



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

855 Whitmore Dr

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

Salvador Salcedo

APPLICANT

CONTACT PERSON

Salvador Salcedo

CONTACT PERSON

ADDRESS

210 Cedar Tree Ln

ADDRESS

CITY, STATE & ZIP

Heath, Texas 75032

CITY, STATE & ZIP

PHONE

214-552-2008

PHONE

E-MAIL

salvasalce@novaairac.com

E-MAIL

### NOTARY VERIFICATION [REQUIRED]

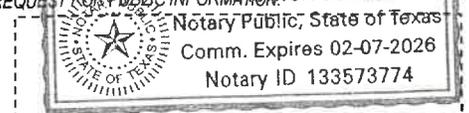
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Salvador Salcedo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF May, 2024. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF May, 2024

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 02-07-2026

0 25 50 100 150 200 Feet

SP2024-032: Site Plan for 855 Whitmore Drive



Case Location Map = 

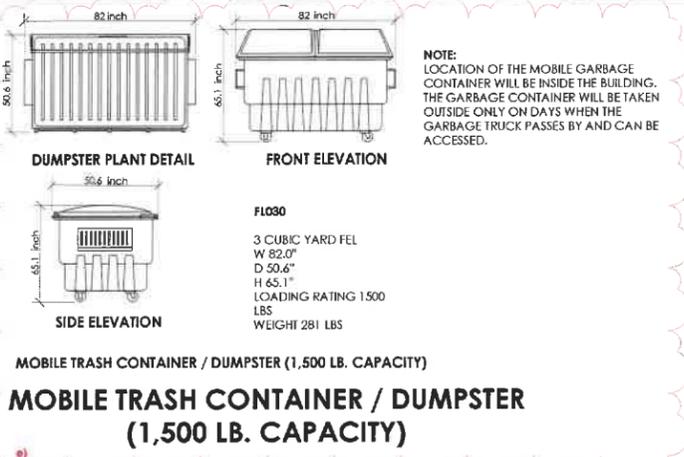
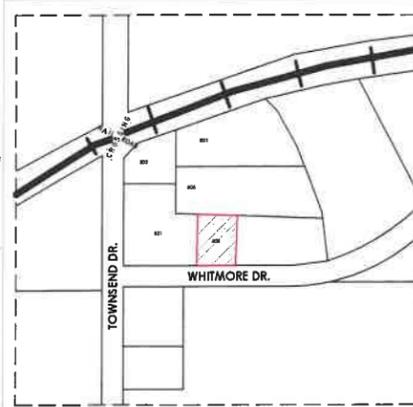


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





**PLANE DATE**

|                    |               |
|--------------------|---------------|
| SIZE OF LOT        | 19,737 SQ.FT. |
| BUILDING           | 4,987 SQ.FT.  |
| DRIVEWAY           | 3,559 SQ.FT.  |
| PARKING            | 2,140 SQ.FT.  |
| WALKING AREA       | 385 SQ.FT.    |
| TOTAL COVERED AREA | 11,071 SQ.FT. |
| COVERAGE PERCENT   | 56%           |

**PARKING REQUIREMENT SCHEDULE**

**INDUSTRIAL AND MANUFACTURING LAND USES (LI)**

| LAND USE                                       | MINIMUM PARKING REQUIRED                 |
|--|--|
| Apparel Manufacturing                          | 1/200 SF                                 |
| Asphalt or Concrete Batch Plant                | As Determined by the Director            |
| Industrial and Manufacturing Other Than Listed | As Determined by the Director            |
| Light Assembly and Fabrication                 | 1/500 SF or 0.75/Employee <sup>1,3</sup> |
| Heavy Manufacturing                            | 1/500 SF or 0.75/Employee <sup>1,3</sup> |
| Printing, Engraving, and Related Businesses    | 1/300 SF or 1/Employee <sup>1</sup>      |
| Welding Repair                                 | 1/500 SF or 1/2 Employees <sup>1</sup>   |

**USE OF STRUCTURE**

**CONSTRUCTION TYPE: LI**

**LIGHT INDUSTRIAL**

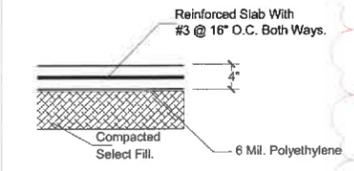
**NO. STORIES: ONE**

**HEIGHT: 60' 0"**

**SETBACKS**

FRONT: 25' 0"  
 SIDE: 15' 0"  
 REAR: 20' 0"

**MAX. LOT COVERAGE: 60%**



**1 CONCRETE DETAIL**  
UNSCALED

**NOTE:**

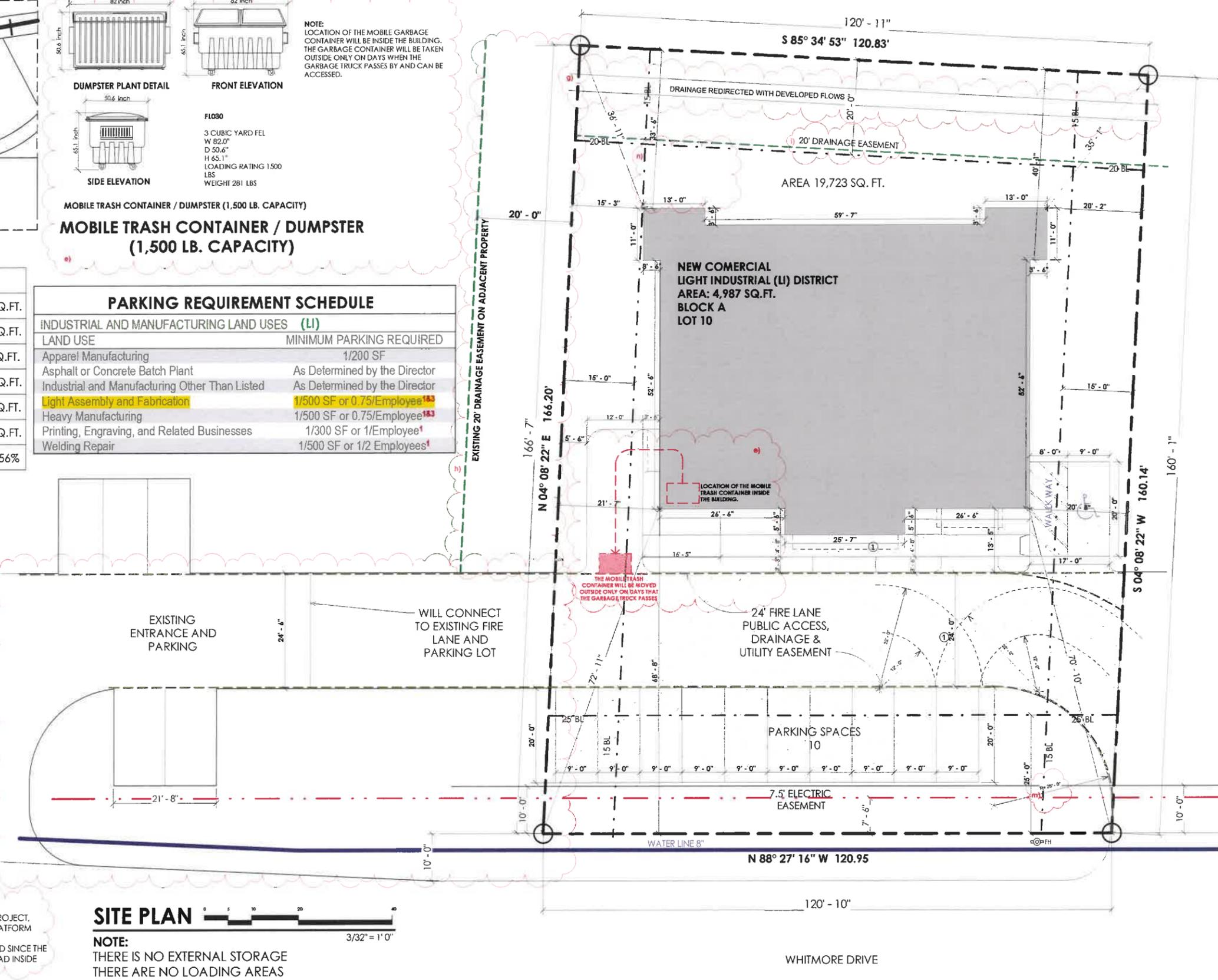
- NO TYPE OF FENCE IS PROPOSED IN THIS PROJECT.
- DOES NOT PROPOSE ANY GROUND OR PLATFORM MOUNTED UTILITY EQUIPMENT
- NO OFF-STREET LOADING DOCK PROPOSED SINCE THE BUILDING IS DESIGNED FOR TRUCKS TO LOAD INSIDE

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
 Director of Planning and Zoning



**NOTE:**

THERE IS NO EXTERNAL STORAGE

THERE ARE NO LOADING AREAS

**PROJECT:** NEW COMERCIAL

**OWNER:** SALVADOR SALCEDO

**LOCATION:** 855 WHITMORE DRIVE, ROCKWALL, TX

**Gamma Group, Design & Construction LLC**  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

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**ENGINEERING GENERAL NOTES**

1. GAMMA GROUP, INC. IS AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ENGINEERS. WE ARE LICENSED TO DESIGN STRUCTURAL FRAMING, INTERIOR OR FOUNDATION. LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, INTERIOR, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WORKMANSHIP AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

2. GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

3. THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IF IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

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**LEGEND**

|      |                       |                   |                        |
|------|-----------------------|-------------------|------------------------|
| CM   | CONTROLLING MONUMENT  | CONCRETE          |                        |
| 5/8" | IRON ROD FOUND        | BUILDING          |                        |
| "X"  | FOUND IN CONCRETE     | PORCH, DECK, ETC. |                        |
| ○    | POINT FOR CORNER      | OHT               | OVERHEAD TELEPHONE     |
| FO   | FIBER OPTIC PEDESTAL  | OHP               | OVERHEAD ELECTRIC      |
| ○    | POWER POLE            | —                 | ELECTRIC EASEMENT      |
| —    | FIRE LANE             | —                 | METAL FENCE            |
| ⊙    | WATER METER           | —                 | WOOD FENCE             |
| ⊙    | TELE. MANHOLE         | ⊙                 | SANITARY SEWER MANHOLE |
| ⊙    | TELE. VAULT           | ⊙                 | STORM DRAIN MANHOLE    |
| ⊙    | VACUUM                | ♿                 | HANDICAP PARKING       |
| ⊙    | LIGHT POLE            | E                 | ELECTRIC BOX           |
| ⊙    | UNDERGROUND ELECTRIC  | ⊙                 | CLEANOUT               |
| ⊙    | PROPOSAL FIRE HYDRANT | ⊙                 | TELEPHONE PEDESTAL     |
| ⊙    | GAS METER             | ⊙                 | CABLE PEDESTAL         |
| ⊙    | WATER VALVE           | ⊙                 | ASPHALT PAVING GRAVEL  |

