



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

<p>PLATTING APPLICATION FEES:</p> <p><input type="checkbox"/> MASTER PLAT (\$100.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> FINAL PLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> REPLAT (\$300.00 + \$20.00 ACRE)¹</p> <p><input type="checkbox"/> AMENDING OR MINOR PLAT (\$150.00)</p> <p><input type="checkbox"/> PLAT REINSTATEMENT REQUEST (\$100.00)</p> <p>SITE PLAN APPLICATION FEES:</p> <p><input type="checkbox"/> SITE PLAN (\$250.00 + \$20.00 ACRE)¹</p> <p><input checked="" type="checkbox"/> AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)</p>	<p>TIMOTHY RAMOO NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01RA0025482 Qualified in SUFFOLK County Commission Expires 06/03/2028</p>	<p>ZONING APPLICATION FEES:</p> <p><input type="checkbox"/> ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹</p> <p><input type="checkbox"/> SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}</p> <p><input type="checkbox"/> PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹</p> <p>OTHER APPLICATION FEES:</p> <p><input type="checkbox"/> TREE REMOVAL (\$75.00)</p> <p><input type="checkbox"/> VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²</p> <p>NOTES:</p> <p>¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.</p> <p>² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.</p>
---	--	---

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **568 E Interstate 30**

SUBDIVISION **LaJolla Point Addition PH2** LOT **17** BLOCK **A**

GENERAL LOCATION **vacant restaurant (former Taco Cabana) on NWQ of I-30 and Ridge Rd**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **Commercial Zoning, with Scenic Overlay and IH30 Overla** CURRENT USE **Restaurant**

PROPOSED ZONING **Same** PROPOSED USE **Restaurant**

ACREAGE **1.37** LOTS [CURRENT] **17** LOTS [PROPOSED] **A**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Shake Shack Texas, LLC	<input checked="" type="checkbox"/> APPLICANT	Shake Shack #1745
CONTACT PERSON	Erika Lizardo	CONTACT PERSON	Regina Laman
ADDRESS	225 Varick St, Suite 301	ADDRESS	225 Varick St Suite 301
CITY, STATE & ZIP	New York, NY 10014	CITY, STATE & ZIP	New York NY 10014
PHONE	862-384-1057	PHONE	972-396-8409
E-MAIL	elizardo@hdgroupinc.com	E-MAIL	rlaman@hdgroupinc.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Erika Lizardo [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 6th DAY OF May 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 6th DAY OF May 2025.

OWNER'S SIGNATURE
Erika Lizardo
T.P. - New York

[Signature]

NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01RA0025482
Qualified in SUFFOLK County
Commission Expires 06/03/2028

MY COMMISSION EXPIRES 06/03/2028



SP2025-019: Site Plan for 568 E. Interstate 30



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



6

5

4

3

2

1

GENERAL NOTES

- SEE SHEET A001 FOR ADDITIONAL GENERAL NOTES
- THIS DRAWING IS PART OF A COORDINATED SET OF DOCUMENTS. DO NOT SEPARATE BOUND SETS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- IN THE EVENT OF INCONSISTENCIES BETWEEN ARCHITECTURAL AND CONSULTANT BASE PLANS THE ARCHITECTURAL SHEET SHALL TAKE PRECEDENCE. REPORT DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK.
- VISIT SITE. VERIFY EXISTING CONDITIONS AND SITE CONTROL DIMENSIONS PRIOR TO SUBMITTING BIDS.
- VERIFY LOCATIONS OF ALL UTILITY POINTS OF CONNECTION. NOTIFY ARCHITECT OF ANY AND ALL DISCREPANCIES FROM THE CONTRACT DOCUMENTS PRIOR TO COMMENCING CONSTRUCTION.
- DO NOT SCALE DRAWINGS FOR CONSTRUCTION DIMENSIONS OR TOLERANCES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. REQUEST CLARIFICATION IN WRITING PRIOR TO PROCEEDING.
- VERIFY ALL BY MEASUREMENTS TAKEN AT THE JOB SITE. TAKE ANY AND ALL OTHER MEASUREMENTS NECESSARY TO VERIFY THE DRAWINGS AND OR PERFORM THE WORK PROPERLY. REPORT DISCREPANCIES.
- DIMENSIONS ARE TO CRITICAL FACE OF FRAMING, FACE OF MASONRY, CENTERLINE OF OPENING OR CENTERLINE OF COLUMN UNLESS NOTED OTHERWISE.
- AREAS, CALCULATIONS AND TALLIES INDICATED ARE FOR THE CONVENIENCE OF THE OWNER AND THE LOCAL APPROVAL AGENCIES. THEY ARE NOT TO BE USED FOR BID TAKEOFFS, ESTIMATES, CONSTRUCTION OR ANY OTHER PURPOSE.

