



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **E Corner of the intersection of S Goliad St and SH 276**

SUBDIVISION **Unplatted - W.H. Barnes Survey, Abstract No. 26** LOT **N/A** BLOCK **N/A**

GENERAL LOCATION **E Corner of the intersection of S Goliad St and SH 276**

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-10** CURRENT USE **Undeveloped**

PROPOSED ZONING **PD-10** PROPOSED USE **Medical Office**

ACREAGE **8.4841** LOTS [CURRENT] **N/A** LOTS [PROPOSED] **2**

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **Vue Real Estate**

APPLICANT **Kimley-Horn**

CONTACT PERSON **Jeff Brockette**

CONTACT PERSON **Jake Hodges**

ADDRESS **9600 N Central Expressway  
Suite 100**

ADDRESS **203 W Nash St, Suite 100**

CITY, STATE & ZIP **Dallas, Texas 75231**

CITY, STATE & ZIP **Terrell, Texas 75160**

PHONE **Address**

PHONE **972-588-4263**

E-MAIL **Dani.carr@vuerealestate.com**

E-MAIL **Jake.Hodges@kimley-horn.com**

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeffrey T. Brockette [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

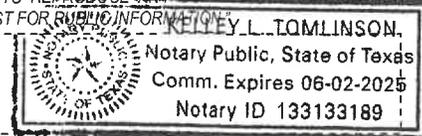
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14<sup>th</sup> DAY OF April, 2025

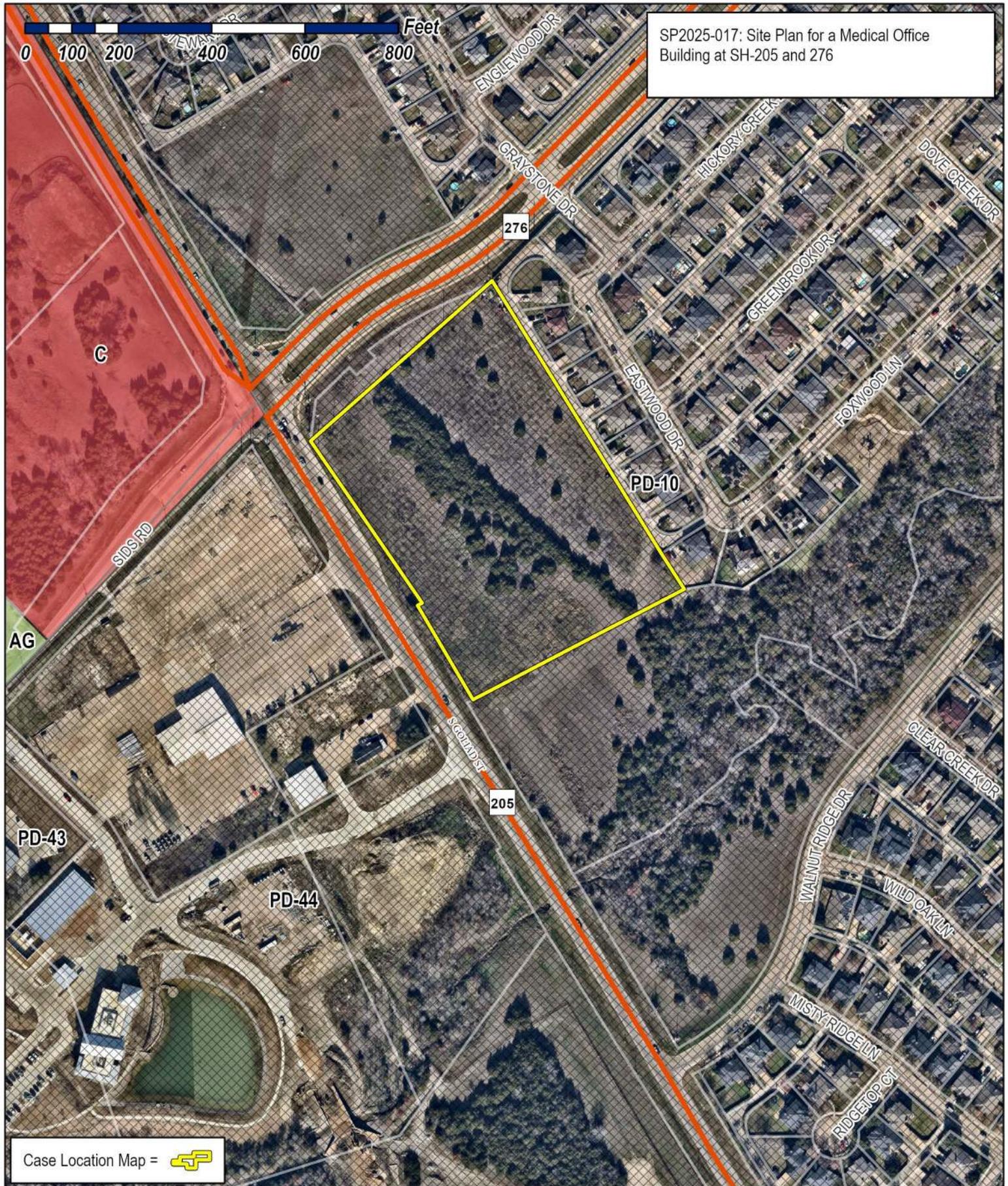
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

*Jeffrey T. Brockette*  
*Kelley H. Tomlinson*



MY COMMISSION EXPIRES 6/2/2025



SP2025-017: Site Plan for a Medical Office Building at SH-205 and 276

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







SI #: 25101

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY  
276 BYPASS  
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

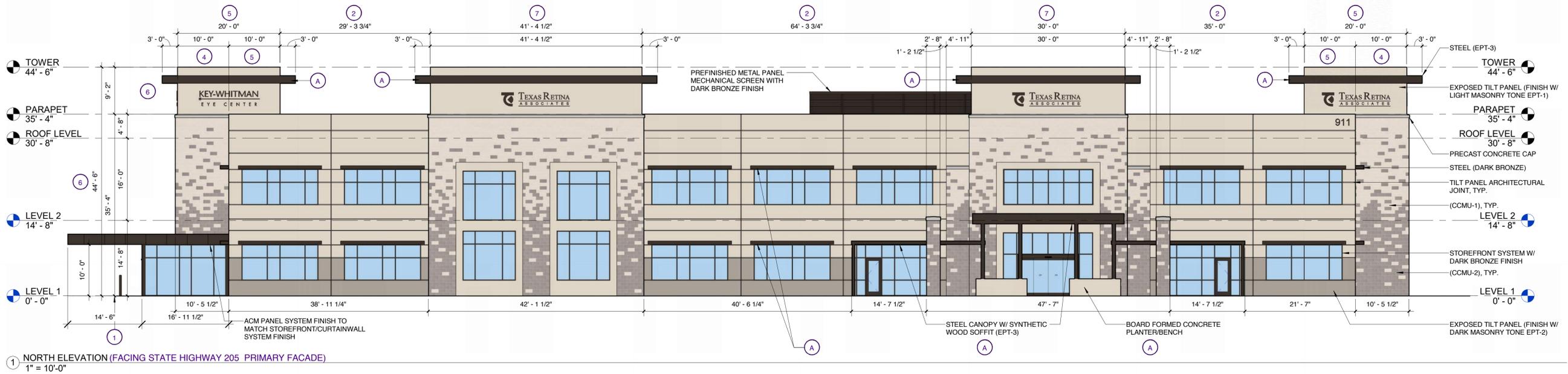
DRAWN BY: WLI

EXTERIOR  
ELEVATIONS -  
COLOR

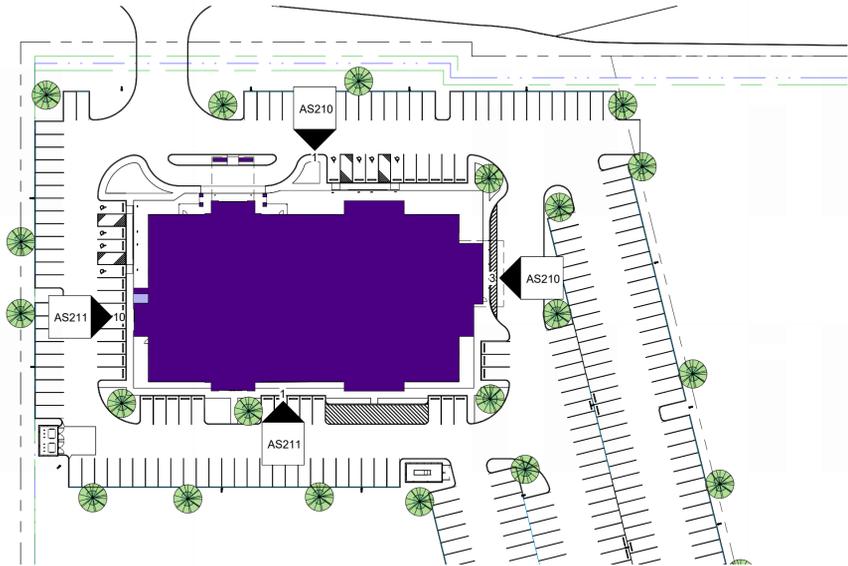
DRAWING NUMBER:

**AS210**

SCALE: AS INDICATED



1 NORTH ELEVATION (FACING STATE HIGHWAY 205 PRIMARY FACADE)  
1" = 10'-0"



2 ARCHITECTURAL ELEVATION LEGEND  
1" = 60'-0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
NORTH ELEVATION	9,534	2,302	7,232	4,881	2,351	24.1%	51%	25%
EAST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%
SOUTH ELEVATION	9,534	2,224	7,310	4,967	2,343	23.3%	52%	25%
WEST ELEVATION	5,367	1,210	4,157	2,908	1,249	22.5%	70%	30%

**PRIMARY FACADE ARTICULATION COMPLIANCE KEY NOTES:**

- 1 WALL HEIGHT. THE WALL HEIGHT SHALL BE MEASURED FROM GRADE TO THE TOP OF THE WALL.  
PROPOSED WALL HEIGHT IS AT 35'-4" (REFER TO ELEVATIONS)
- 2 WALL LENGTH. THE MAXIMUM WALL LENGTH SHALL NOT EXCEED THREE (3) TIMES THE WALL HEIGHT (I.E. 3 X 1 ≥ 2).  
35'-4" (3) = 106'-0" (COMPLIES) MAX LENGTH PROPOSED IS 64'-3 3/4".
- 3 SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE MINIMUM LENGTH OF THE SECONDARY ENTRYWAY OR PROJECTING ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL LENGTH (I.E. 25% X 2 ≤ 3).  
NORTH/SOUTH: 64'-3 3/4" (25%) = 16' 15/16"  
SECONDARY FEATURE SHOWN AS 30' 0" (COMPLIES)
- 4 WALL PROJECTION. THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 ≤ 4).  
35'-4" (25%) = 8'-10" (COMPLIES)  
NORTH AND SOUTH ARE PROPOSED AT 9'-0".  
EAST AND WEST ARE PROPOSED AT 10'-0".
- 5 PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT WIDTH. THE MINIMUM WALL WIDTH OF THE PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL EXTEND TWICE THE REQUIRED WALL PROJECTION (I.E. 2 X 4 ≥ 5).  
2(8'-10") = 17'-8" (COMPLIES) PROPOSED AT 18'-0"
- 6 PROJECTION HEIGHT. THE PRIMARY AND SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT SHALL EXTEND A MINIMUM OF 25% OF THE WALL HEIGHT ABOVE THE TOP OF THE WALL (I.E. 25% X 1 ≤ 6).  
35'-4" (100%) + 8'-10" (25%) = 44'-2" (125%) TOTAL (COMPLIES)  
PROPOSED AT 9'-2" OR 44'-6" TOTAL.
- 7 PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT LENGTH. THE PRIMARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL MEET ALL OF THE SAME PROJECTIONS AS THE SECONDARY ENTRYWAYS/ARCHITECTURAL ELEMENT, BUT SHALL EXTEND A MINIMUM OF TWICE THE LENGTH OF THE SECONDARY ELEMENT (I.E. 2 X 3 ≥ 7).  
NORTH/SOUTH ELEVATION:  
2(16' 15/16") = 32'-7/8" (COMPLIES) SHOWN AT 41'-4 1/2".  
EAST/WEST ELEVATION:  
2(13'-1 1/2") = 26'-3" (COMPLIES) SHOWN AT 33'-1".

ADDITIONAL ARCHITECTURAL ELEMENT

**ADDITIONAL NOTES:**

- SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR EXPOSED CONCRETE TILT PANEL VS. MASONRY
- SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



3 EAST ELEVATION (FACES PROPERTY W/ COMMERCIAL ZONING)  
1" = 10'-0"

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_\_\_

WITNESSED OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



SI #: 25101

VUE REALTY GROUP, LLC.

ROCKWALL MOB

STATE HIGHWAY 205 AND STATE HIGHWAY  
276 BYPASS  
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

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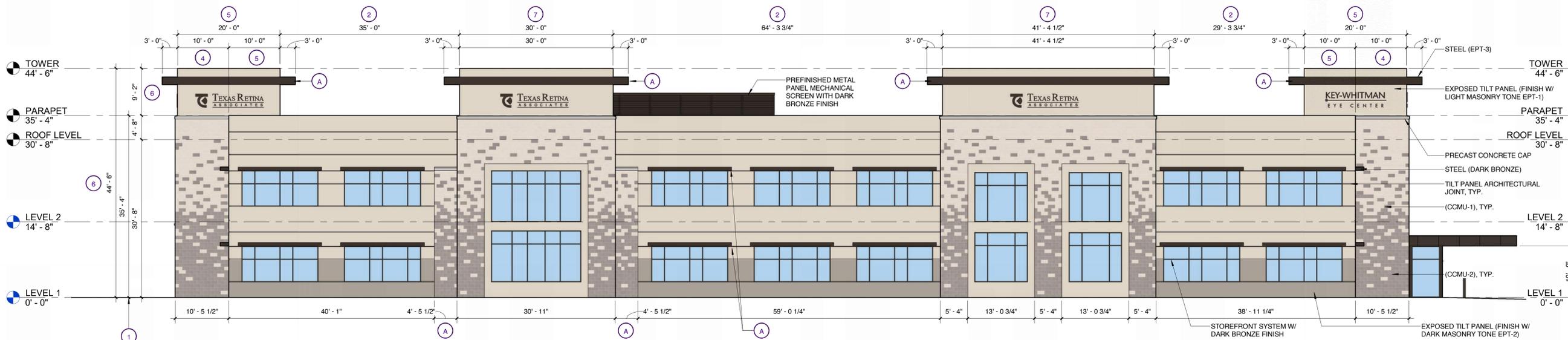
DRAWN BY: WLI

EXTERIOR  
ELEVATIONS -  
COLOR

DRAWING NUMBER:

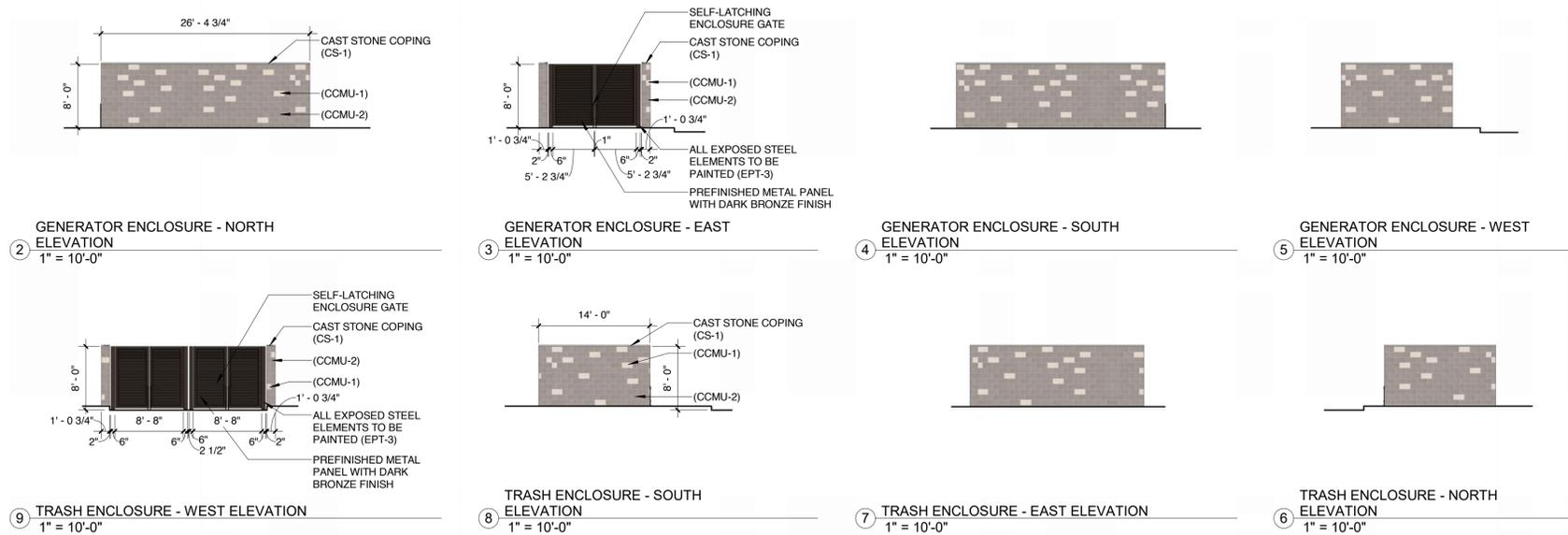
AS211

SCALE: AS INDICATED



1 SOUTH ELEVATION (FACING RESIDENTIAL - PRIMARY FACADE)  
1" = 10'-0"

NOTE:  
GENERATOR ENCLOSURE HEIGHT TO BE SET AT 8" ABOVE FINAL GENERATOR DESIGN.



