



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2600 SUNSET RIDGE

SUBDIVISION HARBOR DISTRICT ADDITION

LOT 2 BLOCK B

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-32

CURRENT USE RESTAURANT/RETAIL/OFFICE

PROPOSED ZONING PD-32

PROPOSED USE RESTAURANT/RETAIL/OFFICE

ACREAGE 2.893 ACRES

LOTS [CURRENT]

2

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER HH RETAIL CENTER, LP

☒ APPLICANT STROHMEYER ARCHITECTS INC.

CONTACT PERSON DAN BOBST

CONTACT PERSON JIMMY STROHMEYER

ADDRESS 2701 SUNSET RIDGE., STE 610

ADDRESS 2701 SUNSET RIDGE., STE 601

CITY, STATE & ZIP ROCKWALL, TX, 75032

CITY, STATE & ZIP ROCKWALL, TX, 75032

PHONE 214-553-5505

PHONE 214-497-2057

E-MAIL DWBOBST@TRENDHR.COM

E-MAIL JIMMY@STROHMEYERARCHITECTS.COM

NOTARY VERIFICATION [REQUIRED]

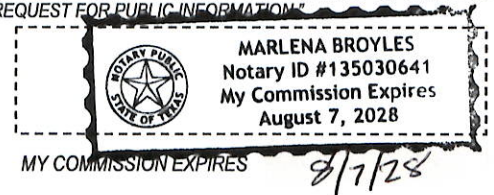
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Daniel W Bobst [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

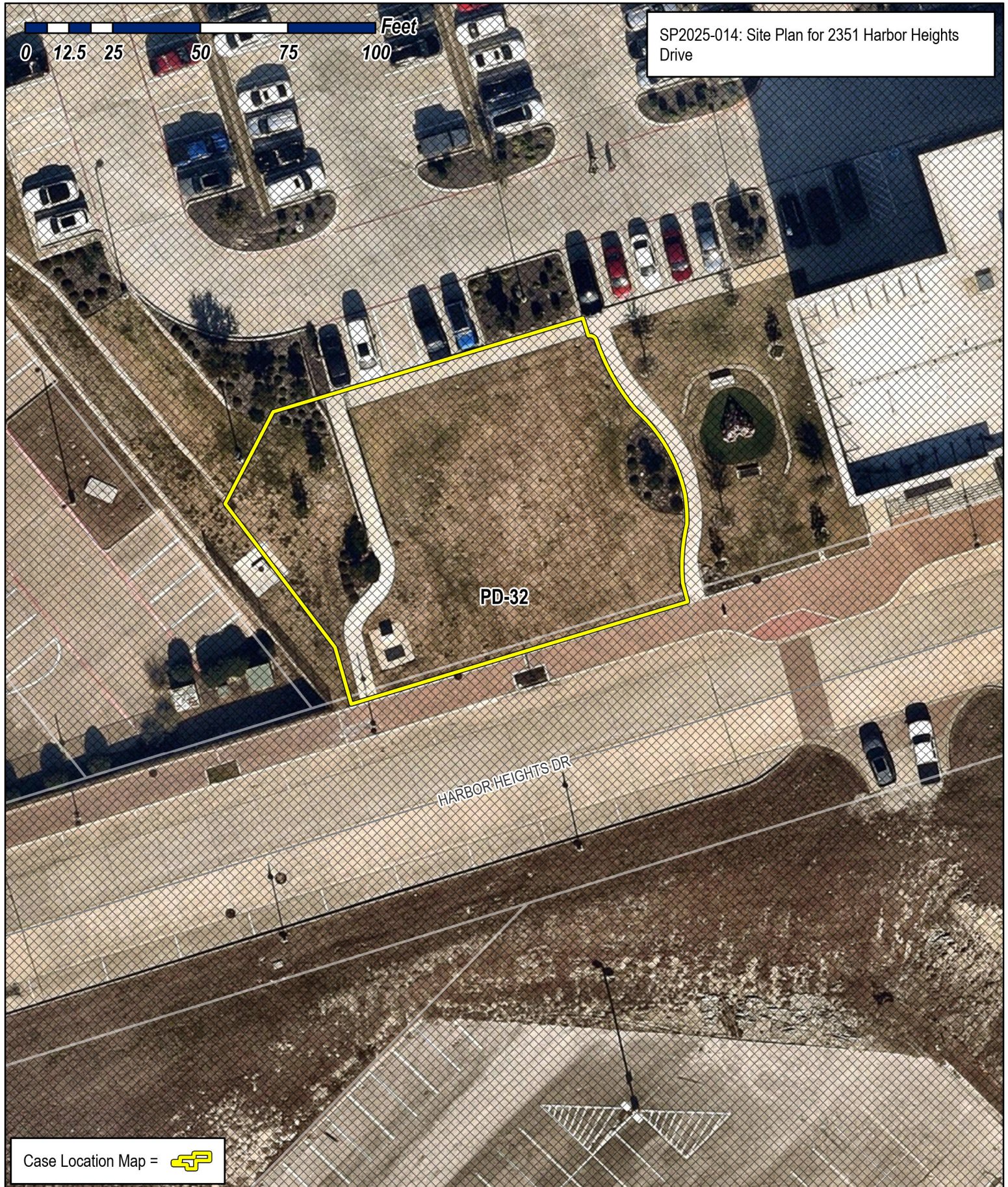
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 307.86 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF April, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF April, 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS






SP2025-014: Site Plan for 2351 Harbor Heights Drive

PD-32

HARBOR HEIGHTS DR

Case Location Map = 



City of Rockwall

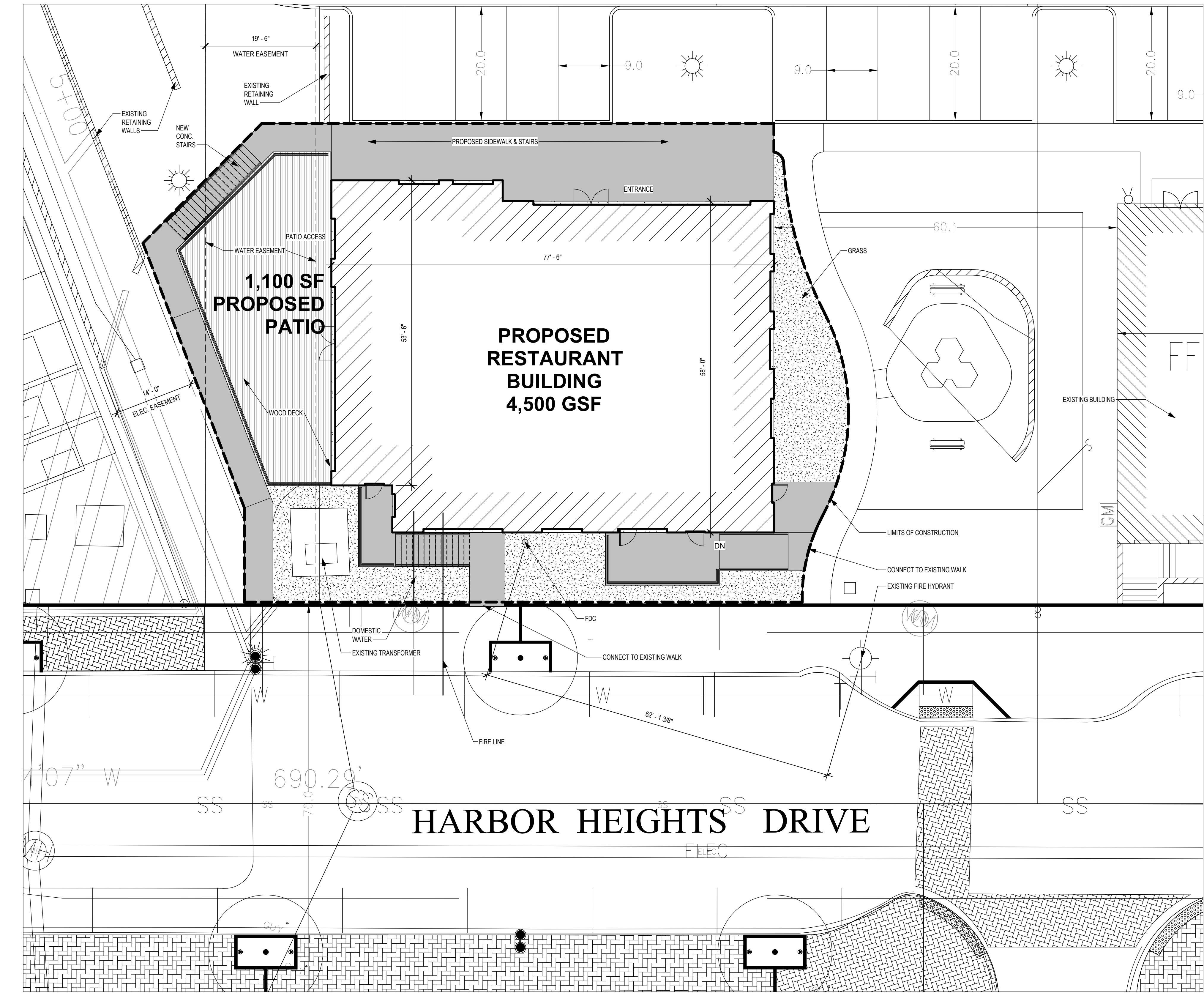
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