**DIRECTION:**

**REVISIONS:**

| REV. NO. | DATE       | COMMENTS  |
|----------|------------|---|
| 1        | 03/23/2024 | 4-Added site number<br>5-Added site number<br>6-Added site number<br>7-Added site number<br>8-Added site number<br>9-Added site number<br>10-Added site number<br>11-Added site number<br>12-Added site number<br>13-Added site number<br>14-Added site number<br>15-Added site number<br>16-Added site number<br>17-Added site number<br>18-Added site number<br>19-Added site number<br>20-Added site number<br>21-Added site number<br>22-Added site number<br>23-Added site number<br>24-Added site number<br>25-Added site number<br>26-Added site number<br>27-Added site number<br>28-Added site number<br>29-Added site number<br>30-Added site number<br>31-Added site number<br>32-Added site number<br>33-Added site number<br>34-Added site number<br>35-Added site number<br>36-Added site number<br>37-Added site number<br>38-Added site number<br>39-Added site number<br>40-Added site number<br>41-Added site number<br>42-Added site number<br>43-Added site number<br>44-Added site number<br>45-Added site number<br>46-Added site number<br>47-Added site number<br>48-Added site number<br>49-Added site number<br>50-Added site number<br>51-Added site number<br>52-Added site number<br>53-Added site number<br>54-Added site number<br>55-Added site number<br>56-Added site number<br>57-Added site number<br>58-Added site number<br>59-Added site number<br>60-Added site number<br>61-Added site number<br>62-Added site number<br>63-Added site number<br>64-Added site number<br>65-Added site number<br>66-Added site number<br>67-Added site number<br>68-Added site number<br>69-Added site number<br>70-Added site number<br>71-Added site number<br>72-Added site number<br>73-Added site number<br>74-Added site number<br>75-Added site number<br>76-Added site number<br>77-Added site number<br>78-Added site number<br>79-Added site number<br>80-Added site number<br>81-Added site number<br>82-Added site number<br>83-Added site number<br>84-Added site number<br>85-Added site number<br>86-Added site number<br>87-Added site number<br>88-Added site number<br>89-Added site number<br>90-Added site number<br>91-Added site number<br>92-Added site number<br>93-Added site number<br>94-Added site number<br>95-Added site number<br>96-Added site number<br>97-Added site number<br>98-Added site number<br>99-Added site number<br>100-Added site number |

**EXPIRATION DATE:**

PAPER SIZE 36X24

**PLAN:**

**SITE PLAN**

**DATE:** 04/22/2024

**DRAWN BY:** F.G.M.

**SHEET 02 OF 10**

**A1**

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
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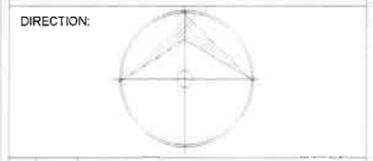
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| MATERIALS |                      |
|-----------|----------------------|
| SYMBOL    | SPECIFICATION        |
| 1         | ALUMINUM SHEETS      |
| 2         | STONE SMOKED LUEDERS |
| 3         | STUCCO               |
| 4         | SIDING               |
| 5         | WOOD                 |
| 6         | GLASS                |
| 7         | STANDING SEAM        |
| 8         | ASPHALT SHINGLES     |
| 9         | BRICK GEORGETOWN     |



| REV. NO. | DATE       | COMMENTS   |
|----------|------------|--|
| 1        | 12/03/2024 | a) Added case number<br>b) Standard signature block with signature space for Planning and Zoning Chair and Planning Director attached<br>c) The roof will be standing seam<br>d) Parapet height noted and the rear part of the parapet will be covered with the same material as the exterior facade<br>e) The bottom of RTUs is indicated |

EXPIRATION DATE: PAPER SIZE 36X24

PLAN: ELEVATIONS

DATE: 04/11/2022

DRAWN BY: F.G.M. SHEET 08 OF 10

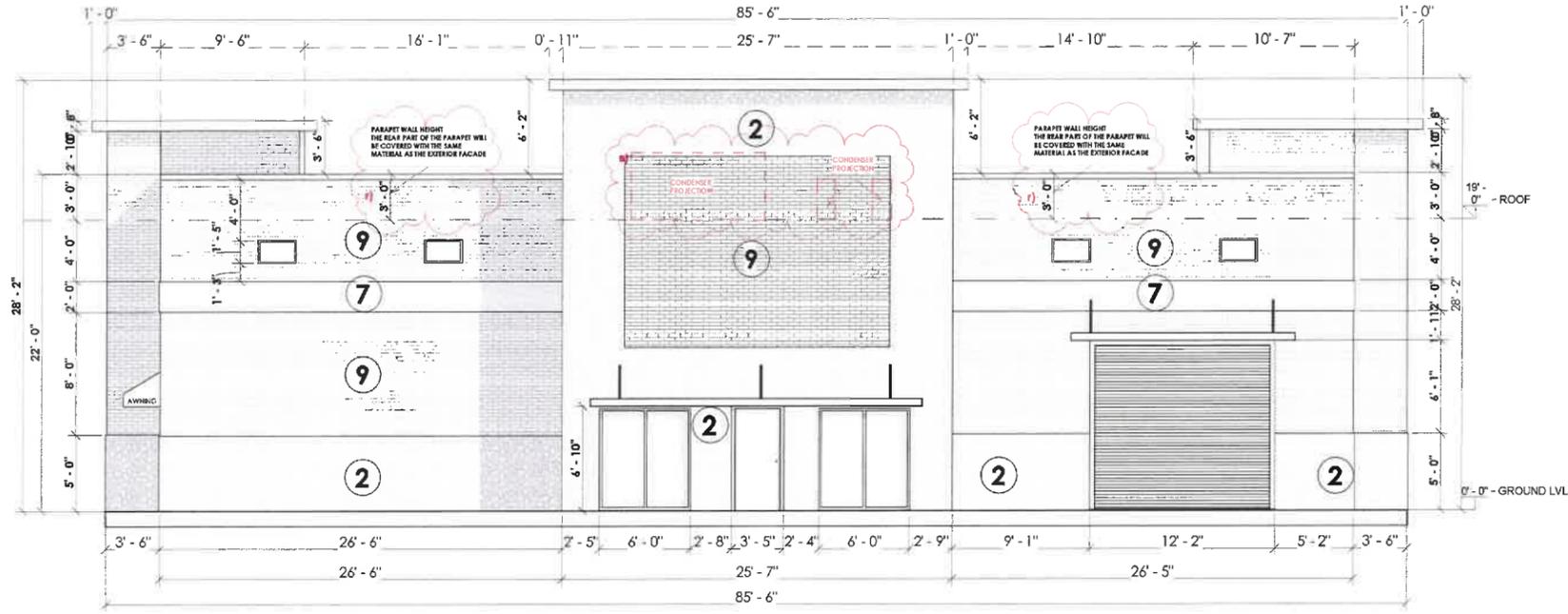
**A2**

**AREA AND PERCENTAGE OF MATERIALS**

|       | FRONT ELEVATION    | TOTAL AREA      | PERCENTAGE |
|-------|--------------------|-----------------|------------|
| 2 & 9 | MASONRY MATERIALS  | 2,312 S.Q. F.T. | 100 %      |
| 9     | BRICKS             | 2,136 S.Q. F.T. | 94.0 %     |
| 2     | NATURAL STONE      | 1,510 S.Q. F.T. | 64.0 %     |
| 7     | SECONDARY MATERIAL | 106 S.Q. F.T.   | 30.0 %     |
|       | TOTAL              | 2,312 S.Q. F.T. | 100 %      |

**FRONT ELEVATION**

3/16" = 1' 0"