KEYNOTES

- (E) DRIVE THRU CANOPY TO REMAIN
- LOCATION OF TRASH ENCLOSURE BY LANDLORD
- NEW DRIVE THRU STRIPING: ALL STRIPING TO BE WHITE FINISH. WHERE STRIPING IS LOCATED ON CONCRETE, GC TO PROVIDE BLACK BACKGROUND WITH WHITE STRIPING ON TOP
- DRIVE THRU ORDER CANOPY, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- DRIVE THRU MENU BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- DRIVE THRU PREVIEW BOARD, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- DIRECTIONAL SIGNAGE BY OWNER'S VENDOR, SUBMITTED UNDER SEPARATE PERMIT
- DRIVE THRU CLEARANCE BAR, BY OWNER'S VENDOR. COORDINATE W/ CIVIL & E-SHEETS FOR POWER & DATA REQUIREMENTS
- NEW LANDSCAPE AREA
- DESIGNATED PULL AHEAD PARKING SLOTS

zebra
 ZEBRA PROJECTS, I.N.C.
 1464 N KIERLAND BLVD, SUITE N500
 SCOTTSDALE, ARIZONA 85254
 PHONE: 480.912.1169 zbr.global

STORE NO:
00000

SHAKE SHACK
 ROCKWALL, TX
 10000 ROCKWALL BLVD
 ROCKWALL, TX 75087

REVISION	
DATE	DESCRIPTION

STATUS:
TEST FIT

PRELIMINARY:
 Preliminary Documents Are For Design Review only and not intended for bidding, permitting, or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

NOT FOR CONSTRUCTION

FIELD VERIFICATION:
 The contractor shall verify all signed dimensions and condition of the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