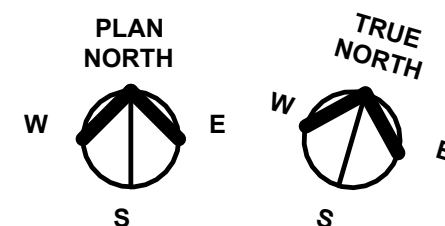
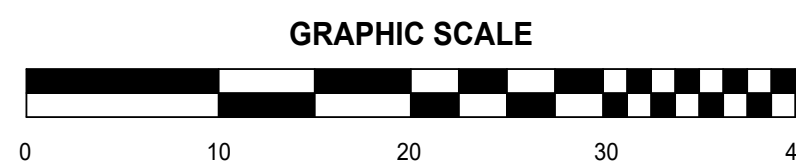
Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt

4/17/2025 12:21:40 PM



1 SITE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:
LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS, BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE INFORMATION

LAND AREA: 2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING: PD-32
EXISTING USE: RESTAURANT/RETAIL/OFFICE
PROPOSED USE: RESTAURANT/RETAIL/OFFICE
BUILDING AREA: 15,030 S.F. RESTAURANT
12,600 S.F. OFFICE
7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE: 35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT: VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING: 192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED: 161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES 31 TOTAL PROVIDED 192
IMPERVIOUS AREA: 80,954 S.F.
LANDSCAPE AREA REQUIRED: 0 S.F.
LANDSCAPE AREA PROVIDED: 45,064 S.F. (1.035 ACRES)

* PER SHARED PARKING CALCULATION ATTACHED TO CASE NO. Z2019-013 THE MAXIMUM PARKING DEMAND FOR THIS SITE IS FOUND TO BE BETWEEN THE TIMES OF 12PM-1PM AS WELL AS 4PM-6PM. THE DEMAND FOR EACH TIME PERIOD IS AS FOLLOWS:

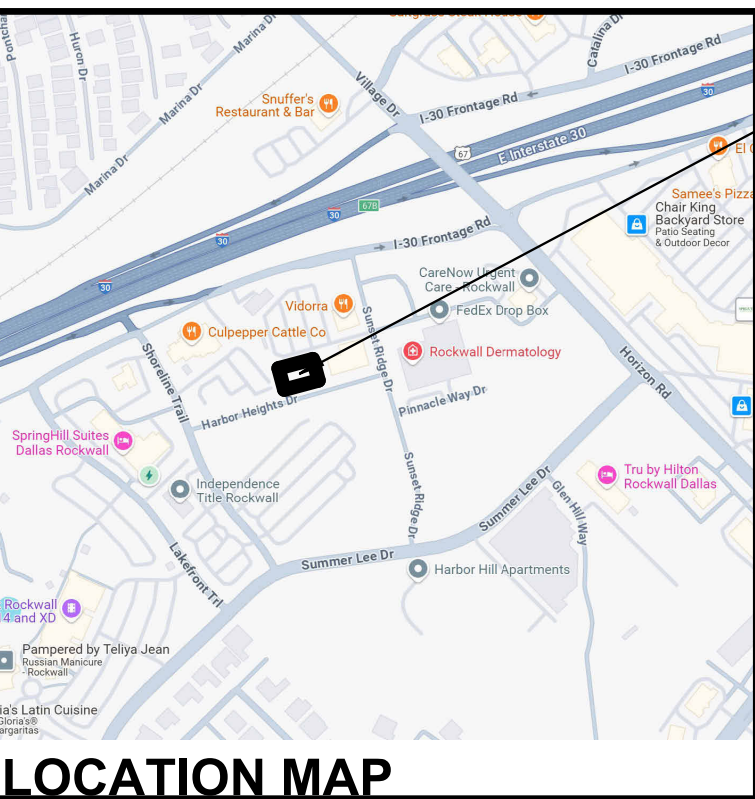
TIME OF DAY	OFFICE PARKING	RETAIL PARKING	RESTAURANT PARKING	TOTAL REQ'D
12PM-1PM	37.80	46.40	108	192
4PM-6PM	19.74	41.76	130	192

SITE NOTES:

- PRIOR TO BEGINNING STAKING OF BUILDING LOCATION, CONTRACTOR SHALL CONFIRM THE ARCHITECTURAL, STRUCTURAL, AND CIVIL DESIGN PLANS MATCH; NOTIFY DESIGNERS OF ANY DISCREPANCY
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS
- DIMENSIONS ARE TO FACE OF CURB AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED

LEGEND:

	PROPOSED CONCRETE SIDEWALK		EXISTING AT&T MANHOLE
	GRASS		EXISTING WATER METER
	WOOD DECK		EXISTING ELECTRICAL MANHOLE
	EXISTING TREE WELL W/ UPLIGHTS		EXISTING SEWER MANHOLE
	EXISTING SEWER LINE		EXISTING POWER POLE
	EXISTING WATER LINE		EXISTING LIGHT POLE
	EXISTING GAS LINE		EXISTING FIRE HYDRANT
	EXISTING TELEPHONE DUCT BANK		
	EXISTING ELECTRICAL DUCT BANK		



PROJECT LOCATION

OWNER INFORMATION:
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

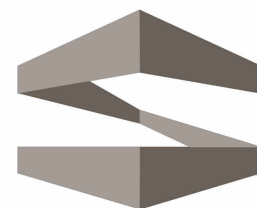
APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

**HARBOR
HEIGHTS
BLDG. #4**

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description

Sheet Title:

SITE PLAN

A101

MATERIAL CALCULATIONS			
NORTH ELEVATION			%
TOTAL AREA	1699		
STONE	480	28%	
BRICK	1014	60%	
STUCCO	205	12%	
SOUTH ELEVATION			
TOTAL AREA	1699		
STONE	761	45%	
BRICK	485	29%	
STUCCO	453	27%	
EAST ELEVATION			
TOTAL AREA	1351		
STONE	433	32%	
BRICK	740	55%	
STUCCO	178	13%	
WEST ELEVATION			
TOTAL AREA	1351		
STONE	269	20%	
BRICK	725	54%	
STUCCO	357	26%	

MATERIALS:

ROOFING: TPO WHITE

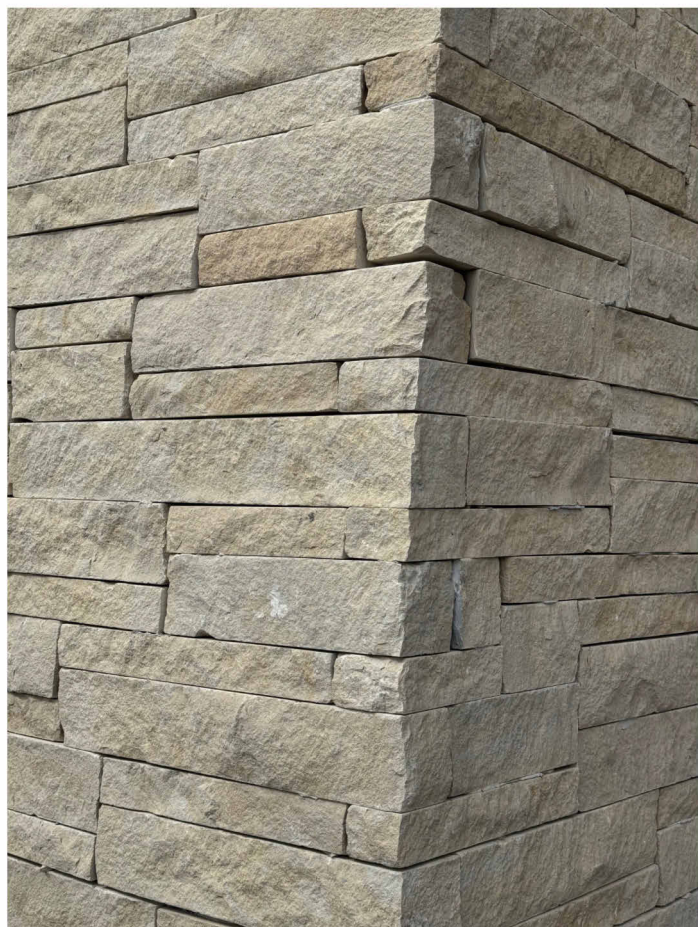
BRICK VENEER: ACME MARBLE GRAY - KING SIZE

NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.

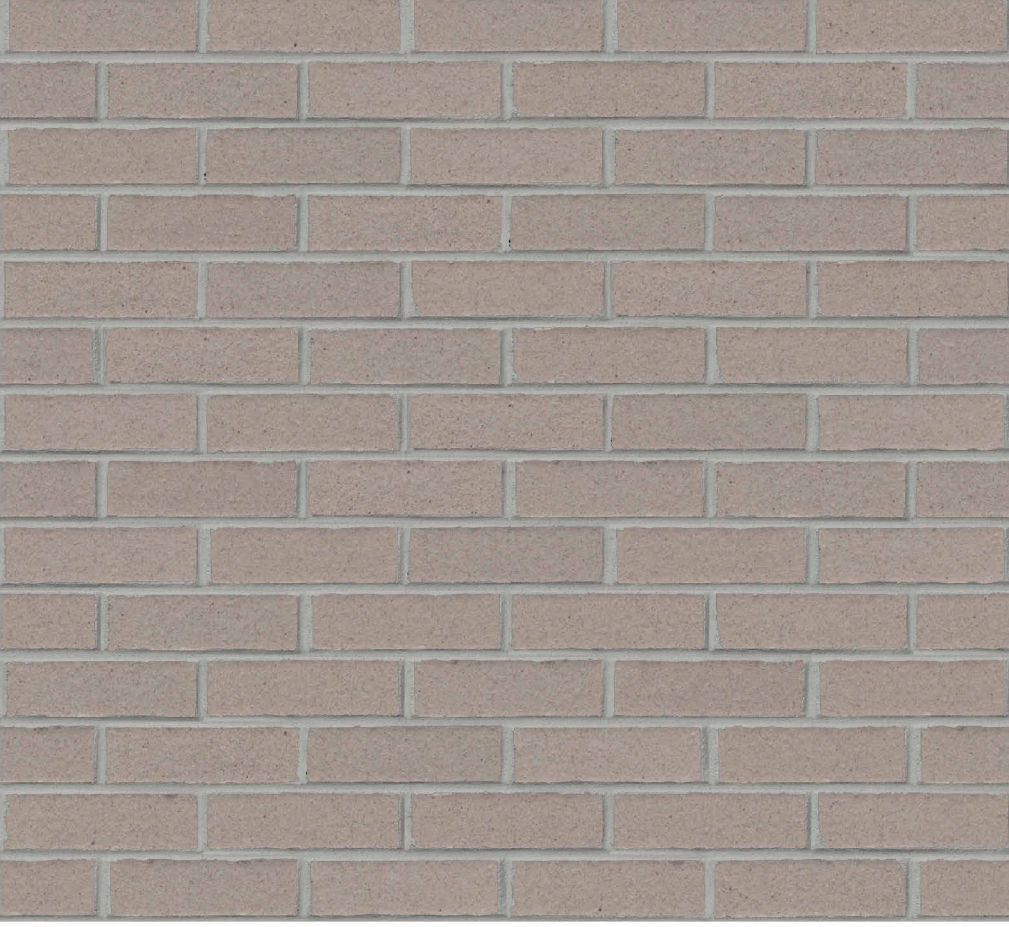
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD

STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL

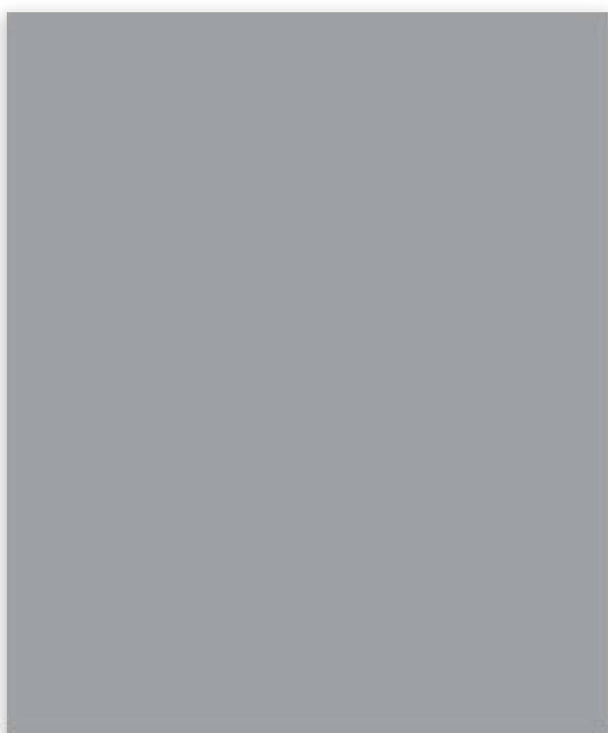
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



BRICK VENEER



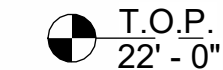
133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258



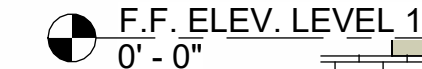
STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

ROOF MOUNTED RTU EQUIPMENT

STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE

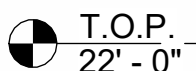


NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

2

WEST ELEVATION

3/16" = 1'-0"



STUCCO CAP -
DRYVIT COLOR 133 DRIFTWOOD

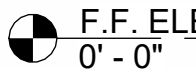
ROOF MOUNTED EQUIPMENT

METAL CANOPY -
PAINT SW 6258
TRICORN BLACK

STUCCO - DRYVIT
COLOR 152 ANTHRICITE COAL

BRICK VENEER -
ACME MARBLE
GRAY - KING SIZE

NATURAL STONE VENEER
LEDGESTONE - MATCH ADJACENT
BUILDINGS

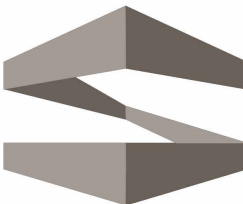


SIDEWALK CONN
-10' - 0"

1

SOUTH ELEVATION

3/16" = 1'-0"



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

**NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL**

HARBOR HEIGHTS BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: PC
Checked: JS
Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

**EXTERIOR
ELEVATIONS**

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER INFORMATION:

