



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS	701 E INTERSTATE 30, ROCKWALL, TX 75087		
SUBDIVISION	LAKE POINTE BAPTIST CHURCH ADDITION	LOT	3
		BLOCK	A
GENERAL LOCATION	PLAZA AREA ADJACENT TO MAIN BUILDING		

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	COMMERCIAL	CURRENT USE	CHURCH PLAZA
PROPOSED ZONING	N/A	PROPOSED USE	CHURCH PLAZA
ACREAGE	2 AC (DISTURBANCE)	LOTS [CURRENT]	N/A
		LOTS [PROPOSED]	N/A

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	LAKEPOINTE CHURCH	<input type="checkbox"/> APPLICANT	KIMLEY-HORN
CONTACT PERSON	TRACY TUTTLE	CONTACT PERSON	TODD MARTIN, P.E.
ADDRESS	701 E INTERSTATE 30	ADDRESS	203 WEST NASH STREET
			SUITE 100
CITY, STATE & ZIP	ROCKWALL, TX 75087	CITY, STATE & ZIP	TERRELL, TX 75160
PHONE	469-698-2200	PHONE	469-998-8830
E-MAIL	tracy.tuttle@lakepoinsite.church	E-MAIL	todd.martin@kimley-horn.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bob Cadenhead [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

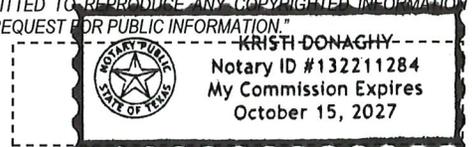
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 250.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF April, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF April, 2025.

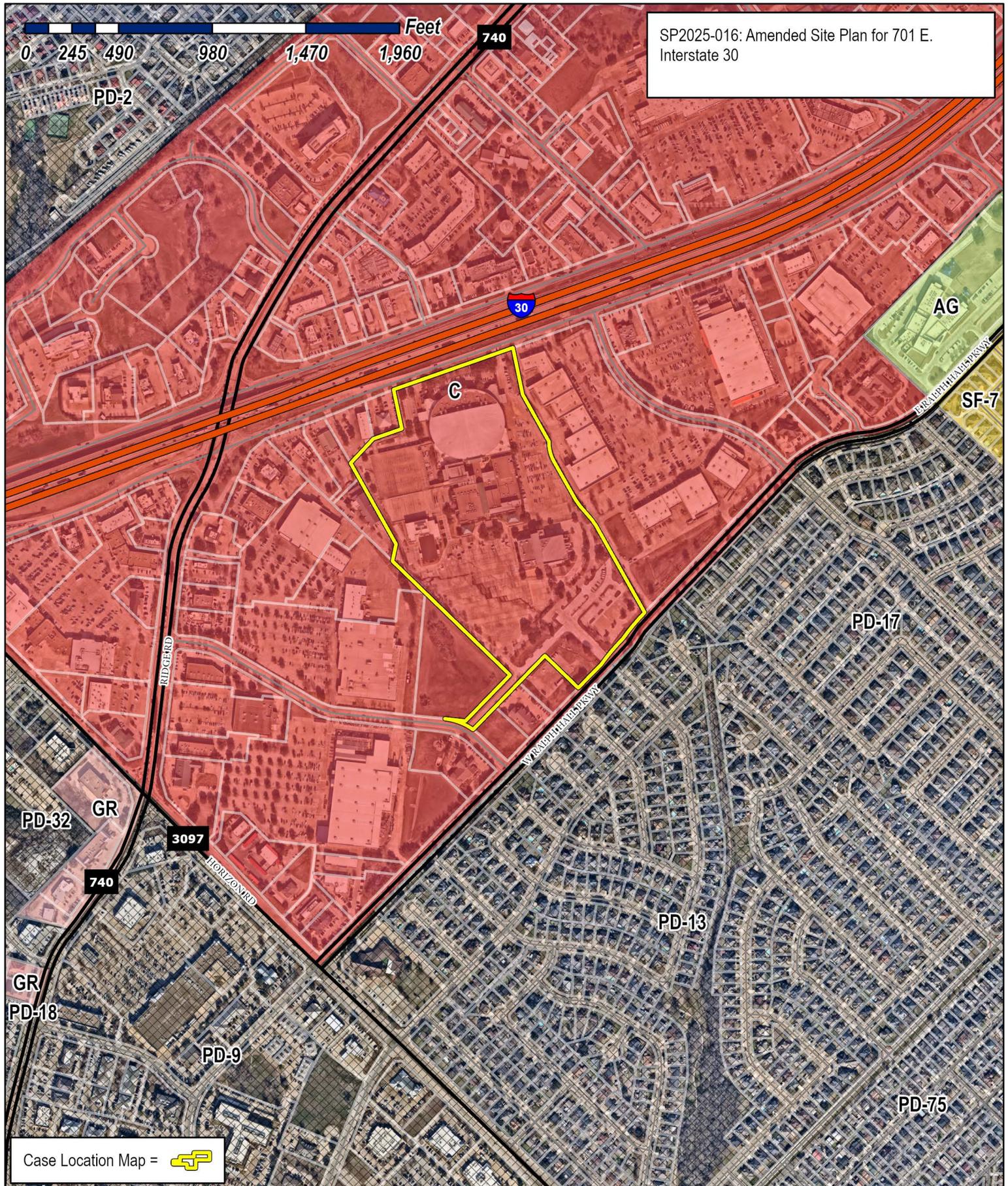
OWNER'S SIGNATURE

Bob Cadenhead  
Kristi Donaghy

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES 10/15/2027



SP2025-016: Amended Site Plan for 701 E. Interstate 30

Case Location Map = 

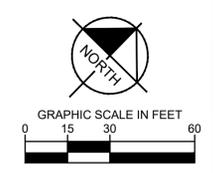


# City of Rockwall

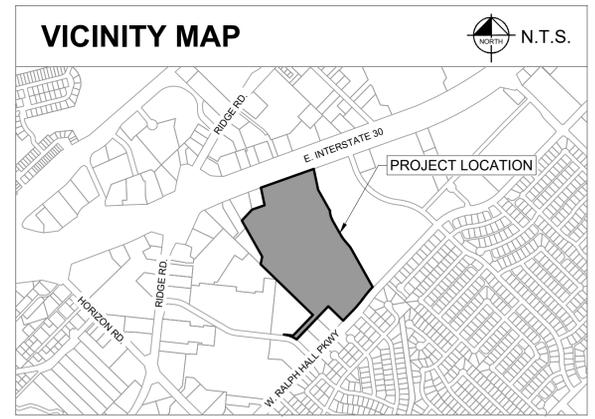
Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





- CITY SITE PLAN NOTES**
1. ALL PARKING SPACES TO BE 9' X 20' UNLESS OTHERWISE NOTED.
  2. ALL RADII IN PARKING AREAS ARE TO BE 3' UNLESS OTHERWISE NOTED.
  3. ALL CURBS TO BE 6" IN HEIGHT UNLESS SPECIFIED OTHERWISE.



**Kimley»Horn**  
 203 W NASH ST, SUITE 100  
 TERRELL, TEXAS 75160  
 PHONE: 469-485-2998 FAX: 972-236-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.

THE SITE PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

**LEGEND**

---	PROPERTY LINE
FL	PROPOSED FIRE LANE
FL	EXISTING FIRE LANE
W	PROPOSED WATER
W	EXISTING WATER
SS	PROPOSED SANITARY SEWER
SS	EXISTING SANITARY SEWER
---	PROPOSED STORM LINE
---	EXISTING STORM LINE
---	PROPOSED 12" PVC ROOF DRAIN LINE
---	LIMITS OF DISTURBANCE
---	EXISTING EASEMENT LINE
---	PROPOSED WATER VALVE
FH	PROPOSED FIRE HYDRANT
○	PROPOSED SANITARY SEWER CLEANOUT
⊙	PROPOSED SANITARY SEWER MANHOLE
⊙	EXISTING SANITARY SEWER MANHOLE
⊙	BARRIER FREE RAMP (BFR)
⊙	ACCESSIBLE PARKING SYMBOL
X	NUMBER OF PARKING SPACES
(TYP.)	TYPICAL
→	TRAFFIC FLOW ARROW
⊙	EXISTING TREE TO BE PROTECTED

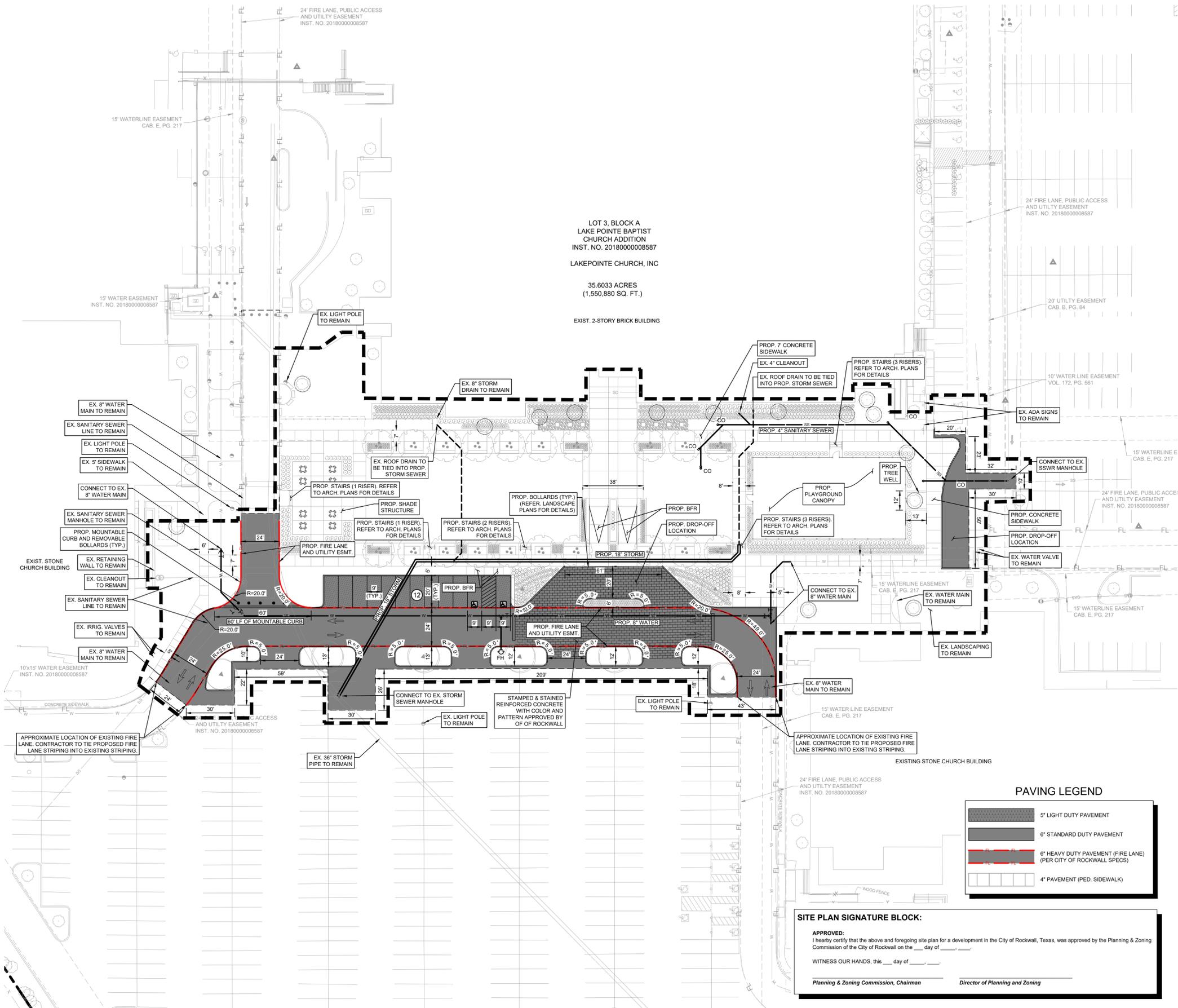
KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	TOM	CO	TOM
06460809	04/17/2025						