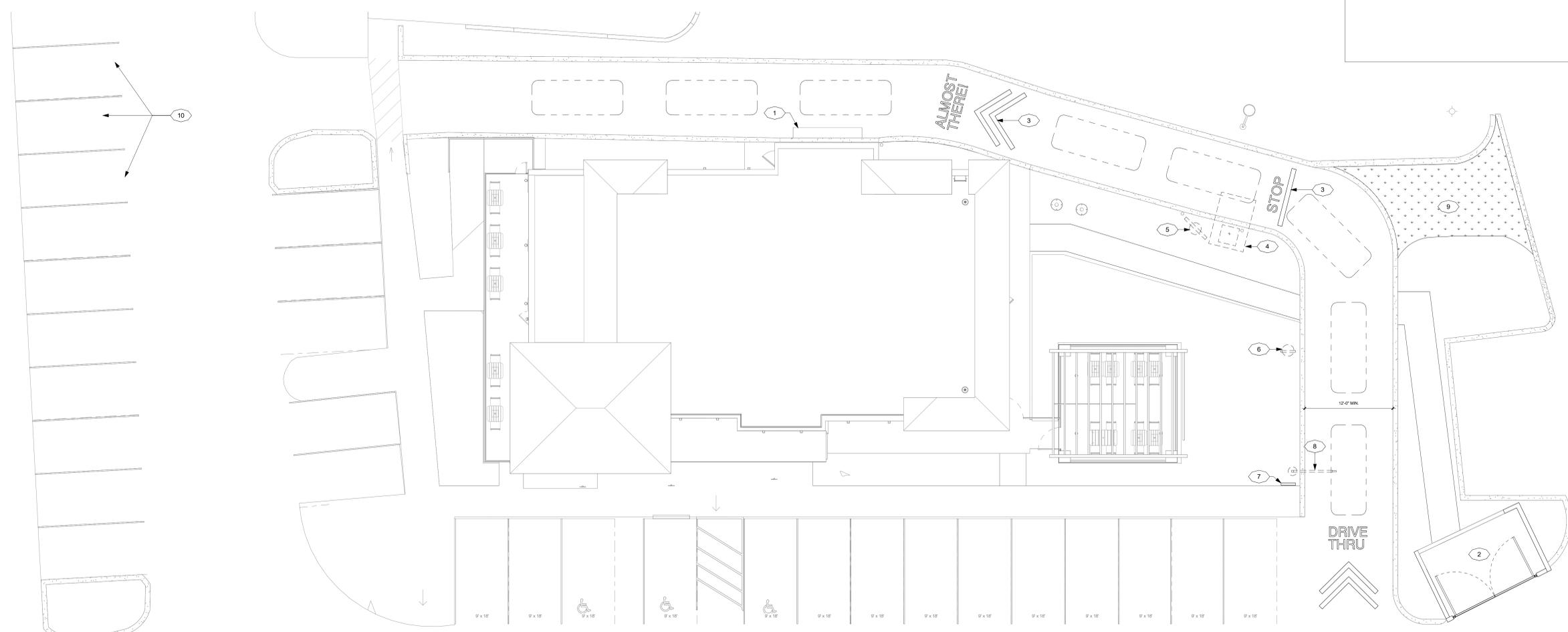
COPYRIGHT © 2025:
 Zebra Projects, INC. shall retain all common law, statutory and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, disclosed or otherwise used without the written consent of Zebra Projects, INC.

SHEET NAME:
SITE PLAN

DATE: 03/05/25 PROJECT NO: 40402

DRAWN: AA SCALE:

SHEET NO:
SP101



SITE PLAN
 SCALE: 1/8" = 1'-0" **A1**

6

5

4

3

2

1

EXTERIOR FINISH LEGEND

X-WF-5	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA	X-WF-6	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7069 ALABASTER
	LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA		LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7069 IRON ORE
PT-101	LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7069 IRON ORE	M-101	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK
SD-1	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: ALUMINIUM NEW PAINT COLOR: BLACK	SD-2	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: ALUMINIUM NEW PAINT COLOR: WHITE

STORE NO:
TX #1745



REVISION

Δ	DATE	DESCRIPTION

STATUS:
75% CD PROGRESS SET

PRELIMINARY:
Preliminary Documents Are for Design Review only and not intended for bidding, permitting, or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

NOT FOR CONSTRUCTION

FIELD VERIFICATION:
The contractor shall verify all signed dimensions and condition at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.
COPYRIGHT © 2025:
Zebra Projects, INC. shall retain all common law, statutory, and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, disclosed or otherwise without the written consent of Zebra Projects, INC.

