



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **Glen Hill Way**

SUBDIVISION **Harbor Hills Addition**

LOT **3** BLOCK **A**

GENERAL LOCATION **Parcel on Glen Hill Way north adjacent of 2930 South Ridge Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **PD-32 Residential as amended**

CURRENT USE **Vacant**

PROPOSED ZONING **Unchanged**

PROPOSED USE **Single Family Attachd**

ACREAGE **.87**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **12**

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER **ZAPA Investments LLC**

☐ APPLICANT **Greenlight Studio**

CONTACT PERSON **Matt Zahm**

CONTACT PERSON **Tyler Adams**

ADDRESS **201 W Kaufman St**

ADDRESS **100 N. Cottonwood Drive**

Suite 104

CITY, STATE & ZIP **Richardson, Texas 75081**

CITY, STATE & ZIP **Richardson, Texas 75080**

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Zahm [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

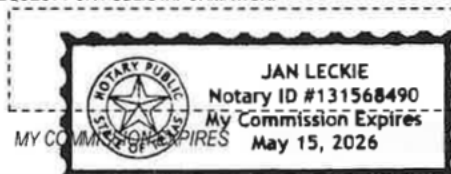
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 11th DAY OF June, 2025 BY SIGNING THIS APPLICATION. I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

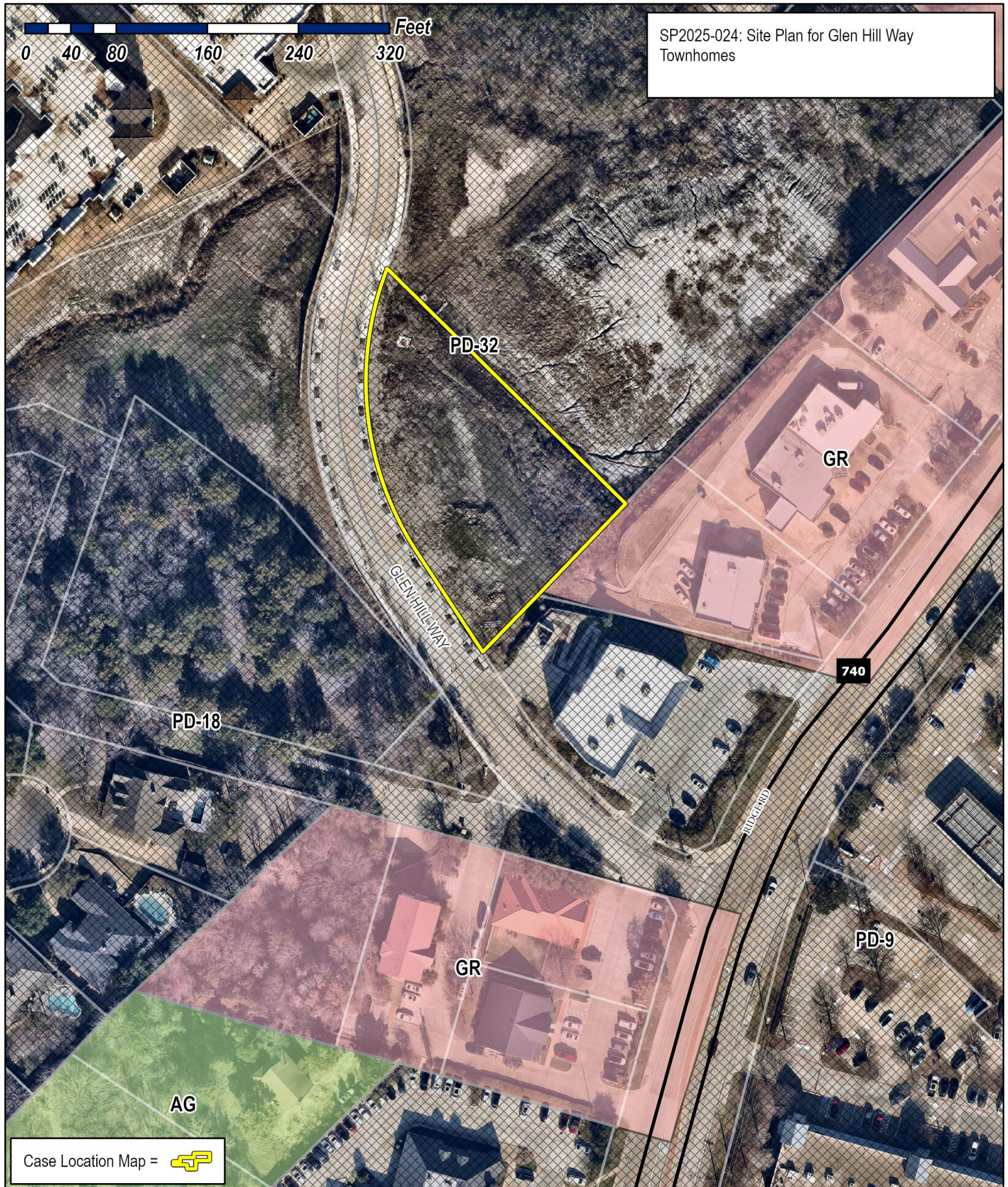
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 11th DAY OF June, 2025

OWNER'S SIGNATURE

Matt Zahm
Jan Leckie

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





SP2025-024: Site Plan for Glen Hill Way Townhomes

Case Location Map = 

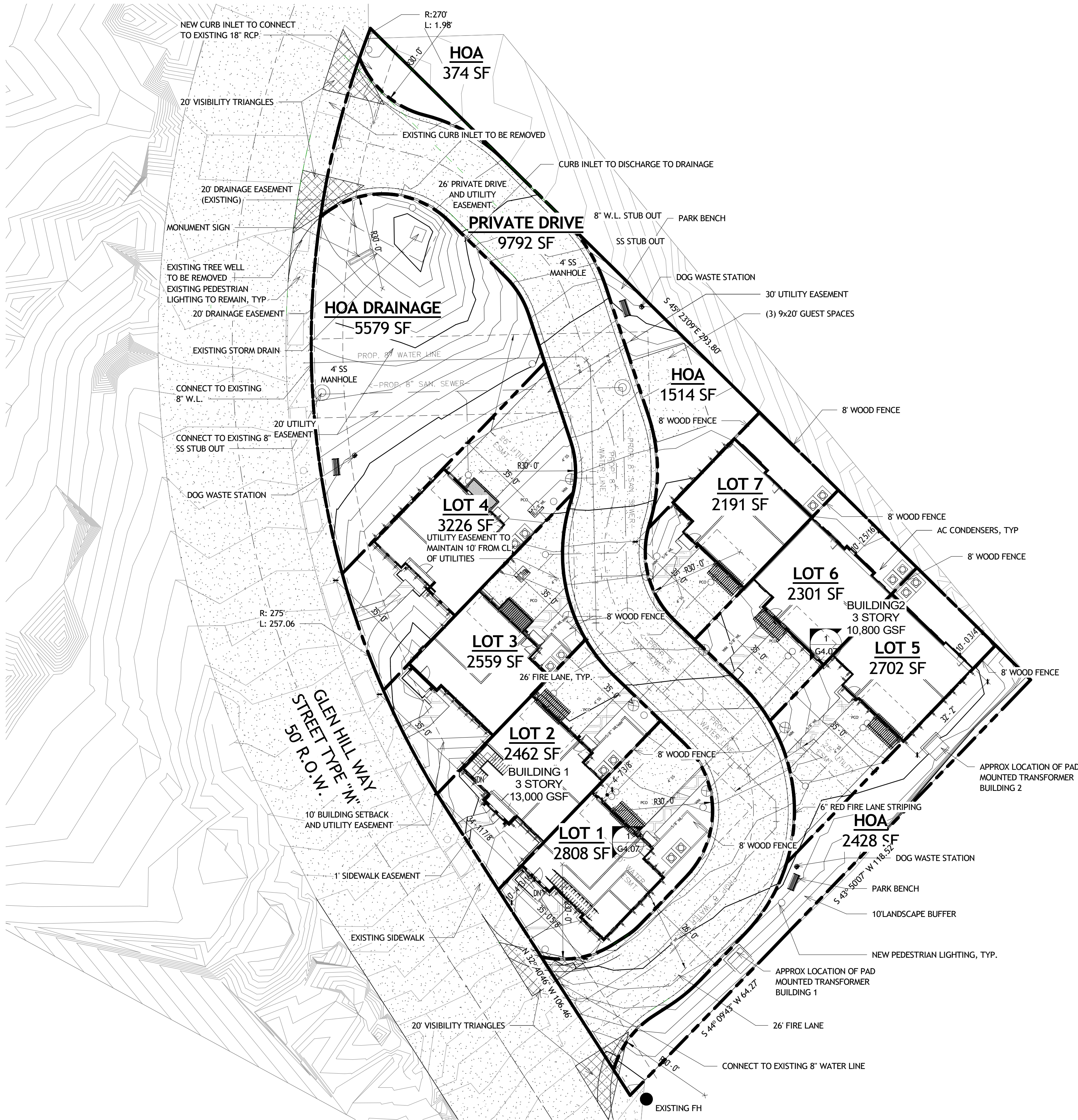


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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(P): (972) 771-7745
(W): www.rockwall.com