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NORTH/SOUTH: 64'-3 3/4" (25%) = 16' 15/16"  
WEST/EAST: 52'-6" (25%) = 13' - 1 1/2" (NO SECONDARY FEATURE SHOWN - NEED TO REQUEST VARIANCE)
- WALL PROJECTION:** THE MINIMUM WALL PROJECTION FOR A PRIMARY AND/OR SECONDARY ENTRYWAY/ARCHITECTURAL ELEMENT SHALL BE 25% OF THE WALL HEIGHT (I.E. 25% X 1 ≤ 4).  
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**ADDITIONAL NOTES:**

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- SEEKING VARIANCE/ALTERNATIVE COMPLIANCE FOR CUSTOM CONCRETE MASONRY UNITS FOR 20% STONE.



10 WEST ELEVATION (FACING RESIDENTIAL - SECONDARY FACADE)  
1" = 10'-0"

	TOTAL FACADE AREA (S.F.)	TOTAL GLAZING AREA (S.F.)	TOTAL AREA MINUS GLAZING (S.F.)	TOTAL TILT PANEL AREA (S.F.)	TOTAL BURNISHED BLOCK AREA (S.F.)	TOTAL GLAZING PERCENTAGE (S.F.)	TOTAL EXPOSED TILT PANEL PERCENTAGE	TOTAL BURNISHED BLOCK PERCENTAGE
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SITE PLAN SIGNATURE BLOCK

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WITNESSED OUR HANDS, THIS \_\_\_ DAY OF \_\_\_\_\_

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



**SOUTHWEST PERSPECTIVE/RENDERING - VIEW FROM STATE HIGHWAY 205**



**SOUTHEAST PERSPECTIVE/RENDERING - VIEW FROM INTERIOR OF SITE**

**FINISH LEGEND - MATERIAL BOARD:**



**(CCMU-1):**  
CUSTOM CONCRETE MASONRY UNIT  
MFR: FEATHERLITE  
FINISH: LIMESTONE  
MORTAR: TBD



**(EPT-1):**  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7516 KESTREL WHITE



**(CCMU-2):**  
CUSTOM CONCRETE MASONRY UNIT  
MFR: FEATHERLITE  
FINISH: GRAY  
MORTAR: TBD



**(EPT-2):**  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7024 FUNCTIONAL GRAY



**STOREFRONT SYSTEM:**  
MFR: KAWNEER OR EQUAL  
FINISH: DARK BRONZE ANODIZED



**(EPT-3):**  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7048 - URBANE BRONZE



**(SOFFIT):**  
SOFFIT MATERIAL  
MFR: MAC METAL  
COLLECTION: HARRYWOOD  
FINISH: CORK



**(CS-1):**  
CONCRETE CAST STONE  
MFR: SITEWORKS ARCHITECTURAL  
CAST STONE  
FINISH: NATURAL



SI #: 25101

VUE REALTY GROUP, LLC.

**ROCKWALL MOB**

STATE HIGHWAY 205 AND STATE HIGHWAY  
276 BYPASS  
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

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REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

DRAWN BY: WLI

**BUILDING MATERIAL SAMPLE BOARD & COLOR RENDERINGS**

DRAWING NUMBER:

**AS220**

SCALE: AS INDICATED

SITE PLAN SIGNATURE BLOCK

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PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



**NORTHWEST PERSPECTIVE/RENDERING - VIEW FROM DRIVE**

**FINISH LEGEND - MATERIAL BOARD:**



**(CCMU-1):**  
CUSTOM CONCRETE MASONRY UNIT  
MFR: FEATHERLITE  
FINISH: LIMESTONE  
MORTAR: TBD



**(EPT-1):**  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7516 KESTREL WHITE



**(CCMU-2):**  
CUSTOM CONCRETE MASONRY UNIT  
MFR: FEATHERLITE  
FINISH: GRAY  
MORTAR: TBD



**(EPT-2):**  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7024 FUNCTIONAL GRAY



**STOREFRONT SYSTEM:**  
MFR: KAWNEER OR EQUAL  
FINISH: DARK BRONZE ANODIZED



**(EPT-3):**  
EXTERIOR PAINT  
MFR: SHERWIN WILLIAMS  
FINISH: SW7048 - URBANE BRONZE



**(SOFFIT):**  
SOFFIT MATERIAL  
MFR: MAC METAL  
COLLECTION: HARRYWOOD  
FINISH: CORK



**(CS-1):**  
CONCRETE CAST STONE  
MFR: SITEWORKS ARCHITECTURAL  
CAST STONE  
FINISH: NATURAL



SI #: 25101

VUE REALTY GROUP, LLC.

**ROCKWALL MOB**

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REVISIONS		
DATE	#	DESCRIPTION

DATE: 2025.05.01

DRAWN BY: Author

**BUILDING MATERIAL SAMPLE BOARD & COLOR RENDERINGS**

DRAWING NUMBER:

**AS221**

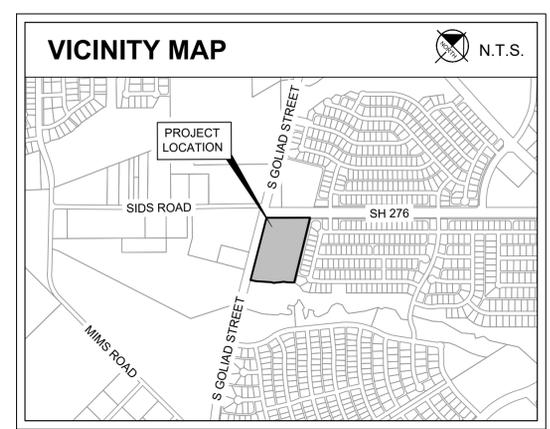
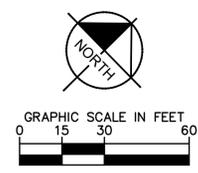
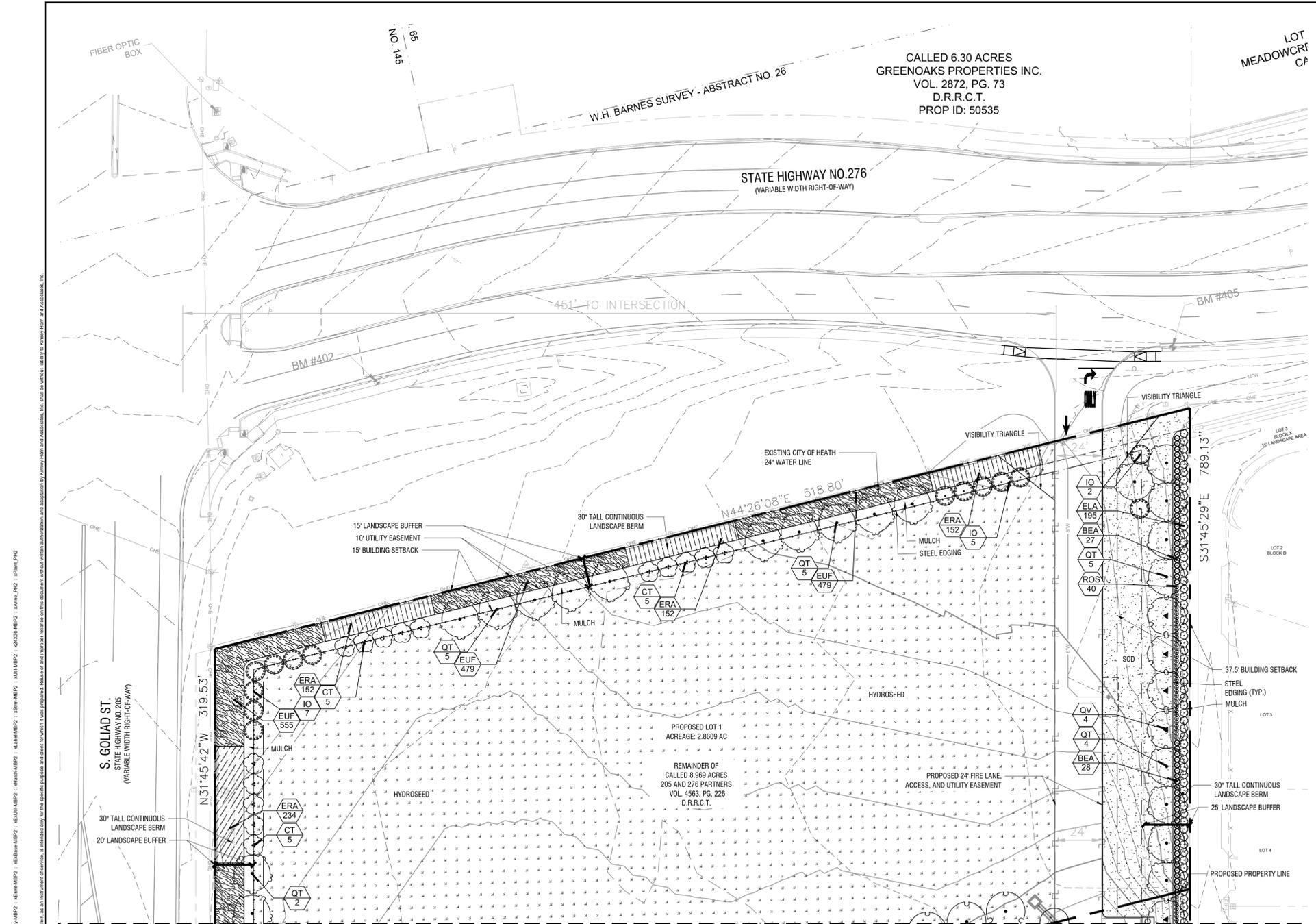
SCALE: AS INDICATED

SITE PLAN SIGNATURE BLOCK

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PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING



CITY OF ROCKWALL LANDSCAPE REQUIREMENTS		
LANDSCAPE MATERIAL (SECTION 4.A)	REQUIRED	PROVIDED
Canopy Trees shall be a minimum of 4" caliper	Yes	Yes
Accent Trees shall be a minimum of 4 ft in total height		
Shrubs shall be a minimum of 3 gallons in size		
RESIDENTIAL ZONE - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
A minimum of a 25-foot wide landscaped buffer must be installed for buildings with a building footprint of 25,000 SF to 49,999 SF (Subsection 04.01.E(4), Article 05, UDC)	25 ft	25 ft
6 ft masonry fence (Subsection 05.02.B, Article 08, UDC)	6 ft fence	6 ft fence
1 canopy trees / 20 lf (Subsection 05.02.B, Article 08, UDC)	16 canopy trees	16 canopy trees
314 lf / 20 lf = 16 canopy trees		
STATE HIGHWAY NO. 276 - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
Retail/Commercial Land Uses: 15-foot (Subsection 06.02.E, Article 05, UDC)	15 ft	15 ft
Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopy trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	11 canopy trees	11 canopy trees
519 lf / 100 lf * 2 = 11 canopy trees		
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	21 accent trees	21 accent trees
519 lf / 100 lf * 4 = 21 accent trees		
S GOLIAD ST. (SH-205) - LANDSCAPE BUFFERS	REQUIRED	PROVIDED
SH-205 Overlay District: 20 ft (Subsection 06.02.E, Article 05, UDC)	20 ft	20 ft
Berms and shrubbery shall each have a minimum height of 30-inches and a maximum height of 48-inches. (Subsection 06.02.E, Article 05, UDC)	30 in	30 in
2 canopy trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	7 canopy trees	7 canopy trees
314 lf / 100 lf * 2 = 7 canopy trees		
4 accent trees / 100 lf (Subsection 06.02.E, Article 05, UDC)	13 accent trees	13 accent trees
314 lf / 100 lf * 4 = 13 accent trees		
PARKING LOT LANDSCAPING	REQUIRED	PROVIDED
Parking lots with more than two rows of parking spaces shall have a minimum of 200 sf of landscaping. (Subsection 05.03.E, Article 08, UDC)	200 sf	200 sf
No parking spaces may be located more than 80-feet from the trunk of a canopy tree. (Subsection 05.03.E, Article 08, UDC)	80 ft	80 ft
LANDSCAPE REQUIREMENTS	REQUIRED	PROVIDED
Zoning District: Commercial (C) District 20% required landscaping areas. (Subsection 05.03.A, Article 08, UDC)	43,647 sf (20%)	45,354 sf (20.8%)
20% x 218,234 sf = 43,647 sf		
A minimum of 50% of the required landscaping shall be located in the front of and along the side of buildings with street frontage. (Subsection 05.03.A, Article 08, UDC)	21,824 sf (50%)	*21,824 sf (50%)
50% x 43,647 sf = 21,824 sf		
DETENTION BASIN REQUIREMENTS	REQUIRED	PROVIDED
1 canopy tree / 750 sf (Subsection 05.03.D, Article 08, UDC)	69 canopy trees	69 canopy trees
52000 sf / 750 sf = 69 canopy trees		
1 accent tree / 1500 sf (Subsection 05.03.D, Article 08, UDC)	34 accent trees	34 accent trees
52000 sf / 1500 sf = 34 accent trees		
SCREENING REQUIREMENTS	REQUIRED	PROVIDED
Trash/Recycling enclosures shall be four sided. These receptacles shall be screened by a minimum six foot, solid masonry dumpster enclosure.	6 ft wall	6 ft wall
1 canopy tree / 20 lf (Subsection 01.05.E, Article 05, UDC)	4 canopy trees	4 canopy trees
62 lf / 20 lf = 4 canopy trees		
Screened with evergreen shrubs (Subsection 01.05.B, Article 05, UDC)	Yes	Yes

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME
<b>TREES</b>			
AG	19		Acer rubrum 'October Glory' TM / October Glory Maple
QT	57		Quercus texana / Texas Red Oak
QV	31		Quercus virginiana / Southern Live Oak
TD	15		Taxodium distichum / Bald Cypress
UC	20		Ulmus crassifolia / Cedar Elm
CT	40		Cercis canadensis / Eastern Redbud
IO	37		Ilex decidua / Possumhaw Holly
<b>SHRUBS</b>			
BEA	236		Berberis atropurpurea 'Rose Glow' / Red Leaf Japanese Barberry
ELA	195		Elaeagnus pungens / Eleagnus
HES	33		Hesperaloe parviflora / Red Yucca
ILB	317		Ilex cornuta 'Burfordii' / Burford Holly
LLS	113		Leucophyllum langmaniae 'Lynn's Legacy' / Texas Sage
ROS	249		Rosmarinus officinalis / Rosemary
YCA	59		Yucca filamentosa 'Color Guard' / Adam's Needle
<b>GRASSES</b>			
CKG	80		Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass
NAS	225		Nassella tenuissima / Mexican Feather Grass
PEH	402		Pennisetum alopecuroides 'Hamelin' / Hamelin Dwarf Fountain Grass
<b>GROUNDCOVERS</b>			
DW	332		Dianthus gratianopolitanus 'Firewitch' / Firewitch Cheddar Pink
<b>GROUND COVERS</b>			
ERA	1,352		Eragrostis curvula / Weeping Lovegrass
EUF	3,888		Euonymus fortunei 'Coloratus' / Purple-leaf Winter Creeper
HAD	127		Hemerocallis fulva 'Aztec Gold' / Aztec Gold Daylily
LG	364		Liriope gigantea / Giant Liriope
LIR	431		Liriope muscaris / Liriope
NC	142		Nepeta mussinii / Catnip
<b>MISC</b>			
SOD	TBD		Cynodon dactylon / Common Bermuda
HYDRO SEED	TBD		Cynodon dactylon / Common Bermuda
SEED MIX	TBD		Detention Pond and Slope Mix
DG	TBD		Decomposed Granite
STEEL EDGING	TBD		Steel Edging
MULCH	TBD		Shredded Hardwood Mulch

**SITE PLAN SIGNATURE BLOCK**

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

Pervious	Impervious
26%	74%
(41,805 sf)	(117,463 sf)

NOTE: IRRIGATION WILL MEET REQUIREMENTS OF UDC.  
 NOTE: REFER TO SHEET LP 3.03 TO SEE FULL LANDSCAPE TABLE  
 NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.  
 NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

**PROJECT NUMBER: SP2025-XXX**

**LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING**

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
 CURRENT ZONING: PD-10  
 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR  
 KIMLEY-HORN AND ASSOCIATES, INC.  
 ADDRESS: 203 WEST NASH ST, SUITE 100  
 TERRELL, TX 75160  
 PHONE: (972) 568-4263  
 CONTACT: MATT LUCAS, P.E.