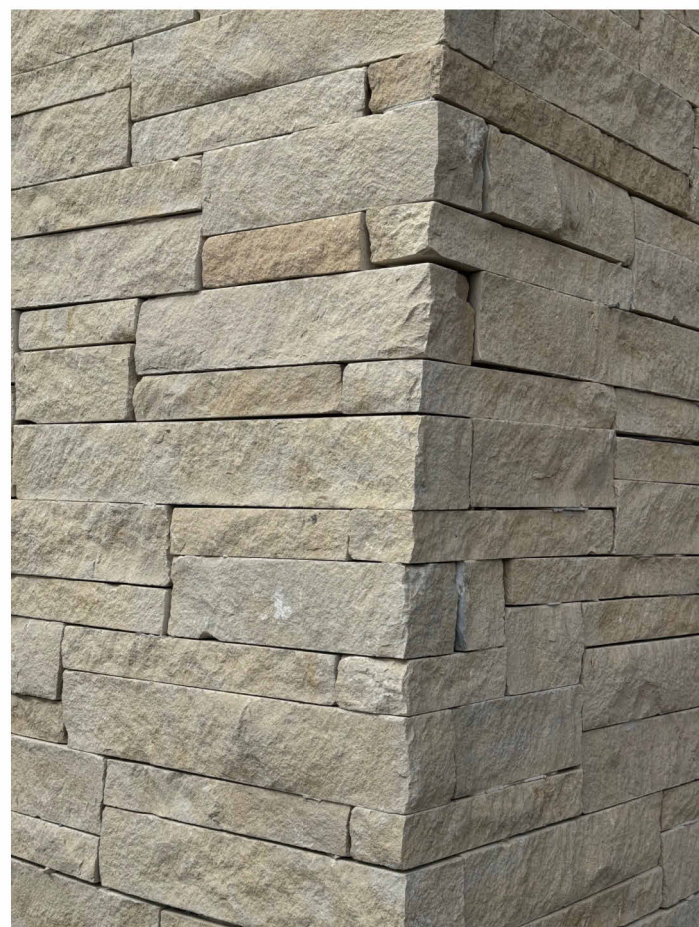
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

A400

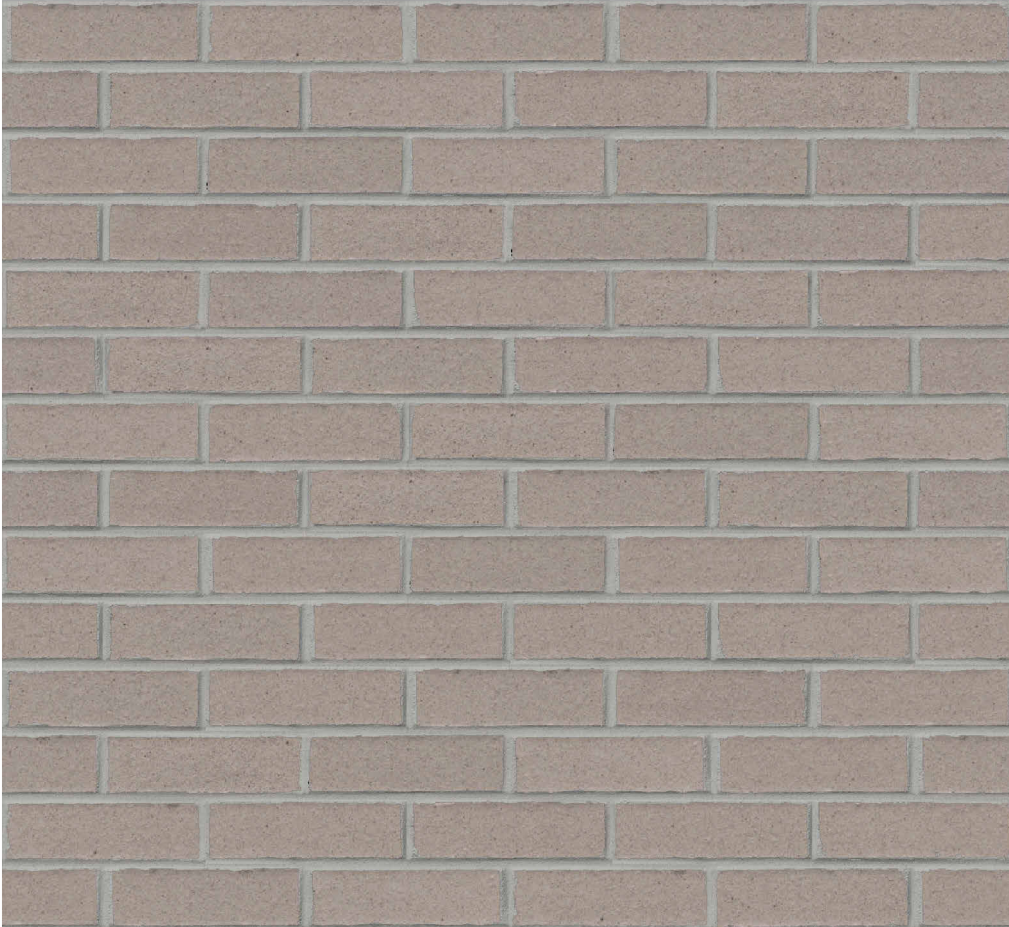
MATERIAL CALCULATIONS			
NORTH ELEVATION			%
TOTAL AREA	1699		
STONE	480	28%	
BRICK	1014	60%	
STUCCO	205	12%	
SOUTH ELEVATION			
TOTAL AREA	1699		
STONE	761	45%	
BRICK	485	29%	
STUCCO	453	27%	
EAST ELEVATION			
TOTAL AREA	1351		
STONE	433	32%	
BRICK	740	55%	
STUCCO	178	13%	
WEST ELEVATION			
TOTAL AREA	1351		
STONE	269	20%	
BRICK	725	54%	
STUCCO	357	26%	

MATERIALS:

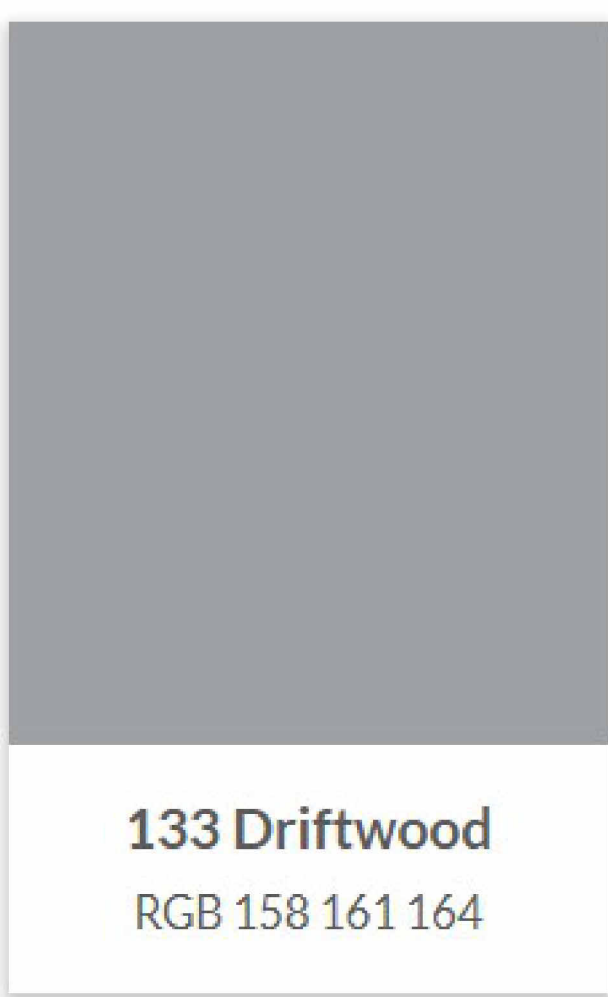
ROOFING: TPO WHITE
BRICK VENEER: ACME MARBLE GRAY - KING SIZE
NATURAL STONE VENEER: LEDGESTONE - MATCH EXIST.
STUCCO CAP: DRYVIT 3 PART - COLOR 133 DRIFTWOOD
STUCCO WALL: DRYVIT 3 PART - COLOR 152 ANTHRICITE COAL.
METAL AWNING: PAINT SW 6258 TRICORN BLACK