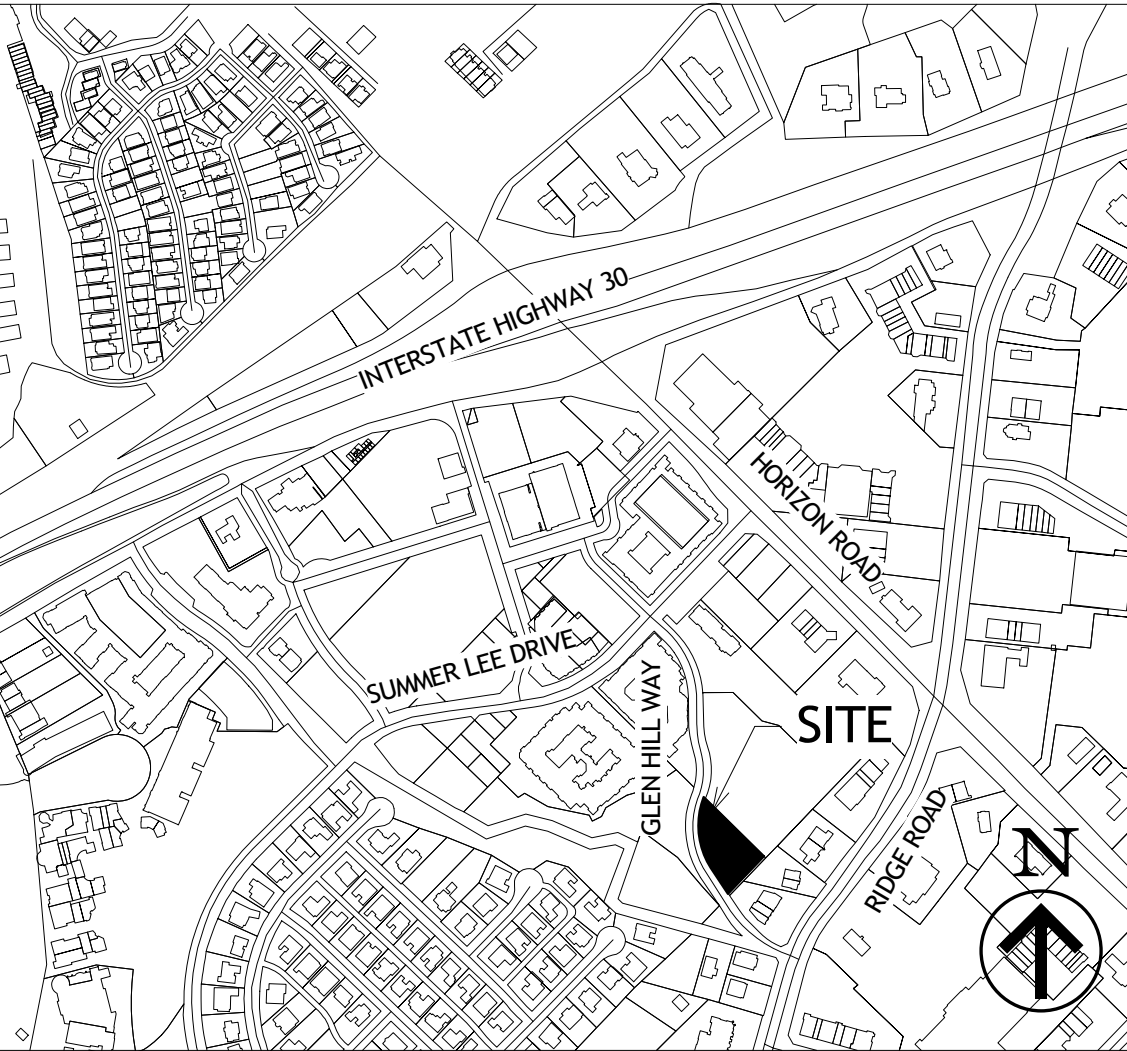
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





1 Site Plan Copy 1
1" = 20'-0"

VICINITY MAP



Property Schedule	
Name	Area
HOA	2428 SF
HOA	1514 SF
HOA	374 SF
HOA DRAINAGE	5579 SF
LOT 1	2808 SF
LOT 2	2462 SF
LOT 3	2559 SF
LOT 4	3226 SF
LOT 5	2702 SF
LOT 6	2301 SF
LOT 7	2191 SF
PRIVATE DRIVE	9792 SF
Total	37936 SF

- SITE PLAN GENERAL NOTES**
- ALL WORK MUST MEET CITY 2023 STANDARDS OF DESIGN AND CONSTRUCTION.
 - RETAINING WALLS OVER 3' MUST BE ENGINEERED.
 - ALL RETAINING WALLS OVER 18" MUST BE ROCK OR STONE FACED.
 - ALL UTILITIES MUST BE UNDERGROUND.
 - ALL PROPOSED UTILITIES SHOWN ARE CONCEPTUAL IN NATURE.

- DRAINAGE NOTES**
- GLEN HILL WAY AS-BUILT FLOWS SHALL BE MAINTAINED.
 - PROPERTY OWNER RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF DETENTION/DRAINAGE SYSTEMS.

- WATER AND WASTEWATER NOTES**
- ANY UTILITY CONNECTION MADE UNDERNEATH AN EXISTING ROADWAY MUST BE BORED.
 - ALL UTILITY CROSSINGS MUST BE DRY BORE AND STEEL ENCASED.
 - NO TREES SHALL BE WITHIN 10' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS 10" IN DIAMETER OR LARGER.
 - NO TREES TO BE WITHIN 5' OF ANY PUBLIC WATER, SEWER, OR STORM LINE THAT IS LESS THAN 10".
 - NO LANDSCAPE BERMS OR TREE PLANTINGS SHALL BE LOCATED ON TOP OF CITY UTILITIES OR WITHIN EASEMENTS.

- LIFE SAFETY GENERAL NOTES**
- EACH UNIT TO BE SEPARATED BY A CONTINUOUS ONE HOUR FIRE BARRIER.
 - BUILDINGS SHALL BE EQUIPPED WITH AN NFPA13D FIRE SPRINKLER SYSTEMS.

GREENLIGHT

STUDIO, LLC
www.greenlightcompany

Applicant:

Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

Owner:

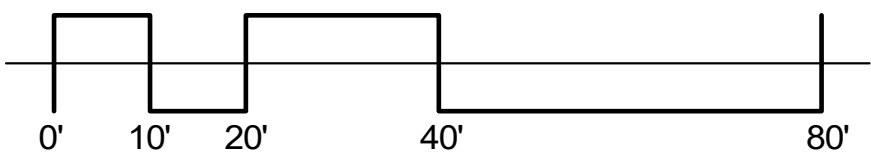
Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acres)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None