OWNER  
 VUE REAL ESTATE  
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100  
 DALLAS, TX 75231  
 PHONE: (972) 556-1700  
 CONTACT: JEFF BROCKETTE

APPLICANT  
 VUE REAL ESTATE  
 ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100  
 DALLAS, TX 75231  
 PHONE: (855) 228-7440  
 CONTACT: JEFF BROCKETTE

ARCHITECT  
 BLUE FIN DESIGN  
 ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B  
 AUSTIN, TX 78728  
 PHONE: (855) 228-7440  
 CONTACT: WARREN L. INCE

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-239-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
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FOR REVIEW ONLY  
 Not for construction or permit purposes.  
**Kimley»Horn**  
 P.L.A. MICHAEL S. ADAMS  
 L.A. No. 3454 Date: 5/2/2025

ROCKWALL MEDICAL BUILDING  
 PREPARED FOR  
 VUE REAL ESTATE  
 CITY OF ROCKWALL, TX

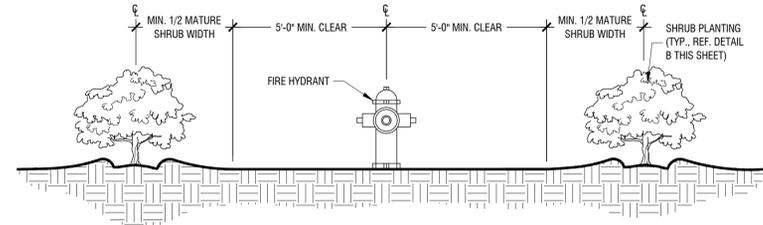
LANDSCAPE PLAN  
 SHEET NUMBER  
**LP 1.01**

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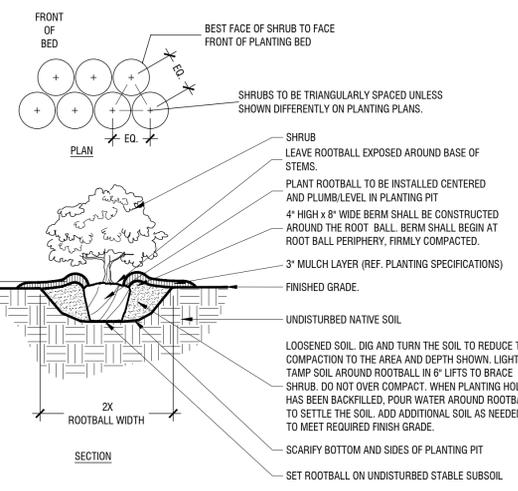
- NOTES:
- REF. PLANTING AND PLANTING SOIL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  - REF. PLANTING SCHEDULE AND PLANTING PLANS FOR SPACING/LAYOUT.
  - WHEN SHRUBS ARE MASSED TOGETHER WITH GROUNDCOVER BEDS, ALL SOIL IN BED TO BE AMENDED. (REF. PLANTING SPECIFICATIONS)



Shrub Planting at Fire Hydrant

Scale: NTS

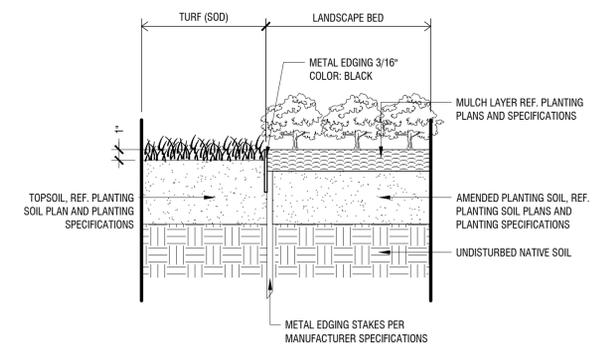
E



Typical Shrub Planting

Scale: NTS

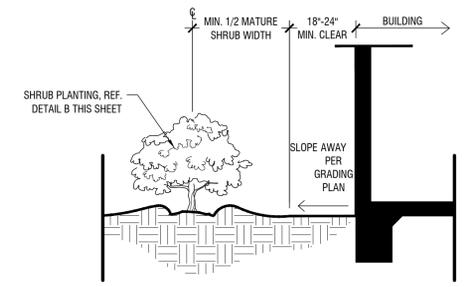
B



METAL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

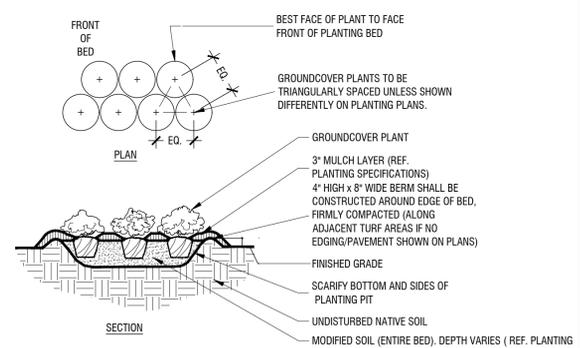
H



Shrub Planting at Building Edge

Scale: NTS

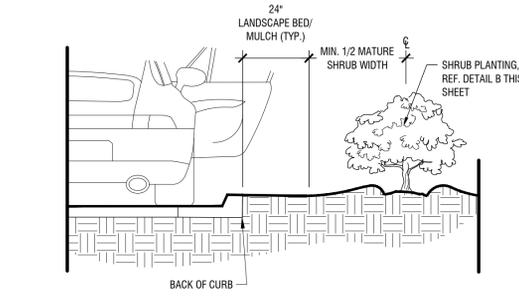
D



Typical Groundcover Planting

Scale: NTS

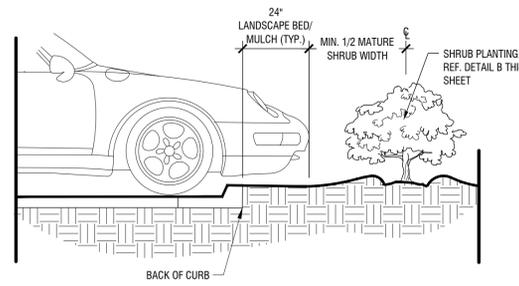
A



Shrub Planting at Curb

Scale: NTS

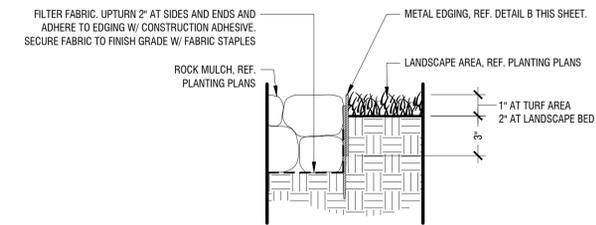
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Shrub Planting at Curb

Scale: NTS

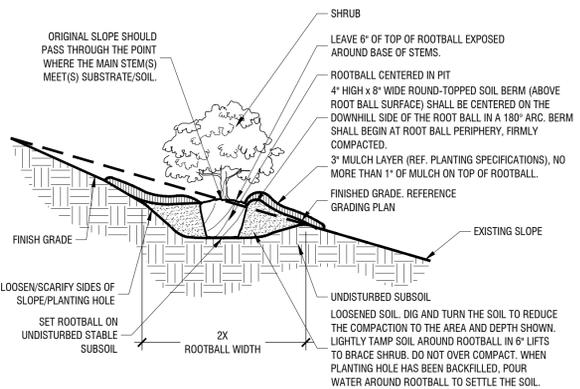
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METAL EDGING (AT ROCK COBBLE BED)

Scale: 1 1/2" = 1'-0"

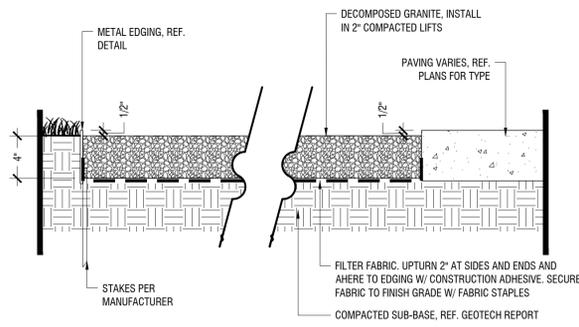
G



Shrub Planting On 5-50% (20:1 TO 2:1) Slope

Scale: NTS

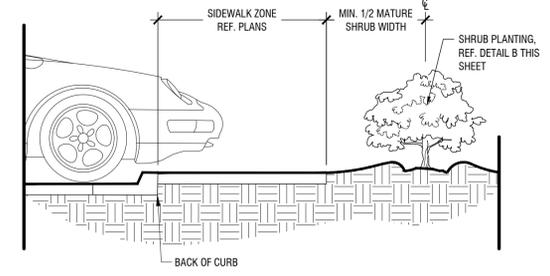
C



Decomposed Granite

Scale: 1 1/2" = 1'-0"

I



Shrub Planting at Sidewalk

Scale: NTS

F

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE DETAILS FOR ROCKWALL MEDICAL BUILDING

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS CURRENT ZONING: PD-10 PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR: KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 (972) 568-4263 CONTACT: MATT LUCAS, P.E.  
 OWNER: VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE  
 APPLICANT: VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 (972) 556-1700 CONTACT: JEFF BROCKETTE  
 ARCHITECT: BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 (855) 228-7440 CONTACT: WARREN L. INCE

**Kimley-Horn**  
 13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-238-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
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FOR REVIEW ONLY  
 Not for construction or permit purposes.  
**Kimley-Horn**  
 P.L.A. NICHOLAS B. ADAMS  
 L.A. No. 3454 Date: 5/2/2025

KHA PROJECT	060016600
DATE	5/2/2025
SCALE	AS SHOWN
DESIGNED BY	KAE
DRAWN BY	KAE
CHECKED BY	NBA

ROCKWALL MEDICAL BUILDING  
 PREPARED FOR  
 VUE REAL ESTATE  
 CITY OF ROCKWALL, TX

LANDSCAPE DETAILS

SHEET NUMBER  
**LP 3.02**

NO.	REVISIONS	DATE

IMAGES COURTESY OF: PHOTOS BY: JEFFREY W. HARRIS  
 PLOTTED BY: ELIZABETH KYLE 05/02/2025 10:31 AM  
 LAST SAVED: 5/2/2025 10:31 AM  
 PLOT DATE: 5/2/2025 10:31 AM  
 PLOT TIME: 10:31 AM  
 PLOT NAME: LP 3.02  
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PLANT SCHEDULE

Table with columns: SYMBOL, CODE, QTY, BOTANICAL / COMMON NAME, SPECIFICATIONS, REMARKS. Includes sections for TREES, ORNAMENTAL TREE, SHRUBS, GRASSES, GROUND COVERS, and MISC.

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

- 1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK' BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

GENERAL LANDSCAPE SPECIFICATIONS AND NOTES

- A. SCOPE OF WORK
1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

- L. DIGGING AND HANDLING
1. PROTECT ROOTS OR BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKAGE AND DRYING OUT DURING TRANSPORT.

- S. LAWN SODDING
1. THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETION IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER.

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

PROJECT NUMBER: SP2025-XXX

LANDSCAPE PLAN FOR ROCKWALL MEDICAL BUILDING
8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS
CURRENT ZONING: PD-10
PROPOSED LAND USE: MEDICAL BUILDING

MAY 2, 2025

ENGINEER / SURVEYOR
KIMLEY-HORN AND ASSOCIATES, INC.
ADDRESS: 203 WEST NASH ST, SUITE 100
TERRELL, TX 75160
PHONE: (972) 568-0263
CONTACT: MATT LUCAS, P.E.

OWNER
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 1008
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

APPLICANT
VUE REAL ESTATE
ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 1008
DALLAS, TX 75231
PHONE: (972) 556-1700
CONTACT: JEFF BROCKETTE

Kimley»Horn
13455 NOEL RD. TWO GALLERIA OFFICE TOWER
SUITE 700 DALLAS, TX 75240
PHONE: 972-770-1900 FAX: 972-239-9820
WWW.KIMLEY-HORN.COM TX F-928

FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley»Horn
P.L.A. N. 3464 Date: 5/02/25

KHA PROJECT 060016600
DATE 5/2/2025
SCALE AS SHOWN
DESIGNED BY KAE
DRAWN BY KAE
CHECKED BY NBA

ROCKWALL MEDICAL BUILDING
PREPARED FOR
VUE REAL ESTATE
CITY OF ROCKWALL, TX

LANDSCAPE SPECIFICATIONS AND NOTES

SHEET NUMBER LP 3.03

REVISIONS DATE

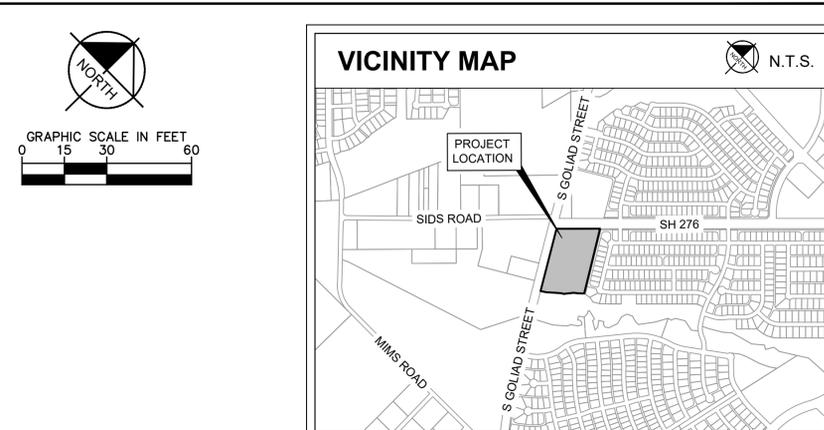
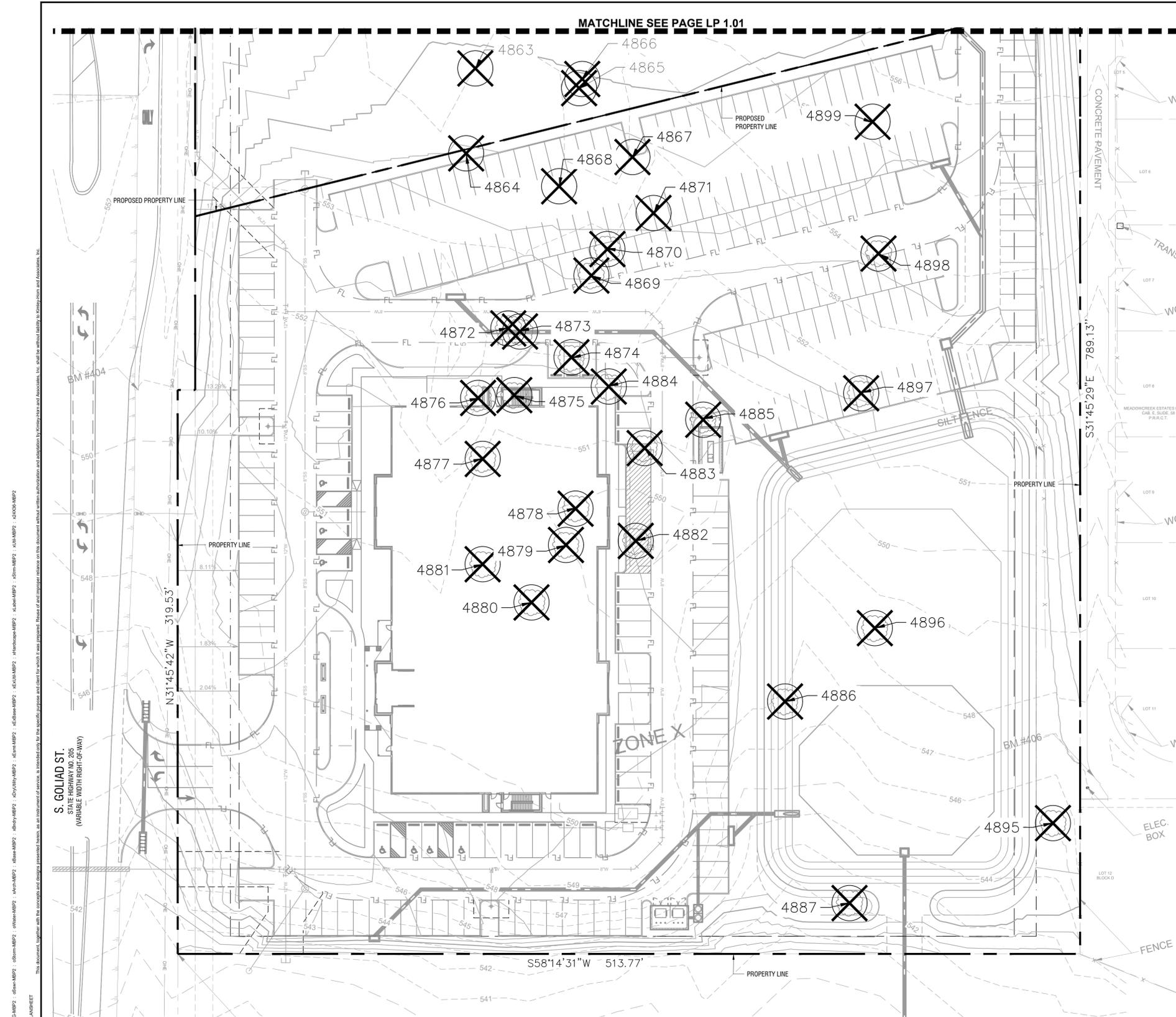
No.