SHEET NAME:
COLORED ELEVATIONS

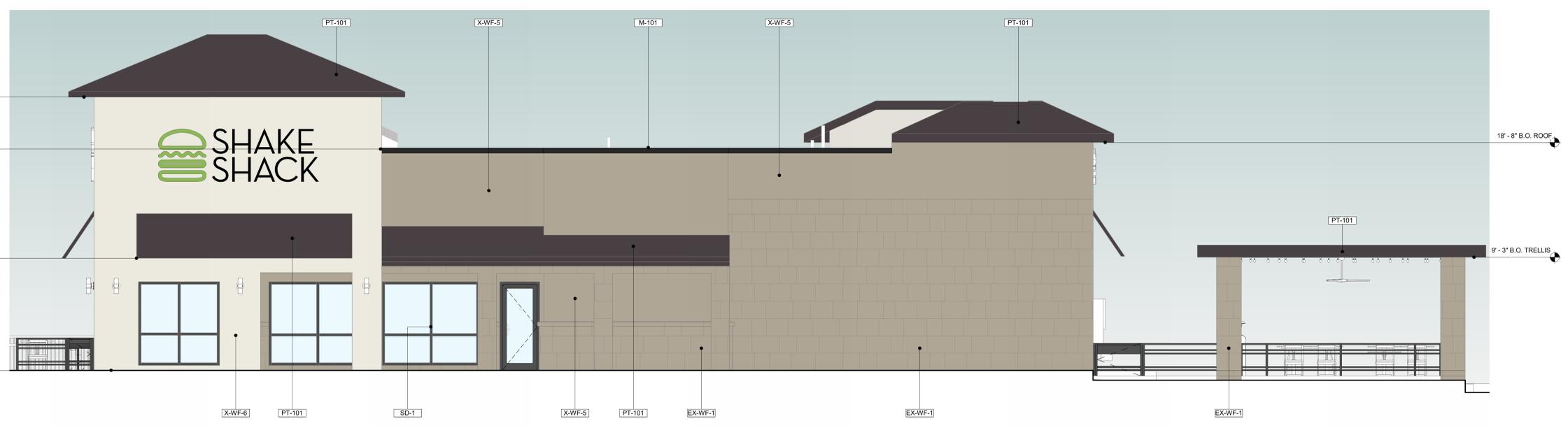
DATE: 05/14/25 PROJECT NO: 40402

DRAWN: JF SCALE:

SHEET NO:
A203



EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0" **C3**



EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0" **A1**

6

5

4

3

2

1



Z E B R A P R O J E C T S , I N C.
1664 N KIERLAND BLVD, SUITE N500
SCOTTSDALE, ARIZONA 85254
PHONE: 480.912.1169 zbr.global

EXTERIOR FINISH LEGEND

X-WF-5	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7052 GRAY AREA	X-WF-6	LOCATION: EXTERIOR FACADE MATERIAL: PLASTER FINISH: STUCCO COLOR: SW 7069 ALABASTER
	LOCATION: EXTERIOR FACADE MATERIAL: EXISTING STONE FINISH: PAINTED COLOR: SW 7052 GRAY AREA		LOCATION: ROOF MATERIAL: EXTERIOR PAINT FINISH: LOW SHEEN COLOR: SW 7069 IRON ORE
PT-101	LOCATION: CANOPY MATERIAL: EXTERIOR PAINT FINISH: EGGSHELL COLOR: SW 7069 IRON ORE	M-101	LOCATION: PARAPET MATERIAL: METAL COPING MANUFACTURER: PAC CLAD COLOR: BLACK
SD-1	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: ALUMINIUM NEW PAINT COLOR: BLACK	SD-2	LOCATION: EXTERIOR FACADE MATERIAL: (E) STORE-FRONT METAL FINISH: ALUMINIUM NEW PAINT COLOR: WHITE