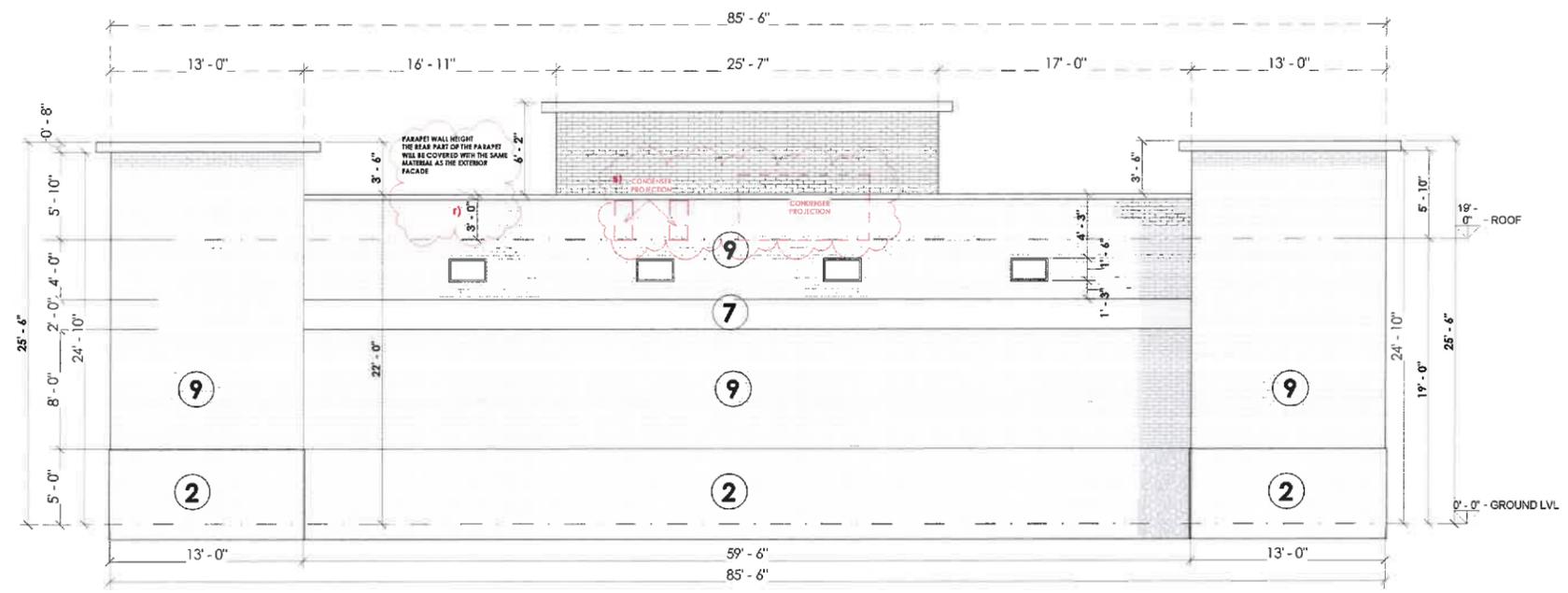


**AREA AND PERCENTAGE OF MATERIALS**

|       | FRONT ELEVATION    | TOTAL AREA      | PERCENTAGE |
|-------|--------------------|-----------------|------------|
| 2 & 9 | MASONRY MATERIALS  | 2,128 S.Q. F.T. | 100 %      |
| 9     | BRICKS             | 2,116 S.Q. F.T. | 94.0 %     |
| 2     | NATURAL STONE      | 1,415 S.Q. F.T. | 73.0 %     |
| 7     | SECONDARY MATERIAL | 427 S.Q. F.T.   | 21.0 %     |
|       | TOTAL              | 159 S.Q. F.T.   | 06.0 %     |
|       | TOTAL              | 2,128 S.Q. F.T. | 100 %      |

**REAR ELEVATION**

3/16" = 1' 0"



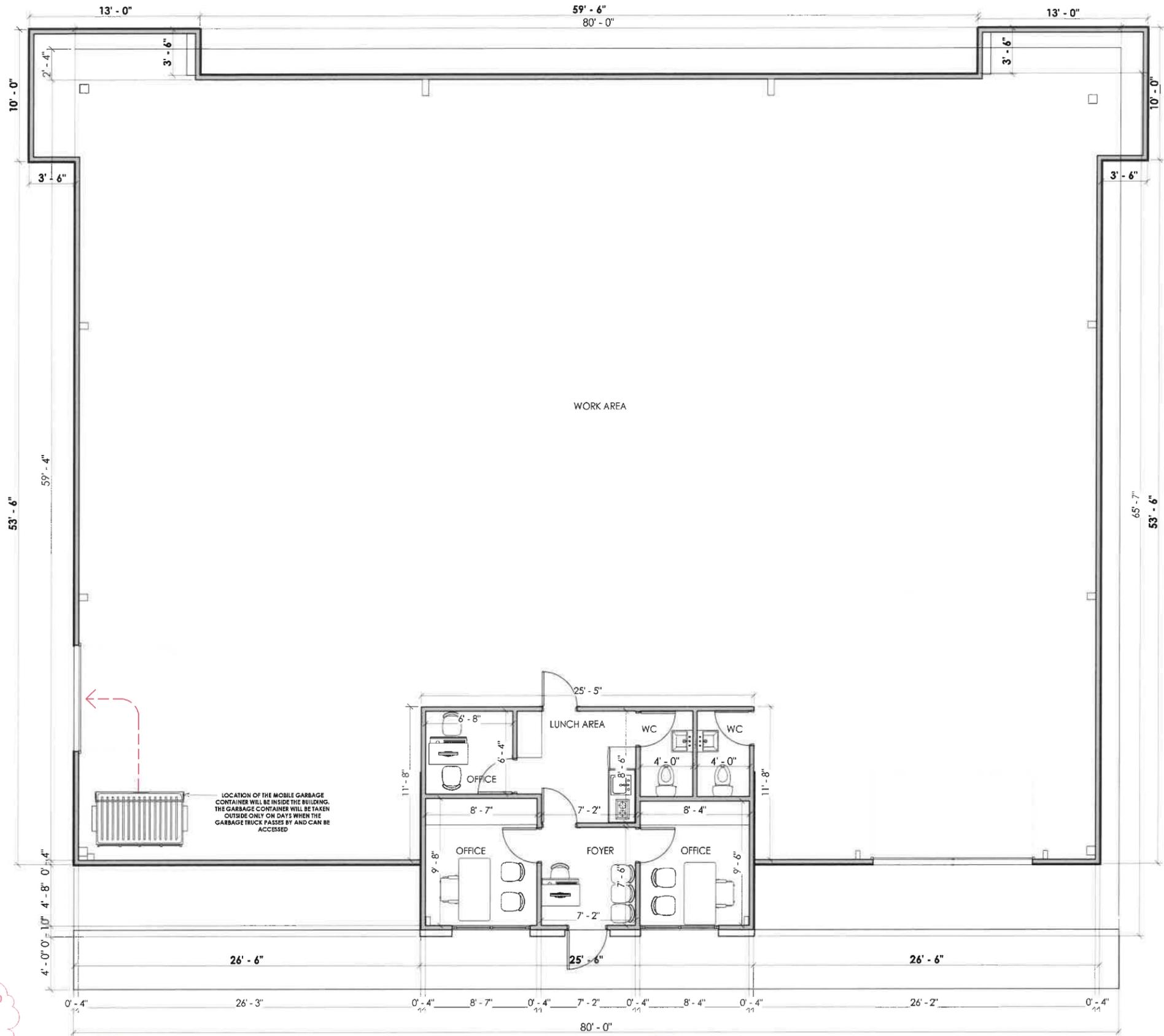
**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
Planning & Zoning Commission, chairman

\_\_\_\_\_  
Director of Planning and Zoning



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 Planning & Zoning Commission, chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**FLOOR PLAN**

1/4" = 1' 0"

PROJECT: NEW COMERCIAL

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



**Gamma Group**  
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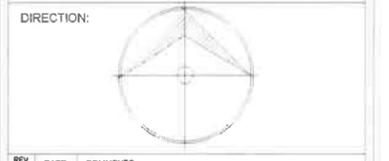
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| TABULATION AREA |                     |
|-----------------|---------------------|
| WORK AREA       | 4,656 SQ.FT.        |
| OFFICE          | 432 SQ.FT.          |
| <b>TOTAL</b>    | <b>4,960 SQ.FT.</b> |



| REV. NO. | DATE       | COMMENTS  |
|----------|------------|---|
| 1        | 22/09/2024 | a) added case number<br>b) added signature lines with signature space for Planning and Zoning Chair and Planning Director attached<br>c) location of the Mobile Garbage Container will be inside the building. The garbage container will be taken outside only on days when the garbage truck passes by and can be accessed. |

EXPIRATION DATE: \_\_\_\_\_

PAPER SIZE 36X24

PLAN: \_\_\_\_\_

**FLOOR PLAN**

DATE: 04/11/2022

DRAW BY: F.G.M.

**A1**

SHEET 07 OF 10

**GENERAL GRADING AND PLANTING NOTES**

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANNING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
  - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +10. OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
  - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
  - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON SOIL TEST PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
  - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO US AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN SHARE AREAS IMMEDIATELY ADJACENT TO ALLS AND OTHER WALKING SURFACE, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
  - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALK AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 18" BELOW THE FINISH GRADE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 1" AWAY FROM THE WALKS.
  - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH MATTERS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC)
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES: PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUND COVER PATTERNS) SHALL TAKE PRECEDENCE.
  - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
  - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE, FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
  - SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

- MULCHES**
- AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH (NATURAL UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDING AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANNING NOTES" AND SPECIFICATIONS).
- ROOT BARRIERS**
- THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDCAPE, INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCLOSE THE ROOTBALL.
- IRRIGATION CONCEPT**
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
  - THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
  - ALIGNMENT TYPED PLANTING AREAS SHALL BE DOW-ROOT 24" DEEP PANELS (OR EQUAL). SODDED AND SEEDING AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
  - ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
  - THE IRRIGATION SYSTEM SHALL BE INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTORIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
  - ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08).

- CONCRETE**
- (A) PORTLAND CEMENT SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.2
  - (B) UP TO 20% (BY WEIGHT) OF THE CEMENT CONTENT MAY BE REPLACED WITH TYPE C FLY ASH. FLY ASH REPLACEMENT SHALL BE 1.25 POUNDS PER 1.0 POUND OF CEMENT REDUCTION. ALSO REFER TO N.C.T.C.O.G. ITEM 303
  - (C) AGGREGATES SHALL BE AS PER N.C.T.C.O.G. ITEM 303.2.1. RIVER ROCK OR BLENDED AGGREGATES NOT BE ALLOWED.
  - (D) MANUFACTURED SAND SHALL NOT EXCEED 20% OF THE TOTAL SAND CONTENT IN THE CONCRETE MIX DESIGN.
  - (E) CONCRETE FOR ALL PAVING AND CURBS WITHIN THE RIGHT-OF-WAY SHALL HAVE A MINIMUM 5 1/2 SACKS/CUBIC YARD OF CEMENT CONTENT AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI WHEN TESTED AT THE AGE OF 28 DAYS. HAND PLACED CONCRETE SHALL HAVE A MINIMUM 4 1/2 SACKS/CUBIC YARD OF CEMENT CONTENT AND MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI.
  - (F) THE DESIGN ENGINEER SHALL APPROVE THE CONCRETE MIX DESIGN IN WRITING PRIOR TO USE.
  - (G) PAVEMENT CURBS SHALL BE POURED MONOLITHICALLY. PLEASE REFER TO N.C.T.C.O.G. ITEM 303.5.2.4.
  - (H) STAMP OR DIE PROJECT PAVING LIMITS INCLUDING ALL STREET INTERSECTIONS TO N.C.T.C.O.G. ITEM 303.4.2.3 AND DETAILS ON THIS SHEET.
  - (I) THERE SHALL BE ZERO TO BRANES FOR CONCRETE STRENGTH AND DEPTH. NO VARIANCES ARE ALLOWED. ANY AREAS OF (J) DEFICIENCY SHALL BE PROVIDED, REMOVED AND REPLACED. ALL CURBS AND GUTTERS SHALL BE POURED IN ONE COURSE. CONSTRUCTION CONCRETE SHALL BE PLACED IN FORMS ON COMPACTED, WETTED SUBGRADE AND SHALL BE TAMPED AND SPADED UNTIL MORTAR COVERS THE ENTIRE SURFACE. TAMPING AND SPADED OF NEWLY POURED CONCRETE SHALL BE GIVEN SPECIAL ATTENTION TO ENSURE ADEQUATE COMPACTION AND SURFACES FREE OF HONEYCOMBS.
- CURING:**
- PLEASE REFER TO ITEM 303.5.8 AND 303.2.12.1.1 OF THE N.C.T.C.O.G. SPECIFICATIONS
  - THE CONTRACTOR SHALL USE A WHITE PIGMENTED LIQUID CURING COMPOUND AS PER N.C.T.C.O.G. ITEM 303.5.8 AND 303.2.12.1.1