BY

DATE

Vertical text on the left margin: This document, together with the associated bid and design, represents the entire contract. It is to be read in conjunction with the general conditions of contract, the specifications, and the drawings. It is the responsibility of the contractor to verify the accuracy of all information and to obtain all necessary permits. It is the responsibility of the contractor to obtain all necessary permits. It is the responsibility of the contractor to obtain all necessary permits.





Outside Proposed Property Line					
#	SPECIES	CALIPER (IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)
4855	Eastern Redcedar / <i>Juniperus virginiana</i>	13.9 (15 ft tall)	Remove	Healthy (5)	4
4856	Eastern Redcedar / <i>Juniperus virginiana</i>	17.3 (20 ft tall)	Remove	Healthy (5)	4
4857	Eastern Redcedar / <i>Juniperus virginiana</i>	13.7 (15 ft tall)	Remove	Healthy (5)	4
4858	Eastern Redcedar / <i>Juniperus virginiana</i>	11.1 (10 ft tall)	Remove	Healthy (5)	4
4859	Eastern Redcedar / <i>Juniperus virginiana</i>	11.4 (10 ft tall)	Remove	Healthy (5)	4
4860	Eastern Redcedar / <i>Juniperus virginiana</i>	11.1 (10 ft tall)	Remove	Healthy (5)	4
4861	Eastern Redcedar / <i>Juniperus virginiana</i>	18.8 (20 ft tall)	Remove	Healthy (5)	4
4862	Eastern Redcedar / <i>Juniperus virginiana</i>	12.2 (12 ft tall)	Remove	Healthy (5)	4
4863	Eastern Redcedar / <i>Juniperus virginiana</i>	12.3 (12 ft tall)	Remove	Healthy (5)	4
4865	Eastern Redcedar / <i>Juniperus virginiana</i>	14.7 (15 ft tall)	Remove	Healthy (5)	4
4866	Eastern Redcedar / <i>Juniperus virginiana</i>	12.6 (12 ft tall)	Remove	Healthy (5)	4
Total Mitigation Required:					44

Inside Proposed Property Line					
#	SPECIES	CALIPER (IN)	PROTECT OR REMOVE	TREE HEALTH (1-5)	MITIGATION REQUIRED (IN)
4864	Eastern Redcedar / <i>Juniperus virginiana</i>	11 (10 ft tall)	Remove	Healthy (5)	4
4867	Chittamwood / <i>Sideroxylon lanuginosum</i>	9.1 (10 ft tall)	Remove	Declining (1)	0
4868	Eastern Redcedar / <i>Juniperus virginiana</i>	15.4 (15 ft tall)	Remove	Healthy (5)	4
4869	Eastern Redcedar / <i>Juniperus virginiana</i>	14.2 (15 ft tall)	Remove	Healthy (5)	4
4870	Eastern Redcedar / <i>Juniperus virginiana</i>	19.1 (20 ft tall)	Remove	Healthy (5)	4
4871	Eastern Redcedar / <i>Juniperus virginiana</i>	11 (10 ft tall)	Remove	Healthy (5)	4
4872	Eastern Redcedar / <i>Juniperus virginiana</i>	18.2 (20 ft tall)	Remove	Healthy (5)	4
4873	Eastern Redcedar / <i>Juniperus virginiana</i>	11.1 (10 ft tall)	Remove	Healthy (5)	4
4874	Eastern Redcedar / <i>Juniperus virginiana</i>	14.3 (15 ft tall)	Remove	Healthy (5)	4
4875	Eastern Redcedar / <i>Juniperus virginiana</i>	11.4 (10 ft tall)	Remove	Healthy (5)	4
4876	Eastern Redcedar / <i>Juniperus virginiana</i>	14.3 (15 ft tall)	Remove	Healthy (5)	4
4877	Eastern Redcedar / <i>Juniperus virginiana</i>	11.2 (10 ft tall)	Remove	Healthy (5)	4
4878	Eastern Redcedar / <i>Juniperus virginiana</i>	12.4 (12 ft tall)	Remove	Healthy (5)	4
4879	Eastern Redcedar / <i>Juniperus virginiana</i>	14 (15 ft tall)	Remove	Healthy (5)	4
4880	Eastern Redcedar / <i>Juniperus virginiana</i>	15.3 (15 ft tall)	Remove	Healthy (5)	4
4881	Eastern Redcedar / <i>Juniperus virginiana</i>	15.6 (15 ft tall)	Remove	Healthy (5)	4
4882	Eastern Redcedar / <i>Juniperus virginiana</i>	13.1 (15 ft tall)	Remove	Healthy (5)	4
4883	Eastern Redcedar / <i>Juniperus virginiana</i>	14.4 (15 ft tall)	Remove	Healthy (5)	4
4884	Eastern Redcedar / <i>Juniperus virginiana</i>	13.2 (15 ft tall)	Remove	Healthy (5)	4
4885	Eastern Redcedar / <i>Juniperus virginiana</i>	12.3 (10 ft tall)	Remove	Healthy (5)	4
4886	Eastern Redcedar / <i>Juniperus virginiana</i>	15.7 (15 ft tall)	Remove	Healthy (5)	4
4887	Eastern Redcedar / <i>Juniperus virginiana</i>	11.5 (10 ft tall)	Remove	Healthy (5)	4
4885	Qedar Elm / <i>Ulmus crassifolia</i>	15.5 (15 ft tall)	Remove	Healthy (5)	4
4895	Eastern Redcedar / <i>Juniperus virginiana</i>	18.2 (20 ft tall)	Remove	Healthy (5)	4
4897	Eastern Redcedar / <i>Juniperus virginiana</i>	14.9 (15 ft tall)	Remove	Healthy (5)	4
4898	Eastern Redcedar / <i>Juniperus virginiana</i>	14.8 (15 ft tall)	Remove	Healthy (5)	4
4899	Eastern Redcedar / <i>Juniperus virginiana</i>	18.5 (20 ft tall)	Remove	Healthy (5)	4
Total Mitigation Required:					104
Grand Total Mitigation Required:					148 in



**TREE PRESERVATION AND REMOVAL NOTES**

- CONTRACTOR SHALL COORDINATE WITH ISA CERTIFIED ARBORIST AND PROPERTY OWNERS TO VERIFY OBJECTIVES PRIOR TO COMMENCING ANY PRUNING OR TREE REMOVAL ACTIVITIES.
- ALL CREW MEMBERS SHOULD BE WEARING THE APPROPRIATE SAFETY GEAR: HARD HATS, EYE PROTECTION, APPROVED BOOTS, HEARING PROTECTION, CHAIN SAW CHAPS FOR GROUNDWORK.
- ANY TREES REMOVED, AND ALL TREE MATERIALS REMOVED SHALL BE REMOVED FROM THE PROPERTY AT THE CONTRACTOR'S EXPENSE.
- ALL TRASH AND DEBRIS FROM ANY CONSTRUCTION RELATED ACTIVITIES SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE, FOLLOWING COMPLETION OF THE PROJECT.
- ANY DAMAGE TO THE EXISTING LANDSCAPE, PAVEMENT, BUILDING, OR ANY OTHER SITE FEATURES SHALL BE REPLACED BY THE CONTRACTOR AND/OR RESTORED TO PRE-CONSTRUCTION CONDITION.
- CONTRACTOR SHALL PROVIDE REMOVAL, STORAGE, AND TRANSPLANTING OF EXISTING TREES ON SITE. THE CONTRACTOR SHALL REMOVE EACH EXISTING TREE THROUGH THE USE OF HAND DIGGING, OR WITH THE USE OF AN APPROVED MECHANICAL DEVICE. TREES SHALL BE HARVESTED AS BALLED & BURLAPPED TREE SPECIMENS, PER ANSI Z80 STANDARDS, AND TRANSPORTED TO NEW LOCATION ON SITE, OR AT ALTERNATE SITE AS DIRECTED OR APPROVED BY THE OWNER. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY TO PROVIDE FOR REMOVAL, PLACEMENT OF BURLAP, PLACEMENT OF WIRE BASKET OR OTHER APPROVED BALL-SUPPORTING DEVICE, TRANSPORT TO TEMPORARY STORAGE AREA, ONGOING MAINTENANCE AND WATERING DURING CONSTRUCTION, AND RE-PLANTING TO BE PERFORMED UPON COMPLETION OF MAJOR SITE WORK. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GUIDELINES AND RECOMMENDATIONS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK.

**SITE PLAN SIGNATURE BLOCK**

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

WITNESS OUR HANDS, THIS \_\_\_\_ DAY OF \_\_\_\_, \_\_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN      DIRECTOR OF PLANNING AND ZONING

**PROJECT NUMBER: SP2025-XXX**

**TREE PRESERVATION PLAN FOR ROCKWALL MEDICAL BUILDING**

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
CURRENT ZONING: PD-10  
PROPOSED LAND USE: MEDICAL BUILDING

**MAY 2, 2025**

ENGINEER / SURVEYOR KIMLEY-HORN AND ASSOCIATES, INC. ADDRESS: 203 WEST NASH ST, SUITE 100 TERRELL, TX 75160 PHONE: (972) 588-4263 CONTACT: MATT LUCAS, P.E.	OWNER VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE
APPLICANT VUE REAL ESTATE ADDRESS: 9600 NORTH CENTRAL EXPRESSWAY, SUITE 100 DALLAS, TX 75231 PHONE: (972) 556-1700 CONTACT: JEFF BROCKETTE	ARCHITECT BLUE FIN DESIGN ADDRESS: 14205 NORTH MOPAC EXPRESSWAY, SUITE 100B AUSTIN, TX 78728 PHONE: (855) 228-7440 CONTACT: WARREN L. INCE

IMAGES: KIMLEY-HORN AND ASSOCIATES, INC. (KHA) PROJECT 060016600 DATE 5/2/2025 SCALE AS SHOWN DESIGNED BY KAE DRAWN BY KAE CHECKED BY NBA  
 PLOTTED BY JEFF BROCKETTE DATE 5/2/2025 TIME 10:00 AM  
 PLT 01 (DWG) (1 of 1)

NO.
REVISIONS
DATE

13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
 SUITE 700 DALLAS, TX 75240  
 PHONE: 972-770-1300 FAX: 972-236-3820  
 WWW.KIMLEY-HORN.COM TX F-928  
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KHA PROJECT 060016600 DATE 5/2/2025 SCALE AS SHOWN DESIGNED BY KAE DRAWN BY KAE CHECKED BY NBA

ROCKWALL MEDICAL BUILDING PREPARED FOR VUE REAL ESTATE CITY OF ROCKWALL, TX

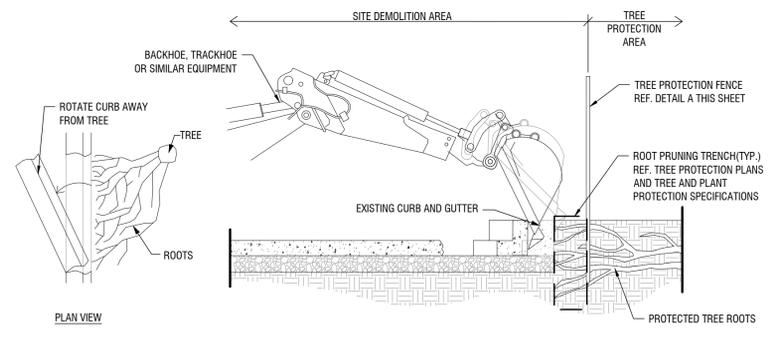
TREE PRESERVATION PLAN

PROJECT NUMBER: SP2025-XXX
SHEET NUMBER

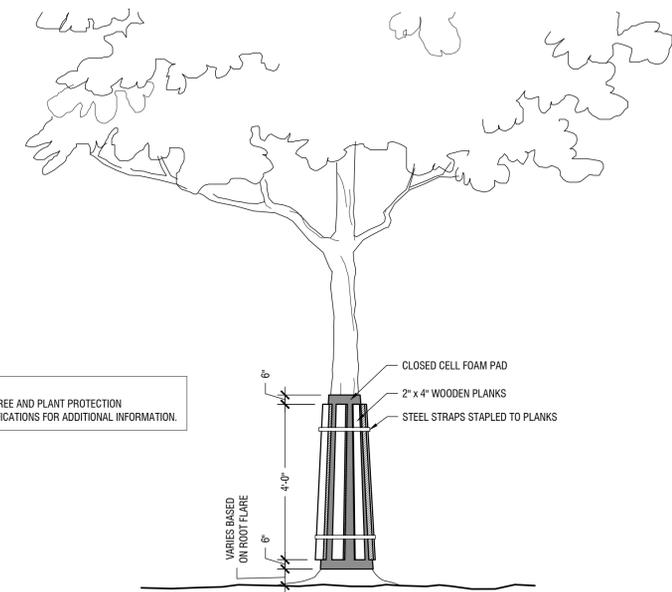
LT 1.02

- DEMOLITION SEQUENCE:**
1. PERFORM ANY ROOT PRUNING.
  2. INSTALL TREE PROTECTION FENCING.
  3. BREAK OR CUT 6" SECTIONS OF CURB.
  4. CAREFULLY ROTATE CURB SECTIONS AWAY FROM ROOTS.
  5. COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
  2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
  3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.

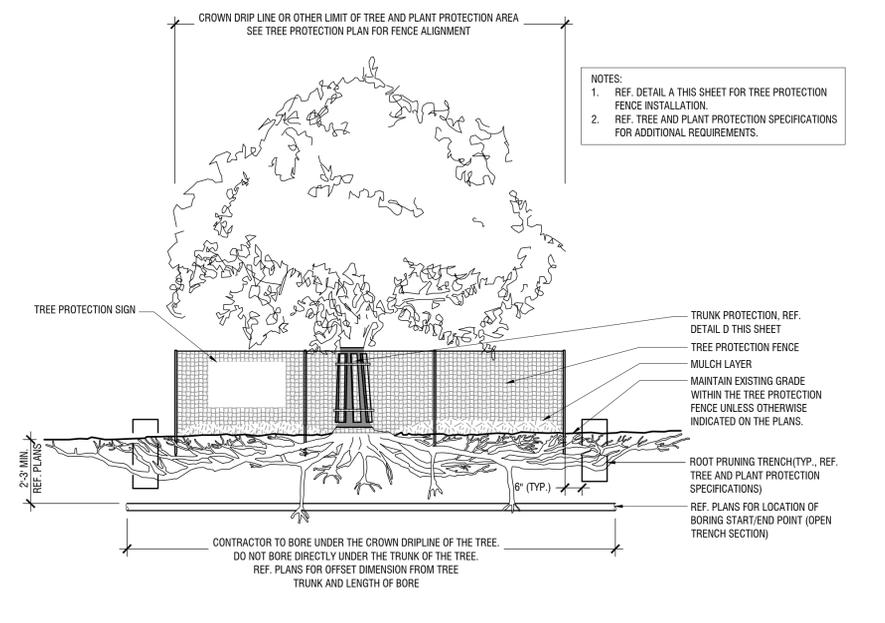


**CURB DEMOLITION AROUND EXISTING TREE ROOTS**  
Scale: NTS



- NOTES:**
1. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL INFORMATION.