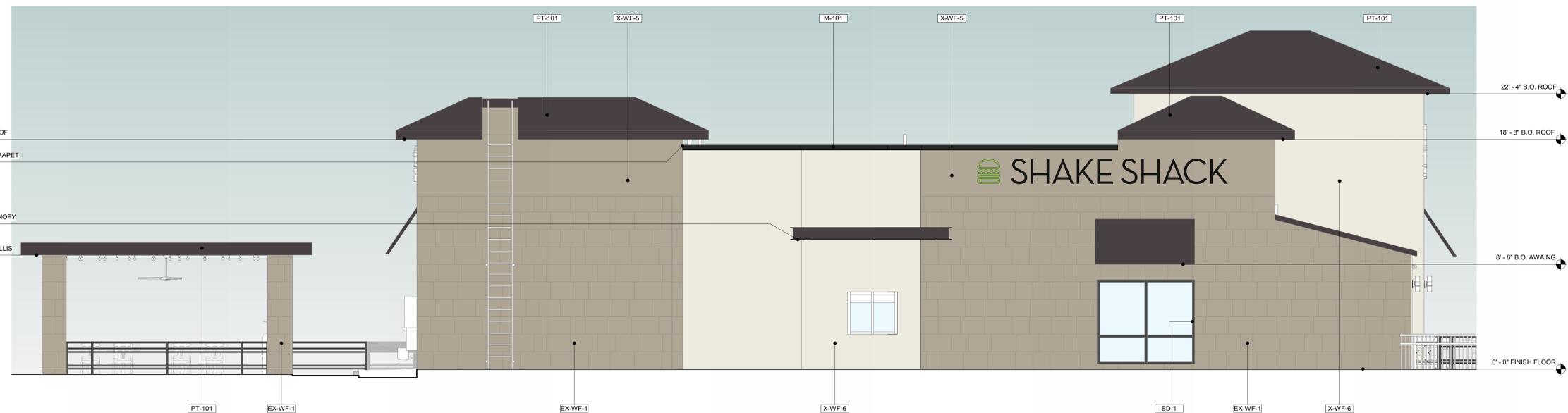
STORE NO:
TX #1745



EXTERIOR ELEVATION - WEST

SCALE: 1/4" = 1'-0"

C3



EXTERIOR ELEVATION - SOUTH

SCALE: 1/4" = 1'-0"

A1

REVISION

Δ	DATE	DESCRIPTION

STATUS:
75% CD PROGRESS SET

PRELIMINARY:
Preliminary Documents Are for Design Review only and not intended for building, engineering, permitting or construction purposes. They were prepared by or under the supervision of Zebra Projects, INC.

NOT FOR CONSTRUCTION

FIELD VERIFICATION:
The contractor shall verify all signed dimensions and condition at the project site and notify Zebra Projects, INC. of any dimensional errors, or omissions or discrepancies before beginning or fabricating any work. Do not scale these drawings.

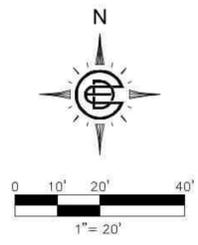
COPYRIGHT © 2025:
Zebra Projects, INC. shall retain all common law, statutory, and all other reserved rights. Neither the documents nor the information herein is to be reproduced, distributed, disclosed or otherwise without the written consent of Zebra Projects, INC.