**LAKEPOINTE CHURCH PLAZA**  
 PREPARED FOR  
**LAKEPOINTE CHURCH**  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TX

**SITE PLAN**

SHEET NUMBER  
**C-100**

LOT 3, BLOCK A  
 LAKE POINTE BAPTIST CHURCH ADDITION  
 INST. NO. 2018000008587  
 LAKEPOINTE CHURCH, INC.  
 35.6033 ACRES  
 (1,550,880 SQ. FT.)  
 EXIST. 2-STORY BRICK BUILDING



**PAVING LEGEND**

Light gray pattern	5" LIGHT DUTY PAVEMENT
Dark gray pattern	6" STANDARD DUTY PAVEMENT
Red dashed line pattern	6" HEAVY DUTY PAVEMENT (FIRE LANE) (PER CITY OF ROCKWALL SPECS)
White pattern	4" PAVEMENT (PED. SIDEWALK)

**SITE PLAN SIGNATURE BLOCK:**

APPROVED: \_\_\_\_\_  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**PROJECT NUMBER: SP2025-###**

**SITE PLAN**  
 FOR  
**LOT 3, BLOCK A**  
**LAKEPOINTE CHURCH - ROCKWALL CAMPUS**  
**PLAZA PROJECT**

35.6033 ACRES (1,550,880 SF)  
 JAMES SMITH SURVEY, ABSTRACT NO. 200 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CURRENT ZONING: C (COMMERCIAL) IH30 OVERLAY  
 PROPOSED USE: PEDESTRIAN PLAZA AREA IMPROVEMENTS

APRIL 17, 2025

ENGINEER / SURVEYOR/ LANDSCAPE ARCHITECT/APPLICANT: **Kimley»Horn**  
 ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160  
 EMAIL: TODD.MARTIN@KIMLEY-HORN.COM  
 PHONE: (972) 770-1300  
 CONTACT: TODD C. MARTIN, P.E.

OWNER: **LAKEPOINTE CHURCH**  
 ADDRESS: 701 I-30 ROCKWALL, TX 75087  
 EMAIL: ROD.CADENHEAD@LAKEPOINTE.CHURCH  
 PHONE: (469) 698-2200  
 CONTACT: ROD CADENHEAD

REVISIONS: NONE  
 PLOTTED BY: MARTIN, TODD  
 DATE: 04/17/2025 11:38 AM  
 DRAWING: CITY SITE PLANS.DWG (1)  
 This document, together with the concepts and design presented herein, is intended only for the specific purpose and client for whom it was prepared. No use or reliance on this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**SITE PLAN SIGNATURE BLOCK:**

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman      Director of Planning and Zoning

**LANDSCAPE PLAN LAKEPOINTE CHURCH PLAZA**

ADDRESS: 701 I30, TX  
 OVERLAY DISTRICT: IH-30, (PT OF 34.49 AC TR)  
 RCAD PROP ID: 53836  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER:** LAKEPOINTE CHURCH  
 701 E INTERSTATE 30,  
 ROCKWALL, TX 75087  
 (469) 698-2200

**LANDSCAPE ARCHITECT:** KIMLEY-HORN AND ASSOCIATES, INC.  
 6160 WARREN PKWY, SUITE 210  
 FRISCO, TX 75034  
 PHONE: 972-335-3580  
 CONTACT: NIK ADAMS, PLA.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

**CITY OF ROCKWALL LANDSCAPE CODE REQUIREMENTS**  
 SITE: Commercial (C) District  
 76,692 SF (1.76 AC) (DISTURBED AREA ONLY)

AMOUNT OF LANDSCAPING	REQUIRED	PROVIDED
20% OF THE TOTAL SITE AREA TO BE DEVELOPED SHALL BE LANDSCAPING	15,338 SF	19,904 SF
76,692 SF * 0.2 = 15,338 SF		
AMOUNT OF IMPERVIOUS AREA	REQUIRED	PROVIDED
		56,788 SF
LOCATION OF LANDSCAPING	REQUIRED	PROVIDED
A MINIMUM OF 50% OF THE REQUIRED LANDSCAPING SHALL BE IN FRONT OF AND ALONG THE SIDE OF THE BUILDING	7,669 SF	7,774 SF
15,338 SF * 0.5 = 7,669 SF		
PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
MINIMUM OF 5% SQUARE FEET OF LANDSCAPING SHALL BE INTERIOR TO THE PARKING LOT *EXISTING SITE DOES NOT CURRENTLY MEET REQUIREMENT, PROPOSED SITE MEETS REQUIREMENT WITHIN LIMIT OF WORK	808 SF	2,770 SF
ONE CANOPY TREE PER EVERY TEN PARKING SPACES SHALL BE PLANTED INTERNALLY TO THE PARKING LOT *EXISTING SITE DOES NOT CURRENTLY MEET REQUIREMENT, PROPOSED SITE MEETS	REQUIRED	PROVIDED
		6 TREES
NO PARKING SPACE MAY BE MORE THAN 80 FEET FROM THE TRUNK OF A CANOPY TREE* *EXISTING SITE DOES NOT CURRENTLY MEET REQUIREMENT, PROPOSED SITE MEETS REQUIREMENT WITHIN LIMIT OF WORK	REQUIRED	PROVIDED
	YES	YES

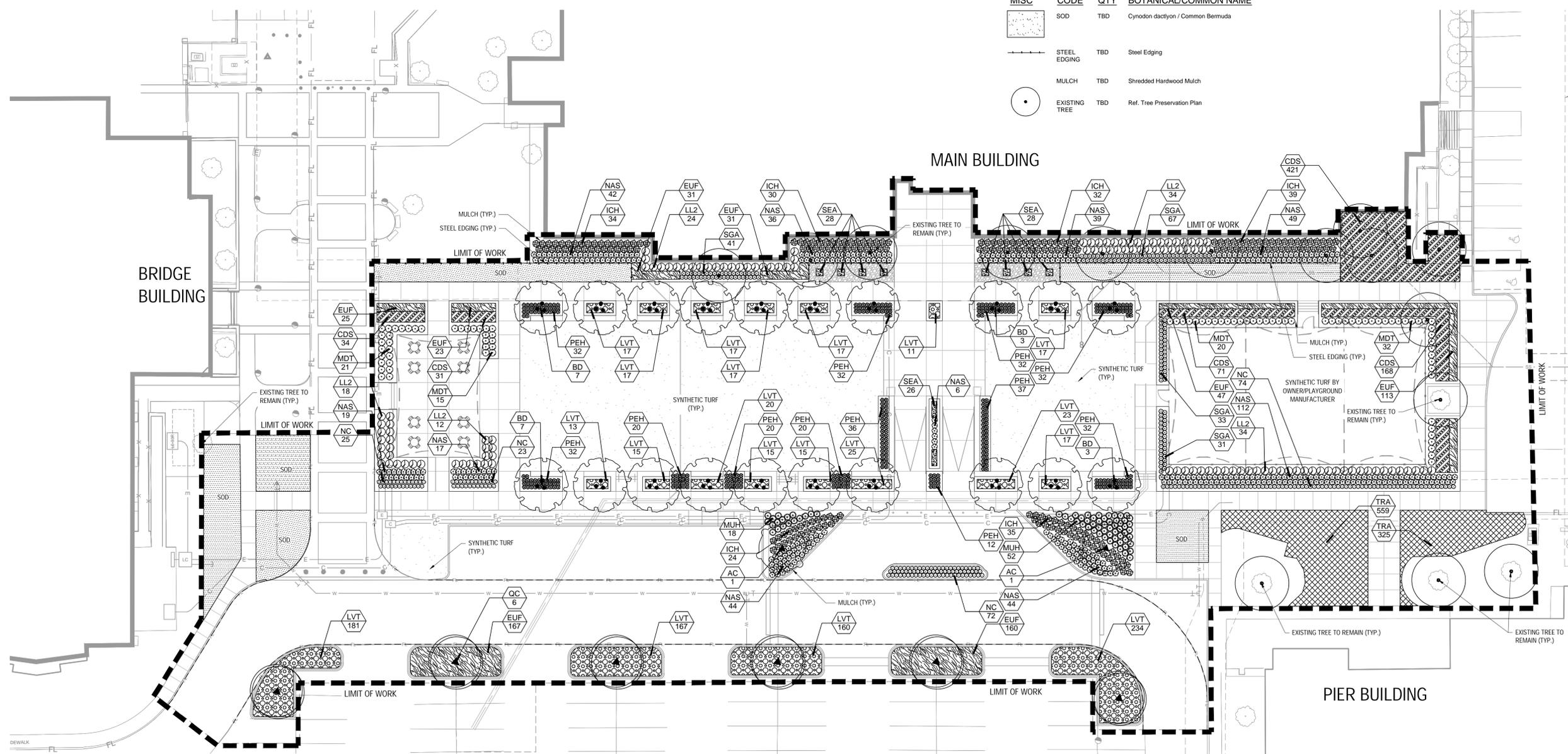
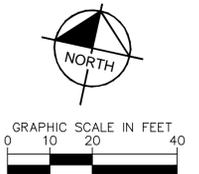
**PLANT SCHEDULE PLAZA**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
<b>TREES</b>			
	AC	2	Acer saccharum caddo / Caddo Sugar Maple
	BD	20	Betula nigra / River Birch 'Duraheat'
	QC	6	Quercus virginiana 'Cathedral' / Cathedral Live Oak
<b>SHRUBS</b>			
	ICH	194	Ilex cornuta 'Carissa' / Carissa Holly
	LL2	122	Ligustrum sinense 'Sunshine' / Sunshine Ligustrum
	MDT	88	Malvastrum drummondii / Turk's Cap
	NC	194	Nepeta x 'Cat's Pajamas' / Cat's Pajamas Catmint
	SGA	172	Salvia greggii / Autumn Sage
<b>GRASSES</b>			
	MUH	70	Muhlenbergia capillaris / Pink Muhly
	NAS	408	Nassella tenuissima / Mexican Feather Grass
	PEH	337	Pennisetum alopecuroides 'Hamelii' / Hamelii Dwarf Fountain Grass
<b>GROUND COVERS</b>			
	CDS	725	Carex divulsa / Berkeley Sedge
	SOD	3,845 sf	Cynodon dactylon / Common Bermuda Grass
	EUF	597	Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
	LVT	998	Liriope muscari 'Variegata' / Variegated Lily Turf
	SEA	82	Seasonal Color
	TRA	884	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine
<b>MISC</b>			
	SOD	TBD	Cynodon dactylon / Common Bermuda
	STEEL EDGING	TBD	Steel Edging
	MULCH	TBD	Shredded Hardwood Mulch
	EXISTING TREE	TBD	Ref. Tree Preservation Plan

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NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

NOTE: TREE TRUNKS TO BE WRAPPED FOR THE FIRST YEAR FOLLOWING INSTALLATION TO PREVENT SUN SCALD.



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NO.	REVISIONS	DATE	BY

**Kimley»Horn**

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 13455 NOEL ROAD, SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERING FIRM F-928

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 Not for construction or permit purposes.

**Kimley»Horn**

P.L.A. NIKOLAUS B. ADAMS  
 L.A. No. 3404 Date: 4/17/2025

KHA PROJECT

DATE: 4/17/2025

SCALE: AS SHOWN

DESIGNED BY: NBA

DRAWN BY: NBA, AKR

CHECKED BY: NBA

**LANDSCAPE PLAN**

**LAKEPOINTE CHURCH PLAZA**  
 TOWN OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

SHEET NUMBER  
**LP 1.01**

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**SITE PLAN SIGNATURE BLOCK:**

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

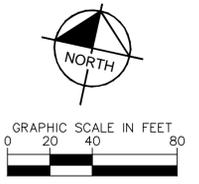
\_\_\_\_\_  
 Director of Planning and Zoning

**HARDSCAPE PLAN LAKEPOINTE CHURCH PLAZA**

ADDRESS: 701 130, TX  
 OVERLAY DISTRICT: IH-30, (PT OF 34.49 AC TR)  
 RCAD PROP ID: 53836  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER:** LAKEPOINTE CHURCH  
 701 E INTERSTATE 30,  
 ROCKWALL, TX 75087  
 (469) 698-2200

**LANDSCAPE ARCHITECT:**  
 KIMLEY-HORN AND ASSOCIATES, INC  
 6160 WAREN PKWY, SUITE 210  
 FRISCO, TX 75034  
 PHONE: 972-335-3580  
 CONTACT: NIK ADAMS, PLA.