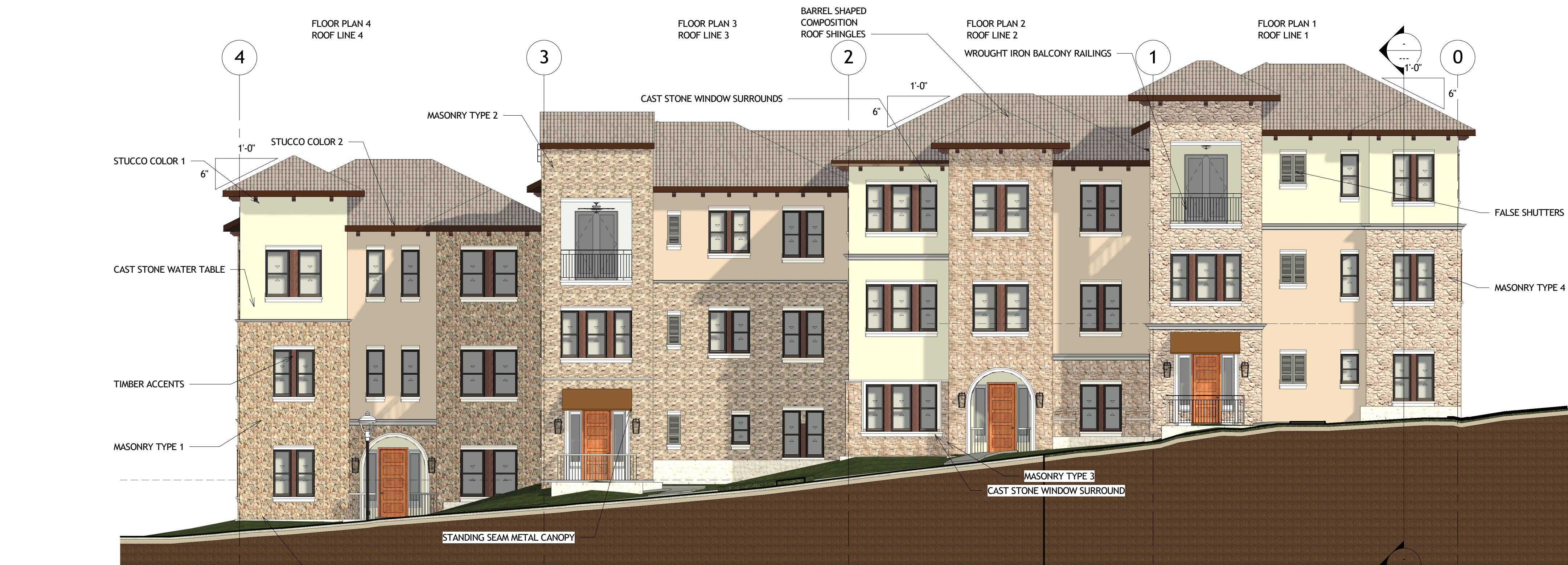


Site Plan

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared June 13, 2025

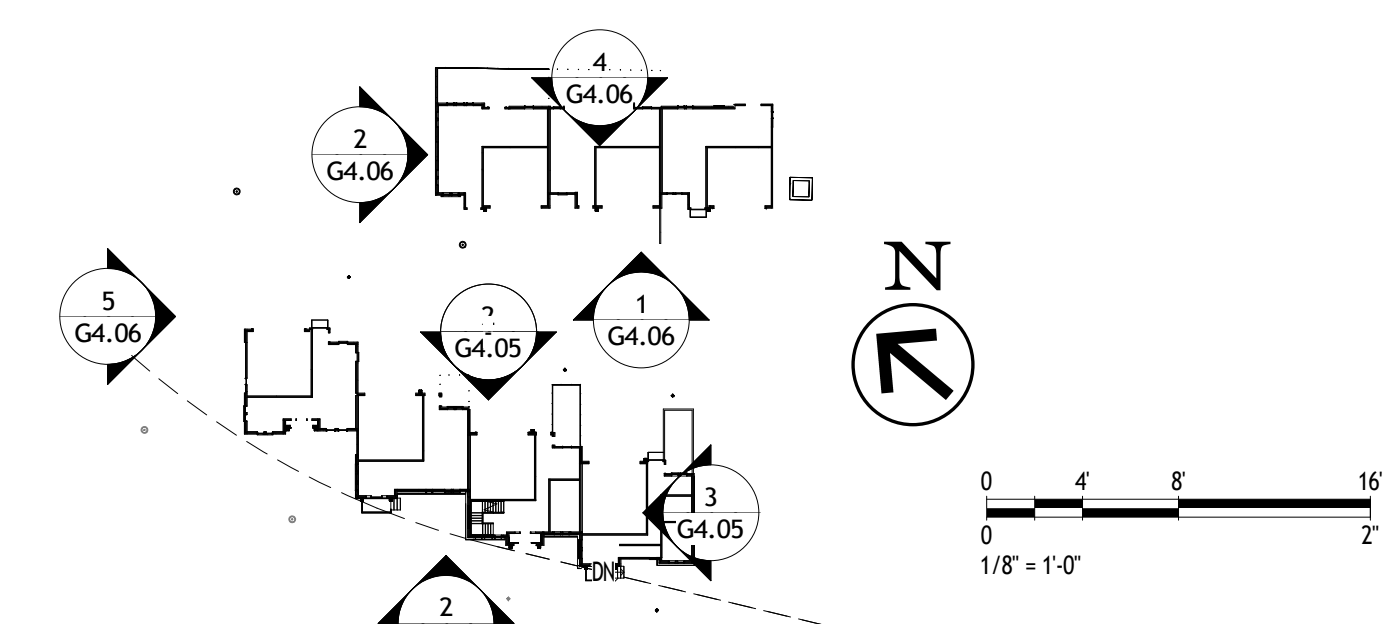


Building 1 Elevation West
 Masonry 1982 60%
 Stucco 1333 40%
 Total 3315

② Building 1 Facade - West
 1/8" = 1'-0"



① Articulation Plan West
 1/8" = 1'-0"



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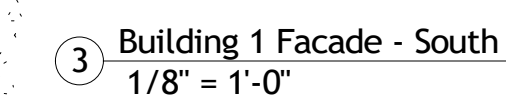
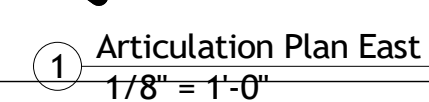
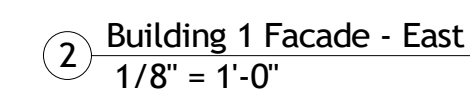
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Color Elevations

Rockwall Townhomes
 Glen Hill Way
 Lot 3 Block A Harbor Hills Addition
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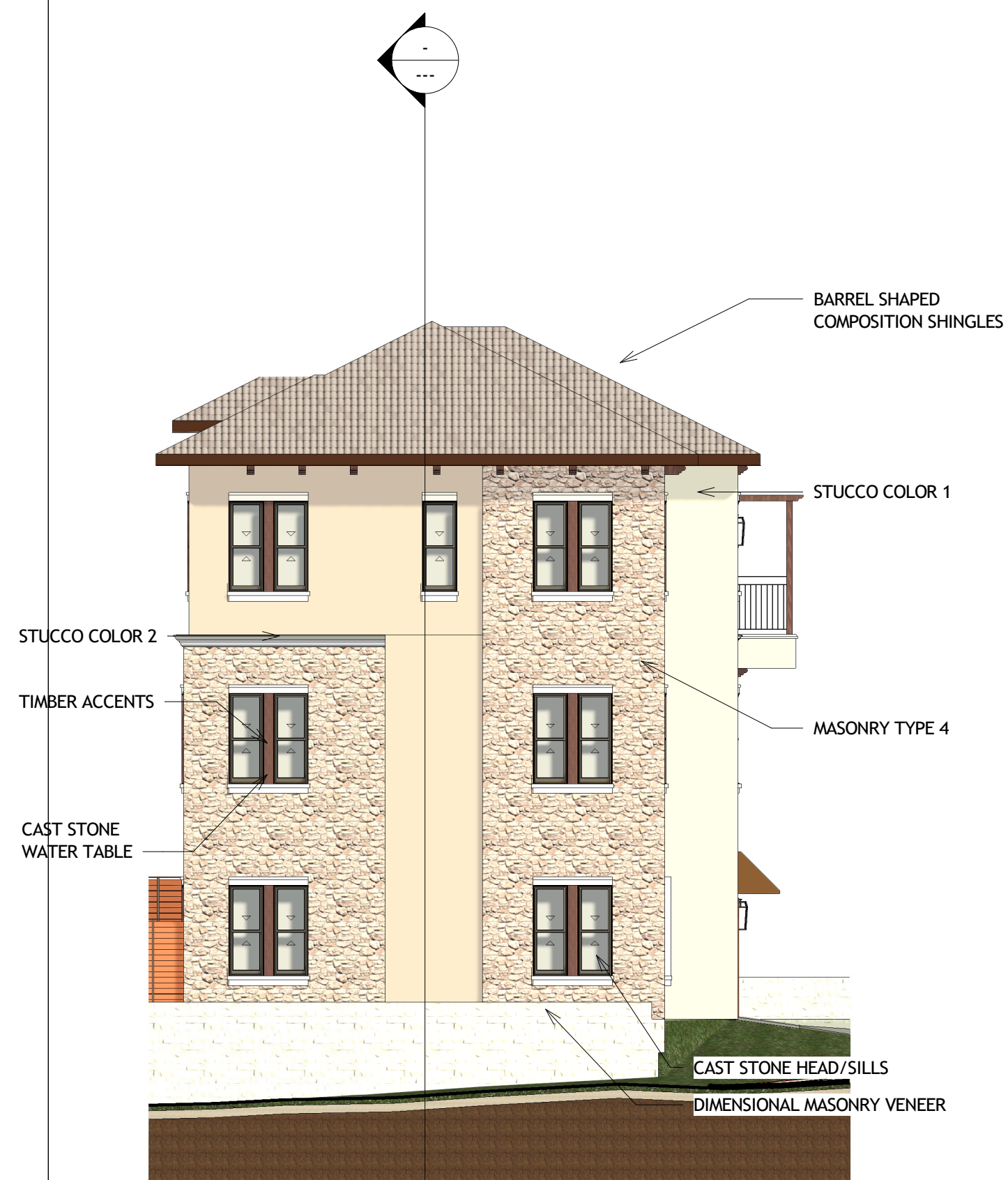
© Greenlight Studio, LLC City of Rockwall Case Number: Z2025-011