**TRUNK PROTECTION**  
Scale: NTS

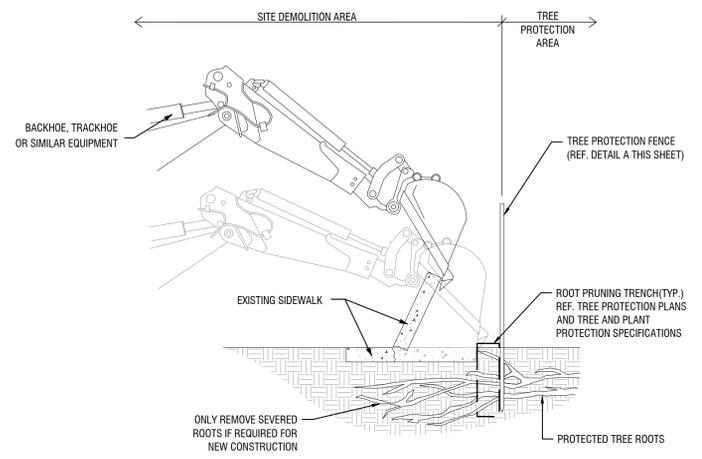


- NOTES:**
1. REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
  2. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

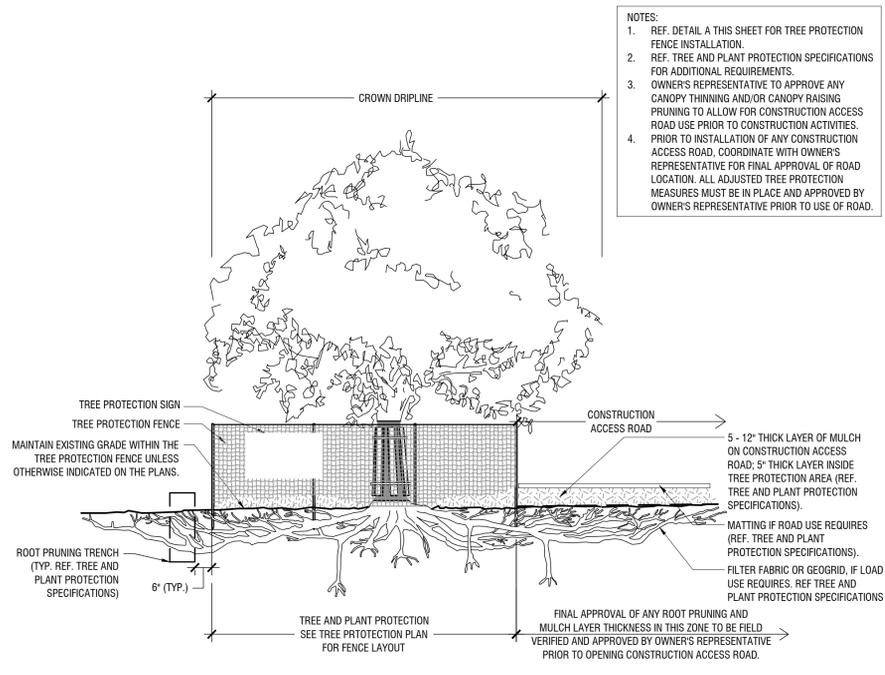
**TREE PROTECTION - UTILITY BORING UNDER CROWN DRIP LINE**  
Scale: NTS

- DEMOLITION SEQUENCE**
1. PERFORM ANY ROOT PRUNING.
  2. INSTALL TREE PROTECTION FENCING.
  3. CAREFULLY REMOVE SIDEWALK AND BASE MATERIAL, COORDINATE ALL DEMOLITION OPERATIONS AROUND PROTECTED TREES WITH ENGINEER AND PROJECT ARBORIST.

- NOTES:**
1. PRIOR TO DEMOLITION ACTIVITIES, COORDINATE WITH OWNER'S REPRESENTATIVE.
  2. ALL TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO DEMOLITION ACTIVITIES.
  3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR DEMOLITION ACTIVITIES PRIOR TO CONSTRUCTION.

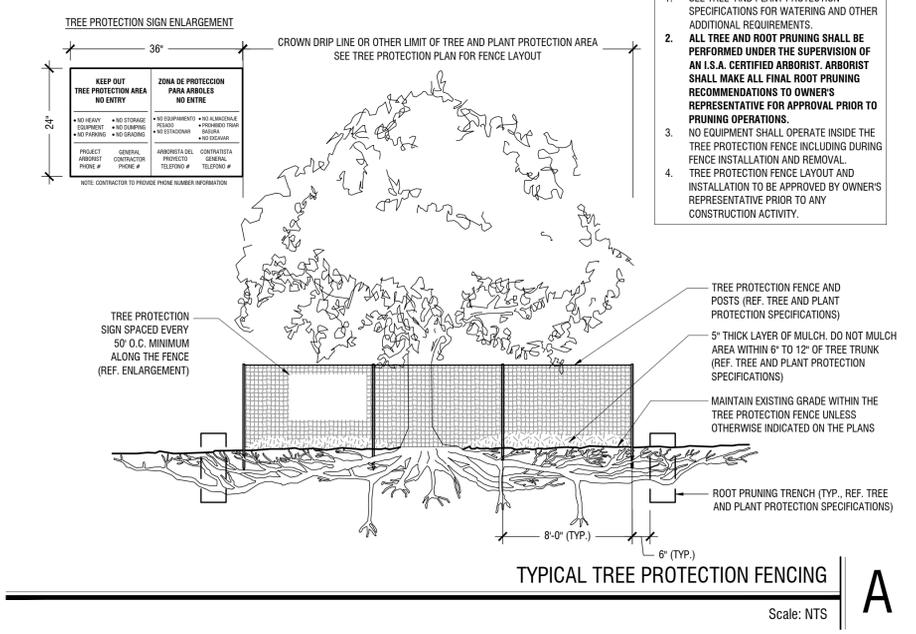


**SIDEWALK DEMOLITION AROUND EXISTING TREE ROOTS**  
Scale: NTS



- NOTES:**
1. REF. DETAIL A THIS SHEET FOR TREE PROTECTION FENCE INSTALLATION.
  2. REF. TREE AND PLANT PROTECTION SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
  3. OWNER'S REPRESENTATIVE TO APPROVE ANY CANOPY THINNING AND/OR CANOPY RAISING PRUNING TO ALLOW FOR CONSTRUCTION ACCESS ROAD USE PRIOR TO CONSTRUCTION ACTIVITIES.
  4. PRIOR TO INSTALLATION OF ANY CONSTRUCTION ACCESS ROAD, COORDINATE WITH OWNER'S REPRESENTATIVE FOR FINAL APPROVAL OF ROAD LOCATION. ALL ADJUSTED TREE PROTECTION MEASURES MUST BE IN PLACE AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO USE OF ROAD.

**TREE PROTECTION - CONSTRUCTION ACCESS ROAD**  
Scale: NTS



- NOTES:**
1. SEE TREE AND PLANT PROTECTION SPECIFICATIONS FOR WATERING AND OTHER ADDITIONAL REQUIREMENTS.
  2. ALL TREE AND ROOT PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF ALL U.S.A. CERTIFIED ARBORIST. ARBORIST SHALL MAKE ALL FINAL ROOT PRUNING RECOMMENDATIONS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO PRUNING OPERATIONS.
  3. NO EQUIPMENT SHALL OPERATE INSIDE THE TREE PROTECTION FENCE INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  4. TREE PROTECTION FENCE LAYOUT AND INSTALLATION TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION ACTIVITY.

**TYPICAL TREE PROTECTION FENCING**  
Scale: NTS

SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE \_\_\_ DAY OF \_\_\_, \_\_\_.

WITNESS OUR HANDS, THIS \_\_\_ DAY OF \_\_\_, \_\_\_.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

**TREE PRESERVATION PLAN FOR ROCKWALL MEDICAL BUILDING**

8.4841 ACRES (369,567 SF) IN THE W.H. BARNES SURVEY, ABST. NO. 26 WITHIN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS  
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**MAY 2, 2025**

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NO.	REVISIONS	DATE	BY

**Kimley»Horn**

13455 NOEL RD. TWO GALLERIA OFFICE TOWER  
SUITE 700 DALLAS, TX 75240  
PHONE: 972-770-1300 FAX: 972-239-3820  
WWW.KIMLEY-HORN.COM TX F-928  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.

KHA PROJECT	060016600
DATE	5/2/2025
SCALE	AS SHOWN
DESIGNED BY	KAE
DRAWN BY	KAE
CHECKED BY	NBA

**ROCKWALL MEDICAL BUILDING**  
PREPARED FOR  
**VUE REAL ESTATE**  
CITY OF ROCKWALL, TX

**TREE DEMOLITION AND PROTECTION DETAILS**

SHEET NUMBER  
**LT 3.01**

IMAGES: © SHUTTERSTOCK/PHOTODISC/GETTY IMAGES  
 PLOTTED BY: JAST BAYDAR  
 DATE: 5/2/2025 10:31 AM  
 PROJECT: ROCKWALL MEDICAL BUILDING PHASE 2 PERMIT CONCEPTS 2/04 ANCHET  
 DRAWING: LT 3.01 (REV. 1) (3.1.24)

SECTION 015639: TREE AND PLANT PROTECTION

PART 1 GENERAL

1.1 SUMMARY

- A. THE SCOPE OF WORK INCLUDES ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, FACILITIES, TRANSPORTATION AND SERVICES NECESSARY FOR, AND INCIDENTAL TO, PERFORMING ALL OPERATIONS IN CONNECTION WITH PROTECTION OF EXISTING TREES AND OTHER PLANTS AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
1. PROVIDE PRECONSTRUCTION EVALUATIONS
2. PROVIDE PROTECTION OF ROOT ZONES AND ABOVE GROUND TREES AND PLANTS
3. PROVIDE PRUNING OF EXISTING TREES AND PLANTS.
4. COORDINATE WITH THE REQUIREMENTS OF THE SPECIFICATIONS FOR MODIFICATIONS TO THE SOIL WITHIN THE ROOT ZONE OF EXISTING TREES AND PLANTS.
5. PROVIDE ALL INSECT AND DISEASE CONTROL.
6. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE CONSTRUCTION PERIOD AS RECOMMENDED BY THE ARBORIST REPORT.
7. PROVIDE MAINTENANCE OF EXISTING TREES AND PLANTS INCLUDING IRRIGATION DURING THE POST CONSTRUCTION PLANT MAINTENANCE PERIOD.
8. REMOVE TREE PROTECTION FROM AROUND AND UNDER TREES AND PLANTS.
9. CLEAN UP AND DISPOSAL OF ALL EXCESS AND SURPLUS MATERIAL.

1.2 CONTRACT DOCUMENTS

- A. SHALL CONSIST OF SPECIFICATIONS AND GENERAL CONDITIONS AND THE DRAWINGS. THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE DOCUMENTS ARE TO BE CONSIDERED AS ONE. WHATEVER IS CALLED FOR BY ANY PARTS SHALL BE AS BINDING AS IF CALLED FOR IN ALL PARTS.
B. IT IS THE INTENT OF THIS SECTION THAT THE REQUIREMENTS APPLY TO ALL OTHER SECTIONS OF THE PROJECT SPECIFICATION SUCH THAT ANY SUBCONTRACTOR MUST COMPLY WITH THE RESTRICTIONS ON WORK WITHIN DESIGNATED TREE AND PLANT PROTECTION AREAS.

1.3 RELATED DOCUMENTS AND REFERENCES

- A. RELATED DOCUMENTS:
1. DRAWINGS AND GENERAL PROVISIONS OF CONTRACT INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION I SPECIFICATIONS APPLY TO WORK OF THIS SECTION.
2. IRRIGATION SPECIFICATIONS
3. PLANTING SPECIFICATIONS
B. REFERENCES: THE FOLLOWING SPECIFICATIONS AND STANDARDS OF THE ORGANIZATIONS AND DOCUMENTS LISTED IN THIS PARAGRAPH FORM A PART OF THE SPECIFICATION TO THE EXTENT REQUIRED BY THE REFERENCES THERE TO. IN THE EVENT THAT THE REQUIREMENTS OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATION CONFLICT WITH THIS SPECIFICATION SECTION, THE REQUIREMENTS OF THIS SPECIFICATION SHALL PREVAIL. IN THE EVENT THAT THE REQUIREMENTS OF ANY OF THE FOLLOWING REFERENCED STANDARDS AND SPECIFICATIONS CONFLICT WITH EACH OTHER, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
1. ANSI A300 - STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE (9 PARTS), MOST CURRENT EDITIONS.
2. INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES (ISA BMP) MOST CURRENT EDITIONS.
a. TREE PRUNING
b. SOIL MANAGEMENT FOR URBAN TREES
c. TREE SUPPORT SYSTEMS: CABLING, BRACING, GUYING, AND PROPPING
d. TREE LIGHTING PROTECTION SYSTEMS
e. MANAGING TREES DURING CONSTRUCTION
f. TREE PLANTING
g. TREE RISK ASSESSMENT
h. TREE INVENTORY
i. INTEGRATED PEST MANAGEMENT
j. TREE INJECTIONS
k. TREE AND SHRUB FERTILIZATION
3. PRUNING PRACTICES SHALL CONFORM WITH RECOMMENDATIONS "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY", PUBLISHED BY URBAN TREE FOUNDATION, VISALIA, CALIFORNIA; MOST CURRENT EDITION.
4. GLOSSARY OF ARBORICULTURAL TERMS, INTERNATIONAL SOCIETY OF ARBORICULTURE, CHAMPAIGN IL, MOST CURRENT EDITION.

- 1.11 OBSERVATION OF THE WORK
A. THE OWNER'S REPRESENTATIVE MAY INSPECT THE WORK AT ANY TIME.
1.12 PRE-CONSTRUCTION CONFERENCE
A. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE.
1. THE FOLLOWING CONTRACTORS SHALL ATTEND THE PRECONSTRUCTION CONFERENCE:
a. GENERAL CONTRACTOR
b. CONSULTING ARBORIST/CERTIFIED ARBORIST
c. TREE AND PLANT PROTECTION SUB-CONTRACTOR
d. EARTHWORK SUB-CONTRACTOR
e. ALL SITE UTILITY SUB-CONTRACTORS THAT MAY BE REQUIRED TO DIG OR TRENCH INTO THE SOIL.
f. LANDSCAPE SUB-CONTRACTOR
g. IRRIGATION SUB-CONTRACTOR
h. PRIOR TO THIS MEETING, MARK ALL TREES AND PLANTS TO REMAIN AND OR BE REMOVED AS DESCRIBED IN THIS SPECIFICATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE.
1.13 QUALITY ASSURANCE
A. CONTRACTOR QUALIFICATIONS:
1. ALL PRUNING, BRANCH THE BACK, TREE REMOVAL, ROOT PRUNING, AND FERTILIZING REQUIRED BY THIS SECTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST. SUBMIT AFOREMENTIONED INDIVIDUALS' QUALIFICATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
2. ALL APPLICATIONS OF PESTICIDE OR HERBICIDE SHALL BE PERFORMED BY A PERSON MAINTAINING A CURRENT STATE LICENSE TO APPLY CHEMICAL PESTICIDES VALID IN THE JURISDICTION OF THE PROJECT. SUBMIT COPIES OF ALL REQUIRED STATE LICENSING CERTIFICATES INCLUDING APPLICABLE CHEMICAL APPLICATOR LICENSES.

1.4 VERIFICATION

- A. ALL SCALED DIMENSIONS ON THE DRAWINGS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS AND QUANTITIES, AND SHALL IMMEDIATELY INFORM A THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE INFORMATION ON THE DRAWINGS AND THE ACTUAL CONDITIONS, REFRAINING FROM DOING ANY WORK IN SAID AREAS UNTIL GIVEN APPROVAL TO DO SO BY THE OWNER'S REPRESENTATIVE.