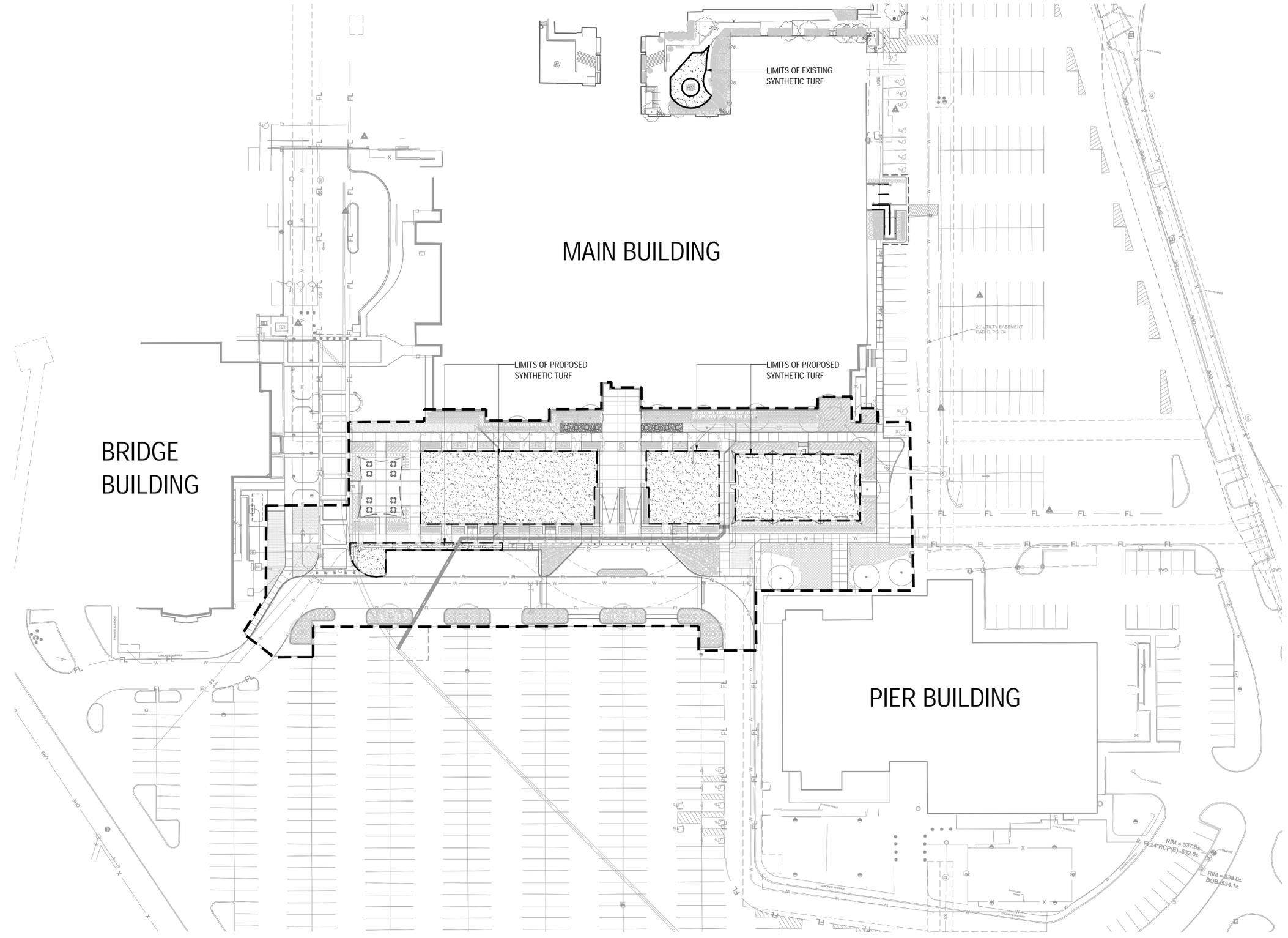


**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



Know what's below.  
 Call before you dig.



No.	REVISIONS	DATE	BY

**Kimley»Horn**

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 13455 NOEL ROAD, SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
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**Kimley»Horn**

P.L.A. NIKOLAUS B. ADAMS  
 L.A. No. 3404 Date: 4/17/2025

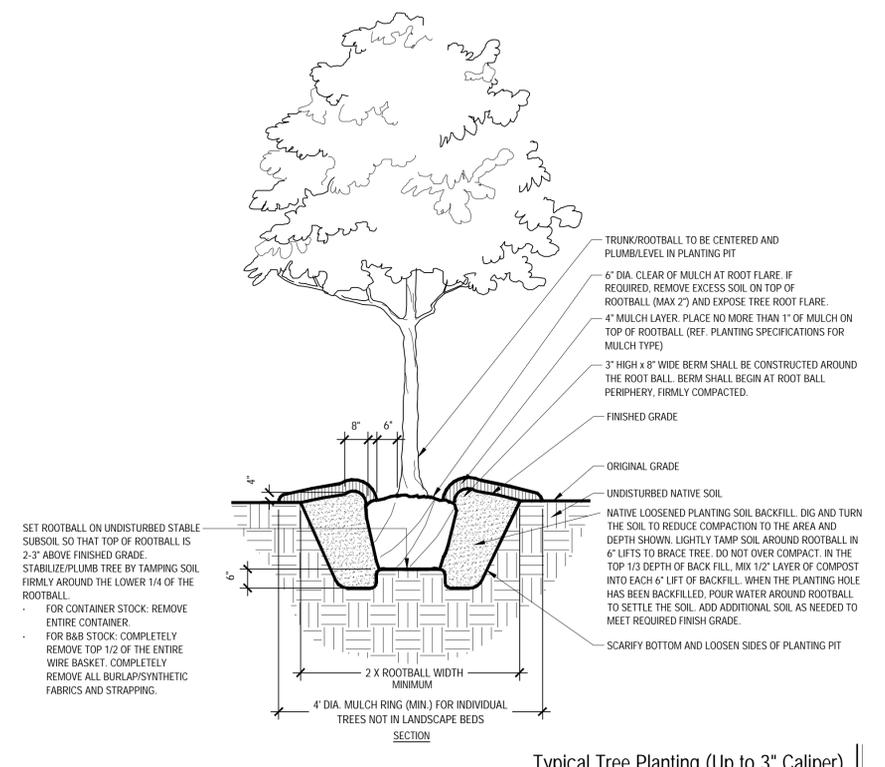
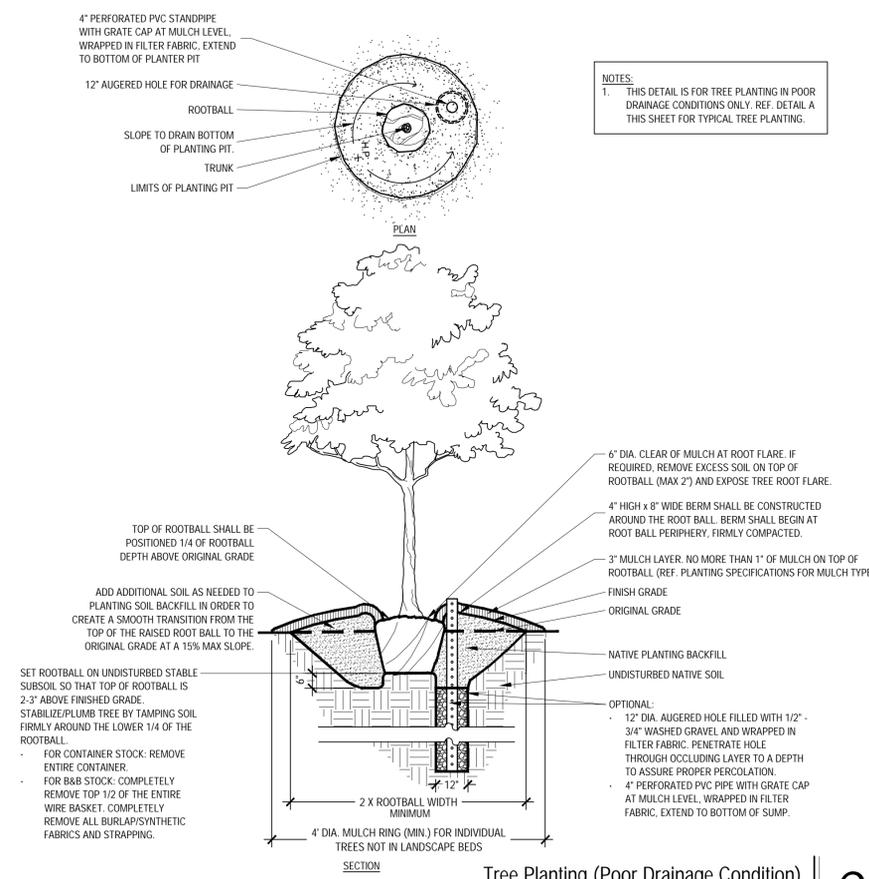
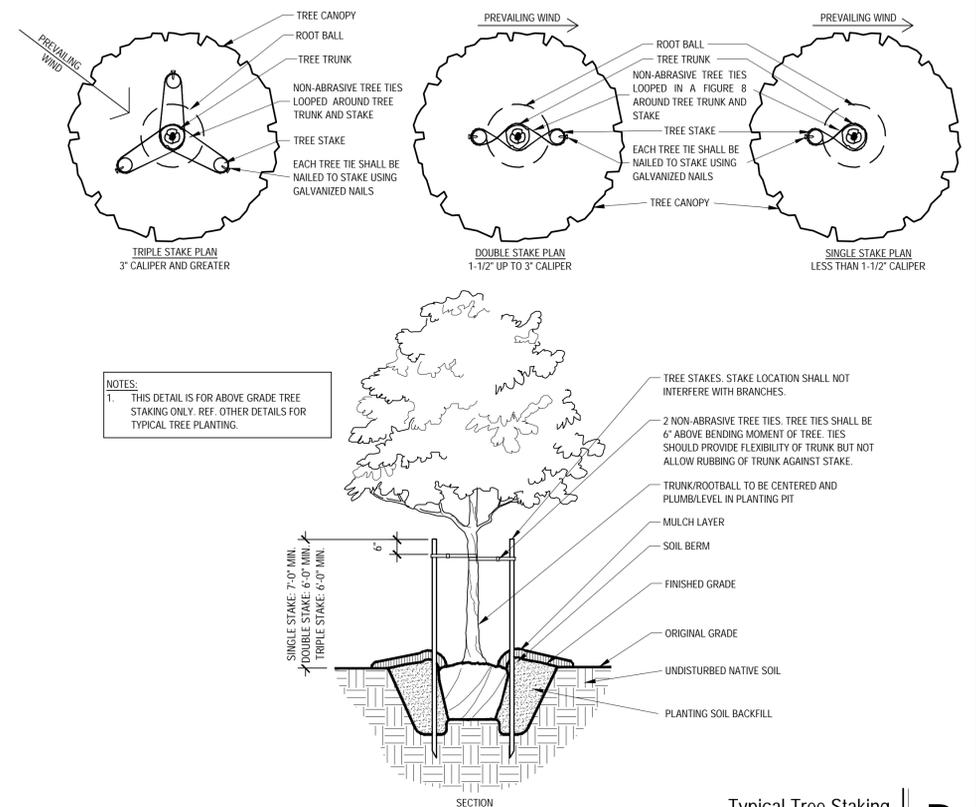
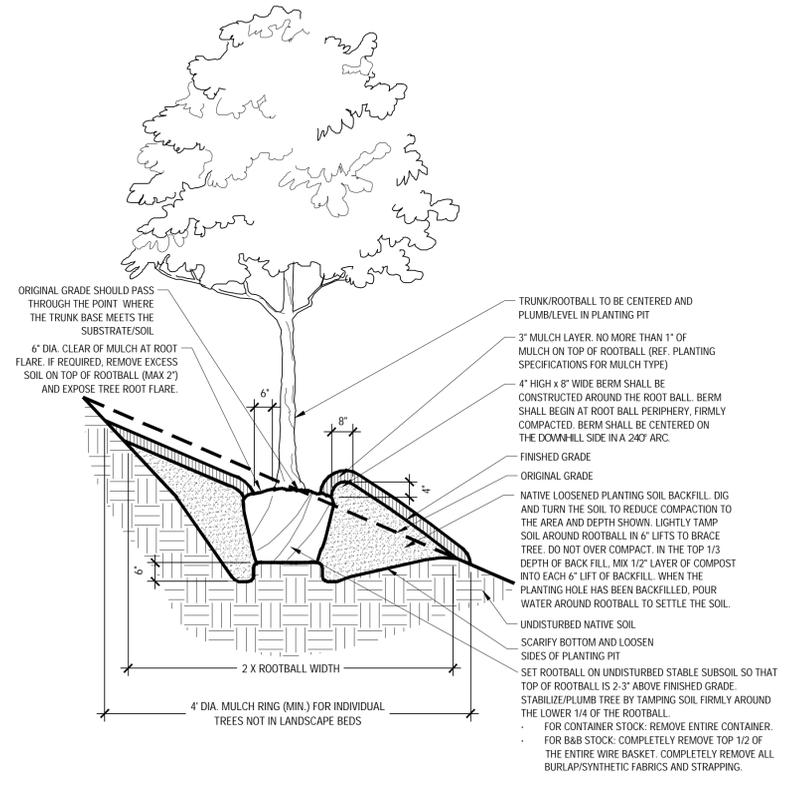
KHA PROJECT	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
	4/17/2025	NBA	NBA, AKR	NBA
SCALE:	AS SHOWN			