NATURAL STONE VENEER



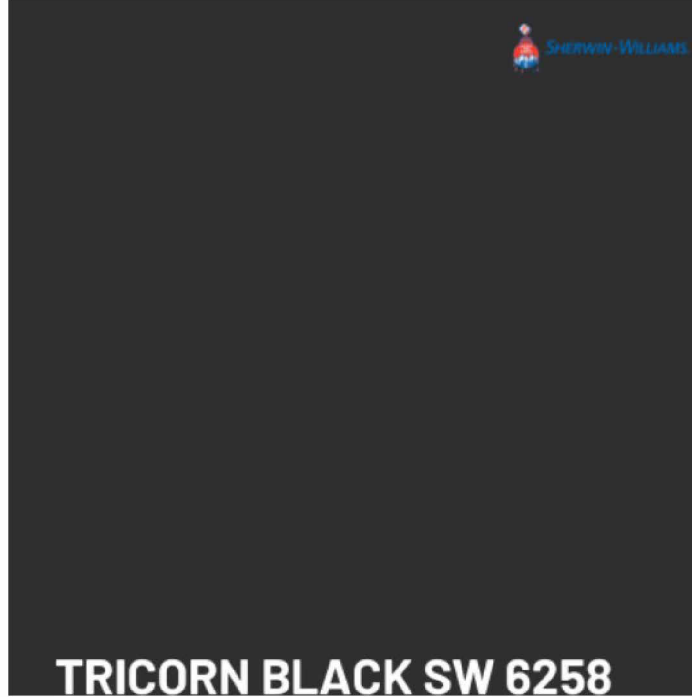
BRICK VENEER



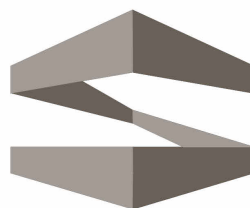
133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86



TRICORN BLACK SW 6258



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

HARBOR HEIGHTS BLDG. #4

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411
Drawing Date: 4.15.2025
Drawn: Author
Checked: Checker
Scale: As indicated

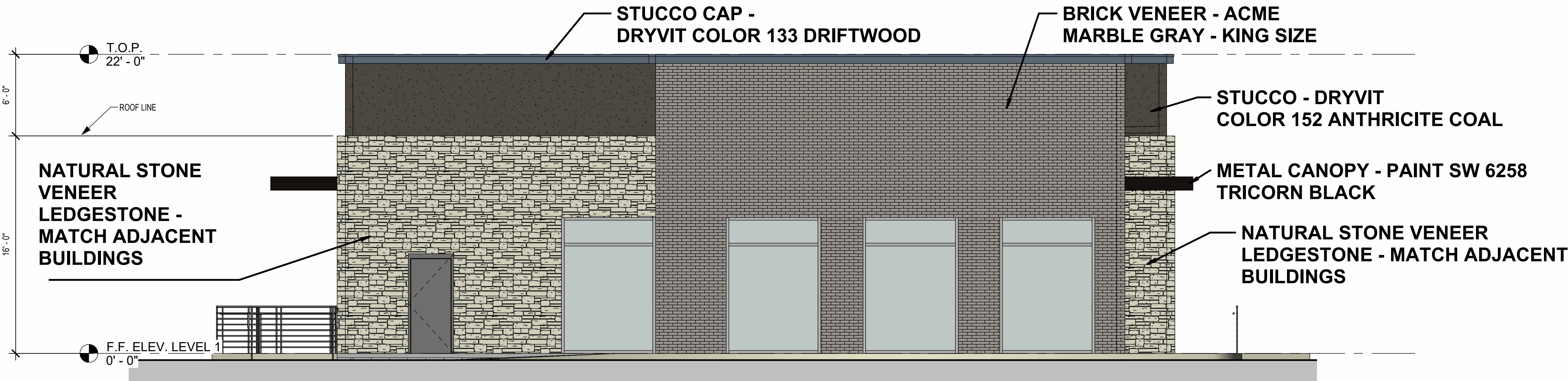
© 2025 Strohmeier Architects, Inc.

Revisions:

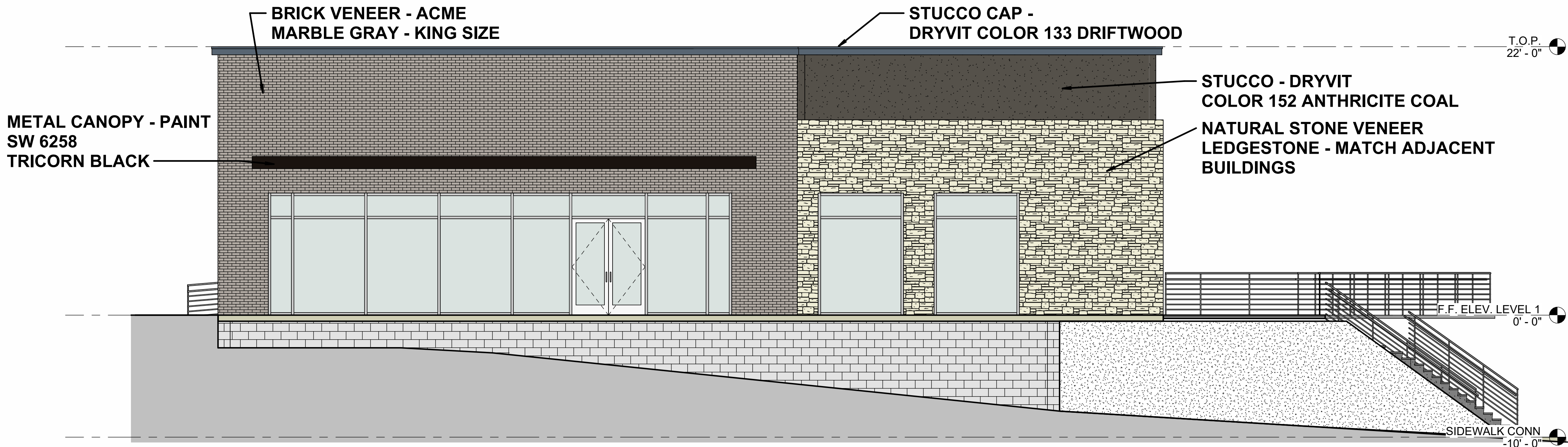
#	Revision Date	Revision Description

Sheet Title:

EXTERIOR
ELEVATIONS



2 EAST ELEVATION
3/16" = 1'-0"



1 NORTH ELEVATION
3/16" = 1'-0"

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

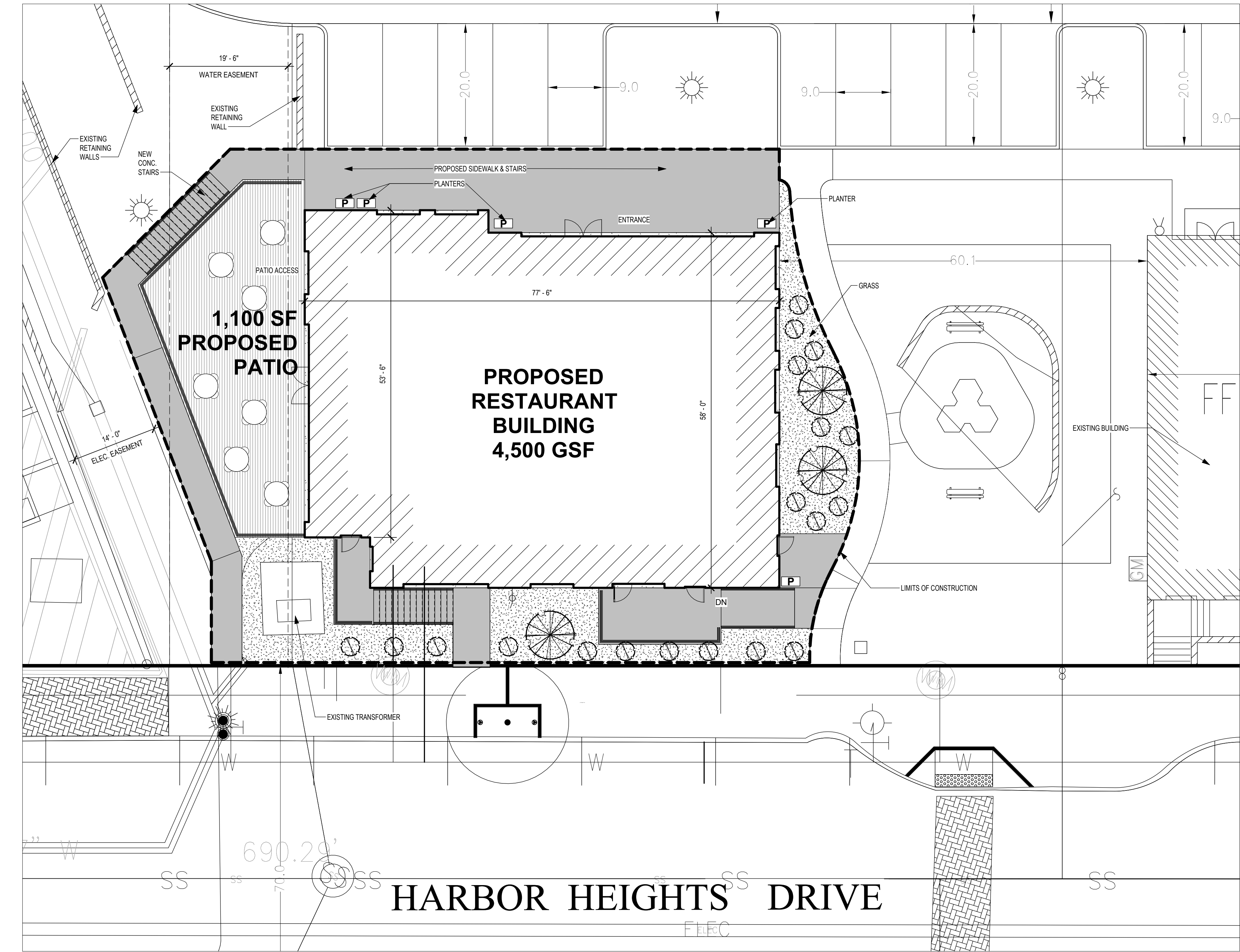
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER INFORMATION:
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

Autodesk Docs//HHRR BLDG #4/ARCH_BLDG 4 HHRR.rvt



LEGEND

QTY	P	STONEWARE GRECIAN SERIES - EQUAL PLANTING BOX
19	SHRUB DWARF YAUPON HOLLY DWARF BURFORD HOLLY	5 GAL. 16" O.C. MAX, 16" HIGH AT TIME OF PLANTING 5 GAL. 38" O.C. MAX, 30" HIGH AT TIME OF PLANTING
	PATIO TABLES	
3	CANOPY TREE LIVE OAK, "LC" CEDAR ELM "CA"	100 GAL, 4.0"-4.5" CAL 14-16 FT. HIGH, CLEAR TRUNK TO 8 FT. 100 GAL, 4.0"-4.5" CAL 12-14 FT. HIGH, CLEAR TRUNK TO 8 FT.



PLANTER POT EXAMPLE

SITE INFORMATION

LAND AREA:	2.893 ACRES (126,018.45 S.F.)
CURRENT ZONING:	PD-32
EXISTING USE:	RESTAURANT/RETAIL/OFFICE
PROPOSED USE:	RESTAURANT/RETAIL/OFFICE
BUILDING AREA:	15,030 S.F. RESTAURANT 12,600 S.F. OFFICE 7,600 S.F. RETAIL
BUILDING TO LOT COVERAGE:	35,230 / 126,018 = .279 → 27.9%
BUILDING HEIGHT:	VARIABLE (25-35 FEET)
*BUILDING REQUIRED PARKING:	192 SPACES (SEE BREAKDOWN BELOW)
BUILDING PARKING PROVIDED:	161 TOTAL (19 CITY PROVIDED, 142 PARKING LOT) (INCLUDES 8 HANDICAP SPACES)
REQUESTING 31 CITY ADJACENT SPACES	31
IMPERVIOUS AREA:	TOTAL PROVIDED 192
LANDSCAPE AREA REQUIRED:	80,954 S.F.
LANDSCAPE AREA PROVIDED:	0 S.F. 45,064 S.F. (1.035 ACRES)

(A) General Irrigation Requirements.
The owner shall be responsible for the health and vitality of plant material through the irrigation of all landscaped areas, turf and plant materials, and shall:
(1) Provide a moisture level in an amount and frequency adequate to sustain growth of the plant materials on a permanent basis.
(2) Be in place and operational at the time of the landscape inspection for Certificate of Occupancy (CO).
(3) Be maintained and kept operational at all times to provide for efficient water distribution.

LANDSCAPING NOTE:
TREES SHALL BE MIN. 5'-0" FROM ALL UNDERGROUND EXISTING OR PROPOSED UTILITY LINES 10" OR SMALLER & 10'-0" AWAY FROM LINES 12" OR GREATER.

OWNER INFORMATION:

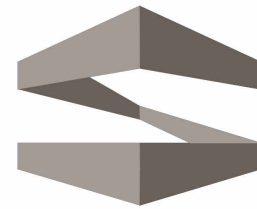
HH RETAIL CENTER, LP.
2701 SUNSET RIDGE DRIVE
ROCKWALL, TX 75032

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



STROHMEYER
ARCHITECTS INC.

ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032

JIMMY STROHMEYER, AIA

FOR SITE PLAN
APPROVAL ONLY

NOT FOR
CONSTRUCTION
PERMITTING OR
REGULATORY
APPROVAL

**HARBOR
HEIGHTS
BLDG. #4**

2600 SUNSET RIDGE
DR.
ROCKWALL, TX 75032
LOT 2, BLOCK B

Project Number: 52411

Drawing Date: 4.15.2025

Drawn: PC

Checked: JS

Scale: As indicated

© 2025 Strohmeier Architects, Inc.

Revisions:

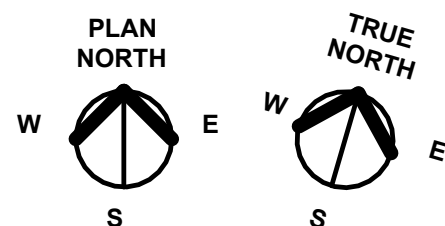
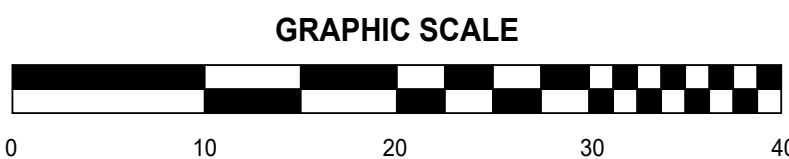
#	Revision Date	Revision Description
---	---------------	----------------------

Sheet Title:

LANDSCAPE PLAN

LANDSCAPE PLAN

1" = 10'-0"



LEGAL DESCRIPTION:

LOT 2, BLOCK B OF HARBOR DISTRICT ADDITION
RECORDED AS INSTRUMENT NO. 2020000019318
ROCKWALL COUNTY OFFICIAL PLAT RECORDS. BEING
2.893 ACRES SITUATED IN THE M.M. BARKSDALE