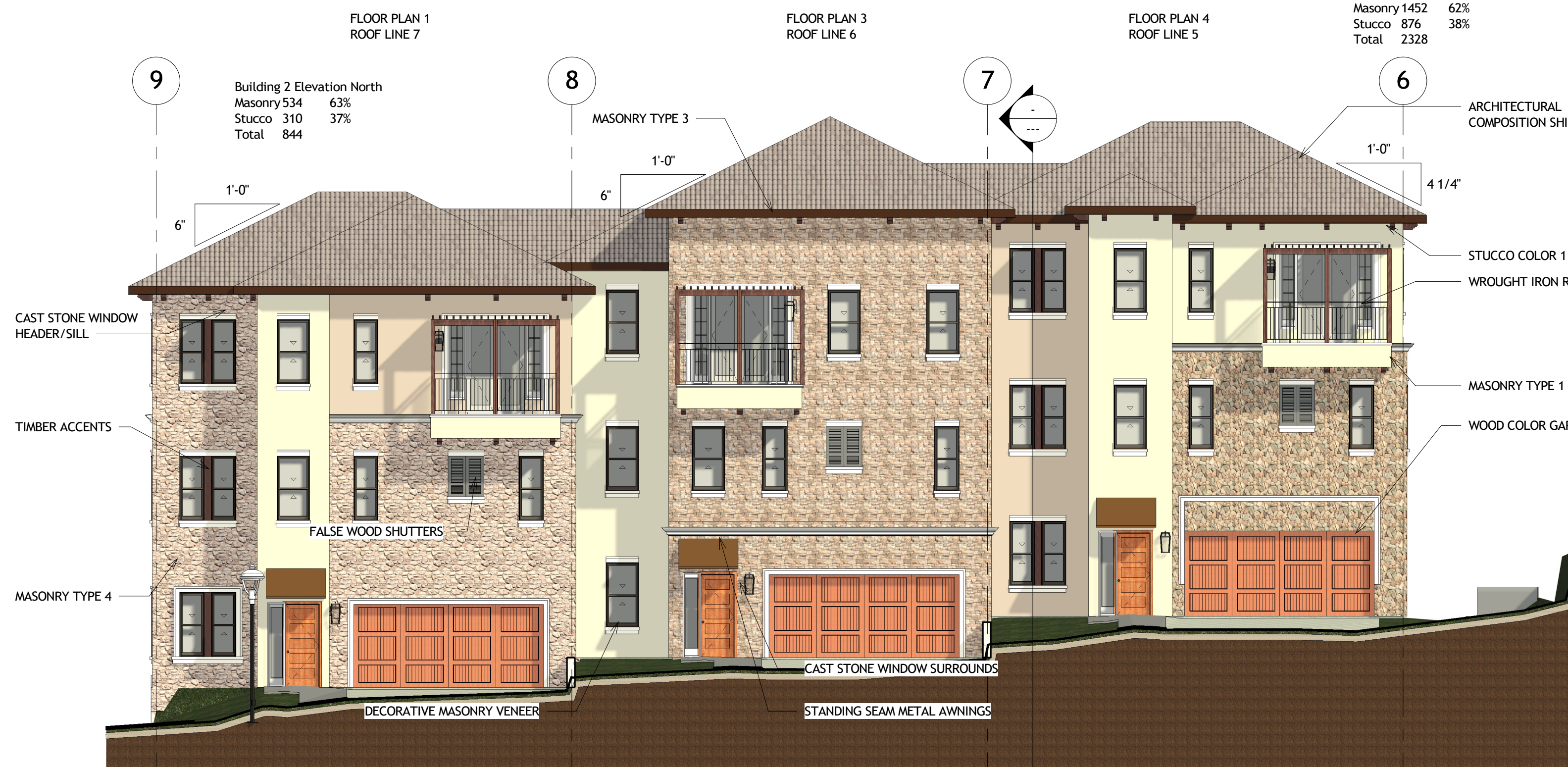
5 Building 1 Facade - North
1/8" = 1'-0"



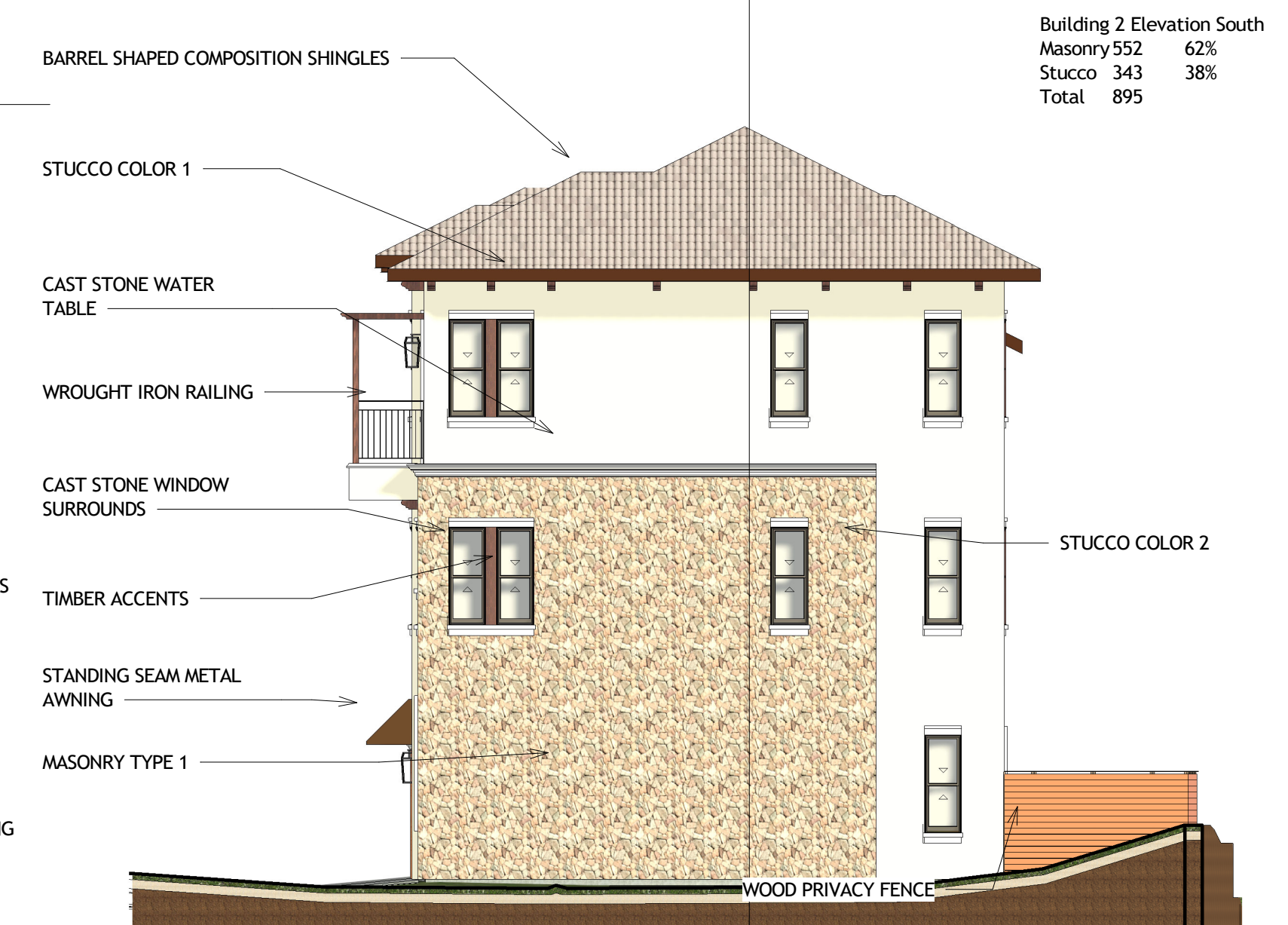
4 Building 2 Facade - East
1/8" = 1'-0"



2 Building 2 Facade - North
1/8" = 1'-0"



1 Building 2 Facade - West
1/8" = 1'-0"



3 Building 2 Facade - South
1/8" = 1'-0"

0 4 8 16
0 2'
1/8" = 1'-0"