SHEET NAME:
COLORED ELEVATIONS

DATE: 04/16/25 PROJECT NO: 40402

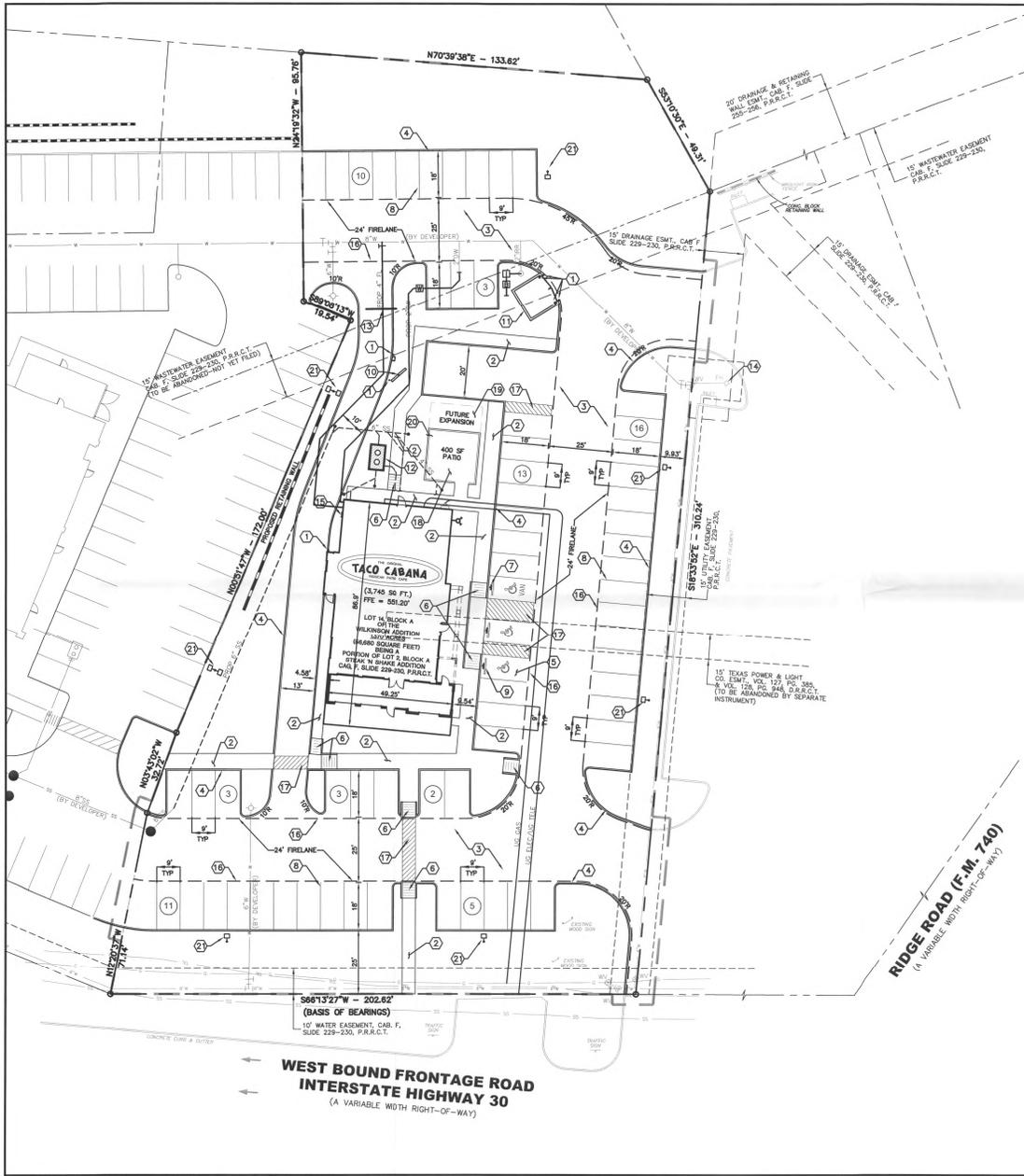
DRAWN: JF SCALE:

SHEET NO:
A204



VICINITY MAP
1" = 500'

CONCEPT SITE PLAN	
RESTAURANT	
568 E INTERSTATE 30	
CITY OF ROCKWALL, TEXAS	
ENGINEER	
 <small>5300 TOWN & COUNTRY BOULEVARD, SUITE 190 FRISCO, TEXAS 75034 469-850-0900 dec@dec.com TBPPE FIRM NO. F-20255</small>	
ISSUE DATE	DEC FILE NO.
04/16/25	105621
CITY FILE NO.	SHEET NO.
-	PSP



CAUTION!!
 CONTRACTOR IS TO CONTACT TEXAS ONE-CALL SYSTEM (1-800-245-4545) OR OTHER UTILITY LOCATING SERVICES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION ACTIVITIES. BURRY & PARTNERS IS NOT RESPONSIBLE FOR HAVING ALL EXISTING UTILITIES IN THE PROJECT AREA NOR FOR DETERMINING THE EXACT LOCATIONS OF UTILITIES ON THESE DRAWINGS.