- REFERENCE CONCRETE**
- | MIX DESIGN            | MASS PER M <sup>3</sup> | C1-270-FA10-W165 |
|-----------------------|-------------------------|------------------|
| CLUNKER 1: CEM1 S2.5R | KG                      | 270              |
| FLY ASH (EN 450)      | KG                      | 10               |
| WATER                 | KG                      | 162              |
| SUPERPLASTICIZER      | KG                      | 2.8              |
| RIVER SAND 0-2 mm     | KG                      | 597              |
| RIVER GRAVEL 2-8mm    | KG                      | 446              |
| RIVER GRAVEL 8-16mm   | KG                      | 847              |
| w <sub>c</sub>        | -                       | 0.61             |
| w <sub>ca</sub>       | -                       | 0.60             |

- APPROVED:**
- I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.
- WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman  
 Director of Planning and Zoning

**LANDSCAPE STANDARDS**

**05.02 LANDSCAPE REQUIREMENTS LIGHT INDUSTRIAL (LI) DISTRICT.**

TOTAL SITE AREA: 519,737 SQ.FT.  
 LANDSCAPE AREA REQUIRED TOTAL SITE: 2,960 SQ.FT. (15%)  
 LANDSCAPE PROVIDED, TOTAL SITE: 8,516 SQ.FT. (43%)

LOCATION OF LANDSCAPING: A MINIMUM OF 100% OF THE TOTAL REQUIRED LANDSCAPING SHALL BE LOCATED IN FRONT OF AND ALONG THE SIDE OF BUILDINGS WITH STREET FRONTAGES 2,960 SQ.FT. X 100% = 2,960 SQ.FT.

LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS: 3,960 SQ.FT. (46%)

MIN. SIZE OF AREAS: ALL REQUIRED LANDSCAPING SHALL BE NO LESS THAN FIVE (5) FEET WIDE AND BE A MINIMUM OF 25 SF IN AREA UNLESS IT IS WITHIN TEN (10) FEET OF A BUILDING ON THE SAME LOT.

DETENTION BASIN: DETENTION BASINS SHALL BE LANDSCAPED IN A NATURAL MANNER USING GROUND COVER, GRASSES, SHRUBS, BERMS, AND ACCENT AND CANOPY TREES. THERE SHALL BE A MINIMUM OF ONE (1) CANOPY TREE PER 750 SF AND ONE (1) ACCENT TREE PER 1,500 SF OF DETENTION AREA.

PROPOSED DETENTION BASIN: 1,250 SQ. FT.  
 CANOPY TREES REQUIRED: 1,250 SQ. FT. / 750 SQ. FT. = 2 CANOPY TREE  
 CANOPY TREES PROVIDED: 3 CANOPY TREE  
 ACCENT TREES REQUIRED: 2,960 SQ. FT. / 1,500 SQ. FT. = 2 ACCENT TREE  
 ACCENT TREES PROVIDED: 2 ACCENT TREE

PARKING LOT LANDSCAPING: PARKING LOTS WITH MORE THAN TWO (2) ROWS OF PARKING SPACES (I.E. ONE (1) DRIVE ISLE WITH ROWS OF PARKING ON EITHER SIDE SHALL HAVE A MINIMUM FOR FIVE (5) PERCENT OR 200 SF OF LANDSCAPING - WHICHEVER IS GREATER - IN THE INTERIOR OF THE PARKING LOT AREA. SUCH LANDSCAPING SHALL BE COUNTED TOWARD THE TOTAL REQUIRED LANDSCAPING.

PROPOSED PARKING AREA: 2,140 SQ. FT.  
 REQ. PARKING AREA LANDSCAPING: 40 SQ. FT. OR 200 SQ. FT.  
 PROPOSED PARKING LOT LANDSCAPING: 1,400 SQ. FT.

PARKING SPACES: (1) LARGE CANOPY TREE FOR EVERY TEN (10) PARKING SPACES SHALL BE REQUIRED TO BE PLANTED INTERNAL TO THE PARKING AREAS. (3) NO TREE SHALL BE PLANTED CLOSER THAN FIVE (5) FEET TO THE EDGE OF PAVEMENT

TREES REQUIRED: 1 LARGE CANOPY TREE  
 TREES PROVIDED: 2 LARGE CANOPY TREE

**05.02 LANDSCAPE BUFFERS - NON-RESIDENTIAL**

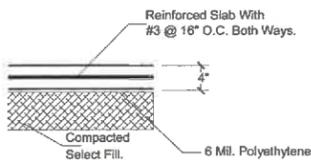
INDUSTRIAL/OFFICE/TECHNOLOGY LAND USES: 50-FEET ALL LANDSCAPE BUFFERS SHALL INCORPORATE GROUND COVER, A BUILT-UP BERM AND SHRUBBERY OR A COMBINATION THEREOF ALONG THE ENTIRE LENGTH OF THE FRONTAGE. BERMS AND SHRUBBERY SHALL EACH HAVE MINIMUM HEIGHT OF 30-INCHES AND A MAXIMUM HEIGHT OF 48-INCHES. IN ADDITION, TWO (1) CANOPY TREES FOUR (2) ACCENT TREES SHALL BE PLANTED PER 100-FOOT OF LINEAR FRONTAGE ALONG THE PRIMARY ROADWAY.