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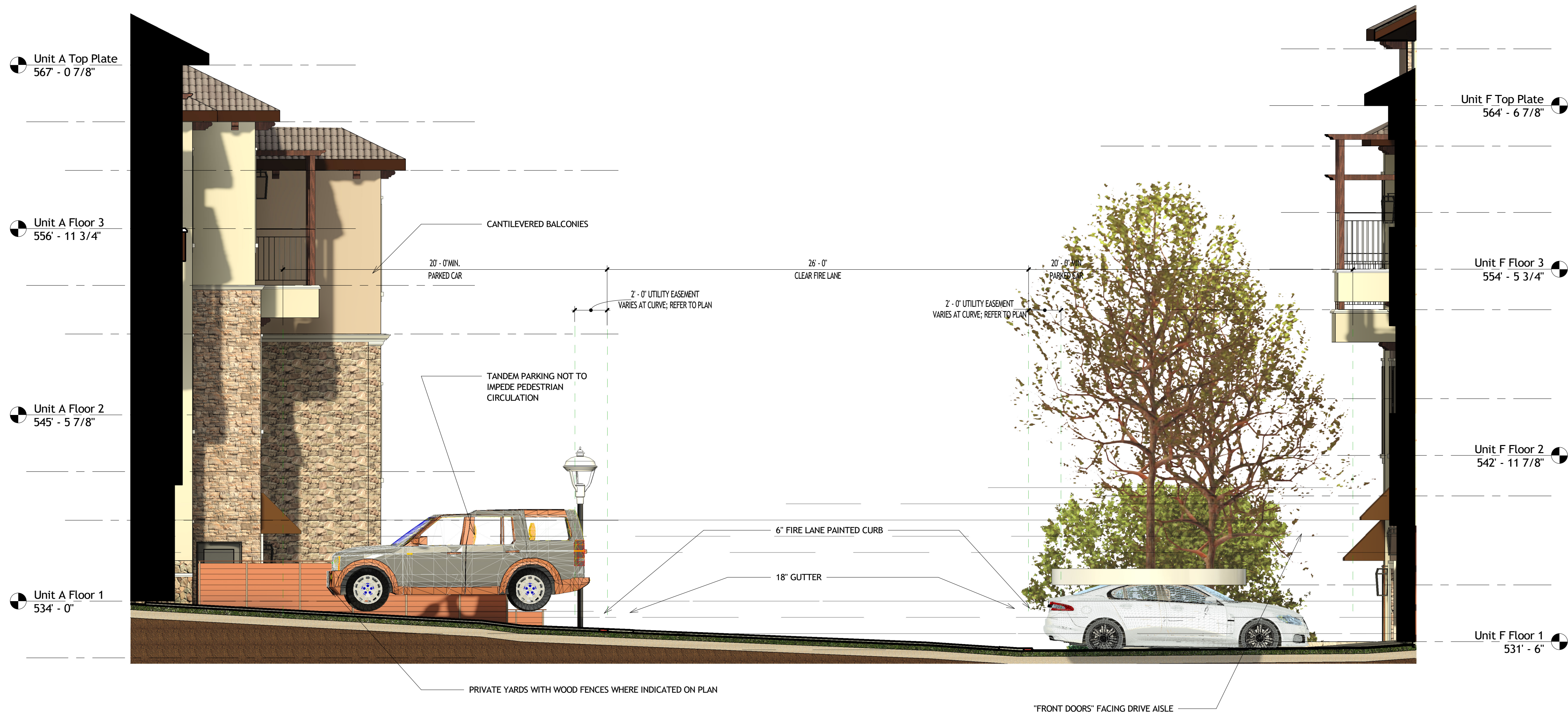
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Color Elevations

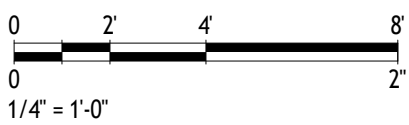
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① Drive Aisle Section
1/4" = 1'-0"



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Drive Aisle Section

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OVERALL VIEW



VIEW ALONG GLEN HILL WAY



INTERIOR ACCESS DRIVE

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Owner:

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Richardson, Texas 75081
v: 972.662.1435

Color Renderings

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
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VIEW FROM GLEN HILL WAY



INTERIOR ACCESS DRIVE

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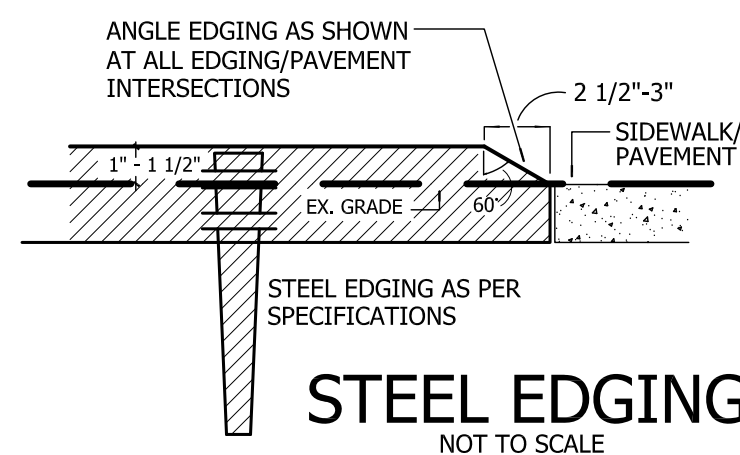
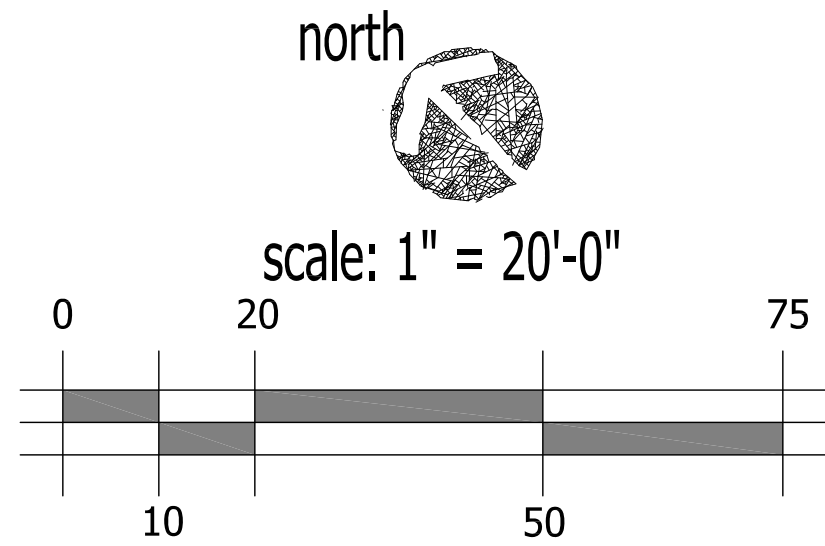
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Color Renderings

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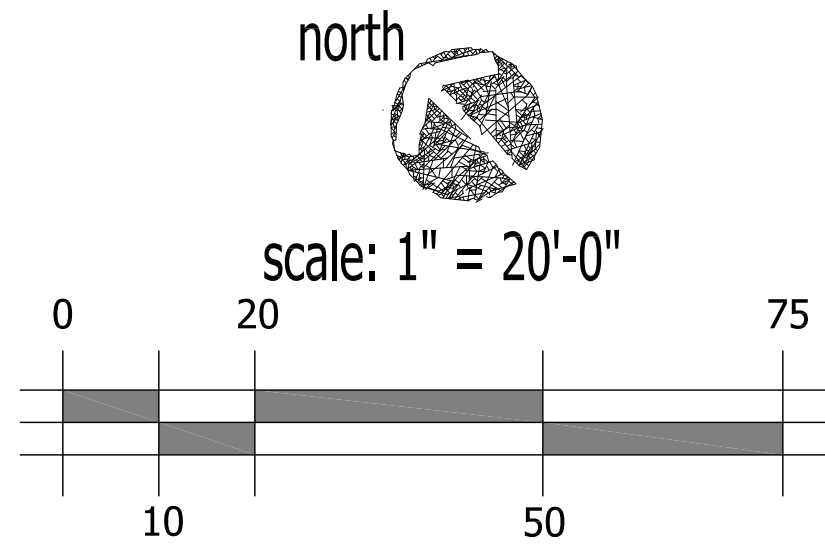
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E. Teal Survey Abstract A207