1.5 PERMITS AND REGULATIONS

- A. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS RELATED TO THIS SECTION OF THE WORK UNLESS PREVIOUSLY EXCLUDED UNDER PROVISION OF THE CONTRACT OR GENERAL CONDITIONS. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS AND ORDINANCES BEARING ON THE OPERATION OR CONDUCT OF THE WORK AS DRAWN AND SPECIFIED. IF THE CONTRACTOR OBSERVES THAT A CONFLICT EXISTS BETWEEN PERMIT REQUIREMENTS AND THE WORK OUTLINED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING INCLUDING A DESCRIPTION OF ANY NECESSARY CHANGES AND CHANGES TO THE CONTRACT PRICE RESULTING FROM CHANGES IN THE WORK.
B. WHEREVER REFERENCES ARE MADE TO STANDARDS OR CODES IN ACCORDANCE WITH WHICH WORK IS TO BE PERFORMED OR TESTED, THE EDITION OR REVISION OF THE STANDARDS AND CODES CURRENT ON THE EFFECTIVE DATE OF THIS CONTRACT SHALL APPLY, UNLESS OTHERWISE EXPRESSLY SET FORTH.
C. IN CASE OF CONFLICT AMONG ANY REFERENCED STANDARDS OR CODES OR BETWEEN ANY REFERENCED STANDARDS AND CODES AND THE SPECIFICATIONS, THE MORE RESTRICTIVE STANDARD OR CODE SHALL APPLY OR OWNER'S REPRESENTATIVE SHALL DETERMINE WHICH SHALL GOVERN.

1.6 PROTECTION OF WORK, PROPERTY AND PERSON

- A. THE CONTRACTOR SHALL PROTECT THE WORK, ADJACENT PROPERTY, AND THE PUBLIC, AND SHALL BE RESPONSIBLE FOR ANY DAMAGES OR INJURY DUE TO HIS/HER ACTIONS.

1.7 CHANGES IN THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY ORDER CHANGES IN THE WORK, AND THE CONTRACT SUM SHOULD BE ADJUSTED ACCORDINGLY. ALL SUCH ORDERS AND ADJUSTMENTS PLUS CLAIMS BY THE CONTRACTOR FOR EXTRA COMPENSATION MUST BE MADE AND APPROVED IN WRITING BEFORE EXECUTING THE WORK INVOLVED.

1.8 CORRECTION OF WORK

- A. THE CONTRACTOR SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT AND SHALL REMEDY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE OWNER'S REPRESENTATIVE, AT THE SOONEST POSSIBLE TIME THAT CAN BE COORDINATED WITH OTHER WORK AND SEASONAL WEATHER DEMANDS.

1.9 DEFINITIONS

- A. ALL TERMS IN THIS SPECIFICATION SHALL BE AS DEFINED IN THE "GLOSSARY OF ARBORICULTURAL TERMS" OR AS MODIFIED BELOW.
1. OWNER'S REPRESENTATIVE: THE PERSON APPOINTED BY THE OWNER TO REPRESENT THEIR INTEREST IN THE REVIEW AND APPROVAL OF THE WORK AND TO SERVE AS THE CONTRACTING AUTHORITY WITH THE CONTRACTOR. THE OWNER'S REPRESENTATIVE MAY APPOINT OTHER PERSONS TO REVIEW AND APPROVE ANY ASPECTS OF THE WORK.
2. REASONABLE AND REASONABLY: WHEN USED IN THIS SPECIFICATION IS INTENDED TO MEAN THAT THE CONDITIONS CITED WILL NOT AFFECT THE ESTABLISHMENT OR LONG TERM STABILITY, HEALTH OR GROWTH OF THE PLANT. THIS SPECIFICATION RECOGNIZES THAT PLANTS ARE NOT FREE OF DEFECTS, AND THAT PLANT CONDITIONS CHANGE WITH TIME. THIS SPECIFICATION ALSO RECOGNIZES THAT SOME DECISIONS CANNOT BE TOTALLY BASED ON MEASURED FINDINGS AND THAT PROFESSIONAL JUDGMENT IS REQUIRED. IN CASES OF DIFFERING OPINION, THE OWNER'S REPRESENTATIVE EXPERT SHALL DETERMINE WHEN CONDITIONS WITHIN THE PLANT ARE JUDGED AS REASONABLE.
3. SHRUB: WOODY PLANTS WITH MATURE HEIGHT APPROXIMATELY LESS THAN 25 FEET.
4. TREE AND PLANT PROTECTION AREA: AREA SURROUNDING INDIVIDUAL TREES, GROUPS OF TREES, SHRUBS, OR OTHER VEGETATION TO BE PROTECTED DURING CONSTRUCTION, AND DEFINED BY A CIRCLE CENTERED ON THE TRUNK WITH EACH TREE WITH A RADIUS EQUAL TO THE CROWN DRIFLINE UNLESS OTHERWISE INDICATED BY THE OWNER'S REPRESENTATIVE OR THE CONSTRUCTION DRAWINGS.
5. TREE: SINGLE AND MULTI-STEMMED PLANTS, INCLUDING PALMS WITH ANTICIPATED MATURE HEIGHT APPROXIMATELY GREATER THAN 25 FEET OR ANY PLANT IDENTIFIED ON THE PLANS AS A TREE.

1.10 SUBMITTALS

- A. ARBORIST REPORT

- 1. PRIOR TO THE START OF CONSTRUCTION, SUBMIT, FOR APPROVAL BY THE OWNER'S REPRESENTATIVE, THE REPORT OF A CONSULTING ARBORIST WHO IS A REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED ARBORIST, WHICH DETAILS THE FOLLOWING INFORMATION FOR ALL TREES TO REMAIN WITHIN THE AREA DESIGNATED ON THE DRAWINGS AS THE TREE AND PLANT PROTECTION AREA. THE REPORT SHALL INCLUDE THE FOLLOWING:
a. A DESCRIPTION OF EACH TREE TO REMAIN INCLUDING ITS GENUS AND SPECIES, CONDITION INCLUDING ANY VISIBLE DAMAGE TO THE ROOT SYSTEM OR SOIL WITHIN THE ROOT ZONE, TREE DIAMETER AT BREAST HEIGHT (DBH) AND APPROXIMATE HEIGHT AND CANOPY SPREAD, SIZE AND ANY VISIBLE DISEASE, INSECT INFESTATIONS AND OR BRANCH AND TRUNK STRUCTURAL DEFICIENCIES.
b. THE REPORT SHALL NOTE ALL TREES OR PARTS OF TREES, WHICH ARE CONSIDERED A HAZARD OR SIGNIFICANT OR EXCESS RISK LEVEL, INCLUDE THE INTERNATIONAL SOCIETY OF ARBORICULTURE HAZARD EVALUATION SHEET FOR EACH TREE, WHICH MAY REASONABLY BE IDENTIFIED AS A POTENTIAL HAZARD TREE.
c. RECOMMENDATIONS AS TO TREATMENT OF ALL INSECT, DISEASE AND STRUCTURAL PROBLEMS ENCOUNTERED.
d. RECOMMENDATIONS FOR FERTILIZER TREATMENTS, IF ANY.
e. A PLAN OF THE SITE SHOWING THE LOCATION OF ALL TREES INCLUDED IN THE REPORT.

PRODUCT DATA

- 1. SUBMIT MANUFACTURER PRODUCT DATA AND LITERATURE DESCRIBING ALL PRODUCTS REQUIRED BY THIS SECTION TO THE OWNER'S REPRESENTATIVE FOR APPROVAL. PROVIDE SUBMITTAL BEFORE THE START OF ANY WORK AT THE SITE.
C. QUALIFICATIONS SUBMITTAL
1. FOR EACH APPLICABLE PERSON EXPECTED TO WORK ON THE PROJECT, PROVIDE COPIES OF THE QUALIFICATIONS AND EXPERIENCE OF THE CONSULTING ARBORIST, PROOF OF EITHER THE REGISTERED CONSULTING ARBORIST® (RCA) WITH AMERICAN SOCIETY OF CONSULTING ARBORISTS OR AN ISA BOARD CERTIFIED MASTER ARBORIST, ANY ISA CERTIFIED ARBORISTS, AND ANY REQUIRED HERBICIDE/PESTICIDE LICENSE TO THE OWNER'S REPRESENTATIVE, FOR REVIEW PRIOR TO THE START OF WORK.

1.11 OBSERVATION OF THE WORK

- A. THE OWNER'S REPRESENTATIVE MAY INSPECT THE WORK AT ANY TIME.

1.12 PRE-CONSTRUCTION CONFERENCE

- A. SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVE AT LEAST SEVEN (7) DAYS BEFORE BEGINNING WORK TO REVIEW ANY QUESTIONS THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE.

1. THE FOLLOWING CONTRACTORS SHALL ATTEND THE PRECONSTRUCTION CONFERENCE:

- a. GENERAL CONTRACTOR
b. CONSULTING ARBORIST/CERTIFIED ARBORIST
c. TREE AND PLANT PROTECTION SUB-CONTRACTOR
d. EARTHWORK SUB-CONTRACTOR
e. ALL SITE UTILITY SUB-CONTRACTORS THAT MAY BE REQUIRED TO DIG OR TRENCH INTO THE SOIL.
f. LANDSCAPE SUB-CONTRACTOR
g. IRRIGATION SUB-CONTRACTOR
h. PRIOR TO THIS MEETING, MARK ALL TREES AND PLANTS TO REMAIN AND OR BE REMOVED AS DESCRIBED IN THIS SPECIFICATION FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE.

1.13 QUALITY ASSURANCE

- A. CONTRACTOR QUALIFICATIONS:
1. ALL PRUNING, BRANCH THE BACK, TREE REMOVAL, ROOT PRUNING, AND FERTILIZING REQUIRED BY THIS SECTION SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A CERTIFIED ARBORIST. SUBMIT AFOREMENTIONED INDIVIDUALS' QUALIFICATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
2. ALL APPLICATIONS OF PESTICIDE OR HERBICIDE SHALL BE PERFORMED BY A PERSON MAINTAINING A CURRENT STATE LICENSE TO APPLY CHEMICAL PESTICIDES VALID IN THE JURISDICTION OF THE PROJECT. SUBMIT COPIES OF ALL REQUIRED STATE LICENSING CERTIFICATES INCLUDING APPLICABLE CHEMICAL APPLICATOR LICENSES.

PART 2 PRODUCTS

2.1 TREE PROTECTION SIGN

- A. HEAVY-DUTY PLASTIC LAMINATED OR CORRUGATED PLASTIC SIGNS, 24 INCHES X 36 INCHES, WHITE COLORED BACKGROUND WITH BLACK 2 INCH HIGH OR LARGER LETTERS BLOCK LETTERS. THE SIGNS SHALL BE STAKED ADJACENT TO EXISTING TREES. THE TREE PROTECTION SIGN SHALL READ "KEEP OUT - TREE AND PLANT PROTECTION AREA" AND OTHER PROJECT INFORMATION AS SHOWN ON DRAWINGS.

2.2 MATTING

- A. MATTING FOR VEHICLE AND WORK PROTECTION SHALL BE HEAVY DUTY MATTING DESIGNED FOR VEHICLE LOADING OVER TREE ROOTS. ALTURMATS AS MANUFACTURED BY ALTURMATS, INC. FRANKLIN, PA 16323 OR APPROVED EQUAL.
B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

2.3 GEOGRID

- A. GEOGRID SHALL BE WOVEN POLYESTER FABRIC WITH PVC COATING, UNI-AXIAL OR BIAXIAL GEOGRID, INERT TO BIOLOGICAL DEGRADATION, RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS, ACIDS.
1. GEOGRID SHALL BE MIRAGRID 2XT AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL.
B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

2.4 FILTER FABRIC

- A. FILTER FABRIC SHALL BE NONWOVEN POLYPROPYLENE FIBERS, INERT TO BIOLOGICAL DEGRADATION AND RESISTANT TO NATURALLY OCCURRING CHEMICALS, ALKALIS AND ACIDS.
1. MIFAR 135 N AS MANUFACTURED BY TEN CATE NICOLON, NORCROSS, GA. HTTP://WWW.TENCATE.COM OR APPROVED EQUAL.
B. SUBMIT SUPPLIERS PRODUCT DATA THAT PRODUCT MEETS THE REQUIREMENTS FOR APPROVAL.

PART 3 EXECUTION

3.1 SITE EXAMINATION

- A. EXAMINE THE SITE, TREE, PLANT AND SOIL CONDITIONS. NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING OF ANY CONDITIONS THAT MAY IMPACT THE SUCCESSFUL TREE AND PLANT PROTECTIONS THAT IS THE INTENT OF THIS SECTION.

3.2 COORDINATION WITH PROJECT WORK

- A. THE CONTRACTOR SHALL COORDINATE WITH ALL OTHER WORK THAT MAY IMPACT THE COMPLETION OF THE WORK.
B. PRIOR TO THE START OF WORK, PREPARE A DETAILED SCHEDULE OF THE WORK FOR COORDINATION WITH OTHER TRADES. COORDINATE THE RELOCATION OF ANY IRRIGATION LINES CURRENTLY PRESENT ON THE IRRIGATION PLAN, HEADS OR THE CONDUITS OF OTHER UTILITY LINES OR STRUCTURES THAT ARE IN CONFLICT WITH TREE LOCATIONS. TREE ROOTS SHALL NOT BE ALTERED TO FIT AROUND LINES. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS ENCOUNTERED.

3.3 TREE AND PLANT PROTECTION AREA:

- A. THE TREE AND PLANT PROTECTION AREA IS DEFINED AS ALL AREAS INDICATED ON THE TREE PROTECTION PLAN.
B. WHERE NO LIMIT OF THE TREE AND PLANT PROTECTION AREA IS DEFINED ON THE DRAWINGS, THE LIMIT SHALL BE THE DRIF-LINE (OUTER EDGE OF THE BRANCH CROWN) OF EACH TREE.

3.4 PREPARATION

- A. PRIOR TO THE PRECONSTRUCTION MEETING, LAYOUT THE LIMITS OF THE TREE AND PLANT PROTECTION AREA AND THEN ALIGNMENTS OF REQUIRED TREE AND PLANT PROTECTION FENCING AND ROOT PRUNING. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF THE LIMITS OF THE PROTECTION AREA AND THE ALIGNMENT OF ALL FENCING AND ROOT PRUNING.
B. FLAG ALL TREES AND LARGE SHRUBS TO BE REMOVED BY WRAPPING ORANGE PLASTIC RIBBON AROUND THE TRUNK AND OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND LARGE SHRUBS TO BE REMOVED PRIOR TO THE START OF TREE AND SHRUB REMOVAL. AFTER APPROVAL, MARK ALL TREES AND SHRUBS TO BE REMOVED WITH ORANGE PAINT IN A BAND COMPLETELY AROUND THE BASE OF THE TREE OR LARGE SHRUB 4.5 FEET ABOVE THE GROUND.
C. FLAG ALL TREES AND LARGE SHRUBS TO REMAIN WITH WHITE PLASTIC RIBBON TIED COMPLETELY AROUND THE TRUNK OR EACH TREE AND ON A PROMINENT BRANCH FOR EACH SHRUB. OBTAIN THE OWNER'S REPRESENTATIVE'S APPROVAL OF ALL TREES AND SHRUBS TO REMAIN PRIOR TO THE START OF TREE AND SHRUB REMOVAL.
D. PRIOR TO ANY CONSTRUCTION ACTIVITY AT THE SITE INCLUDING UTILITY WORK, GRADING, STORAGE OF MATERIALS, OR INSTALLATION OF TEMPORARY CONSTRUCTION FACILITIES, INSTALL ALL TREE PROTECTION FENCING, FILTER FABRIC, SILT FENCE, TREE PROTECTION SIGNS, GEOGRID, MULCH AND OR WOOD CHIPS AS SHOWN ON THE DRAWINGS.