**LAKEPOINTE CHURCH PLAZA**  
 TOWN OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

**SYNTHETIC TURF EXHIBIT**

SHEET NUMBER  
**LP 1.02**

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No.	REVISIONS	DATE	BY

**Kimley-Horn**  
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PHONE: 972-770-1300 FAX: 972-239-3820  
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**Kimley-Horn**  
P.L.A. NIKOLAUS B. ADAMS  
L.A. No. 2404 Date: 4/17/2025

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	4/17/2025	AS SHOWN	NBA	NBA, AKR	NBA

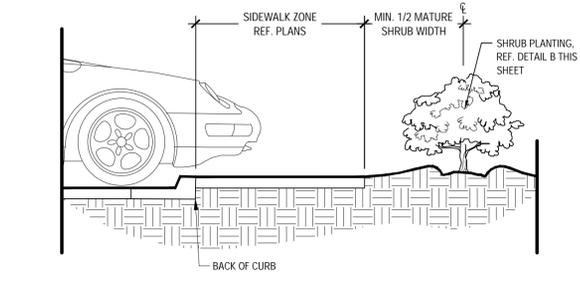
**LANDSCAPE DETAILS**

**LAKEPOINTE CHURCH PLAZA**  
TOWN OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

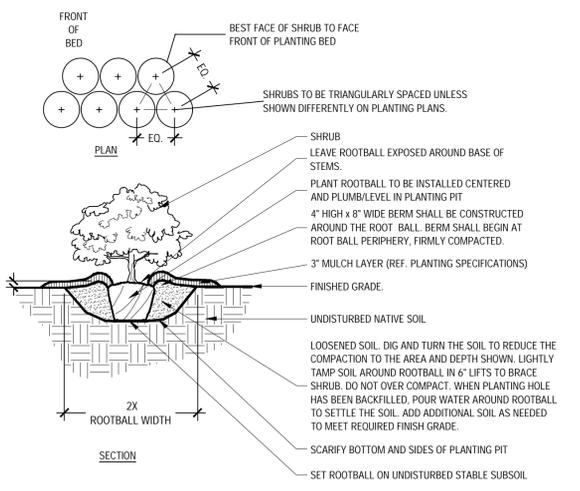
SHEET NUMBER
LP 3.01

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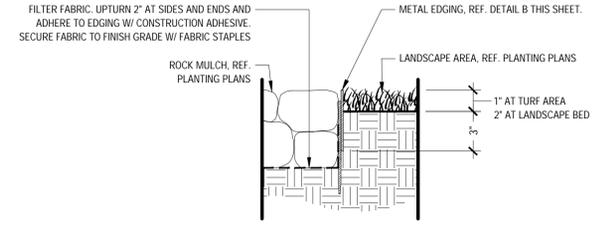
**NOTES:**  
 1. REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.  
 2. REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT  
 3. WHEN SHRUBS ARE MASSED TOGETHER WITH GROUND COVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



**Shrub Planting at Sidewalk**  
 Scale: NTS

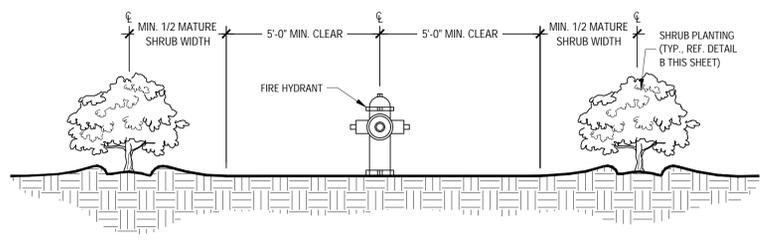


**Typical Shrub Planting**  
 Scale: NTS

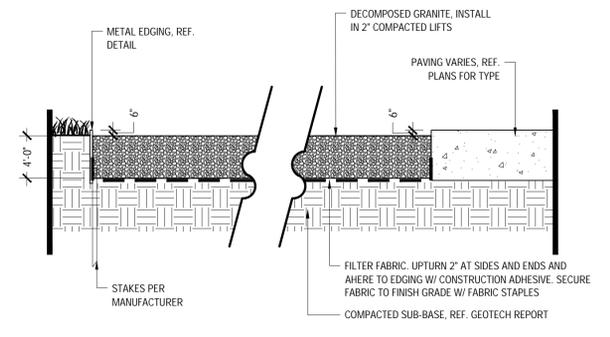


**NOTES:**  
 1. EDGING SHALL NOT BE INSTALLED ADJACENT TO SIDEWALKS.  
 2. WHERE EDGING TERMINATES AT A SIDEWALK, BEVEL OR RECESS ENDS TO PREVENT TRIP HAZARDS.

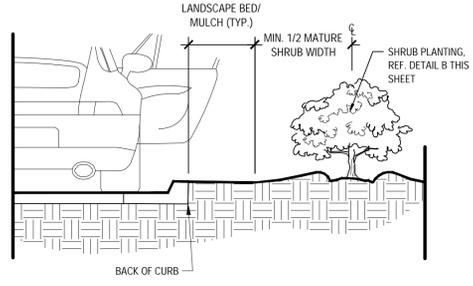
**METAL EDGING (AT ROCK COBBLE BED)**  
 Scale: 1 1/2" = 1'-0"



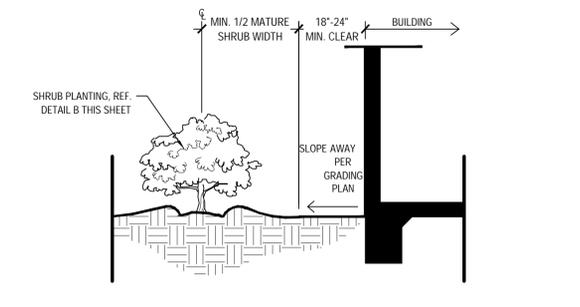
**Shrub Planting at Fire Hydrant**  
 Scale: NTS



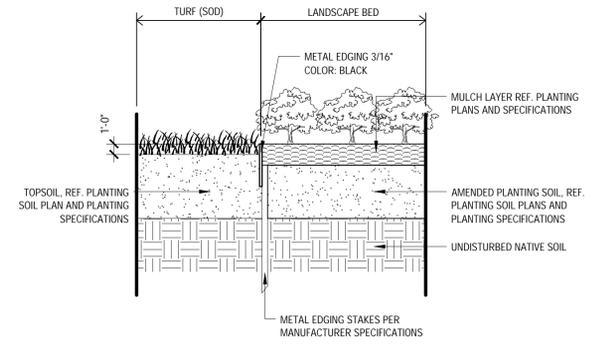
**Decomposed Granite**  
 Scale: 1 1/2" = 1'-0"



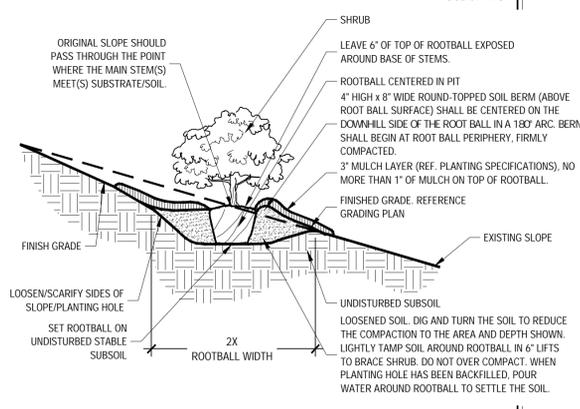
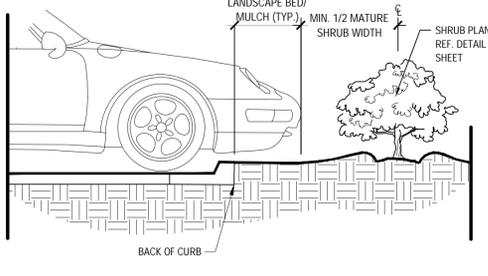
**Shrub Planting at Curb**  
 Scale: NTS



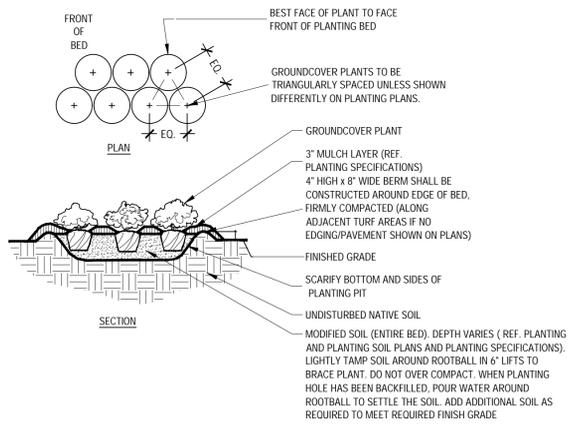
**Shrub Planting at Building Edge**  
 Scale: NTS



**METAL EDGING (AT TURF & LANDSCAPE BED)**  
 Scale: 1 1/2" = 1'-0"



**Shrub Planting on 5-50% (20:1 TO 2:1) Slope**  
 Scale: NTS



**Typical Groundcover Planting**  
 Scale: NTS

No.	REVISIONS	DATE	BY

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 WWW.KIMLEY-HORN.COM  
 TEXAS REGISTERED ENGINEERING FIRM F-928

**Kimley-Horn**  
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 P.L.A. NIKOLAUS B. ADAMS  
 L.A. No. 3404 Date: 4/17/2025

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY:
	4/17/2025	AS SHOWN	NBA	NBA, AKR	NBA

**LANDSCAPE DETAILS**

**LAKEPOINTE CHURCH PLAZA**  
 TOWN OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS



**SITE PLAN SIGNATURE BLOCK:**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_.

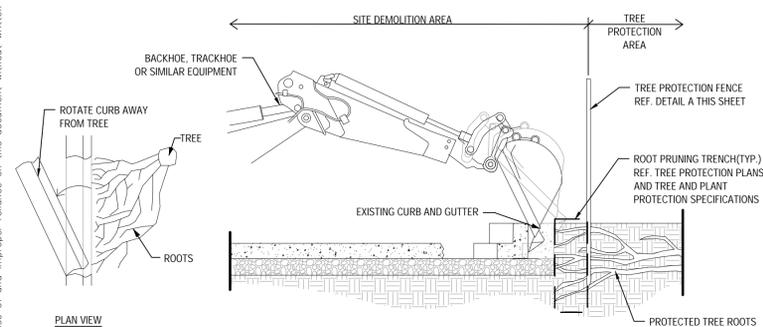
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