Prepared June 13, 2025



L-1

appr. by:
drawn by:
date: 06-03-25



DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

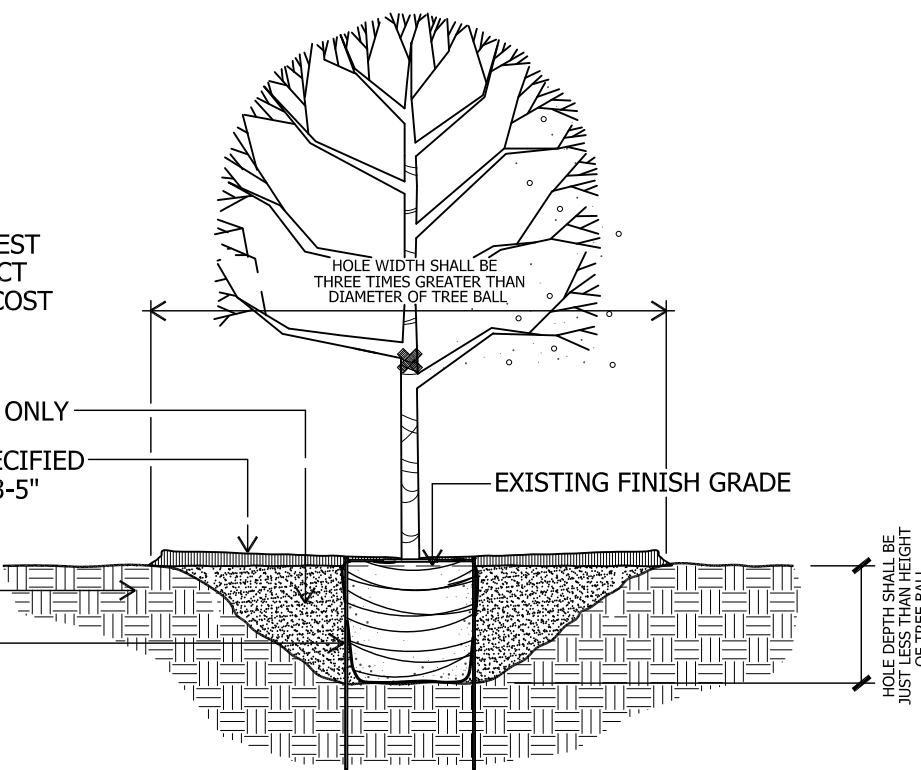
TREE STAKING TO BE PROVIDED ONLY AS REQUIRED OR AT REQUEST OF OWNER/LANDSCAPE ARCHITECT AND REIMBURSED AT PER TREE COST

EXISTING NATIVE SOIL BACKFILL ONLY

SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE

MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MNFG. BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)



TREE PLANTING
SHADE TREE - 3" CAL. and smaller
not to scale

DRENCH WITH COMPOST TEA OR GARRETT JUICE AT TIME OF INSTALLATION

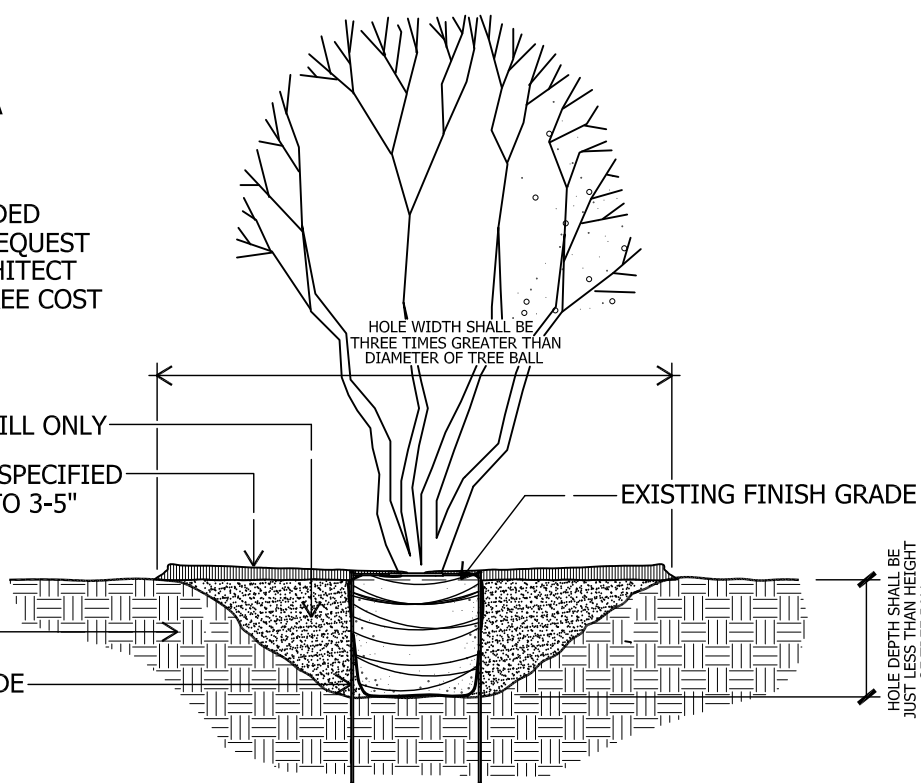
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EXISTING NATIVE SOIL BACKFILL ONLY

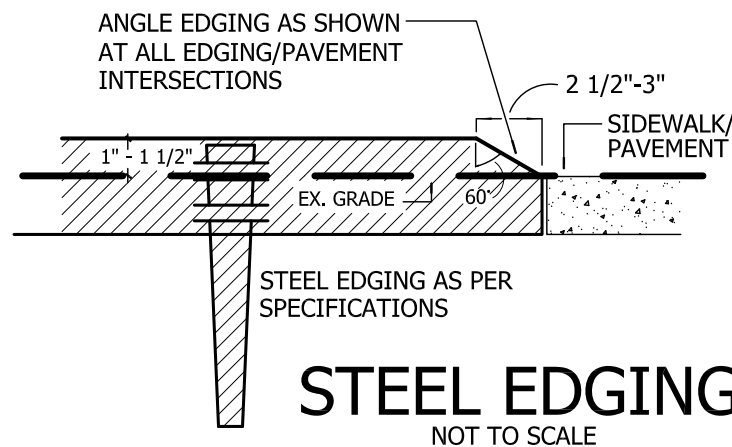
SHREDDED CEDAR MULCH AS SPECIFIED TAPER FROM 1/2" AT TRUNK TO 3-5" AT OUTSIDE EDGE TREE HOLE

UNDISTURBED SUBGRADE

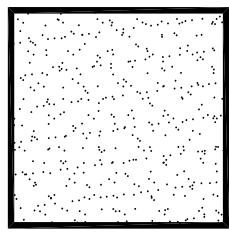
MODEL 65BG-NS BELOW-GRADE TREE STAKING AS MNFG. BY "TREE STAKE SOLUTIONS" (www.treestakesolutions.com)



TREE PLANTING
TYPICAL MULTI-TRUNK TREE
not to scale



LANDSCAPE LEGEND



COMMON
BERMUDA SOD
(CYNODON DACTYLON)

SOD INSTALLATION NOTES:

- ALL SUBGRADE SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- SOD SHALL BE VIGOROUS, WELL-ROOTED AND SHALL BE DELIVERED AT A UNIFORM SOIL THICKNESS.
- SOD SHALL BE LAID WITH ALTERNATING JOINTS.
- ALL SOD SHALL BE ROLLED TO CONSISTENT SURFACE, FILLING JOINTS WITH COARSE SAND AS REQUIRED.
- ALL SOD AREAS SHALL BE WATERED BY PERMANENT AUTOMATIC IRRIGATION SYSTEM.

CITY REQUIREMENTS

STREET FRONTAGE

- 10' LANDSCAPE BUFFER REQUIRED
- 10' LANDSCAPE BUFFER PROVIDED

STREET TREES

- 1 PER 50 LF STREET FRONTAGE
- 364' - 45' (esmt's) - 40' (drives) = 279'

GLEN HILL WAY

- 279' = 5.58 = 6 SHADE TREES REQUIRED
- 6 SHADE TREES PROPOSED
- 6 ORNAMENTAL TREES REQUIRED
- 6 ORNAMENTAL TREES PROPOSED

TOTAL LANDSCAPE AREA

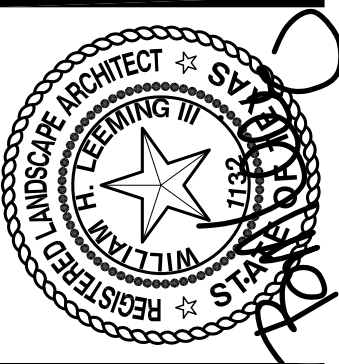
- 35% TOTAL LANDSCAPE REQUIRED
- TOTAL SITE
- 37,935 SF x 35% = 13,278 SF REQUIRED
- 13,568 SF PROVIDED (35.77%)

