	Textured dark bronze	DBBD	Textured dark bronze
		DWG	0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁰	CCE	General Construction ¹¹	DBLD	Textured black
		DS	Dual switching h.s.a.s. ¹²	HA	50°C ambient operation ¹³	DNATD	Textured natural aluminum
				BAA	Buy America ¹⁴ Act Compliant	DWNGD	Textured white
				SF	Single fuse (120, 277, 347V) ¹⁵		
				DF	Double fuse (208, 240, 480V) ¹⁶		
				ESGR	External Glass Shield (removable, field install required, matches housing finish)		
				BSDB	Red Splice (field install required)		

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 COMMERCIAL OUTDOOR



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SCALE	AS SHOWN	TAD	AMA	NMH
DESIGNED BY				
DRAWN BY				
CHECKED BY				

PROJECT SATURN
 CITY OF ROCKWALL
 ROCKWALL COUNTY, TEXAS

PHOTOMETRIC DETAILS