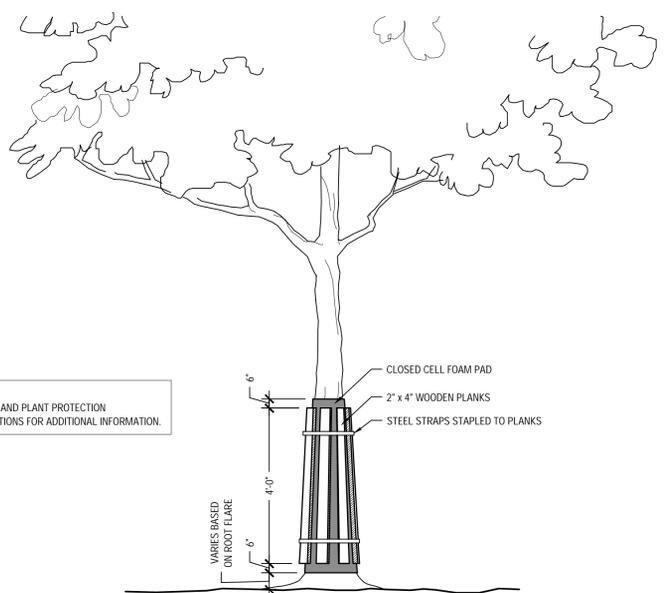
\_\_\_\_\_  
Director of Planning and Zoning

- DEMOLITION SEQUENCE:**
- PERFORM ANY ROOT PRUNING.
  - INSTALL TREE PROTECTION FENCING.
  - BREAK OR CUT 4' SECTIONS OF CURB.
  - CAREFULLY ROTATE CURB SECTIONS AWAY FROM ROOTS.
  - COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
- PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
  - ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
  - OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.

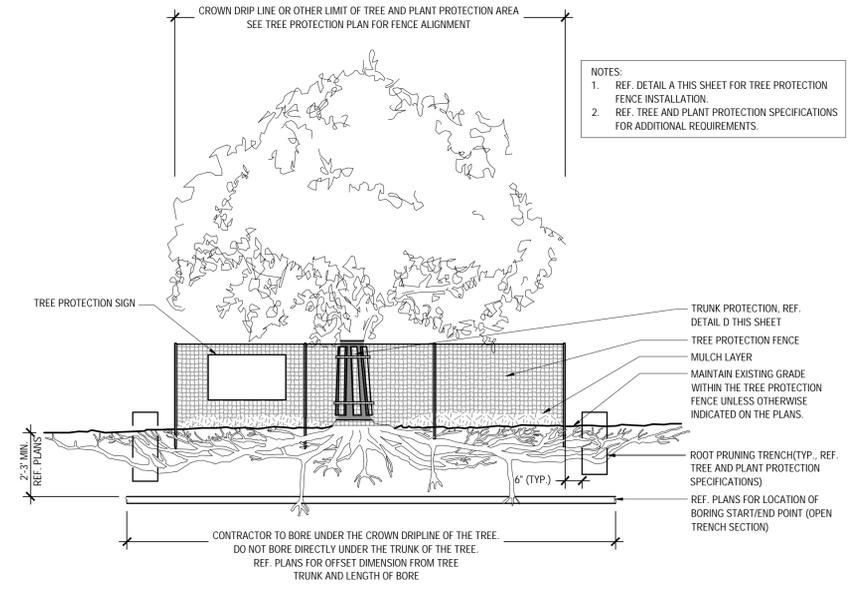


**CURB DEMOLITION AROUND EXISTING TREE ROOTS**  
Scale: NTS



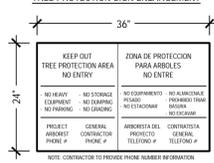
- NOTES:**
- REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL INFORMATION.

**TRUNK PROTECTION**  
Scale: NTS

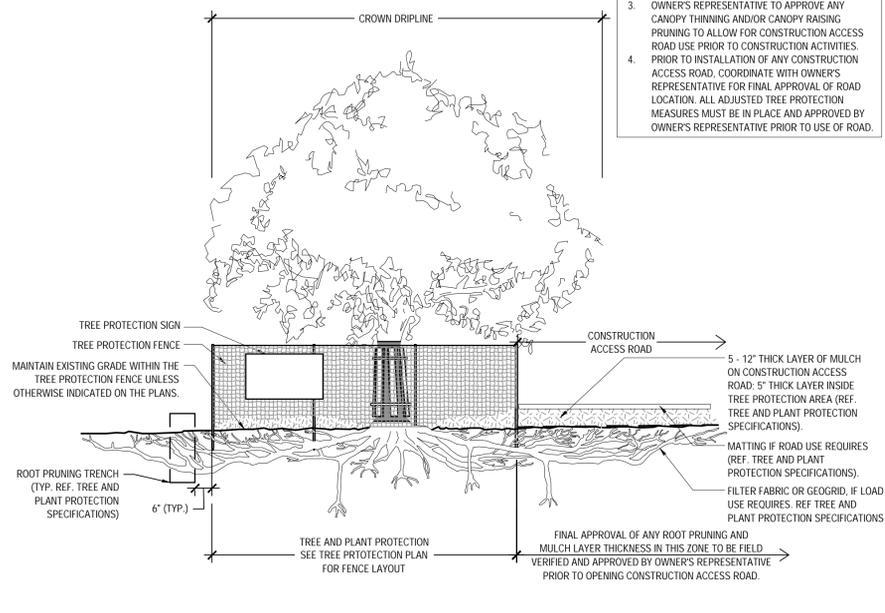


- NOTES:**
- REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
  - REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

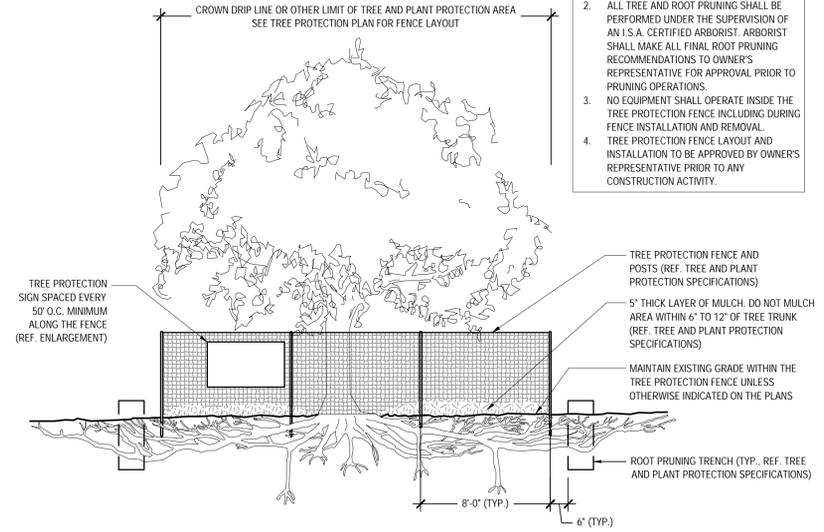
**TREE PROTECTION - UTILITY BORING UNDER CROWN DRIP LINE**  
Scale: NTS



- NOTES:**
- REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
  - REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  - OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR CONSTRUCTION ACCESS ROAD USE PRIOR TO CONSTRUCTION ACTIVITIES.
  - PRIOR TO INSTALLATION OF ANY CONSTRUCTION ACCESS ROAD, COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL OF ROAD LOCATION. ALL ADJUSTED TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO USE OF ROAD.



**TREE PROTECTION - CONSTRUCTION ACCESS ROAD**  
Scale: NTS

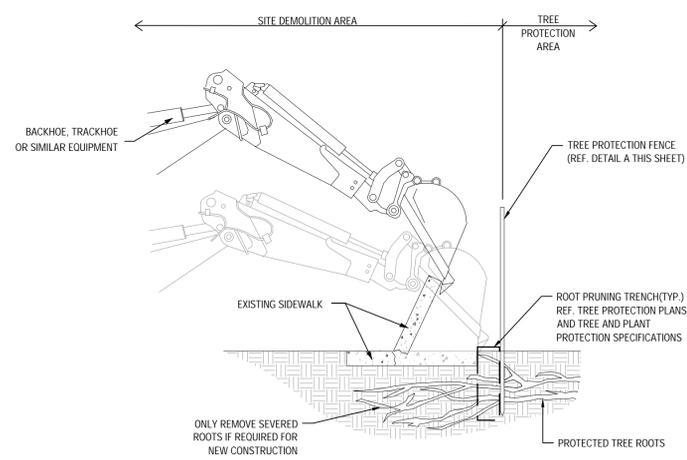


- NOTES:**
- SEE TREE AND PLANT PROTECTION SPECIFICATIONS FOR WATERING AND OTHER ADDITIONAL REQUIREMENTS.
  - ALL TREE AND ROOT PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN I.S.A. CERTIFIED ARBORIST. ARBORIST SHALL MAKE ALL FINAL ROOT PRUNING RECOMMENDATIONS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PRUNING OPERATIONS.
  - NO EQUIPMENT SHALL OPERATE INSIDE THE TREE PROTECTION FENCE INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  - TREE PROTECTION FENCE LAYOUT AND INSTALLATION TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION ACTIVITY.

**TYPICAL TREE PROTECTION FENCING**  
Scale: NTS

- DEMOLITION SEQUENCE:**
- PERFORM ANY ROOT PRUNING.
  - INSTALL TREE PROTECTION FENCING.
  - CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL. COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
- PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
  - ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
  - OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.



**SIDEWALK DEMOLITION AROUND EXISTING TREE ROOTS**  
Scale: NTS

No.	REVISIONS	BY	DATE

**Kimley»Horn**

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PHONE: 972-770-1300 FAX: 972-239-3820  
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TEXAS REGISTERED ENGINEERING FIRM F-928

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**Kimley»Horn**

P.L.A. NIKOLAUS B. ADAMS  
L.A. No. 3454 Date: 4/17/2025

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	4/17/2025	AS SHOWN	NBA	NBA, AKR	NBA

**TREE PRESEVATION DETAILS**

**LAKEPONTE CHURCH PLAZA**  
TOWN OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SHEET NUMBER  
**LT 3.01**

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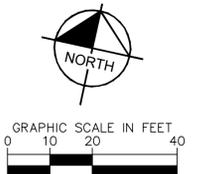
**SITE PLAN SIGNATURE BLOCK:**

**APPROVED:**  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning



**HARDSCAPE PLAN LAKEPOINTE CHURCH PLAZA**

ADDRESS: 701 I30, TX  
OVERLAY DISTRICT: IH-30, (PT OF 34.49 AC TR)  
RCAD PROP ID: 53836  
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER:**  
LAKEPOINTE CHURCH  
701 E INTERSTATE 30  
ROCKWALL, TX 75087  
(469) 898-2200