4207' STREET FRONTAGE  
 REQUIRED PLANTING: PROVIDED 10' BUFFER: SHRUBS

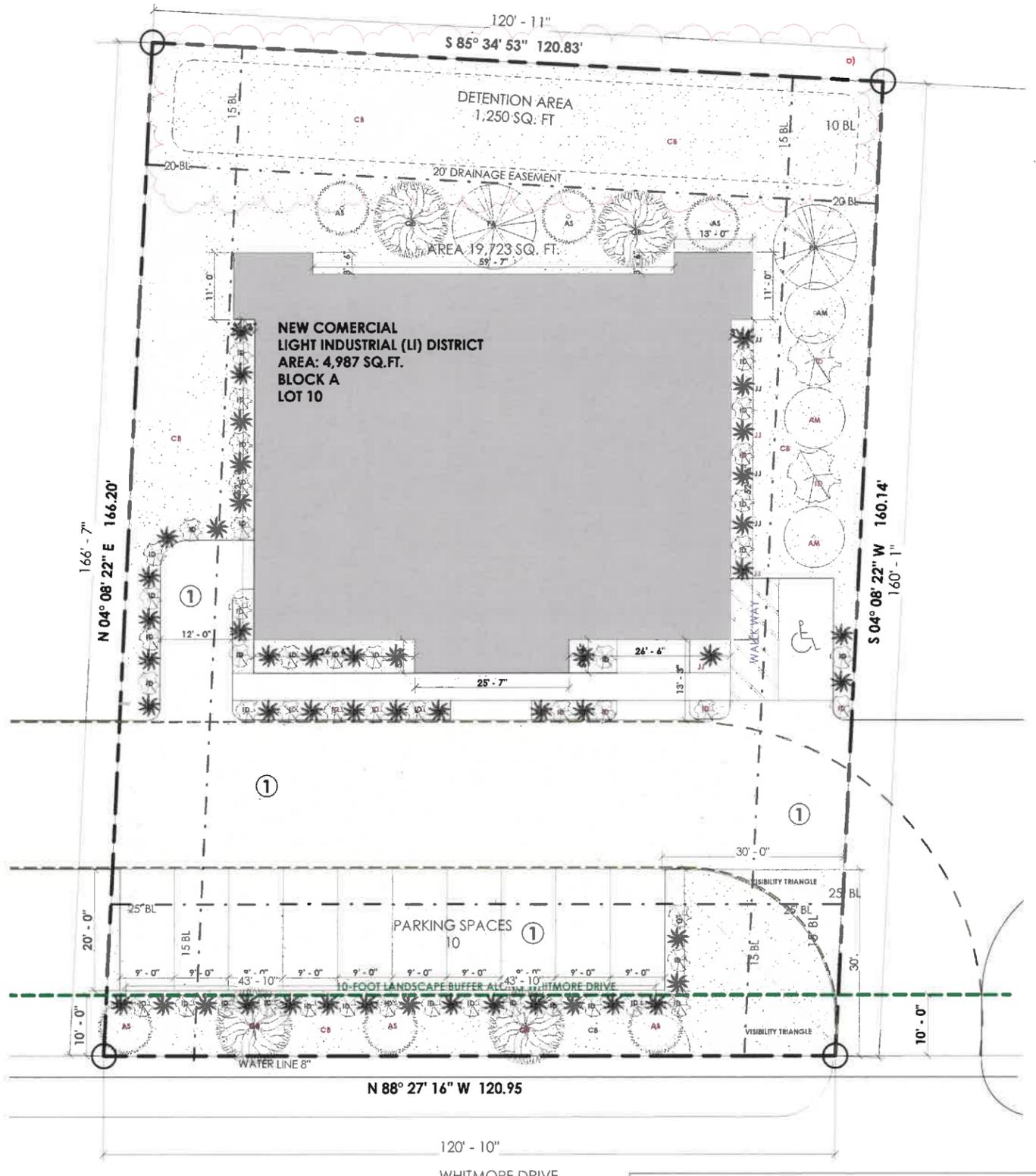
BASED ON CITY OF ROCKWALL | UNIFIED DEVELOPMENT CODE

**PLANT SCHEDULE**

| CODE | TREES         | QTY         | BOTANICAL / COMMON NAME                     | CAL       | CONT.   | SIZE    |
|------|---------------|-------------|---|-----------|---------|---------|
| QB   |               | 4           | QUERCUS MACROCARPA / BUR OAK                | 4" CAL    | CONT.   | 14" MIN |
| AM   |               | 3           | ACER SACCHARUM 'CADD0' / CADD0 MAPLE        | 4" CAL    | CONT.   | 12" MIN |
| PA   |               | 2           | PINUS ELGARICA / AFGHAN PINE                | 4" CAL    | CONT.   | 12" MIN |
| AS   |               | 6           | ACER TRUNCATUM / SHANTUNG MAPLE             | 4" CAL    | CONT.   | 12" MIN |
| CODE | SHRUBS        | QTY         | BOTANICAL / COMMON NAME                     | CONTAINER | SPACING | SIZE    |
| ID   |               | 49          | ILEX VOMIFORIA 'NANA' / DWARF YALUPON HOLLY | 5 GAL     | 36" OC  | 24" MIN |
| JJ   |               | 48          | JUNIPERUS SP. / JUNIPER                     | 5 GAL     | 36" OC  | 24" MIN |
| CODE | GROUND COVERS | QTY         | BOTANICAL / COMMON NAME                     | CONT.     | SPACING | SIZE    |
| CB   |               | 8,516 SQ.FT | CYNODON DACTYLON / BERMUDA GRASS            | SOND      |         |         |



**1 CONCRETE DETAIL UNSCALED**



**LANDSCAPE PLAN**

**NOTE:** THE IRRIGATION SYSTEM WILL COMPLY WITH THE REQUIREMENTS OF THE UDC.

3/32" = 1' 0"

**SITE PLANE DATE**

|                                     |                    |
|-------------------------------------|--------------------|
| SIZE OF LOT                         | 19,737 SQ.FT.      |
| BUILDING                            | 4,987 SQ.FT.       |
| LANDSCAPE AREA REQUIRED TOTAL SITE: | 2,960 SQ.FT. (15%) |
| LANDSCAPE PROVIDED, TOTAL SITE:     | 8,516 SQ.FT. (43%) |
| DRIVEWAY                            | 3,559 SQ.FT.       |
| PARKING                             | 2,140 SQ.FT.       |
| TOTAL COVERED AREA                  | 11,071 SQ.FT.      |
| COVERAGE PERCENT                    | 56%                |

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

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**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT ARIE WE LICENSED TO DESIGN STRUCTURAL, FRAMING, WINDBRACING OR FOUNDATION. ALL LICENSED PROFESSIONAL ENGINEERS SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, WINDBRACING, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, WINDBRACING AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

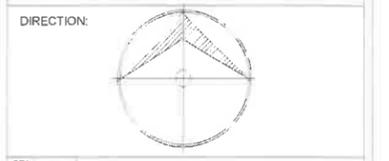
**NOTE:** GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN. IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE REPRODUCED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SEALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS. ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWING SHALL BE REPORTED TO THE BUILDER AND DESIGNER.



| REV. NO. | DATE       | COMMENTS  |
|----------|------------|---|
| 1        | 05/01/2024 | 22052024: #1 Address issue number #2 Address issue number #3 Address issue number #4 Address issue number #5 Address issue number #6 Address issue number #7 Address issue number #8 Address issue number #9 Address issue number #10 Address issue number #11 Address issue number #12 Address issue number #13 Address issue number #14 Address issue number #15 Address issue number #16 Address issue number #17 Address issue number #18 Address issue number #19 Address issue number #20 Address issue number #21 Address issue number #22 Address issue number #23 Address issue number #24 Address issue number #25 Address issue number #26 Address issue number #27 Address issue number #28 Address issue number #29 Address issue number #30 Address issue number #31 Address issue number #32 Address issue number #33 Address issue number #34 Address issue number #35 Address issue number #36 Address issue number #37 Address issue number #38 Address issue number #39 Address issue 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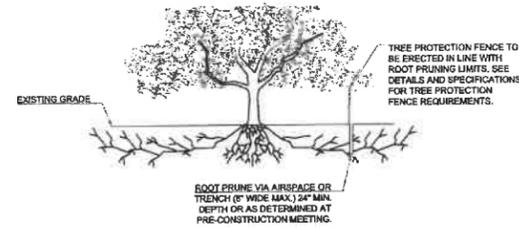
**TREE PROTECTION SPECIFICATIONS**

**MATERIALS**

- " FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T-SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- THE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

**CONSTRUCTION METHODS**

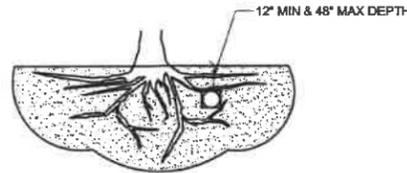
- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERRECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ) EQUAL TO FROM THE TRUNK FOR EVERY 1° OF DEHJ AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTIONS SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERRECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE. THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
- WITHIN THE CRZ:
  - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
  - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
  - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY. DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
  - DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
  - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING, SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (M-C-30 OIL), ETC., TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
  - ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
  - WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
  - THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY, FOR OAKS ONLY. ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
  - REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
  - TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
  - ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
  - COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
  - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
  - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
  - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION RELATED ACTIVITIES HAVE BEEN REMOVED.



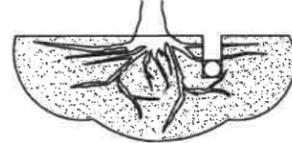
**ROOT PRUNING DETAIL**

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



**BORING THROUGH ROOT PROTECTION ZONE**

**NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.**

**EXISTING TREE LEGEND**

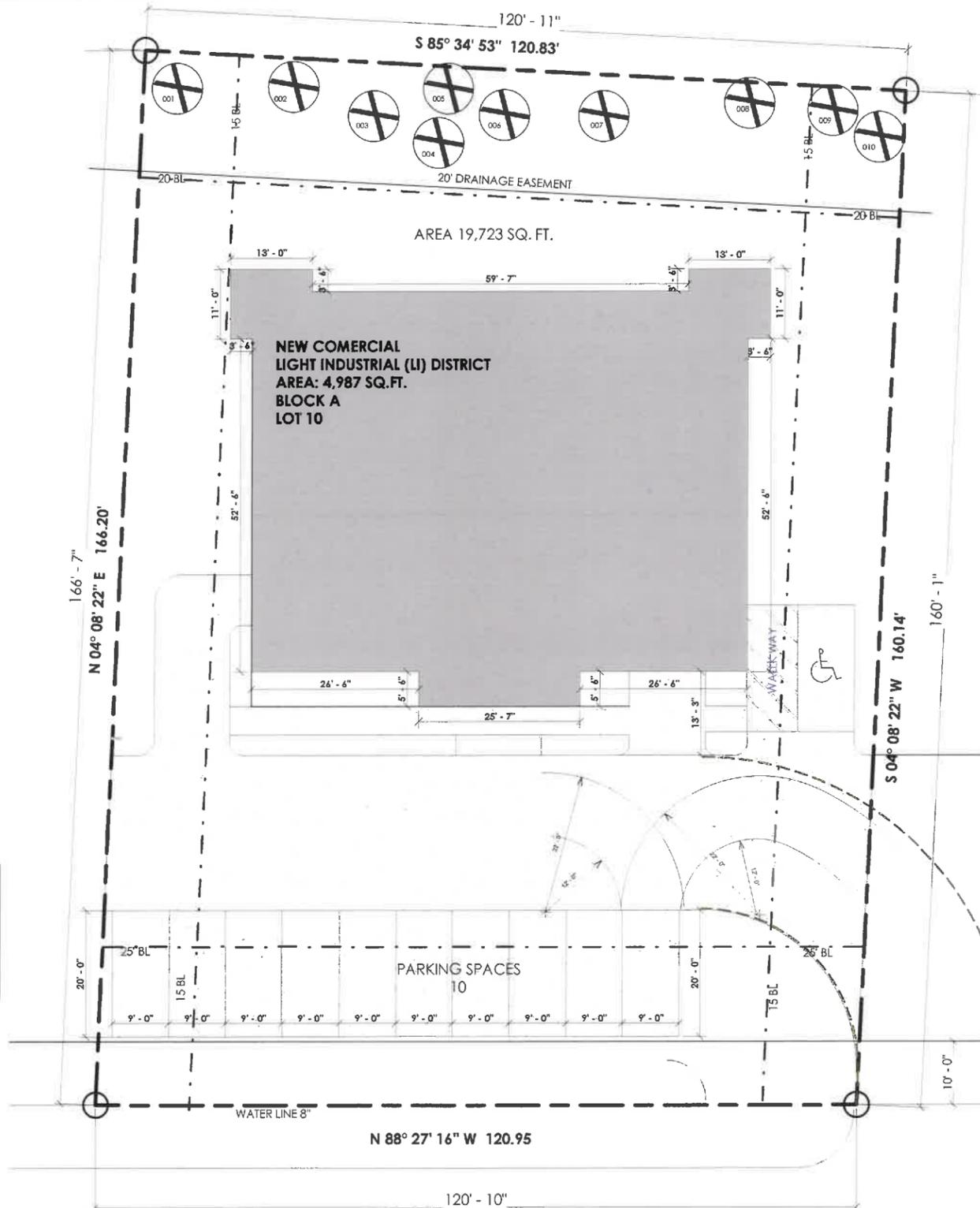
- EXISTING TREE OFF SITE 10
- EXISTING TREE TO BE REMOVED 10

**TREE MIGRATION SUMMARY**

|                                     |     |
|-------------------------------------|-----|
| TOTAL MIGRATION REQUIRED:           | 40" |
| PROPOSED CODE REQUIRED TREES:       | 19" |
| BALANCE OF MITIGATION:              | 14" |
| 4" CAL MITIGATION TREES (5) ON SITE | 21" |

| TREESCAPE PLAN SPREADSHEET |         |        |                   |                   |               |              |                  |                     |
|----------------------------|---------|--------|-------------------|-------------------|---------------|--------------|------------------|---------------------|
| #                          | SPECIES | CAUPER | PROTECT OR REMOVE | TREE HEALTH (1-5) | DISEASE (Y/N) | INSECT (Y/N) | STRUCTURAL (Y/N) | MITIGATION REQUIRED |
| 10                         | RED OAK | 4"     | REMOVE            | 1                 | N             | N            | N                | 40"                 |
| TOTAL:                     |         |        |                   |                   |               |              |                  | 40"                 |