3.5 SOIL MOISTURE

- A. VOLUMETRIC SOIL MOISTURE LEVEL, IN ALL SOILS WITHIN THE TREE AND PLANT PROTECTION AREA SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT TO A DEPTH OF AT LEAST 8 INCHES. NO SOIL WORK OR OTHER ACTIVITY SHALL BE PERMITTED WITHIN THE TREE AND PLANT PROTECTION AREA WHEN THE VOLUMETRIC SOIL MOISTURE IS ABOVE FIELD CAPACITY. THE PERMANENT WILT POINT AND FIELD CAPACITY FOR EACH TYPE OF SOIL TEXTURE SHALL BE DEFINED AS FOLLOWS (NUMBERS INDICATE PERCENTAGE VOLUMETRIC SOIL MOISTURE):

Table with 4 columns: SOIL TYPE, PERMANENT WILT POINT VV, FIELD CAPACITY VV, SAND, LOAMY SAND, SANDY LOAM, 5 - 8%, 12 - 18%, LOAM, SANDY CLAY, SANDY CLAY LOAM, 14 - 25%, 27 - 36%

3.10 TREE REMOVAL:

Table with 4 columns: CLAY LOAM, SILT LOAM, 11 - 22%, 31 - 36%, SILTY CLAY, SILTY CLAY LOAM, 22 - 27%, 38 - 41%

- B. VOLUMETRIC SOIL MOISTURE SHALL BE MEASURED WITH A DIGITAL, ELECTRIC CONDUCTIVITY METER. THE METER SHALL BE THE SAME SOIL MOISTURE METER, USMSM500 BY GENERAL SPECIALTY TOOLS AND INSTRUMENTS, OR APPROVED EQUIVALENT METER.
C. THE CONTRACTOR SHALL CONFIRM THE SOIL MOISTURE LEVELS WITH A MOISTURE METER. IF THE MOISTURE IS TOO HIGH, SUSPEND OPERATIONS UNTIL THE SOIL MOISTURE DRAINS TO BELOW FIELD CAPACITY.
3.6 ROOT PRUNING:
A. FINAL RECOMMENDATIONS ON ANY ROOT PRUNING REQUIREMENTS AND PROCEDURES ARE TO BE DETERMINED BY THE PROJECT ARBORIST AND PROVIDED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY ROOT PRUNING.
B. PRIOR TO ANY EXCAVATING INTO THE EXISTING SOIL GRADE WITHIN 25 FEET OF THE LIMIT OF THE TREE AND PLANT PROTECTION AREA OR TREES TO REMAIN, ROOT PRUNE ALL EXISTING TREES TO A DEPTH OF 24 INCHES EXISTING GRADE IN ALIGNMENTS FOLLOWING THE EDGES OF THE TREE AND PLANT PROTECTION AREA OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ROOT PRUNING SHALL BE IN CONFORMANCE WITH ANSI A300 (PART B) LATEST EDITION.
1. USING A ROCK SAW, CHAIN TRENCHER OR SIMILAR TRENCHING DEVICE, MAKE A VERTICAL CUT WITHIN 2 FEET OF THE LIMIT OF GRADING.
2. AFTER COMPLETION OF THE CUT, MAKE CLEAN CUTS WITH A LOPPER, SAW OR PRUNER TO REMOVE ALL TORN ROOT ENDS ON THE TREE SIDE OF THE EXCAVATION, AND BACKFILL THE TRENCH IMMEDIATELY WITH EXISTING SOIL, FILLING ALL VOID.

3.7 INSTALLATION OF GEOGRIDS, FILTER FABRIC, MATTING, AND OR AGGREGATE

- A. INSTALL GEOGRIDS, FILTER FABRIC, MATTING, AND/OR AGGREGATE IN AREAS AND DEPTHS SHOWN ON THE PLANS AND DETAILS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. IN GENERAL IT IS THE INTENT OF THIS SPECIFICATION TO PROVIDE THE FOLLOWING LEVELS OF PROTECTION:
1. AREAS WHERE FOOT TRAFFIC OR STORAGE OF LIGHTWEIGHT MATERIALS IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF FILTER FABRIC UNDER THE 6 INCHES OF MULCH.
2. AREAS WHERE OCCASIONAL LIGHT VEHICLE TRAFFIC IS ANTICIPATED TO BE UNAVOIDABLE PROVIDE A LAYER OF GEOGRIDS UNDER 8 INCHES OF MULCH.
3. AREAS WHERE HEAVY VEHICLE TRAFFIC IS UNAVOIDABLE PROVIDE A LAYER OF GEOGRIDS UNDER 8 - 12 INCHES OF MULCH AND A LAYER OF MATTING OVER THE MULCH.
B. THE OWNER'S REPRESENTATIVE SHALL APPROVE THE APPROPRIATE LEVEL OF PROTECTION.
C. IN THE ABOVE REQUIREMENTS, LIGHT VEHICLE IS DEFINED AS A TRACK SKID STEER WITH A GROUND PRESSURE OF 4 PSI OR LIGHTER, A HEAVY VEHICLE IS ANY VEHICLE WITH A TIRE OR TRACK PRESSURE OF GREATER THAN 4 PSI. LIGHTWEIGHT MATERIALS ARE ANY PACKAGED MATERIALS THAT CAN BE PHYSICALLY MOVED BY HAND INTO THE LOCATION. BULK MATERIALS SUCH AS SOIL, OR AGGREGATE SHALL NEVER BE STORED WITHIN THE TREE AND PLANT PROTECTION AREA.
3.8 PROTECTION:
A. PROTECT THE TREE AND PLANT PROTECTION AREA AT ALL TIMES FROM COMPACTION OF THE SOIL; DAMAGE OF ANY KIND TO TRUNKS, BARK, BRANCHES, LEAVES AND ROOTS OF ALL PLANTS; AND CONTAMINATION OF THE SOIL, BARK OR LEAVES WITH CONSTRUCTION MATERIALS, DEBRIS, SILT, FUELS, OILS, AND ANY CHEMICALS SUBSTANCE. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY SPLILLS, COMPACTION OR DAMAGE AND TAKE CORRECTIVE ACTION IMMEDIATELY USING METHODS APPROVED BY THE OWNER'S REPRESENTATIVE.

3.9 GENERAL REQUIREMENTS AND LIMITATIONS FOR OPERATIONS WITHIN THE TREE AND PLANT PROTECTION AREA:

- A. THE CONTRACTOR SHALL NOT ENGAGE IN ANY CONSTRUCTION ACTIVITY WITHIN THE TREE AND PLANT PROTECTION AREA WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE INCLUDING: OPERATING, MOVING OR STORING EQUIPMENT; STORING SUPPLIES OR MATERIALS; LOCATING TEMPORARY FACILITIES INCLUDING TRAILERS OR PORTABLE TOILETS AND SHALL NOT PERMIT EMPLOYEES TO TRAVERSE THE AREA TO ACCESS ADJACENT AREAS OF THE PROJECT OR USE THE AREA ANY REASON, PERMITTED ACTIVITY, IF ANY, WITHIN THE TREE AND PLANT PROTECTION AREA MAY BE INDICATED ON THE DRAWINGS ALONG WITH ANY REQUIRED REMEDIAL ACTIVITY AS LISTED BELOW.
B. IN THE EVENT THAT CONSTRUCTION/VEHICULAR ACTIVITY IS UNAVOIDABLE WITHIN THE TREE AND PLANT PROTECTION AREA, NOTIFY THE OWNER'S REPRESENTATIVE AND SUBMIT A DETAILED WRITTEN PLAN OF ACTION FOR APPROVAL. THE PLAN SHALL INCLUDE: A STATEMENT DETAILING THE REASON FOR THE ACTIVITY INCLUDING WHY OTHER AREAS ARE NOT SUITED; A DESCRIPTION OF THE PROPOSED ACTIVITY; THE TIME PERIOD FOR THE ACTIVITY, AND A LIST OF REMEDIAL ACTIONS THAT WILL REDUCE THE IMPACT ON THE TREE AND PLANT PROTECTION AREA FROM THE ACTIVITY. TREE PROTECTION FOR THE REMEDIAL ACTIONS SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
1. IN GENERAL, DEMOLITION AND EXCAVATION WITHIN THE DRIP LINE OF TREES AND SHRUBS SHALL PROCEED WITH EXTREME CARE EITHER BY THE USE OF HAND TOOLS, DIRECTIONAL BORING AND OR AIR KNIFE EXCAVATION WHERE INDICATED OR WITH OTHER LOW IMPACT EQUIPMENT THAT WILL NOT CAUSE DAMAGE TO THE TREE, ROOTS OR SOIL.
2. WHEN ENCOUNTERED, EXPOSED ROOTS, 1 INCHES AND LARGER IN DIAMETER SHALL BE WORKED AROUND IN A MANNER THAT DOES NOT BREAK THE OUTER LAYER OF THE ROOT SURFACE (BARK). THESE ROOTS SHALL BE COVERED IN MULCH AND SHALL BE MAINTAINED ABOVE PERMANENT WILT POINT AT ALL TIMES. ROOTS ONE INCH AND LARGER IN DIAMETER SHALL NOT BE CUT WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE AND PROJECT ARBORIST. EXCAVATION SHALL BE TUNNELED UNDER THESE ROOTS WITHOUT CUTTING THEM IN THE AREAS WHERE ROOTS ARE ENCOUNTERED, WORK SHALL BE PERFORMED AND SCHEDULED TO CLOSE EXCAVATIONS AS QUICKLY AS POSSIBLE OVER EXPOSED ROOTS.
3. TREE BRANCHES THAT INTERFERE WITH THE CONSTRUCTION MAY BE TIED BACK OR PRUNED TO CLEAR ONLY TO THE POINT NECESSARY TO COMPLETE THE WORK. OTHER BRANCHES SHALL ONLY BE REMOVED WHEN SPECIFICALLY INDICATED BY THE OWNER'S REPRESENTATIVE. TYING BACK OR TRIMMING OF ALL BRANCHES AND THE CUTTING OF ROOTS SHALL BE IN ACCORDANCE WITH ARBORICULTURAL PRACTICES (ANSI A300, PARTS 1 AND 9) AND BE PERFORMED UNDER SUPERVISION OF THE I.S.A. CERTIFIED ARBORIST.
4. MATTING: INSTALL TEMPORARY MATTING OR AN ADDITIONAL 12 INCH MULCH LAYER OVER THE MULCH SPECIFIED HEREFOR WITH THESE SPECIFICATIONS TO THE EXTENT INDICATED. DO NOT PERMIT FOOT TRAFFIC, SCAFFOLDING, VEHICULAR TRAFFIC, OR THE STORAGE OF MATERIALS WITHIN THE TREE AND PLANT PROTECTION AREA TO OCCUR OFF OF THE TEMPORARY MATTING.
5. TRUNK PROTECTION: PROTECT THE TRUNK OF EACH TREE TO REMAIN BY COVERING IT WITH A CLOSED CELL FOAM PAD AND A RING OF 2" x 4" x 4" PLANKS LOOSELY BANDED ONTO THE TREE WITH 3 STEEL BANDS. STAPLE THE BANDS TO THE PLANKS AS NECESSARY TO HOLD THEM SECURELY IN PLACE. TRUNK PROTECTION SHALL BE KEPT IN PLACE NO LONGER THAN 12 MONTHS. IF CONSTRUCTION REQUIRES WORK NEAR A PARTICULAR TREE TO CONTINUE LONGER THAN 12 MONTHS, THE STEEL BANDS SHALL BE INSPECTED EVERY SIX MONTHS AND LOOSENEED IF THEY ARE FOUND TO HAVE BECOME TIGHT.
6. AIR EXCAVATION TOOL: IF EXCAVATION FOR FOOTINGS OR UTILITIES IS REQUIRED WITHIN THE TREE AND PLANT PROTECTION AREA, AIR EXCAVATION TOOL TECHNIQUES SHALL BE USED WHERE PRACTICAL OR AS DESIGNED ON THE DRAWINGS.
a. REMOVE THE MULCH FROM AN AREA APPROXIMATELY 18 INCHES BEYOND THE LIMITS OF THE HOLE OR TRENCH TO BE EXCAVATED. COVER THE MULCH FROM A DISTANCE OF NOT LESS THAN 15 FEET AROUND THE LIMIT OF THE EXCAVATION AREA WITH FILTER FABRIC OR PLASTIC SHEETING TO PROTECT THE MULCH FROM SILT. MOUND THE MULCH SO THAT THE PLASTIC SLOPES TOWARDS THE EXCAVATION.
b. USING A SPRINKLER OR SOAKER HOSE, APPLY WATER SLOWLY TO THE AREA OF THE EXCAVATION FOR A PERIOD OF AT LEAST 4 HOURS, APPROXIMATELY 12 HOURS PRIOR TO THE WORK SO THAT THE GROUND WATER LEVEL IS AT OR NEAR FIELD CAPACITY AT THE BEGINNING OF THE WORK. FOR EXCAVATIONS THAT GO BEYOND THE DAMP SOIL, REWET THE SOIL AS NECESSARY TO KEEP SOIL MOISTURE NEAR FIELD CAPACITY.
c. USING AN AIR EXCAVATION TOOL SPECIFICALLY DESIGNED AND MANUFACTURED FOR THE INTENDED PURPOSE, AND AT PRESSURES RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT, FRACTURE THE EXISTING SOIL TO THE SHAPE AND THE DEPTHS REQUIRED. WORK AT RATES AND USING TECHNIQUES THAT DO NOT HARM TREE GROUP. AIR PRESSURE SHALL BE A MAXIMUM OF 90-100 PSI.
1.) THE AIR EXCAVATION TOOL SHALL BE "AIR-SPADE" AS MANUFACTURED BY CONCEPT ENGINEERING GROUP, INC., VERONA, PA (412) 825-8800, OR AIR KNIFE AS MANUFACTURED BY EASY USE AIR TOOLS, INC. ALLISON PARK, PA (866) 328-5723 OR APPROVED EQUAL.
d. USING A COMMERCIAL, HIGH-POWERED VACUUM TRUCK IF REQUIRED, REMOVE THE SOIL FROM THE EXCAVATION PRODUCED BY THE AIR KNIFE EXCAVATION. THE VACUUM TRUCK SHOULD GENERALLY OPERATE SIMULTANEOUSLY WITH THE HOSE OPERATOR, SUCH THAT THE SOIL PRODUCED IS PICKED UP FROM THE EXCAVATION HOLE, AND THE EXPOSED ROOTS CAN BE OBSERVED AND NOT DAMAGED BY THE ONGOING OPERATION. DO NOT DRIVE THE VACUUM TRUCK INTO THE TREE AND PLANT PROTECTION AREA UNLESS THE AREA IS PROTECTED FROM COMPACTION AS APPROVED IN ADVANCE BY THE OWNER'S REPRESENTATIVE.
e. REMOVE ALL EXCAVATED SOIL AND EXCAVATED MULCH, AND CONTAMINATED SOIL AT THE END OF THE EXCAVATION.
f. SCHEDULE THE WORK SO THAT FOUNDATIONS OR UTILITY WORK IS COMPLETED IMMEDIATELY AFTER THE EXCAVATION. DO NOT LET THE ROOTS DRY OUT. MIST THE ROOTS SEVERAL TIMES DURING THE DAY. IF THE EXCAVATION AREA MUST REMAIN OPEN OVER NIGHT, MIST THE ROOTS AND COVER THE EXCAVATION WITH BLACK PLASTIC.
g. DISPOSE OF ALL SOIL IN A MANNER THAT MEETS LOCAL LAWS AND REGULATIONS.
h. RESTORE SOIL WITHIN THE TRENCH AS SOON AS THE WORK IS COMPLETED. UTILIZE SOIL OF SIMILAR TEXTURE TO THE REMOVED SOIL AND LIGHTLY COMPACT WITH HAND TOOLS. LEAVE SOIL MOUNDED OVER THE TRENCH TO A HEIGHT OF APPROXIMATELY 10% OF THE TRENCH DEPTH TO ACCOUNT FOR SETTLEMENT.
i. RESTORE ANY GEOGRIDS, FILTER FABRIC, OR MULCH AND OR MATTING THAT WAS PREVIOUSLY REQUIRED FOR THE AREA.