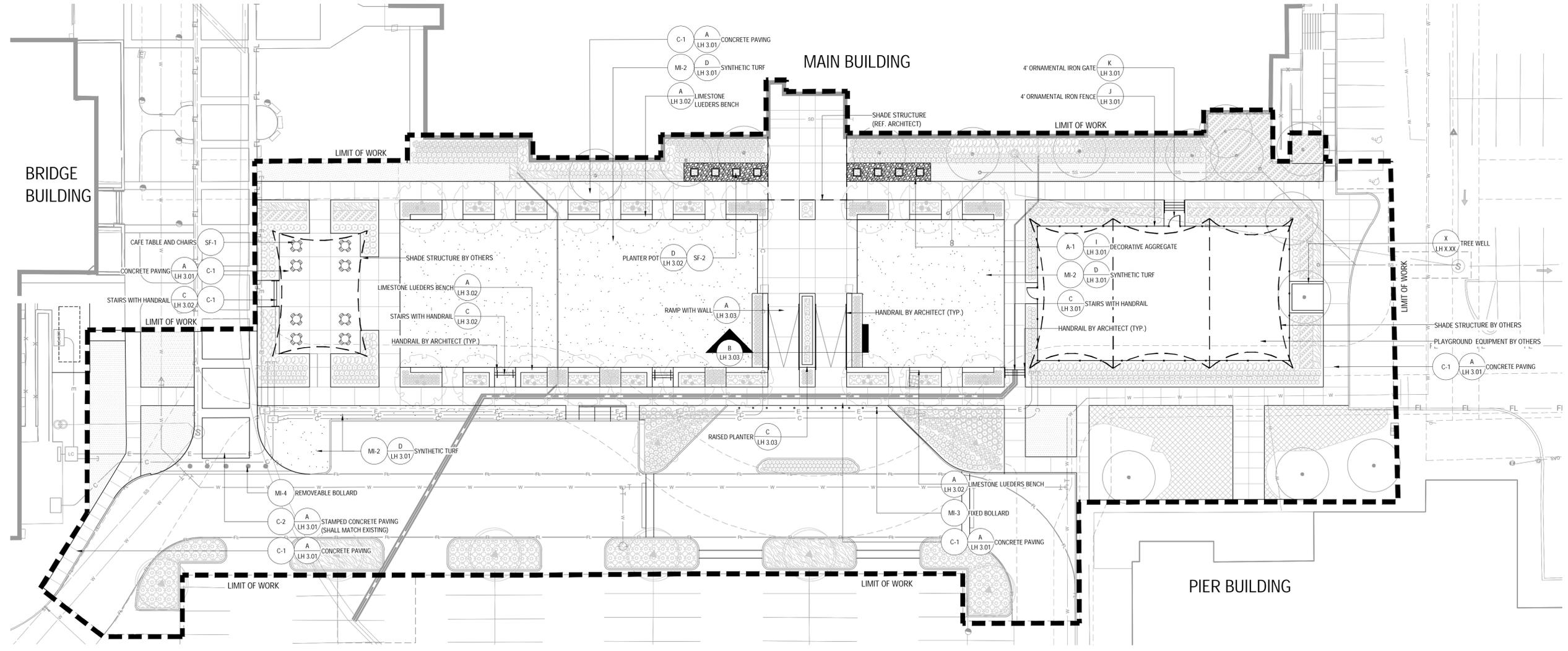
**LANDSCAPE ARCHITECT:**  
KIMLEY-HORN AND ASSOCIATES, INC  
6180 WAREN PKWY, SUITE 210  
FRISCO, TX 75034  
PHONE: 972-335-3580  
CONTACT: NIK ADAMS, PLA.

**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



Know what's below.  
Call before you dig.



NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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TEXAS REGISTERED ENGINEERING FIRM F-928

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**Kimley»Horn**

P.L.A. NIKOLAUS B. ADAMS  
L.A. No. 3404 Date: 4/17/2025

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	4/17/2025	AS SHOWN	NBA	NBA, AKR	NBA

**HARDSCAPE PLAN**

**LAKEPOINTE CHURCH PLAZA**  
TOWN OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SHEET NUMBER  
**LH 1.01**

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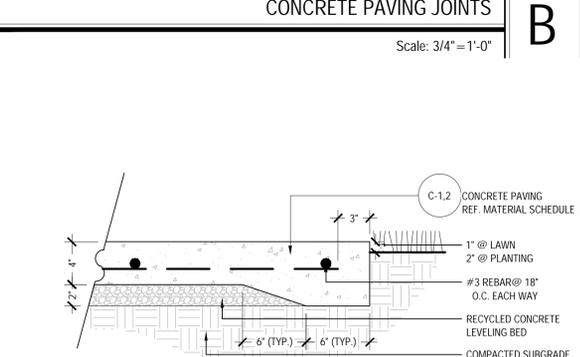
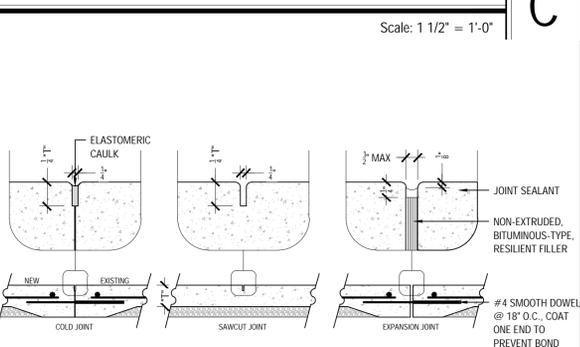
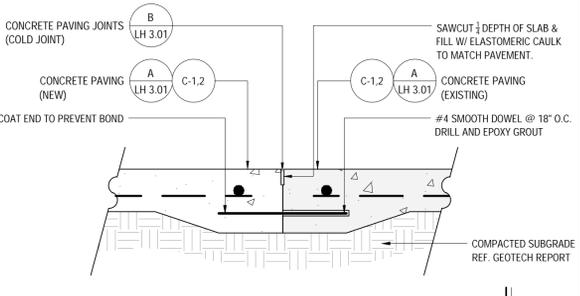
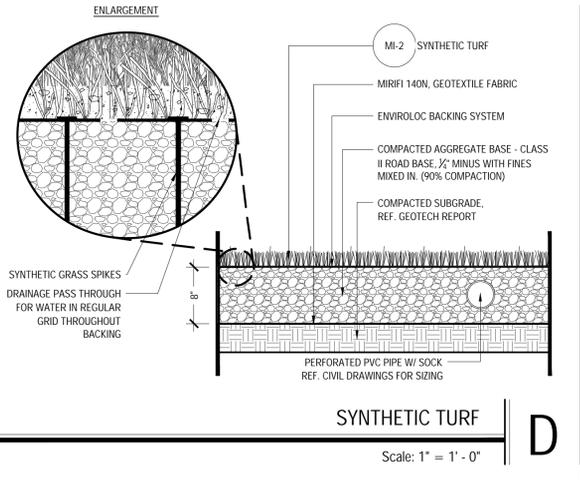
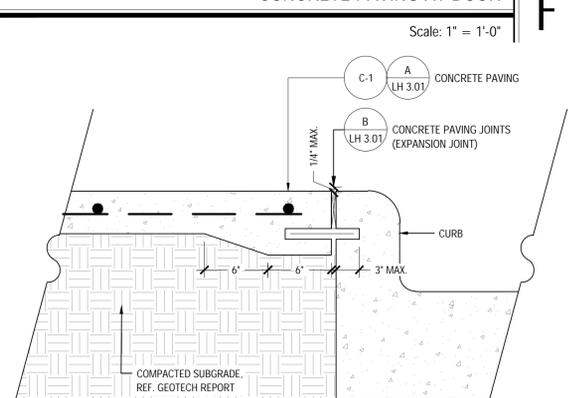
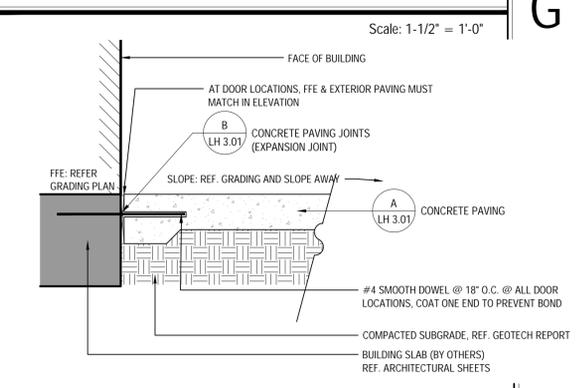
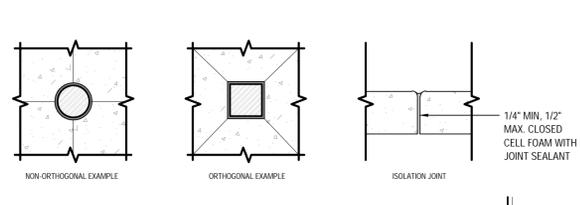
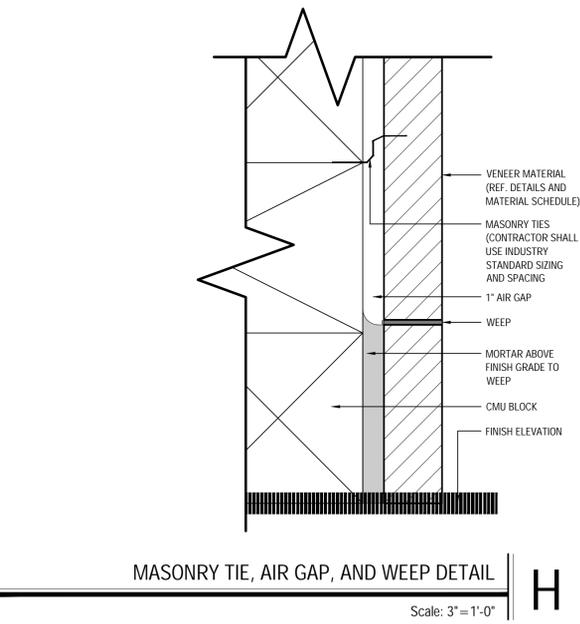
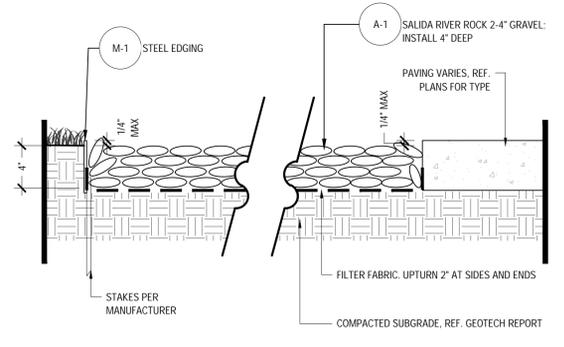
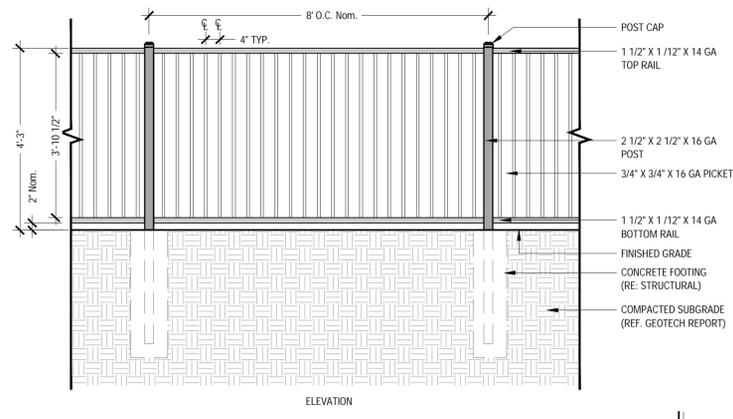
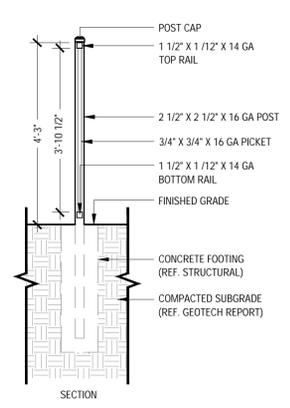
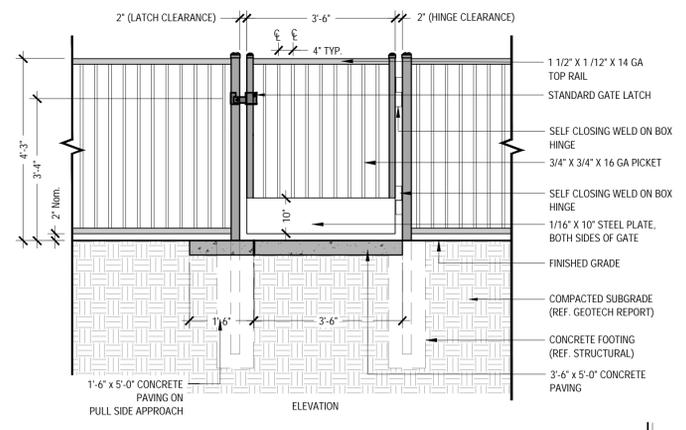
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**NOTE:**

- STRUCTURAL ENGINEERING BY OTHERS.
- ALL EXPOSED STONE / WOOD / CONCRETE SHALL RECEIVE STONE / WOOD / CONCRETE SEALANT. REFER TO MATERIALS SCHEDULE FOR MATERIALS AND SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE ALL EXCESS POLYMERIC SAND PRIOR TO WETTING PAVER AREAS.
- CONCRETE DEPTH VARIES DEPENDING ON USE. REFERENCE CITY OF PLANO STANDARDS.
- REFERENCE LANDSCAPE PLANS FOR MATERIALS AND FINISHES OF STEPS, LANDINGS, AND ELEVATIONS OF ADJACENT WALLS.