KEY NOTES:

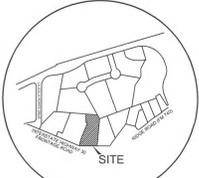
- ① BOLLARD (SEE DETAIL)
- ② SIDEWALK (SEE DETAIL)
- ③ PAVEMENT (SEE DETAIL)
- ④ CURB (SEE DETAIL)
- ⑤ HANDICAP PARKING (SEE DETAIL)
- ⑥ HANDICAP RAMP (SEE DETAIL)
- ⑦ HANDICAP SIGN (SEE DETAIL)
- ⑧ 4" YELLOW STRIPING (SEE NOTE 4, THIS SHEET)
- ⑨ WHEEL STOP (SEE DETAIL)
- ⑩ MENU BOARD (SEE DETAIL 6.11)
- ⑪ DUMPSTER ENCLOSURE (SEE STRUCTURAL PLANS)
- ⑫ GREASE TRAP (SEE MEP PLANS)
- ⑬ TRAFFIC CLEARANCE BAR (SEE DETAIL)
- ⑭ EXISTING FIRE HYDRANT
- ⑮ ROOF ACCESS LADDER (SEE ARCH)
- ⑯ FIRE LANE STRIPING (SEE DETAIL)
- ⑰ 4" YELLOW STRIPING @ 45°
- ⑱ OUTDOOR PATIO AREA
- ⑲ FUTURE EXPANSION AREA
- ⑳ METAL RAILING & GATE (SEE ARCH)
- ㉑ LIGHT POST (SEE PHOTOMETRIC PLAN)

LEGEND

EXISTING	PROPOSED	DESCRIPTION
●	●	1/2" IRON ROD FOUND
○	○	IRON PIPE FOUND
○	○	NAL FOUND
○	○	COMPUTED POINT
○	○	MONUMENT FOUND
○	○	POINT OF BEGINNING
○	○	BENCHMARK
○	○	RECORD INFORMATION
○	○	LIGHT POLE
○	○	POWER POLE
○	○	DOOR KUT
○	○	FIRE HYDRANT
○	○	WATER VALVE
○	○	GAS METER
○	○	MONITORING WELL
○	○	GAS VALVE
○	○	WOOD FENCE
○	○	CHAIN LINK FENCE
○	○	WIRE FENCE
○	○	ELECTRICAL MANHOLE
○	○	WASTEWATER MANHOLE
○	○	STORMSEWER MANHOLE
○	○	WATER MANHOLE
○	○	CLEAN OUT
○	○	CD* DRAINAGE INLET
○	○	CURB INLET
○	○	CURB & GUTTER
○	○	FIRE LANE
○	○	HANDICAPPED PARKING SPACE
○	○	SIGN
○	○	VARIABLE HEIGHT C.M.U. BUFFERING WALL
○	○	ELECTRIC PULL BOX
○	○	ELECTRIC METER
○	○	ELECTRIC TRANSFORMER
○	○	TELEPHONE SERVICE BOX
○	○	BOLLARD
○	○	OVER HEAD ELEC. LINE
○	○	OVER HEAD TELEPHONE
○	○	3/4" IRON SINK LINE
○	○	WATER LINE
○	○	WASTEWATER LINE
○	○	FORCE MAIN
○	○	UNDERGROUND ELECTRIC
○	○	UNDERGROUND TELEPHONE
○	○	GAS LINE
○	○	PROPERTY LINE
○	○	LEASE LINE
○	○	CONTOUR
○	○	SPOT ELEVATION
○	○	TOP OF CURB ELEVATION
○	○	EDGE OF PAVEMENT ELEVATION
○	○	GUTTER ELEVATION
○	○	CUT/FILL SLOPES
○	○	FLOW DIRECTION
○	○	CONCRETE SURFACE
○	○	LEVEL AREA
○	○	MAN 2% SLOPE (ANY DIRECTION)
○	○	NUMBER OF PARKING SPACES
○	○	LIMITS OF CONSTRUCTION
○	○	FIRE LANE
○	○	LIGHT POLE FIXTURES 4' FROM BACK-OF-CURB