PLANTLIST

SYM	MATERIAL	QNTY	SIZE	HT	SP	NOTES	SPACING
BO	BURR OAK	6	3" CAL.	10-12'	5-6'	NURSERY GROWN	
	QUERCUS MACROCARPA						
LB	LACEBARK ELM	8	3" CAL.	10-12'	6-7'	NURSERY GROWN	
	ULMUS PARVIFOLIA SEMPERVIRENS						
VT	VITEX	6	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
	VITEX AGNUS-CASTUS						
ERC	EASTERN RED CEDAR	5	30 GAL.	8-10'	4-5'	CONTAINER GROWN	
	JUNIPERUS VIRGINIANA						
KF	KARL FOERSTER GRASS	19	5 GAL.	24"	18"	FULL	42"oc
	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'						
ADM	ADAM'S NEEDLE YUCCA	2	5 GAL.	12"	15"	FULL	30"oc
	YUCCA FILAMENTOSA						
DB	DWF BURFORD HOLLY	43	5 GAL.	15"	15"	FULL	30"oc
	ILEX CORNUTA 'BURFORDI' NANA						
GSN	GULFSTREAM NANDINA	7	3 GAL.	12"	12"	FULL	24"oc
	NANDINA DOMESTICA 'GULF STREAM'						
BRJ	BLUE RUG JUNIPER	35	1 GAL.	4"	12"	FULL	24"oc
	JUNIPERUS HORIZONTALIS 'WILTON'						
SE	STEEL EDGING	134	LIN. FT.	REF.	DETAIL		

LANDSCAPE NOTES

- PLANT LIST FOR THIS SHEET ONLY.
- PLANT LIST TO BE USED AS AIDE TO BIDDER ONLY. LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL BEDS SHALL BE ACCEPTED AT ROUGH FINISH GRADE. IF ANY EXISTING VEGETATION IS EVIDENT, LANDSCAPE CONTRACTOR SHALL SPRAY AREA WITH BROAD SPECTRUM HERBICIDE APPLICATION TO REMOVE ANY VEGETATION.
- AFTER APPROPRIATE TIME TO ENSURE A VEGETATION IS DEAD, TILL SUBGRADE AND RAKE SMOOTH, REMOVING ALL DEAD VEGETATION, STONES, CLODS AND DEBRIS.
- AFTER INSTALLATION OF STEEL EDGING, ALL BEDS SHALL BE TILLED TO A DEPTH OF 4-6", RAKING OUT ALL DEAD VEGETATION.
- APPLY A 2-3" DEPTH OF ORGANIC MATERIAL OVER ENTIRE BED AND TILL INTO EXISTING SOIL. ORGANIC MATERIAL SHALL BE ONE OF FOLLOWING:
 - VITAL EARTH COMPOST
 - BACK-TO-EARTH SOIL CONDITIONER
 - LIVING EARTH COMPOST
 - SOIL BUILDING SYSTEMS COMPOST
 - SILVER CREEK MATERIALS COMPOST
- TOPDRESS ENTIRE BED WITH MINIMUM 2" DEPTH SHREDDED NATIVE CEDAR MULCH.
- ALL SHADE TREES AND ORNAMENTAL TREES SHALL BE PLANTED AS PER DETAILS ON THIS SHEET.
- ALL LANDSCAPE AREAS SHALL BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM, COMPLETE WITH FREEZE SENSOR, RAIN STAT, AND CONTROLLER. SYSTEM SHALL BE DESIGNED TO UTILIZE WATER-SAVING TECHNIQUES AND EQUIPMENT. INSTALLATION OF SYSTEM SHALL BE MADE BY A FIRM DULY LICENSED UNDER ARTICLE NO. 8751 VTCs (LICENSED IRRIGATORS ACT), S.B. NO. 259.



Leeming
Design Group
Landscape Architecture



4013 Bull Saw Drive, Suite 101-B, North Richland Hills, Texas 76180
(817) 577-0889 Fax: (817) 577-0896 leemingdesigngroup@leemingdesign.net