**NOTE:**  
THESE DETAILS ARE INTENDED TO SHOW DESIGN INTENT ONLY. THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE OF TEXAS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT, PRIOR TO ANY FABRICATION AND/OR CONSTRUCTION.



NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
4/17/2025	AS SHOWN	NBA	NBA, AKR	NBA

**HARDSCAPE DETAILS**

**LAKEPONTE CHURCH PLAZA**  
TOWN OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SHEET NUMBER  
**LH 3.01**



**SITE PLAN SIGNATURE BLOCK:**

APPROVED:  
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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_.

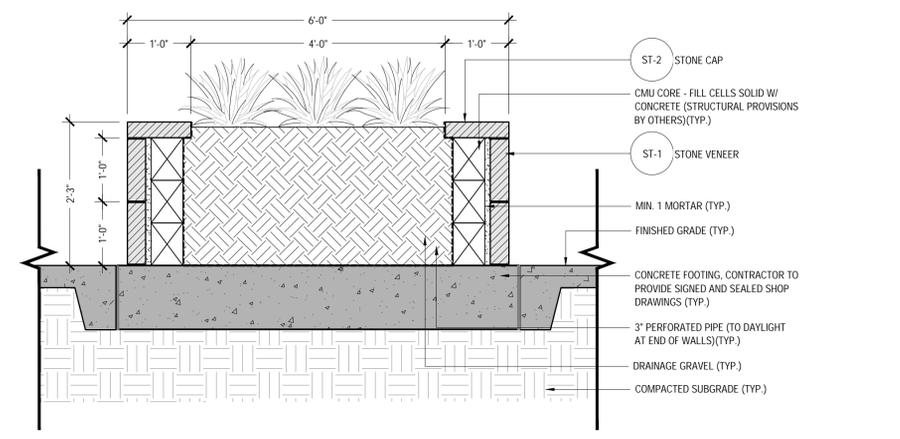
\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

**NOTE:**

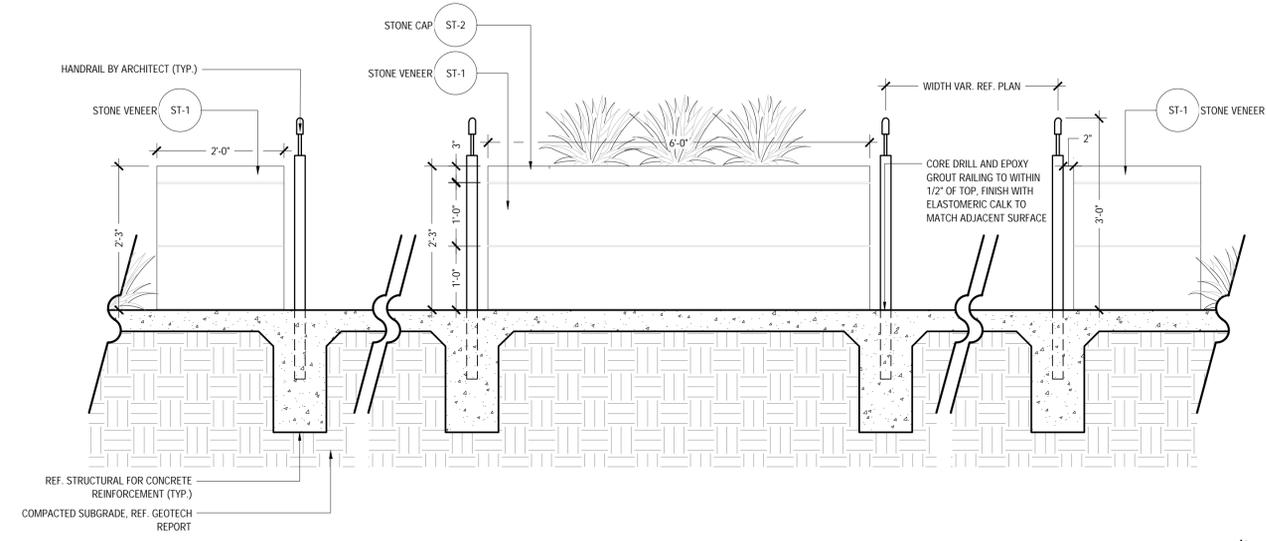
- STRUCTURAL ENGINEERING BY OTHERS.
- ALL EXPOSED STONE / WOOD / CONCRETE SHALL RECEIVE STONE / WOOD / CONCRETE SEALANT. REFER TO MATERIALS SCHEDULE FOR MATERIALS AND SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE ALL EXCESS POLYMERIC SAND PRIOR TO WETTING PAVER AREAS.
- CONCRETE DEPTH VARIES DEPENDING ON USE. REFERENCE CITY OF PLANO STANDARDS.
- REFERENCE LANDSCAPE PLANS FOR MATERIALS AND FINISHES OF STEPS, LANDINGS, AND ELEVATIONS OF ADJACENT WALLS.

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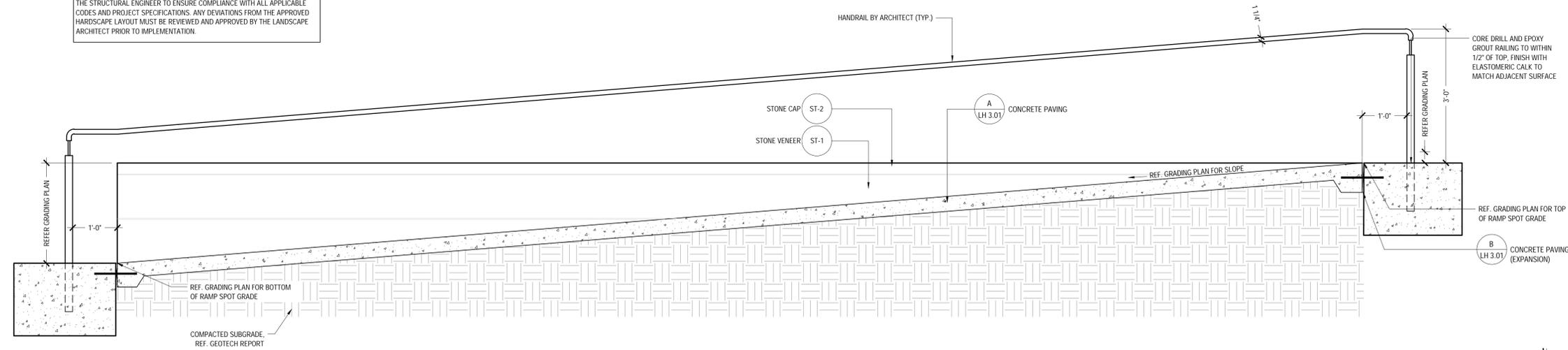
**RAISED PLANTER SECTION**  
Scale: 1/2" = 1'-0"

**NOTE:**  
THESE DETAILS ARE INTENDED TO SHOW DESIGN INTENT ONLY. THE CONTRACTOR SHALL PREPARE SHOP DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE OF TEXAS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT, PRIOR TO ANY FABRICATION AND/OR CONSTRUCTION.



**CONCRETE RAMP AND RAISED PLANTER ELEVATION**  
Scale: 3/4" = 1'-0"

**NOTES:**  
THE PROVIDED DETAIL ILLUSTRATES DESIGN INTENT ONLY AND SERVES TO CLARIFY THE HORIZONTAL LAYOUT AS SHOWN IN THE HARDSCAPE PLANS. IT IS NOT INTENDED FOR CONSTRUCTION. A LICENSED STRUCTURAL ENGINEER, LICENSED IN THE STATE OF TEXAS, SHALL PROVIDE FINAL SHOW DRAWINGS, INCLUDING STRUCTURAL DESIGN REINFORCEMENT, AND CONSTRUCTION METHODS FOR THESE ELEMENTS. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER TO ENSURE COMPLIANCE WITH ALL APPLICABLE CODES AND PROJECT SPECIFICATIONS. ANY DEVIATIONS FROM THE APPROVED HARDSCAPE LAYOUT MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.



**CONCRETE RAMP W/ STONE WALLS**  
Scale: 3/4" = 1'-0"

NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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P.L.A. NIKOLAUS B. ADAMS  
L.A. No. 3404 Date: 4/17/2025

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
	4/17/2025	AS SHOWN	NBA	NBA, AKR	NBA

**HARDSCAPE DETAILS**

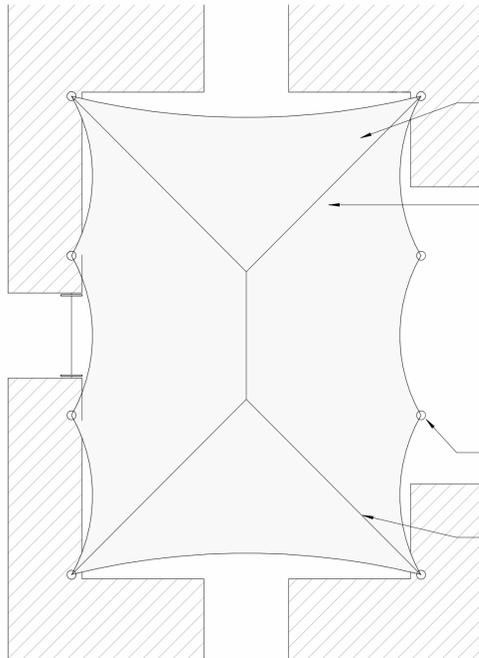
**LAKEPONTE CHURCH PLAZA**  
TOWN OF ROCKWALL  
ROCKWALL COUNTY, TEXAS

SHEET NUMBER  
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NOTE: PROVIDE A MINIMUM OF 10'-0" CLEARANCE UNDER THE LOWEST PORTION OF THE SHADE STRUCTURE - THE ACTUAL HEIGHT OF THE SHADE STRUCTURE TO BE COORDINATED WITH THE OWNER'S PLAYGROUND VENDOR TO ENSURE MINIMUM CLEARANCES ARE HELD.

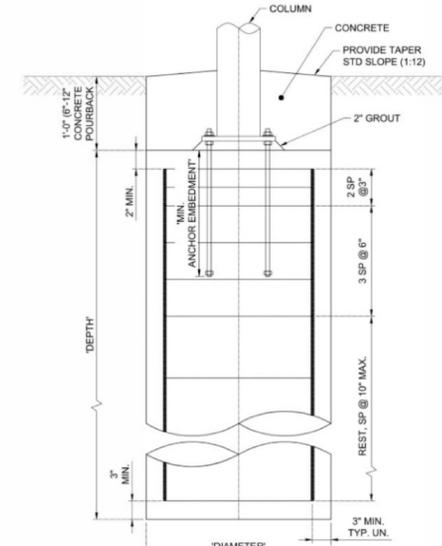
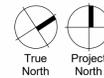


COLOR OF SHADE STRUCTURE FABRIC WILL BE SELECTED FROM MANUFACTURER'S STANDARD COLORS.

NOTE: SHADE STRUCTURE IS DESIGN-BUILD AND WILL BE SUBMITTED FOR CITY OF ROCKWALL REVIEW WHEN THE CONTRACT IS AWARDED AND SHOP DRAWINGS ARE ISSUES. THE SHADE STRUCTURE WILL BE PREFINISHED ALUMINUM OR STEEL WITH HEAVY DUTY FABRIC. REFER 05/A1.06 FOR REFERENCE IMAGES. REFER 05/A1.06 FOR SAMPLE FOUNDATION INFORMATION. FINAL FOUNDATION DESIGN WILL BE SUBMITTED WITH THE SHOP DRAWINGS ABOVE.