**LANDSCAPE PLAN**



**SITE PLANE DATE**

|                                     |                    |
|-------------------------------------|--------------------|
| SIZE OF LOT                         | 19,737 SQ.FT.      |
| BUILDING                            | 4,987 SQ.FT.       |
| LANDSCAPE AREA REQUIRED TOTAL SITE: | 2,960 SQ.FT. (15%) |
| LANDSCAPE PROVIDED, TOTAL SITE:     | 8,516 SQ.FT. (38%) |
| DRIVEWAY                            | 3,559 SQ.FT.       |
| PARKING                             | 2,140 SQ.FT.       |
| TOTAL COVERED AREA                  | 11,071 SQ.FT.      |
| COVERAGE PERCENT                    | 56%                |

**APPROVED:**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.

WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

Planning & Zoning Commission, chairman

Director of Planning and Zoning

PROJECT: NEW COMERCIAL AIR CONDITIONING EQUIPMENT STORAGE

OWNER: SALVADOR SALCEDO

LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
33 09 ELM ST # 250, Dallas Texas, 75228  
www.gammagroup-usa.com  
(469)-583-7174 & (469)-463-2761

THESE DOCUMENTS ARE INSTRUMENTS OF THE DESIGNER'S SERVICE FOR USE SOLELY ON THE SPECIFIC PROJECT INDICATED HEREIN. ANY UNAUTHORIZED COPY OR USE, INCLUDING WITHOUT LIMITATIONS, COPYING OR FOR USE ON ANY PROJECT OTHER THAN THE ONE INDICATED HEREIN IS STRICTLY PROHIBITED. THE DESIGNER IS THE AUTHOR AND OWNER OF THESE DOCUMENTS. THE DESIGN CONCEPTS, IDEAS AND EXPRESSIONS THEREOF SHOWN IN THE DOCUMENTS ARE THE DESIGNER'S ORIGINAL WORK AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO LEGAL ACTION.

**ENGINEERING GENERAL NOTES**

GAMMA GROUP, WE ARE NOT AN ENGINEERING FIRM. WE DO NOT QUALIFY TO BE ONE. NOT BE LICENSED TO DESIGN STRUCTURAL FRAMING, FOUNDATIONS OR FOUNDATION. ALL LICENSED PROFESSIONAL ENGINEER SHOULD BE CONTRACTED AND CONSULTED IMMEDIATELY REGARDING FRAMING, FOUNDATIONS, AND THE FOUNDATION DESIGN. SHOULD AN ENGINEER'S SEAL BE PRESENT ON THESE DRAWINGS, THE ENGINEER OF RECORD SHALL BEAR ALL RESPONSIBILITY FOR THE STRUCTURE, FOUNDATIONS AND FOUNDATION DESIGN FOR THIS PROJECT. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY, MATTER, OR FORM IF ANY PROBLEMS MAY ARISE.

NOTE: GENERAL CONTRACTOR SHALL HAVE THIS FOUNDATION PLAN DESIGN BY A TEXAS REGISTERED ENGINEER TO MEET SOIL TESTS REQUIREMENTS.

THE DESIGNER ASSUMES NO LIABILITY FOR ANY STRUCTURE CONSTRUCTED FROM THIS PLAN IF THE RESPONSIBILITY OF PURCHASER OF THIS PLAN, TO PERFORM THE FOLLOWING BEFORE ACTUAL CONSTRUCTION COMMENCES:

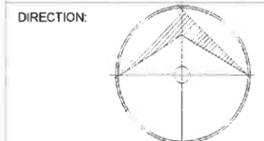
- BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR PROCEEDING WITH CONSTRUCTION.
- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.
- PLANS INDICATE LOCATIONS ONLY. ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

**CONTRACTOR NOTES**

THIS PLAN INCLUDING ALL DESIGN CONCEPTS, DRAWINGS, AND DETAILS CONTAINED HEREIN SHALL REMAIN THE SOLE PROPERTY OF GAMMA GROUP AND CAN NOT BE DUPLICATED IN PART OR IN WHOLE WITHOUT THE PRIOR WRITTEN PERMISSION OF GAMMA GROUP. WORKING DRAWINGS SHALL NOT BE SCALED BEFORE PROCEEDING WITH ANY WORK OR ORDERING OF MATERIALS. THE BUILDER AND/OR SUBCONTRACTORS SHALL VERIFY ALL NOTES AND MEASUREMENTS ANY DISCREPANCIES IN OR OMISSIONS FROM THE WORKING DRAWINGS SHALL BE REPORTED TO THE BUILDER AND DESIGNER.

**EXISTING TREE LEGEND**

- EXISTING TREE OFF SITE
- EXISTING TREE TO BE REMOVED



| REV NO | DATE       | COMMENTS  |
|--------|------------|---|
| 1      | 2024/05/01 | #1-Added case number, #2-Added case number, #3-Added case number, #4-Added case number, #5-Added case number, #6-Added case number, #7-Added case number, #8-Added case number, #9-Added case number, #10-Added case number |

EXPIRATION DATE: PAPER SIZE 36X24

**TRESCAPE PLAN DETAILS & SPECIFICATIONS**

DATE: 05/01/2023  
DRAW BY: F.G.M  
SHEET 04 OF 10

**TD1**



### D-Series Size 0 LED Area Luminaire

**Specifications**

- EPA: 0.45 ft<sup>2</sup> CAH-1
- Length: 24.12" CAH-1
- Width: 15.00"
- Height H1: 3.75"
- Height H2: 4.75"
- Weight: 11.12 lbs

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater color spacing and lower power density by D-Series outstanding photometry skills in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

**Ordering Information**

EXAMPLE: DS10 LED P6 40K 70CRI T3M MV01T SPA NTA1R2 PRH V DBX8

| Code | Description  | Value | Code  | Description | Value | Code   | Description | Value  |
|------|--------------|-------|-------|-------------|-------|--------|-------------|--------|
| DS10 | Product Code | DS10  | LED   | LED         | DS10  | Color  | 40K         | 40000K |
| P6   | Power        | P6    | Power | P6          | Power | CR     | Color       | 70CRI  |
| T3M  | Temp         | T3M   | Temp  | T3M         | Temp  | MV01T  | Mount       | Mount  |
| SPA  | Style        | SPA   | Style | SPA         | Style | NTA1R2 | Optic       | Optic  |
| PRH  | Prism        | PRH   | Prism | PRH         | Prism | V      | View        | View   |
| DBX8 | Depth        | DBX8  | Depth | DBX8        | Depth |        |             |        |

**Subpart Details**

| Code | Description  | Value | Code  | Description | Value |
|------|--------------|-------|-------|-------------|-------|
| DS10 | Product Code | DS10  | LED   | LED         | DS10  |
| P6   | Power        | P6    | Power | P6          | Power |
| T3M  | Temp         | T3M   | Temp  | T3M         | Temp  |
| SPA  | Style        | SPA   | Style | SPA         | Style |
| PRH  | Prism        | PRH   | Prism | PRH         | Prism |
| DBX8 | Depth        | DBX8  | Depth | DBX8        | Depth |

One Lithonia Way • Conley, Georgia 30127 • Phone: 1-800-765-6776 • www.lithonia.com

**Performance Data**

**Lumen Ambient Temperature (LAT) Multiplier**

| LAT (°C) | Multiplier |
|----------|------------|
| 0        | 1.00       |
| 5        | 0.98       |
| 10       | 0.96       |
| 15       | 0.94       |
| 20       | 0.92       |
| 25       | 0.90       |
| 30       | 0.88       |
| 35       | 0.86       |
| 40       | 0.84       |
| 45       | 0.82       |
| 50       | 0.80       |
| 55       | 0.78       |
| 60       | 0.76       |
| 65       | 0.74       |
| 70       | 0.72       |
| 75       | 0.70       |
| 80       | 0.68       |
| 85       | 0.66       |
| 90       | 0.64       |
| 95       | 0.62       |
| 100      | 0.60       |

**Electrical Load**

| Power (W) | Current (A) | Power (W) | Current (A) |
|-----------|-------------|-----------|-------------|
| 100       | 0.45        | 1000      | 4.54        |
| 200       | 0.91        | 2000      | 9.09        |
| 300       | 1.36        | 3000      | 13.64       |
| 400       | 1.82        | 4000      | 18.18       |
| 500       | 2.27        | 5000      | 22.73       |
| 600       | 2.73        | 6000      | 27.27       |
| 700       | 3.18        | 7000      | 31.82       |
| 800       | 3.64        | 8000      | 36.36       |
| 900       | 4.09        | 9000      | 40.91       |
| 1000      | 4.54        | 10000     | 45.45       |

**LED Color Temperature / Color Rendering Multiplier**

| Temp (K) | CR | Temp (K) | CR |
|----------|----|----------|----|
| 2700     | 90 | 5000     | 90 |
| 3000     | 90 | 5500     | 90 |
| 3500     | 90 | 6000     | 90 |
| 4000     | 90 | 6500     | 90 |
| 4500     | 90 | 7000     | 90 |
| 5000     | 90 | 7500     | 90 |
| 5500     | 90 | 8000     | 90 |
| 6000     | 90 | 8500     | 90 |
| 6500     | 90 | 9000     | 90 |
| 7000     | 90 | 9500     | 90 |
| 7500     | 90 | 10000    | 90 |

**FAO Dimming Settings**

| Setting | Value |
|---------|-------|
| Dimming | 0%    |
| Dimming | 10%   |
| Dimming | 20%   |
| Dimming | 30%   |
| Dimming | 40%   |
| Dimming | 50%   |
| Dimming | 60%   |
| Dimming | 70%   |
| Dimming | 80%   |
| Dimming | 90%   |
| Dimming | 100%  |