SITE SUMMARY

LOT AREA - 1.37 AC. 59,888.82 SQ. FT.	4,180/30-42 SPACES
208-246.00' X 280-00.00' X 141-00.00' X 141-00.00'	65 SPACES
PROPOSED USE - RESTAURANT	2 STD. 1 VAN
FIRM MAP - 40547-0000, DATED JUNE 16, 1992	2 STD. 1 VAN
PARKING PROVIDED (1 PER 100 SF)	HANDICAP PARKING PROVIDED
PARKING PROVIDED	
HANDICAP PARKING PROVIDED	
HANDICAP PARKING PROVIDED	
BUILDING SQUARE FOOTAGE	3,745 SQ. FT.
BUILDING HEIGHT	28.00'
LOT COVERAGE	6.28%
SQUARE FOOTAGE OF IMPERVIOUS SURFACE	38,976.03 SQ. FT.
LANDSCAPED OPEN SPACE REQUIRED	20,701.95 SQ. FT.
(10% OF TOTAL SITE AREA)	
LANDSCAPED OPEN SPACE PROVIDED	34.89%
OPEN SPACE	



VICINITY MAP

FILE COPY



2007 007



NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB.
2. ALL RADI ARE 2.0' UNLESS OTHERWISE NOTED.
3. ALL PROPOSED PARKING SHALL BE 9.0'x18.0' UNLESS OTHERWISE NOTED.
4. STRIPING SHALL BE SHOWN WILLIAMS PRO-MAR TRAFFIC MARKING PAINT - YELLOW.
5. LIGHT POLE FOUNDATION, STAND AND FIXTURE TO MATCH EXISTING LIGHTING WITHIN SHADING CENTER. LIGHT POLE FIXTURES TO BE LOCATED FOUR FEET FROM BACK-OF-CURB.

LEGAL DESCRIPTION:

A 1.37 ACRE TRACT OF LAND SITUATED IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A PORTION OF LOT 2, BLOCK A, STEVEN SHANE ADDITION, ACCORDING TO PLAT RECORDS IN CABINET F, SLIDE 229-230, AND BEING A PORTION OF LOT 1, BLOCK A, LA JOLLA PONTE ADDITION, ACCORDING TO PLAT RECORDS IN CABINET F, SLIDE 205, SAID TRACT ASSES BEING A PART OF THE LA JOLLA PONTE ADDITION-PHASE 2 ACCORDING TO PLAT RECORDS IN CABINET C, SLIDE 131 AND 132.

BENCHMARK NOTE:

BRASS MONUMENT IN CONCRETE 1 (ONE) FOOT WEST OF BACK OF CURB, 8 FEET NORTHEAST OF AN EXISTING WYE INLET, 40 FEET SOUTH OF ENTRANCE OF LAKESIDE VILLAGE ON VILLAGE ROAD. ELEVATION=508.03

DATE	
BY	
REVISION	
NO.	

Burry & Partners
 ENGINEERING & SOLUTIONS
 10000 Rockwell Road, Suite 100
 Dallas, Texas 75224
 Tel: (972) 991-0011 Fax: (972) 991-0077
 bop@burryandpartners.com

PRELIMINARY FOR REVIEW ONLY
 Made by: SANDRA M. HERNANDEZ
 Checked by: SMH
 Date: 05/23/07
 Project No.: 2007-007

TACO CABANA
 THE ORIGINAL MEXICAN FAST CASUAL

SITE PLAN

TACO CABANA #
 PROPOSED LOT 14, BLOCK A
 ROCKWALL, TEXAS

Scale: 1"=20'
 Date: 03-30-07
 Drawn By: MCB
 Checked By: SMH
 File: F:\2007\03-30-07\1091333P.dwg
 Project No.: 2007-007

SHEET
C3