SHADE STRUCTURE COLUMNS - ALL BASE PLATES TO BE RECESSED IN CONCRETE, TYPICAL.

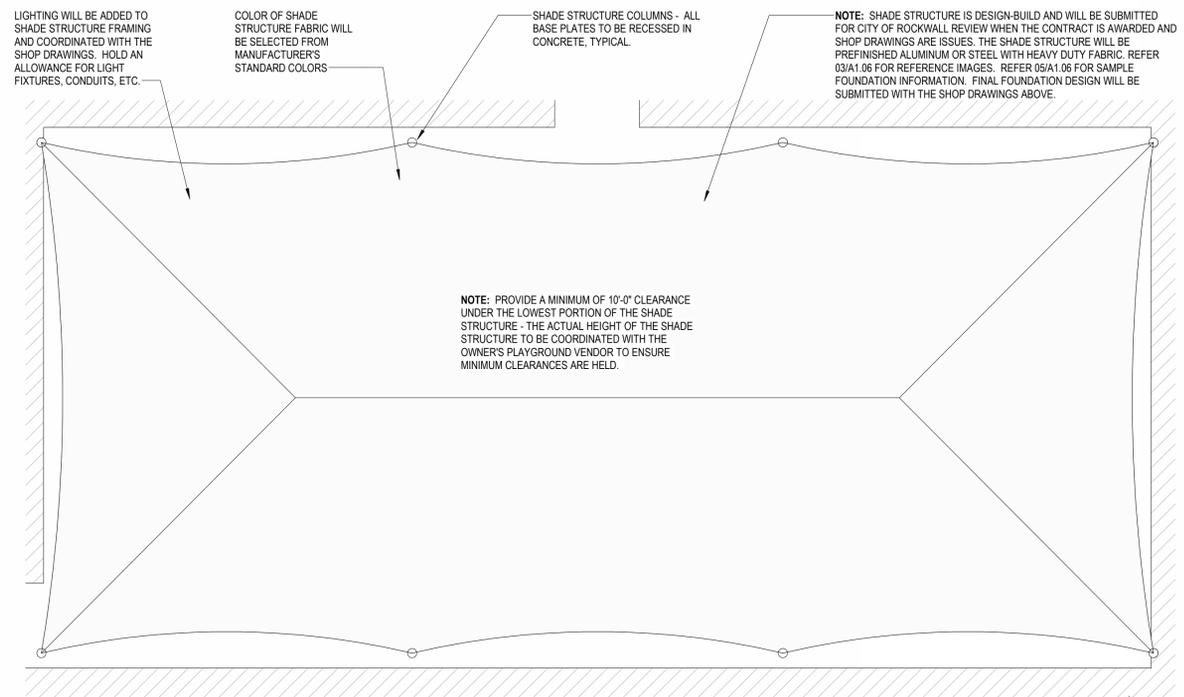
LIGHTING WILL BE ADDED TO SHADE STRUCTURE FRAMING AND COORDINATED WITH THE SHOP DRAWINGS. HOLD AN ALLOWANCE FOR LIGHT FIXTURES, CONDUITS, ETC.



5 REFERENCE IMAGES FOR THE DINNING AREA SHADE STRUCTURE  
SCALE: NO SCALE

2 ENLARGED SITE PLAN - DINNING AREA SHADE STRUCTURE  
SCALE: 1/8" = 1'-0"

3 CANOPY COLUMN FOUNDATION  
SCALE: NO SCALE



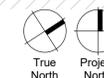
LIGHTING WILL BE ADDED TO SHADE STRUCTURE FRAMING AND COORDINATED WITH THE SHOP DRAWINGS. HOLD AN ALLOWANCE FOR LIGHT FIXTURES, CONDUITS, ETC.

COLOR OF SHADE STRUCTURE FABRIC WILL BE SELECTED FROM MANUFACTURER'S STANDARD COLORS.

SHADE STRUCTURE COLUMNS - ALL BASE PLATES TO BE RECESSED IN CONCRETE, TYPICAL.

NOTE: SHADE STRUCTURE IS DESIGN-BUILD AND WILL BE SUBMITTED FOR CITY OF ROCKWALL REVIEW WHEN THE CONTRACT IS AWARDED AND SHOP DRAWINGS ARE ISSUES. THE SHADE STRUCTURE WILL BE PREFINISHED ALUMINUM OR STEEL WITH HEAVY DUTY FABRIC. REFER 05/A1.06 FOR REFERENCE IMAGES. REFER 05/A1.06 FOR SAMPLE FOUNDATION INFORMATION. FINAL FOUNDATION DESIGN WILL BE SUBMITTED WITH THE SHOP DRAWINGS ABOVE.

NOTE: PROVIDE A MINIMUM OF 10'-0" CLEARANCE UNDER THE LOWEST PORTION OF THE SHADE STRUCTURE - THE ACTUAL HEIGHT OF THE SHADE STRUCTURE TO BE COORDINATED WITH THE OWNER'S PLAYGROUND VENDOR TO ENSURE MINIMUM CLEARANCES ARE HELD.



4 REFERENCE IMAGES FOR THE DINNING AREA SHADE STRUCTURE  
SCALE: NO SCALE

1 ENLARGED SITE PLAN - PLAYGROUND SHADE STRUCTURE  
SCALE: 1/8" = 1'-0"



JOHN PAUL DEFRANK, AIA NCARB  
STATE OF TEXAS 19612

ARCHITECT SEAL

CURRENT SUBMISSION: DESIGN DEVELOPMENT

#	DATE	SUBMISSION
A	04/11/2025	100% DESIGN DEVELOPMENT

LAKEPOINTE CHURCH  
ROCKWALL CAMPUS:  
SOUTH PLAZA

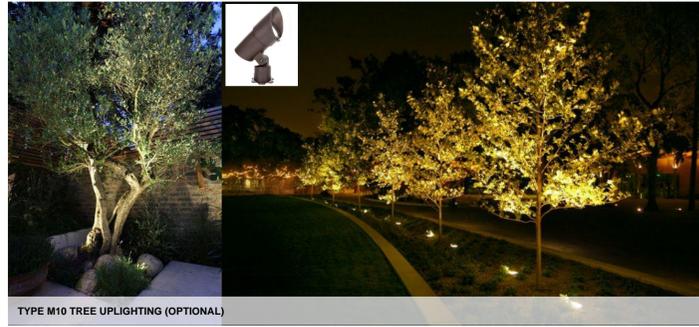
SHADE STRUCTURES



TYPE P1 PEDESTRIAN LIGHT POLES



TYPE M1 PATH LIGHT BOLLARDS



TYPE M10 TREE UPLIGHTING (OPTIONAL)



This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**SITE PLAN SIGNATURE BLOCK:**

**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_ day of \_\_\_\_.

WITNESS OUR HANDS, this \_\_\_ day of \_\_\_\_.

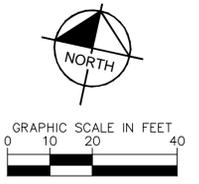
\_\_\_\_\_  
*Planning & Zoning Commission, Chairman*                      *Director of Planning and Zoning*

**HARDSCAPE PLAN LAKEPOINTE CHURCH PLAZA**

ADDRESS: 701 130, TX  
 OVERLAY DISTRICT: IH-30, (PT OF 34.49 AC TR)  
 RCAD PROP ID: 53836  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

**OWNER:** LAKEPOINTE CHURCH  
 701 E INTERSTATE 30,  
 ROCKWALL, TX 75087  
 (469) 898-2200

**LANDSCAPE ARCHITECT:**  
 KIMLEY-HORN AND ASSOCIATES, INC  
 6180 WAREN PKWY, SUITE 210  
 FRISCO, TX 75034  
 PHONE: 972-335-3580  
 CONTACT: NIK ADAMS, PLA.

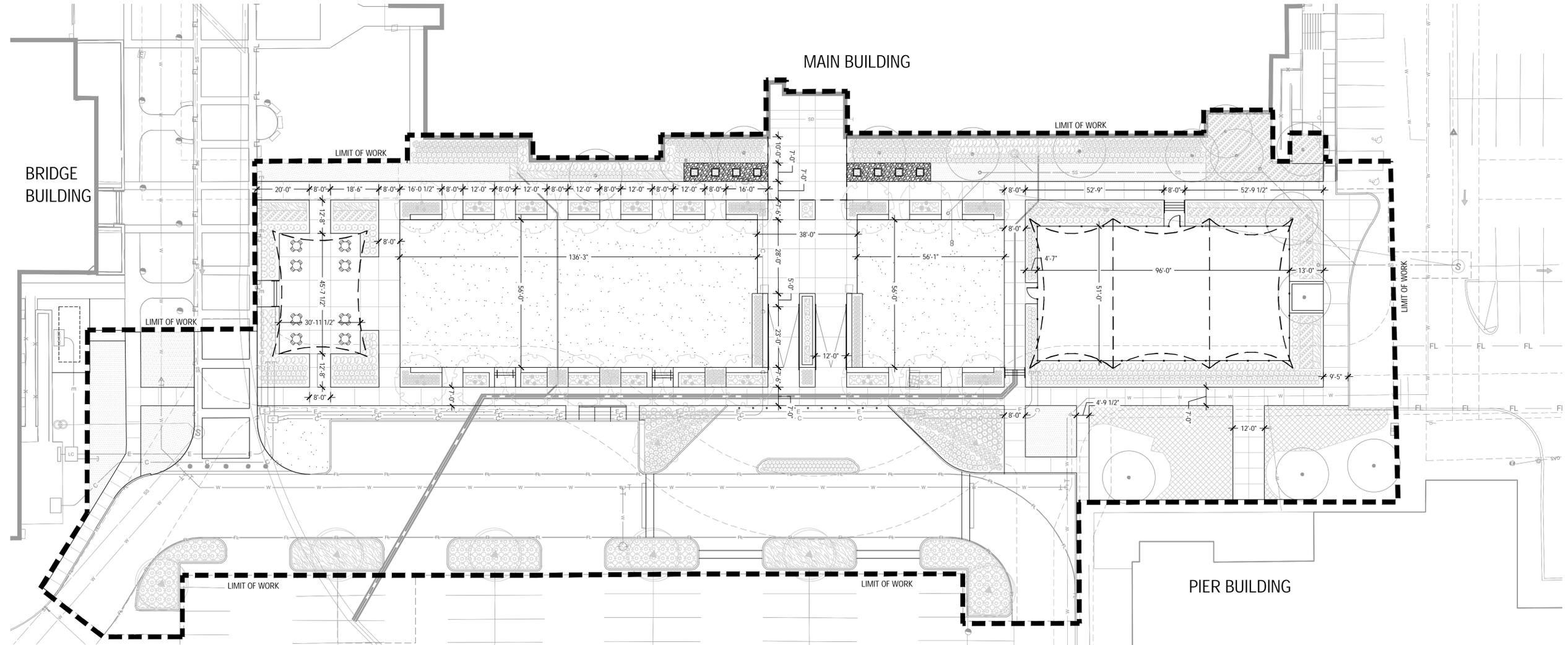


**CAUTION!!**

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



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No.	REVISIONS	DATE	BY

**Kimley»Horn**

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 13455 NOEL ROAD, SUITE 700, DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM

TEXAS REGISTERED ENGINEERING FIRM F-928

FOR REVIEW ONLY  
 Not for construction or permit purposes.

**Kimley»Horn**

P.L.A. NIKOLAUS B. ADAMS  
 L.A. No. 3404 Date: 4/17/2025

KHA PROJECT	DATE
	4/17/2025
SCALE: AS SHOWN	DESIGNED BY: NBA
	DRAWN BY: NBA, AKR
	CHECKED BY: NBA

**DIMENSIONAL CONTROL PLAN**

**LAKEPOINTE CHURCH PLAZA**  
 TOWN OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS

SHEET NUMBER  
**LH 1.02**