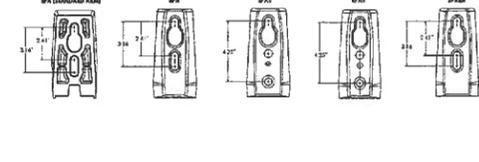
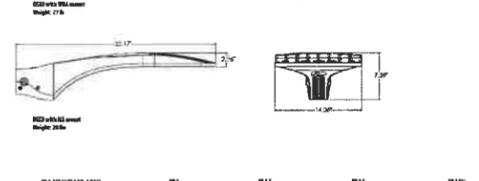
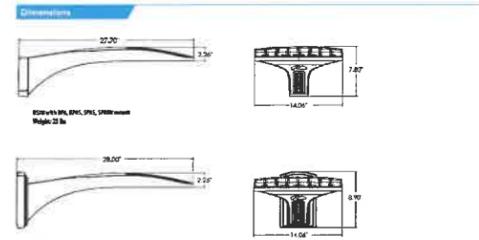
**Motion Sensor Default Settings**

| Setting | Value |
|---------|-------|
| Motion  | Off   |
| Motion  | On    |
| Motion  | Auto  |
| Motion  | Off   |
| Motion  | On    |
| Motion  | Auto  |

**Controls Options**

| Code | Description | Value |
|------|-------------|-------|
| 00   | Standard    | 00    |
| 01   | Standard    | 01    |
| 02   | Standard    | 02    |
| 03   | Standard    | 03    |
| 04   | Standard    | 04    |
| 05   | Standard    | 05    |
| 06   | Standard    | 06    |
| 07   | Standard    | 07    |
| 08   | Standard    | 08    |
| 09   | Standard    | 09    |
| 10   | Standard    | 10    |

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### WEDGE1 LED Architectural Wall Sconce

**Specifications**

- Depth (D1): 5.5"
- Depth (D2): 1.5"
- Height: 8"
- Width: 9"
- Weight: 7.5 lbs

**Introduction**

The WEDGE1 LED sconce is designed to meet specific every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, minimalist design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true size-wide solution.

WEDGE1 delivers up to 2000 lumens with a soft, non-phantom light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

**Performance Data**

**Lumen Output**

| Power (W) | Current (A) | Power (W) | Current (A) |
|-----------|-------------|-----------|-------------|
| 100       | 0.45        | 1000      | 4.54        |
| 200       | 0.91        | 2000      | 9.09        |
| 300       | 1.36        | 3000      | 13.64       |
| 400       | 1.82        | 4000      | 18.18       |
| 500       | 2.27        | 5000      | 22.73       |
| 600       | 2.73        | 6000      | 27.27       |
| 700       | 3.18        | 7000      | 31.82       |
| 800       | 3.64        | 8000      | 36.36       |
| 900       | 4.09        | 9000      | 40.91       |
| 1000      | 4.54        | 10000     | 45.45       |

**Electrical Load**

| Power (W) | Current (A) | Power (W) | Current (A) |
|-----------|-------------|-----------|-------------|
| 100       | 0.45        | 1000      | 4.54        |
| 200       | 0.91        | 2000      | 9.09        |
| 300       | 1.36        | 3000      | 13.64       |
| 400       | 1.82        | 4000      | 18.18       |
| 500       | 2.27        | 5000      | 22.73       |
| 600       | 2.73        | 6000      | 27.27       |
| 700       | 3.18        | 7000      | 31.82       |
| 800       | 3.64        | 8000      | 36.36       |
| 900       | 4.09        | 9000      | 40.91       |
| 1000      | 4.54        | 10000     | 45.45       |

**Lumen Ambient Temperature (LAT) Multiplier**

| LAT (°C) | Multiplier |
|----------|------------|
| 0        | 1.00       |
| 5        | 0.98       |
| 10       | 0.96       |
| 15       | 0.94       |
| 20       | 0.92       |
| 25       | 0.90       |
| 30       | 0.88       |
| 35       | 0.86       |
| 40       | 0.84       |
| 45       | 0.82       |
| 50       | 0.80       |
| 55       | 0.78       |
| 60       | 0.76       |
| 65       | 0.74       |
| 70       | 0.72       |
| 75       | 0.70       |
| 80       | 0.68       |
| 85       | 0.66       |
| 90       | 0.64       |
| 95       | 0.62       |
| 100      | 0.60       |

**Projected LED Lumen Maintenance**

| Hours | LM-79 LM-80 |
|-------|-------------|
| 0     | 100%        |
| 1000  | 95%         |
| 2000  | 90%         |
| 3000  | 85%         |
| 4000  | 80%         |
| 5000  | 75%         |
| 6000  | 70%         |
| 7000  | 65%         |
| 8000  | 60%         |
| 9000  | 55%         |
| 10000 | 50%         |

**Subpart Details**

| Code   | Description  | Value  | Code  | Description | Value  |
|--------|--------------|--------|-------|-------------|--------|
| WEDGE1 | Product Code | WEDGE1 | LED   | LED         | WEDGE1 |
| P2     | Power        | P2     | Power | P2          | Power  |
| 40K    | Color        | 40K    | Color | 40K         | Color  |
| 80CRI  | CR           | 80CRI  | CR    | 80CRI       | CR     |
| VF     | View         | VF     | View  | VF          | View   |
| MV01T  | Mount        | MV01T  | Mount | MV01T       | Mount  |
| SRM    | Style        | SRM    | Style | SRM         | Style  |
| PE     | Prism        | PE     | Prism | PE          | Prism  |
| DBX8   | Depth        | DBX8   | Depth | DBX8        | Depth  |

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### WEDGE1 LED Architectural Wall Sconce

**Specifications**

- Depth (D1): 5.5"
- Depth (D2): 1.5"
- Height: 8"
- Width: 9"
- Weight: 7.5 lbs

**Introduction**

The WEDGE1 LED sconce is designed to meet specific every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, minimalist design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true size-wide solution.

WEDGE1 delivers up to 2000 lumens with a soft, non-phantom light source, creating a visually comfortable environment. The compact size of WEDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

**Performance Data**

**Lumen Output**

| Power (W) | Current (A) | Power (W) | Current (A) |
|-----------|-------------|-----------|-------------|
| 100       | 0.45        | 1000      | 4.54        |
| 200       | 0.91        | 2000      | 9.09        |
| 300       | 1.36        | 3000      | 13.64       |
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| 700       | 3.18        | 7000      | 31.82       |
| 800       | 3.64        | 8000      | 36.36       |
| 900       | 4.09        | 9000      | 40.91       |
| 1000      | 4.54        | 10000     | 45.45       |

**Electrical Load**

| Power (W) | Current (A) | Power (W) | Current (A) |
|-----------|-------------|-----------|-------------|
| 100       | 0.45        | 1000      | 4.54        |
| 200       | 0.91        | 2000      | 9.09        |
| 300       | 1.36        | 3000      | 13.64       |
| 400       | 1.82        | 4000      | 18.18       |
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| 700       | 3.18        | 7000      | 31.82       |
| 800       | 3.64        | 8000      | 36.36       |
| 900       | 4.09        | 9000      | 40.91       |
| 1000      | 4.54        | 10000     | 45.45       |

**Lumen Ambient Temperature (LAT) Multiplier**

| LAT (°C) | Multiplier |
|----------|------------|
| 0        | 1.00       |
| 5        | 0.98       |
| 10       | 0.96       |
| 15       | 0.94       |
| 20       | 0.92       |
| 25       | 0.90       |
| 30       | 0.88       |
| 35       | 0.86       |
| 40       | 0.84       |
| 45       | 0.82       |
| 50       | 0.80       |
| 55       | 0.78       |
| 60       | 0.76       |
| 65       | 0.74       |
| 70       | 0.72       |
| 75       | 0.70       |
| 80       | 0.68       |
| 85       | 0.66       |
| 90       | 0.64       |
| 95       | 0.62       |
| 100      | 0.60       |

**Projected LED Lumen Maintenance**

| Hours | LM-79 LM-80 |
|-------|-------------|
| 0     | 100%        |
| 1000  | 95%         |
| 2000  | 90%         |
| 3000  | 85%         |
| 4000  | 80%         |
| 5000  | 75%         |
| 6000  | 70%         |
| 7000  | 65%         |
| 8000  | 60%         |
| 9000  | 55%         |
| 10000 | 50%         |

**Subpart Details**

| Code   | Description  | Value  | Code  | Description | Value  |
|--------|--------------|--------|-------|-------------|--------|
| WEDGE1 | Product Code | WEDGE1 | LED   | LED         | WEDGE1 |
| P2     | Power        | P2     | Power | P2          | Power  |
| 40K    | Color        | 40K    | Color | 40K         | Color  |
| 80CRI  | CR           | 80CRI  | CR    | 80CRI       | CR     |
| VF     | View         | VF     | View  | VF          | View   |
| MV01T  | Mount        | MV01T  | Mount | MV01T       | Mount  |
| SRM    | Style        | SRM    | Style | SRM         | Style  |
| PE     | Prism        | PE     | Prism | PE          | Prism  |
| DBX8   | Depth        | DBX8   | Depth | DBX8        | Depth  |

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**Performance Data**

**Lumen Output**

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|-----------|-------------|-----------|-------------|
| 100       | 0.45        | 1000      | 4.54        |
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| 700       | 3.18        | 7000      | 31.82       |
| 800       | 3.64        | 8000      | 36.36       |
| 900       | 4.09        | 9000      | 40.91       |
| 1000      | 4.54        | 10000     | 45.45       |

**Electrical Load**

| Power (W) | Current (A) | Power (W) | Current (A) |
|-----------|-------------|-----------|-------------|
| 100       | 0.45        | 1000      | 4.54        |
| 200       | 0.91        | 2000      | 9.09        |
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| 700       | 3.18        | 7000      | 31.82       |
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| 900       | 4.09        | 9000      | 40.91       |
| 1000      | 4.54        | 10000     | 45.45       |

**Lumen Ambient Temperature (LAT) Multiplier**

| LAT (°C) | Multiplier |
|----------|------------|
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| 80       | 0.68       |
| 85       | 0.66       |
| 90       | 0.64       |
| 95       | 0.62       |
| 100      | 0.60       |

**Projected LED Lumen Maintenance**

| Hours | LM-79 LM-80 |
|-------|-------------|
| 0     | 100%        |
| 1000  | 95%         |
| 2000  | 90%         |

PROJECT: NEW COMERCIAL  
 OWNER: SALVADOR SALCEDO  
 LOCATION: 855 WHITMORE DRIVE, ROCKWALL, TX



Gamma Group, Design & Construction LLC  
 33 09 ELM ST # 250, Dallas Texas, 75228  
 www.gammagroup-usa.com  
 (469)-583-7174 & (469)-463-2761

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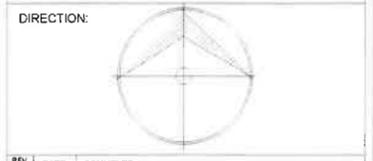
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 2- BUILDER OR CONTRACTOR MUST VERIFY COMPLIANCE WITH ALL BUILDING CODES OF THE AREA WHERE THE STRUCTURE IS TO BE CONSTRUCTED AND LOCATED.  
 3- PLANS INDICATE LOCATIONS ONLY; ENGINEERING ASPECT SHOULD BE INCORPORATED TO ACTUAL SITE CONDITIONS.