3.10 TREE REMOVAL:

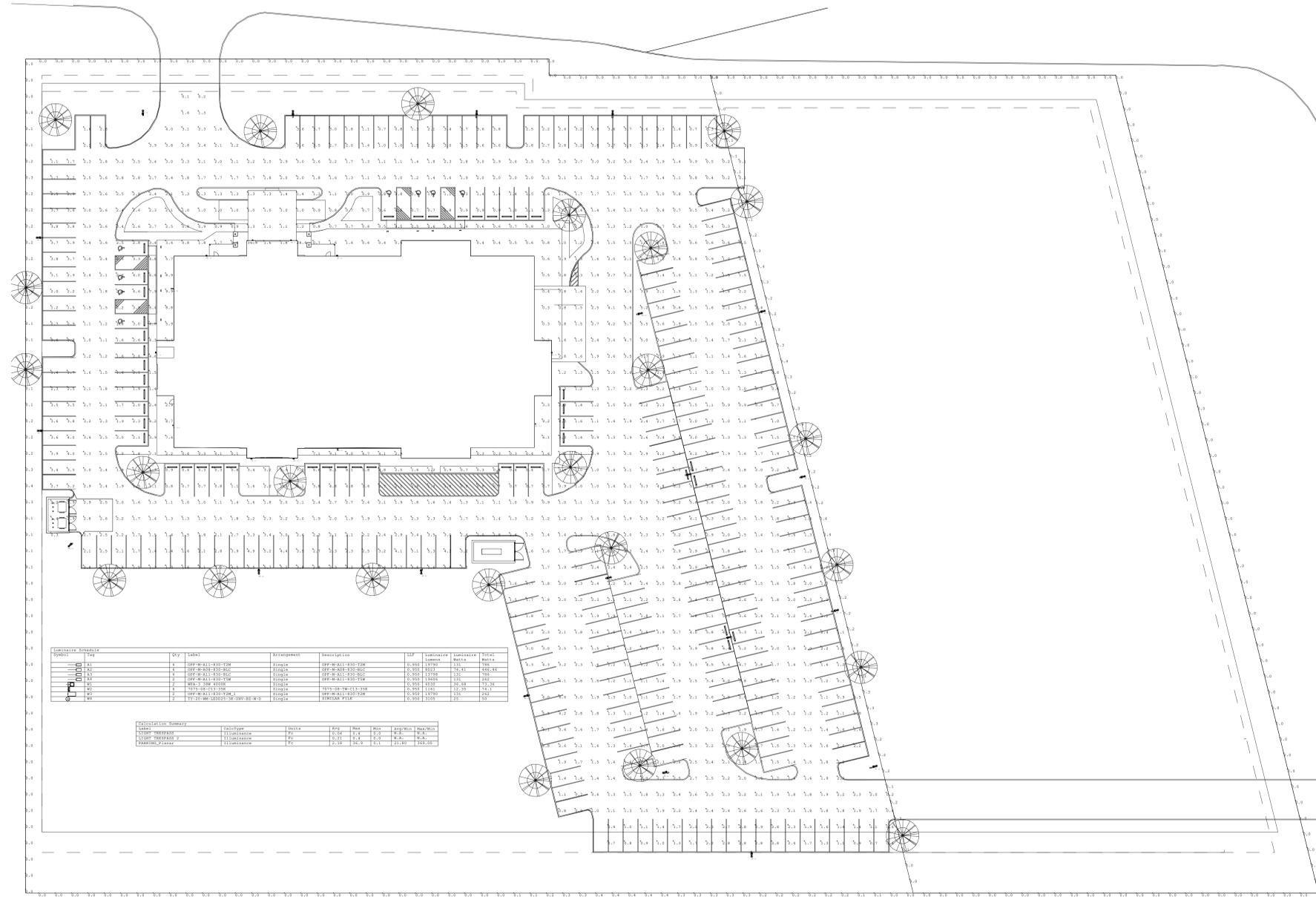
- A. REMOVE ALL TREES INDICATED BY THE DRAWINGS AND SPECIFICATIONS, AS REQUIRING REMOVAL, IN A MANNER THAT WILL NOT DAMAGE ADJACENT TREES OR STRUCTURES OR COMPACTS THE SOIL.
B. REMOVE TREES THAT ARE ADJACENT TO TREES OR STRUCTURES TO REMAIN, IN SECTIONS, TO LIMIT THE OPPORTUNITY OF DAMAGE TO ADJACENT GROWING, TRUNKS, GROUND PLANE ELEMENTS AND STRUCTURES.
C. DO NOT DROP TREES WITH A SINGLE CUT UNLESS THE TREE WILL FALL IN AN AREA NOT INCLUDED IN THE TREE AND PLANT PROTECTION AREA. NO TREE TO BE REMOVED WITHIN 50 FEET OF THE TREE AND PLANT PROTECTION AREA SHALL BE PUSHED OVER OR UP-ROOTED USING A PIECE OF GRADING EQUIPMENT.
D. PROTECT ADJACENT PAVING, SOIL, TREES, SHRUBS, GROUND COVER PLANTINGS AND UNDERSTORY PLANTS TO REMAIN FROM DAMAGE DURING ALL TREE REMOVAL OPERATIONS, AND FROM CONSTRUCTION OPERATIONS. PROTECTION SHALL INCLUDE THE ROOT SYSTEM, TRUNK, LIMBS, AND CROWN FROM BREAKAGE OR SCARRING, AND THE SOIL FROM COMPACTION.
E. REMOVE STUMPS AND IMMEDIATE ROOT PLATE FROM EXISTING TREES TO BE REMOVED. GRIND TRUNK BASES AND LARGE BUTTRESS ROOTS TO A DEPTH OF THE LARGEST BUTTRESS ROOT OR AT LEAST 18 INCHES BELOW THE TOP MOST ROOTS WHICH EVER IS LESS AND OVER THE AREA OF THREE TIMES THE DIAMETER OF THE TRUNK (DBH).
1. FOR TREES WHERE THE STUMP WILL FALL UNDER NEW PAVED AREAS, GRIND ROOTS TO A TOTAL DEPTH OF 18 INCHES BELOW THE EXISTING GRADE. IF THE SIDES OF THE STUMP HOLE STILL HAVE GREATER THAN APPROXIMATELY 20% WOOD VISIBLE, CONTINUE GRINDING OPERATION DEEPER AND OR WIDER UNTIL THE RESULTING HOLE HAS LESS THAN 20% WOOD. REMOVE ALL WOOD CHIPS PRODUCED BY THE GRINDING OPERATION AND BACK FILL IN 8 INCH LAYERS WITH CONTROLLED FILL OF A QUALITY ACCEPTABLE TO THE SITE ENGINEER FOR FILL MATERIAL UNDER STRUCTURES, COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR. THE OWNER'S REPRESENTATIVE SHALL APPROVE EACH HOLE AT THE END OF THE GRINDING OPERATION.
2. IN AREAS WHERE THE TREE LOCATION IS TO BE A PLANTING BED OR LAWN, REMOVE ALL WOODCHIPS AND BACKFILL STUMP HOLES WITH PLANTING SOIL AS DEFINED IN THE SOIL MANAGEMENT SPECIFICATIONS, IN MAXIMUM OF 12 INCH LAYERS AND COMPACT TO 80 - 85% OF THE MAXIMUM DRY DENSITY STANDARD PROCTOR.
3.11 PRUNING:
A. WITHIN SIX MONTHS OF THE ESTIMATED DATE OF SUBSTANTIAL COMPLETION, PRUNE ALL DEAD OR HAZARDOUS BRANCHES LARGER THAN 2 INCH IN DIAMETER FROM ALL TREES TO REMAIN.
B. IMPLEMENT ALL PRUNING RECOMMENDATIONS FOUND IN THE ARBORIST REPORT.
C. PRUNE ANY LOW, HANGING BRANCHES AND VINES FROM EXISTING TREES AND SHRUBS THAT OVERHANG WALKS, STREETS AND DRIVES, OR PARKING AREAS AS FOLLOWS:
1. WALKS - WITHIN 8 FEET VERTICALLY OF THE PROPOSED WALK ELEVATION.
2. PARKING AREAS - WITHIN 12 FEET VERTICALLY OF THE PROPOSED PARKING SURFACE ELEVATION.
3. STREETS AND DRIVES - WITHIN 14 FEET VERTICALLY OF THE PROPOSED DRIVING SURFACE ELEVATION.
D. ALL PRUNING SHALL BE DONE IN ACCORDANCE WITH ANSI A300 (PART 1 - PRUNING), ISA BMP: TREE PRUNING AND "STRUCTURAL PRUNING: A GUIDE FOR THE GREEN INDUSTRY."
E. PERFORM OTHER PRUNING TASK AS INDICATED ON THE DRAWINGS OR REQUESTED BY THE OWNER'S REPRESENTATIVE.
F. WHERE TREE SPECIFIC DISEASE VECTORS REQUIRED, STERILIZE ALL PRUNING TOOLS BETWEEN THE WORK IN INDIVIDUAL TREES.
3.12 WATERING
A. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO ENSURE THAT ADEQUATE WATER IS PROVIDED TO ALL PLANTS AND TREES TO BE PRESERVED DURING THE ENTIRE CONSTRUCTION PERIOD. ADEQUATE WATER IS DEFINED TO BE MAINTAINING SOIL MOISTURE ABOVE THE PERMANENT WILT POINT TO A DEPTH OF 8 INCHES OR GREATER.
B. THE CONTRACTOR SHALL ADJUST THE AUTOMATIC IRRIGATION SYSTEM, IF AVAILABLE, AND APPLY ADDITIONAL WATER, USING HOSES OR WATER TANKS AS REQUIRED.
C. PERIODICALLY TEST THE MOISTURE CONTENT IN THE SOIL WITHIN THE ROOT ZONE TO DETERMINE THE WATER CONTENT.
3.13 WEED REMOVAL
A. DURING THE CONSTRUCTION PERIOD, CONTROL ANY PLANTS THAT SEED IN AND AROUND THE FENCED TREE AND PLANT PROTECTION AREA AT LEAST THREE TIMES A YEAR.
1. ALL PLANTS THAT ARE NOT SHOWN ON THE PLANTING PLAN OR ON THE TREE AND PLANT PROTECTION PLAN TO REMAIN SHALL BE CONSIDERED AS WEEDS.
B. AT THE END OF THE CONSTRUCTION PERIOD PROVIDE ONE FINAL WEEDING OF THE TREE AND PLANT PROTECTION AREA.
3.14 INSECT AND DISEASE CONTROLLER
A. MONITOR ALL PLANTS TO REMAIN FOR DISEASE AND INSECT INFESTATIONS DURING THE ENTIRE CONSTRUCTION PERIOD. PROVIDE ALL DISEASE AND INSECT CONTROL TO KEEP THE PLANTS IN A HEALTHY STATE USING THE PRINCIPLES OF INTEGRATED PEST MANAGEMENT (IPM). ALL PESTICIDES SHALL BE APPLIED BY A CERTIFIED PESTICIDE APPLICATOR.
3.15 CLEAN-UP
DURING TREE AND PLANT PROTECTION WORK, KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLY CLEAN AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. REMOVE TRASH AND DEBRIS IN CONTAINERS FROM THE SITE NO LESS THAN ONCE A WEEK.
1. IMMEDIATELY CLEAN UP ANY SPILLED OR TRACKED SOIL, FUEL, OIL, TRASH OR DEBRIS DEPOSITED BY THE CONTRACTOR FROM ALL SURFACES WITHIN THE PROJECT OR ON PUBLIC RIGHT OF WAYS AND NEIGHBORING PROPERTY.
2. ONCE TREE PROTECTION WORK IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES. ENSURE THAT MULCH IS CONFINED TO PLANTING BEDS.
3. MAKE ALL REPAIRS TO GRADES, RUTS, AND DAMAGE TO THE WORK OR OTHER WORK AT THE SITE.
4. REMOVE AND DISPOSE OF ALL EXCESS MULCH, WOOD CHIPS, PACKAGING, AND OTHER MATERIAL BROUGHT TO THE SITE BY THE CONTRACTOR.
REMOVAL OF TREE AND PLANT PROTECTION
A. AT THE END OF THE CONSTRUCTION PERIOD OR WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE REMOVE ALL FENCING, GEOGRIDS AND FILTER FABRIC, TRUNK PROTECTION AND OR ANY OTHER TREE AND PLANT PROTECTION MATERIAL.
3.17 DAMAGE OR LOSS TO EXISTING PLANTS TO REMAIN
A. ANY TREES OR PLANTS DESIGNATED TO REMAIN AND WHICH ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR OWN EXPENSE. TREES SHALL BE REPLACED WITH A TREE OF SIMILAR SPECIES AND 3 INCH CALIPER. SHRUBS SHALL BE REPLACED WITH A PLANT OF SIMILAR SPECIES AND EQUAL SIZE OR THE LARGEST SIZE PLANTS REASONABLY AVAILABLE WHICH EVER IS LESS. WHERE REPLACEMENT PLANTS ARE TO BE LESS THAN THE SIZE OF THE PLANT THAT IS DAMAGED, THE OWNER'S REPRESENTATIVE SHALL APPROVE THE SIZE AND QUALITY OF THE REPLACEMENT PLANT.
1. ALL TREES AND PLANTS SHALL BE INSTALLED PER THE REQUIREMENTS OF PLANTING SPECIFICATIONS. PLANTS THAT ARE DAMAGED SHALL BE CONSIDERED AS REQUIRING REPLACEMENT OR APPRAISAL IN THE EVENT THAT THE DAMAGE AFFECTS MORE THAN 25% OF THE CROWN, 25% OF THE TRUNK CIRCUMFERENCE, OR ROOT PROTECTION AREA, OR THE TREE IS DAMAGED IN SUCH A MANNER THAT THE TREE COULD DEVELOP INTO A POTENTIAL HAZARD. TREES AND SHRUBS TO BE REPLACED SHALL BE ENGAGED BY THE CONTRACTOR AT HIS OWN EXPENSE.
2. THE OWNER'S REPRESENTATIVE MAY ENGAGE AN INDEPENDENT CONSULTING ARBORIST TO ASSESS ANY TREE OR PLANT THAT APPEARS TO HAVE BEEN DAMAGED TO DETERMINE THEIR HEALTH OR CONDITION.
3. CONTRACTOR SHALL PAY ALL FINES AND MITIGATION COSTS ASSOCIATED WITH LOSS OF PROTECTED TREES DAMAGED BY CONTRACTORS' FORCES.
ANY TREE THAT IS DETERMINED TO BE DEAD, DAMAGED OR POTENTIALLY HAZARDOUS BY THE OWNER'S ARBORIST AND UPON THE REQUEST OF THE OWNER'S REPRESENTATIVE SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR AT AN ADDITIONAL EXPENSE TO THE OWNER. TREE REMOVAL SHALL INCLUDE ALL CLEAN UP OF ALL WOOD PARTS AND GRINDING OF THE STUMP TO A DEPTH SUFFICIENT TO PLANT THE REPLACEMENT TREE OR PLANT, REMOVAL OF ALL CHIPS FROM THE STUMP SITE AND FILLING THE RESULTING HOLE WITH TOPSOIL.
4. ANY REMEDIAL WORK ON DAMAGED EXISTING PLANTS RECOMMENDED BY THE CONSULTING ARBORIST SHALL BE COMPLETED BY THE CONTRACTOR AT NO COST TO THE OWNER. REMEDIAL WORK SHALL INCLUDE BUT IS NOT LIMITED TO: SOIL COMPACTION REMEDIATION AND VERTICAL MULCHING, PRUNING AND OR CABLING, INSECT AND DISEASE CONTROL INCLUDING INJECTIONS, COMPENSATORY WATERING, ADDITIONAL MULCHING, AND COULD INCLUDE APPLICATION TREE GROWTH REGULATORS (TGR).
REMEDIAL WORK MAY EXTEND UP TO TWO YEARS FOLLOWING THE COMPLETION OF CONSTRUCTION TO ALLOW FOR ANY REQUIREMENTS OF MULTIPLE APPLICATIONS OR THE NEED TO UNDERTAKE APPLICATIONS AT REQUIRED SEASONS OF THE YEAR.

END OF SECTION 015639

Table with 2 columns: REVISIONS, DATE

STATE HIGHWAY 205

STATE HIGHWAY 276



NOTES

- POLE LIGHTS ARE 20 FEET OR LESS IN HEIGHT WHEN 100 FEET OR LESS FROM RESIDENTIAL DISTRICT.
- FULL CUTOFF LIGHTS ARE REQUIRED TO BE SHIELDED FROM A POINT 5 FEET ABOVE PROPERTY LINES.
- MAXIMUM LIGHT LEVEL AT RESIDENTIAL PROPERTY LINE IS 0.25 FOOT CANDLE.



SI #: 24115

VUE REALTY GROUP, LLC.  
**ROCKWALL MOB**

STATE HIGHWAY 205 AND STATE HIGHWAY 276 BYPASS  
ROCKWALL, TEXAS

SEAL:



STUDIO INDIGO DESIGN, LLC

Do NOT scale drawings. Use given dimensions only. If not shown, verify correct dimension with ARCHITECT. Contractor shall check and verify all dimensions and conditions of job site.

REVISIONS

DATE	#	DESCRIPTION

1 PHOTOMETRICS  
1/32" = 1'-0"

DATE: 2025.5.1

DRAWN BY: BCE

ELECTRICAL SITE  
PLAN -  
PHOTOMETRICS

DRAWING NUMBER:

**ES101**

SCALE: AS INDICATED

**BLUEPRINT**  
CONSULTING ENGINEERS  
TEXAS FIRM REGISTRATION #F-26973  
BLUEPRINT-ENGINEERING.COM