SITE LIGHTING LUMINAIRE SCHEDULE									
TYPE	DESCRIPTION	LAMPS		TOTAL FIXT WATTS	VOLTS	ARRANGEMENT	INSTALLATION	MANUFACTURER MODEL#	REMARKS
		NO.	TYPE						
WP	OVER-DOOR LED OUTDOOR EGRESS AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4 W LED 4045 LUMENS	UNIV	--	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2	1,3
WPE	OVER-DOOR LED OUTDOOR EGRESS EMERGENCY AND SECURITY LIGHT WITH CUT OFF SHIELDING	1	LED'S	33.4W LED 4045 LUMENS	UNIV	--	WALL MOUNT	COOPER EATON IST-AF-600-LED-E1-SL2-BBB EMERGENCY BATTERY	1,3
P1	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SL4-HSS GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
P2	SITE AND PARKING LIGHT POLE LED	1	LED'S	113 W	UNIV	SINGLE	POLE MOUNT	COOPER GLEON-AF-02-LED-E1-SWQ GULLWIG G18-X-X-X-UNIV - EQUAL TO COOPER GLEON	ALL
NOTES: 1. APPROVED EQUALS ARE COOPER, COLUMBIA, PHILIPS AND LITHONIA. 2. REFER TO DETAIL SHEET FOR CONCRETE BASE. 3. FINISHES BY ARCHITECT. 4. PROVIDE 3 FT ROUND CONCRETE BASES. 5. TOTAL HEIGHT OF POLES INCLUDING BASE SHALL BE 25 FEET. 6. CUT OFF AT SITE BOUNDARIES SHALL BE LES THAN 0.2 FOOTCANDLES. LIGHTING REP OF ASSISTANCE WAS CHAD HANEY AT TEXAS LIGHTING, 817-714-2444. PLEASE CALL CHAD HANEY FOR PRICING									

- GENERAL NOTES
1. REFER TO E0.00 FOR COMPLETE LIST OF GENERAL NOTES.

2. MH IS THE MOUNTING HEIGHT OF THE LIGHT POLE OR BUILDING LIGHT FIXTURE. THE HEIGHT OF THE POLE INCLUDES ITS BASE. SEE SCHEDULES AND DETAILS.

3. PROVIDE CONCRETE BASES FOR POLE FIXTURES. REFER TO CIVIL HEIGHT OF POLES ON EXTERIOR LIGHTING SCHEDULE INCLUDES THE 3 FOOT BASES OR AS CIVIL PROVIDES.

4. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH PHOTOCELL LIGHTING RELAY PANEL LOCATED IN A MAIN EQUIPMENT ROOM AS INDICATED.

5. ACTUAL PHOTOMETRIC WILL VARY DEPENDING ON THE COLOR OF THE WALLS, SURFACE TEXTURE, LANDSCAPING, AND OTHER SITE FEATURES.

6. ACTUAL FIXTURE LAYOUT AND PHOTOMETRICS MAY VARY BASED ON FINAL LOCATION OF FIXTURES. FIXTURES SHALL BE FIELD ADJUSTED BASED ON ACTUAL BUILDING AND SITE CONDITIONS.

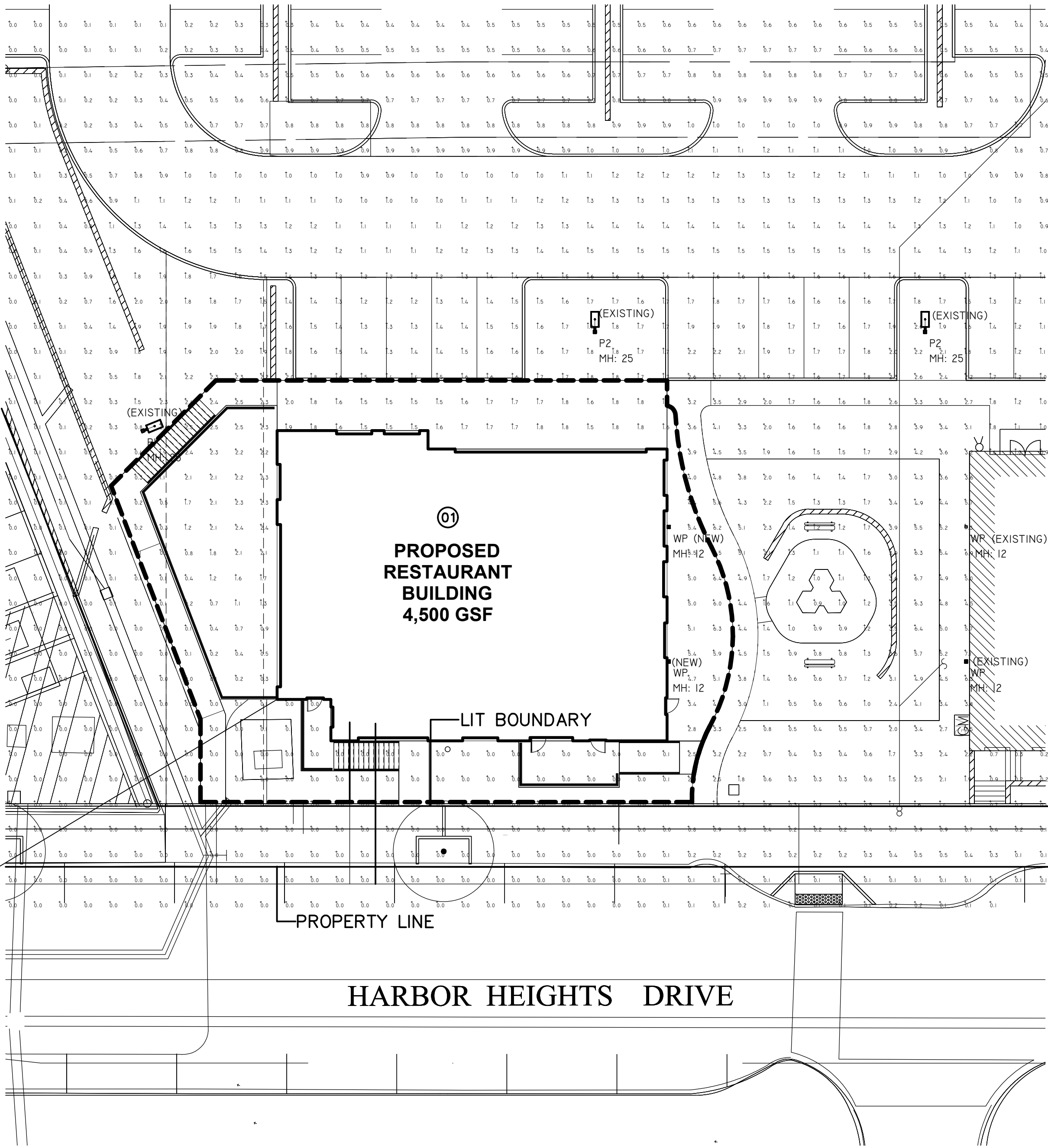
7. CALCULATIONS ARE BASED ON CITY ORDINANCE: ON THE PARKING AREA SURFACE, AN AVERAGE OF AT LEAST 2 FC, INITIAL MEASUREMENT, AND A MINIMUM AVERAGE OF 1 FC ON A MAINTAINED BASIS.

8. CUT OFF AT SITE BOUNDARIES SHALL BE LESS THAT 0.2 FC.

9. PROVIDE CAULKING AROUND ALL SEAMS ON EXTERIOR LIGHTING AND POWER OUTLETS TO PREVENT MOISTURE BUILDUP.

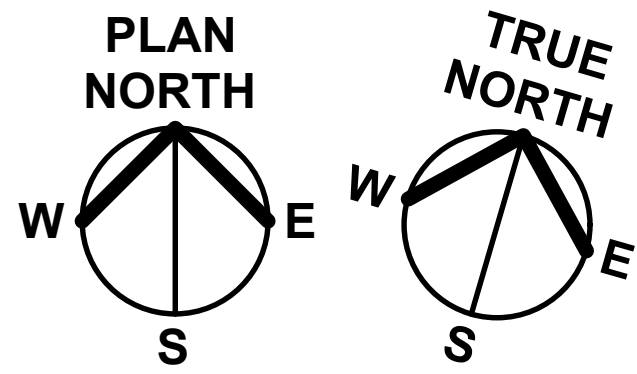
10. ROUTE EXTERIOR LIGHTING CIRCUITS THROUGH LIGHTING RELAY PANEL.