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| MATERIALS |                      |
|-----------|----------------------|
| SYMBOL    | SPECIFICATION        |
| 1         | ALUMINUM SHEETS      |
| 2         | STONE SMOKED LUEDERS |
| 3         | STUCCO               |
| 4         | SIDING               |
| 5         | WOOD                 |
| 6         | GLASS                |
| 7         | STANDING SEAM        |
| 8         | ASPHALT SHINGLES     |
| 9         | BRICK GEORGETOWN     |



| REV NO | DATE       | COMMENTS  |
|--------|------------|---|
| 1      | 2024/03/28 | a) Added case number<br>b) Deleted signature block with stipulate space for Planning and Zoning Chair and Planning Director attached<br>c) The roof is 8' standing seam<br>d) Parapet height added and the rear part of the parapet will be covered with the same material as the exterior facade<br>e) The location of RTUs is indicated |

EXPIRATION DATE: PAPER SIZE 35X24

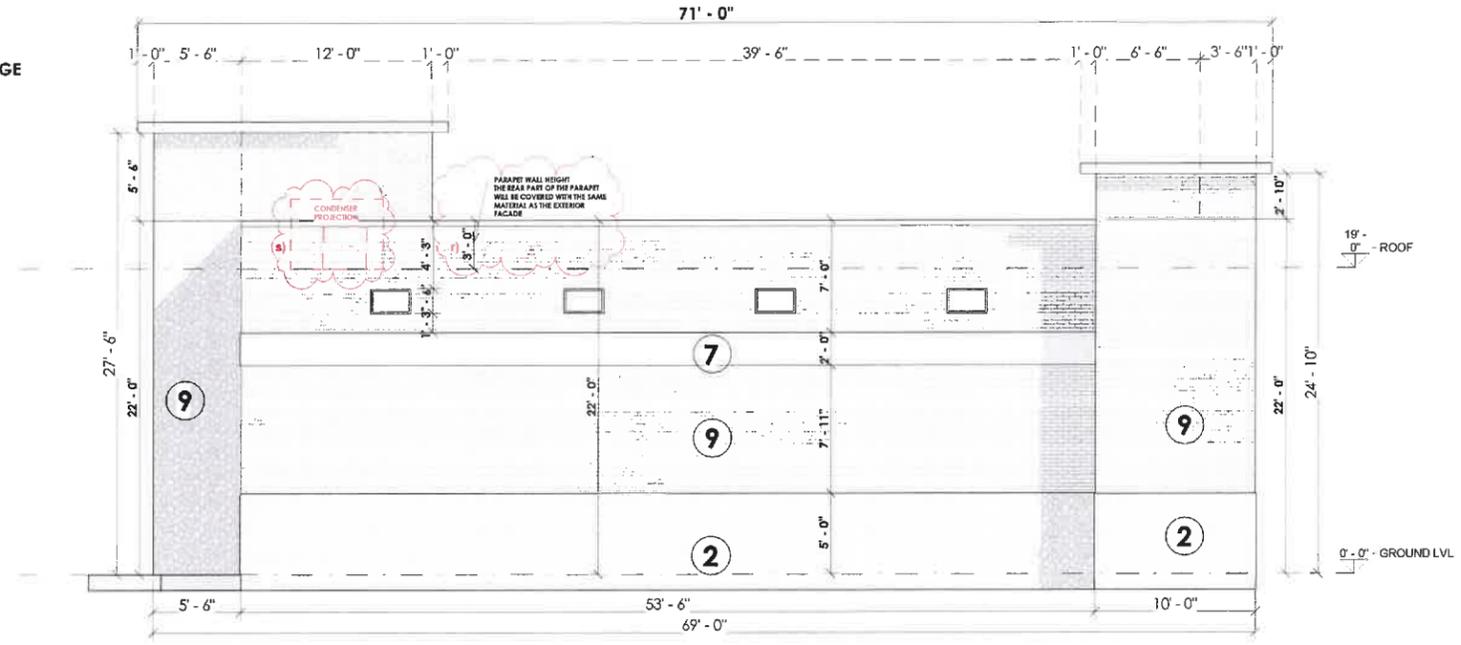
PLAN: ELEVATIONS

DATE: 04/11/2022  
 DRAW BY: F.G.M. SHEET 09 OF 10

**AREA AND PERCENTAGE OF MATERIALS**

|                         | TOTAL AREA      | PERCENTAGE |
|-------------------------|-----------------|------------|
| LEFT ELEVATION          | 1,801 S.Q. F.T. | 100 %      |
| 2 & 9 MASONRY MATERIALS | 1,693 S.Q. F.T. | 93.0 %     |
| 9 BRICKS                | 1,217 S.Q. F.T. | 63.0 %     |
| 2 NATURAL STONE         | 476 S.Q. F.T.   | 30.0 %     |
| 7 SECONDARY MATERIAL    | 106 S.Q. F.T.   | 07.0 %     |
| TOTAL                   | 1,801 S.Q. F.T. | 100 %      |

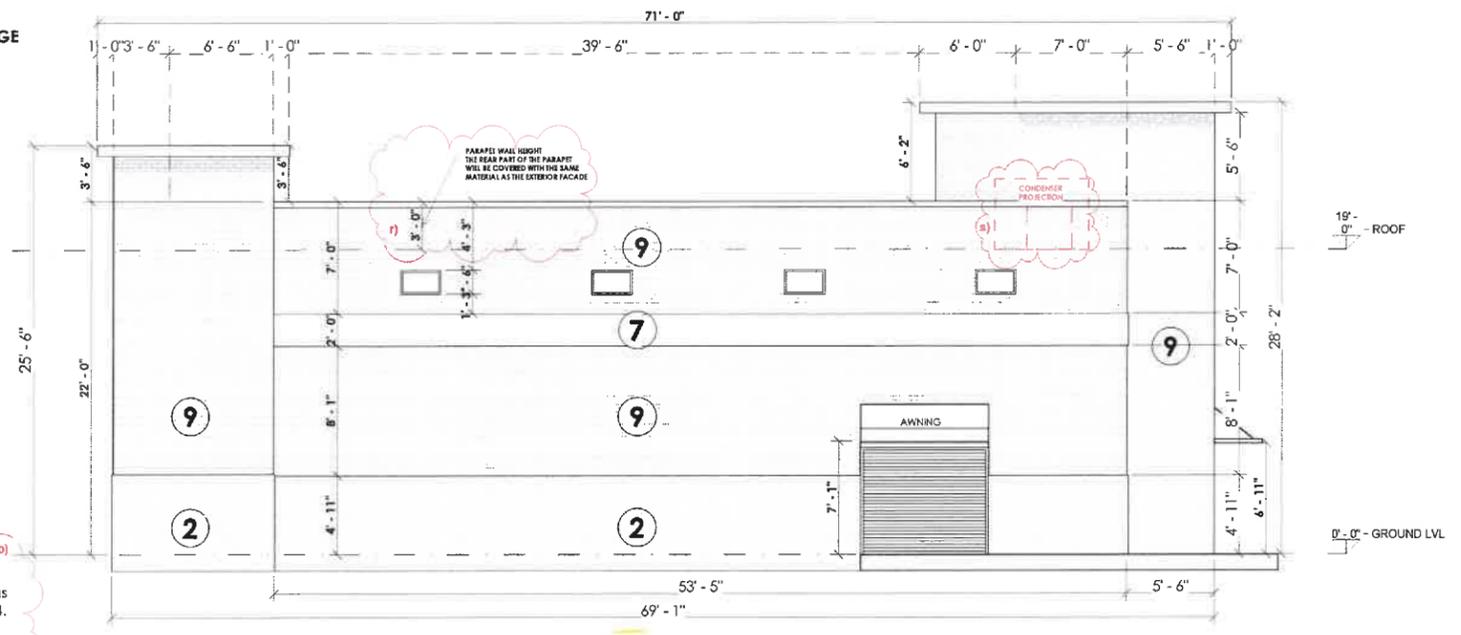
**RIGHT ELEVATION**  
 3/16" = 1' 0"



**AREA AND PERCENTAGE OF MATERIALS**

|                         | TOTAL AREA      | PERCENTAGE |
|-------------------------|-----------------|------------|
| LEFT ELEVATION          | 1,801 S.Q. F.T. | 100 %      |
| 2 & 9 MASONRY MATERIALS | 1,693 S.Q. F.T. | 93.0 %     |
| 9 BRICKS                | 1,217 S.Q. F.T. | 63.0 %     |
| 2 NATURAL STONE         | 476 S.Q. F.T.   | 30.0 %     |
| 7 SECONDARY MATERIAL    | 106 S.Q. F.T.   | 07.0 %     |
| TOTAL                   | 1,801 S.Q. F.T. | 100 %      |

**LEFT ELEVATION**  
 3/16" = 1' 0"



**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas was approved by the Planning & Zoning Commission of the City of Rockwall on the 22 day of April, 2024.  
 WITNESS OUR HANDS, THIS 22 DAY OF APRIL, 2024

\_\_\_\_\_  
 Planning & Zoning Commission, chairman

\_\_\_\_\_  
 Director of Planning and Zoning