- KEYED NOTES DESIGNATED BY "Ⓢ" "Ⓣ"
1. ALL EXTERIOR LIGHTING SHALL BE CONTROLLED THRU A PHOTOCELL. REFER TO ELECTRICAL PANEL SCHEDULES FOR RELAY PANEL.

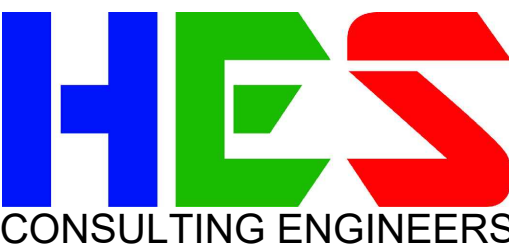


SITE PLAN
ELECTRICAL LIGHTING

1/16" = 1'-0"



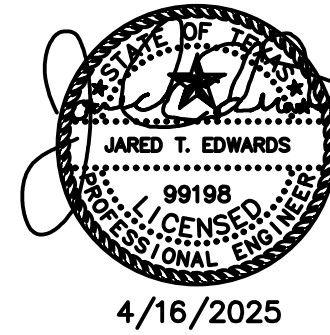
ARCHITECT
STROHMEYER ARCHITECTS, INC.
2701 SUNSET RIDGE DR.
SUITE 601
ROCKWALL, TEXAS 75032



HES ENGINEERS
2626 COLE AVENUE
SUITE 300
DALLAS, TEXAS 75204

CIVIL
FC CUNY CORPORATION
#2 HORIZON COURT
SUITE 500
HEATH, TEXAS 75032

STRUCTURAL
DFW STRUCTURAL CONSULTING, INC.
12575 MILL RUN DRIVE
FRISCO, TEXAS 75035



PERMIT
HARBOR HEIGHTS
RESTAURANT &
RETAIL
BUILDING D
ROCKWALL, TEXAS

Project Number: 82401
Drawing Date: 03.24.25
Drawn:
Checked:

© 2024 Strohmeyer Architects, Inc.

#	Revision Date	Revision Description
1		

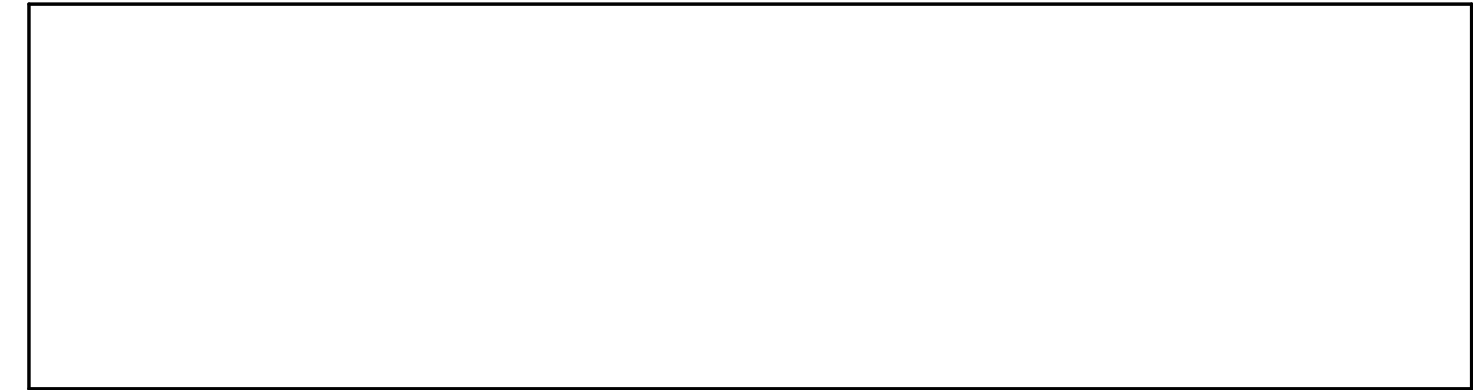
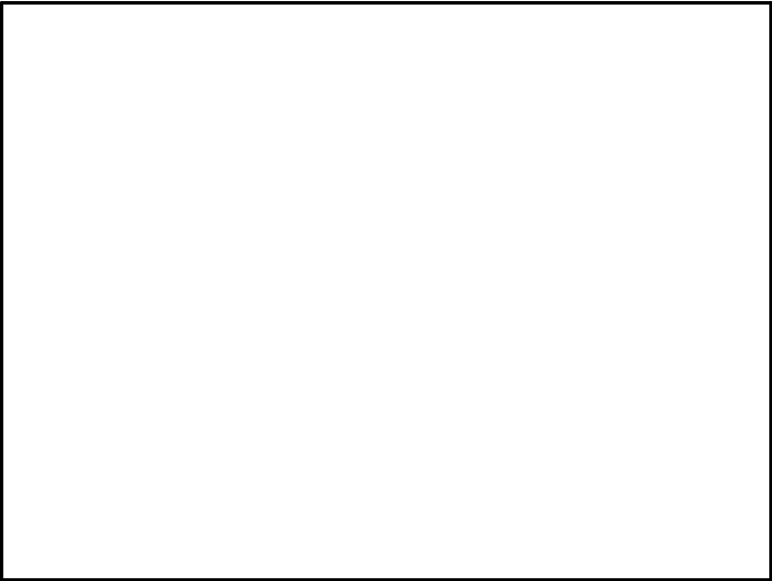
Sheet Title:

SITE PLAN -
ELECTRICAL
LIGHTING

E1.01

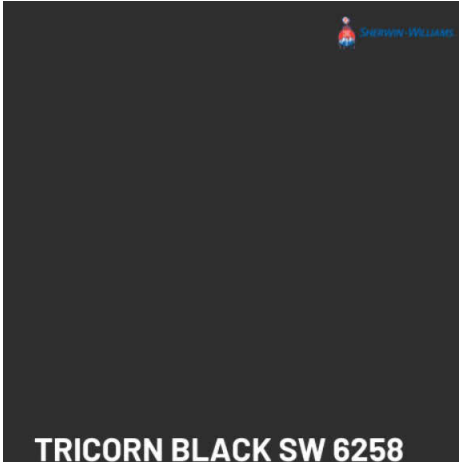


NATURAL STONE VENEER

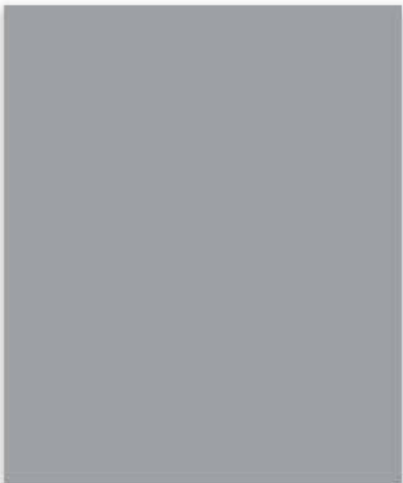


BRICK VENEER

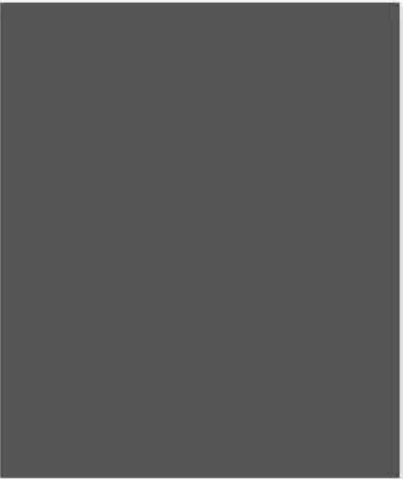
HARBOR HEIGHTS BLDG. #4



METAL AWNING



133 Driftwood
RGB 158 161 164



152 Anthracite Coal
RGB 85 85 86

3 PART STUCCO



STROHMEYER
ARCHITECTS INC.