LANDSCAPE PLAN

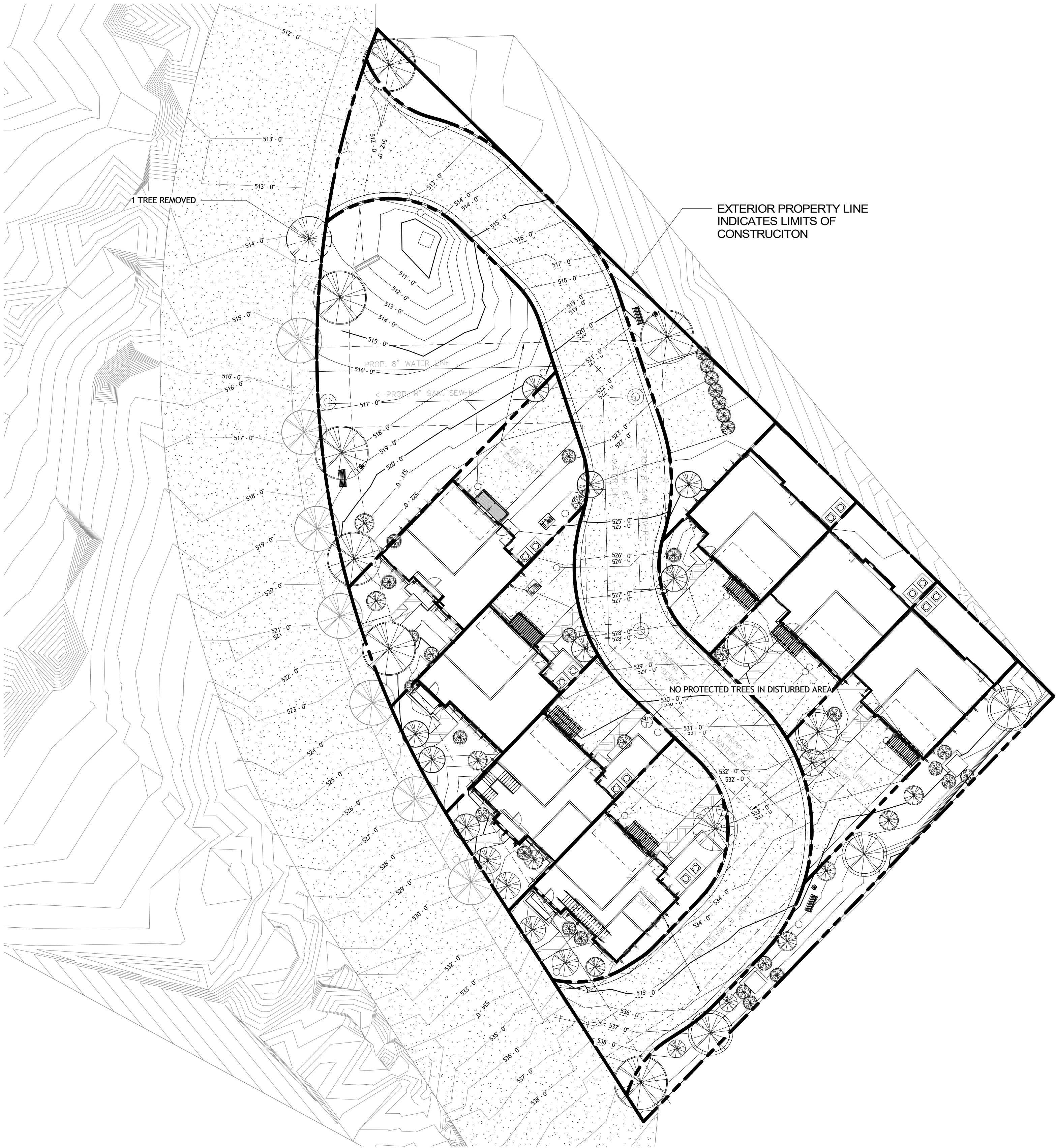
GLEN HILL TOWNHOMES
GLEN HILL WAY
ROCKWALL, TEXAS

file name:
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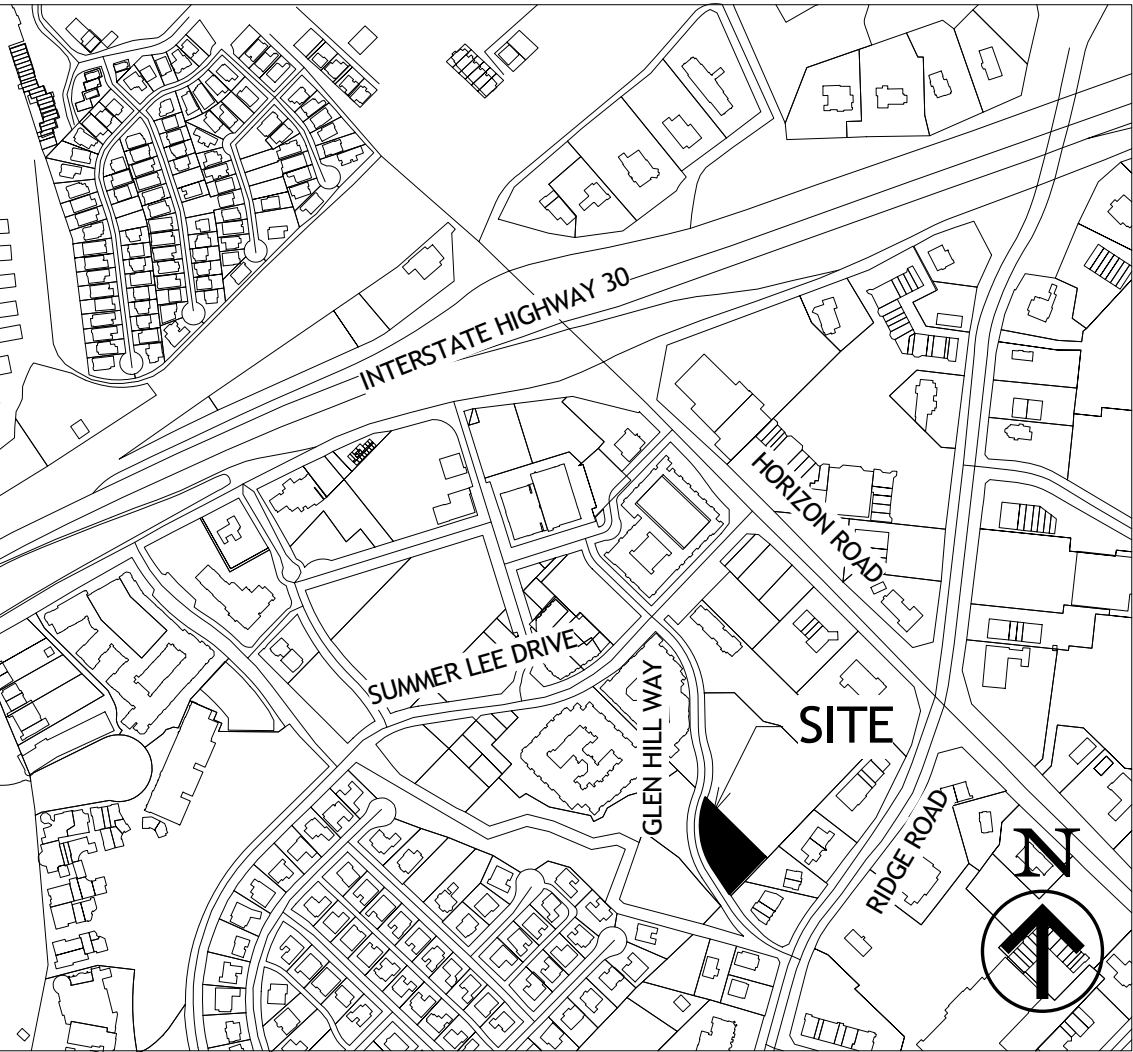
sheet
1-1

apr. by:
drawn by:
date: 06-03-25

revisions
06-11-25



VICINITY MAP



GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

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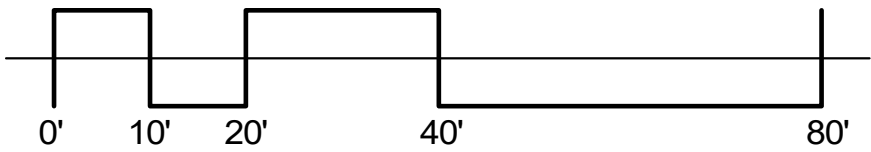
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Richardson, Texas 75081
v: 972.682.1435

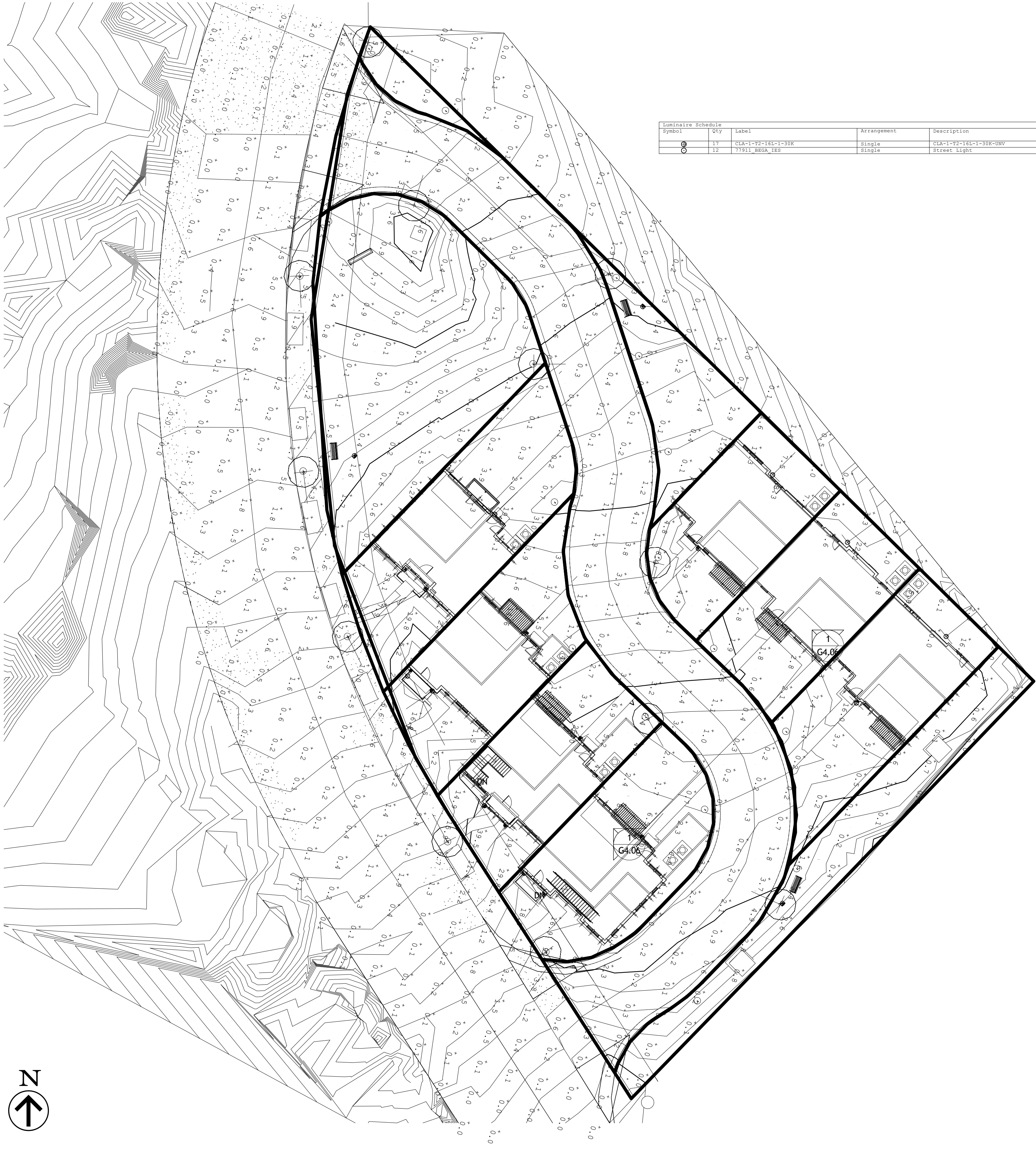
Site Data Summary Table

General Site Data	
Zoning	PD-32 Residential Subdistrict
Existing Use	Vacant
Proposed Land Use	Single Family Attached (Townhomes)
Lot Area Combined (SF)	37,935
Lot Area Combined (Acre)	0.87
Building Footprint Area (Approximate)	9,363
Area Covered by Canopy	0
Single Family Attached Units	8
Unit Density Per Acre	9.2
Building 1 Area	16,506
Building 2 Area	10,521
Total Building Area	27,027
Maximum Building Height (# Stories)	3
Maximum Building Height (Feet)	50' to Roof Ridge
Lot Coverage	25%
Floor Area Ratio	5/7

Parking	
Required Parking 2 Per unit	16
Parking Provided	
Uncovered Surface Spaces (Guest)	3
Garage Spaces	16
Tandem (Driveway) Spaces	16
Total Parking Provided	35
Accessible Parking Required	N/A
Accessible Parking Provided	0

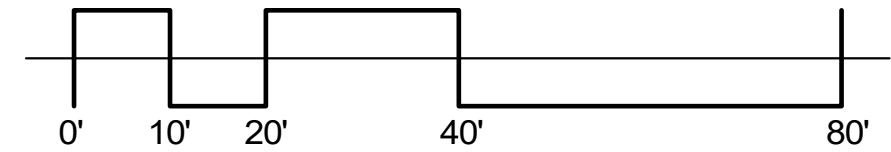
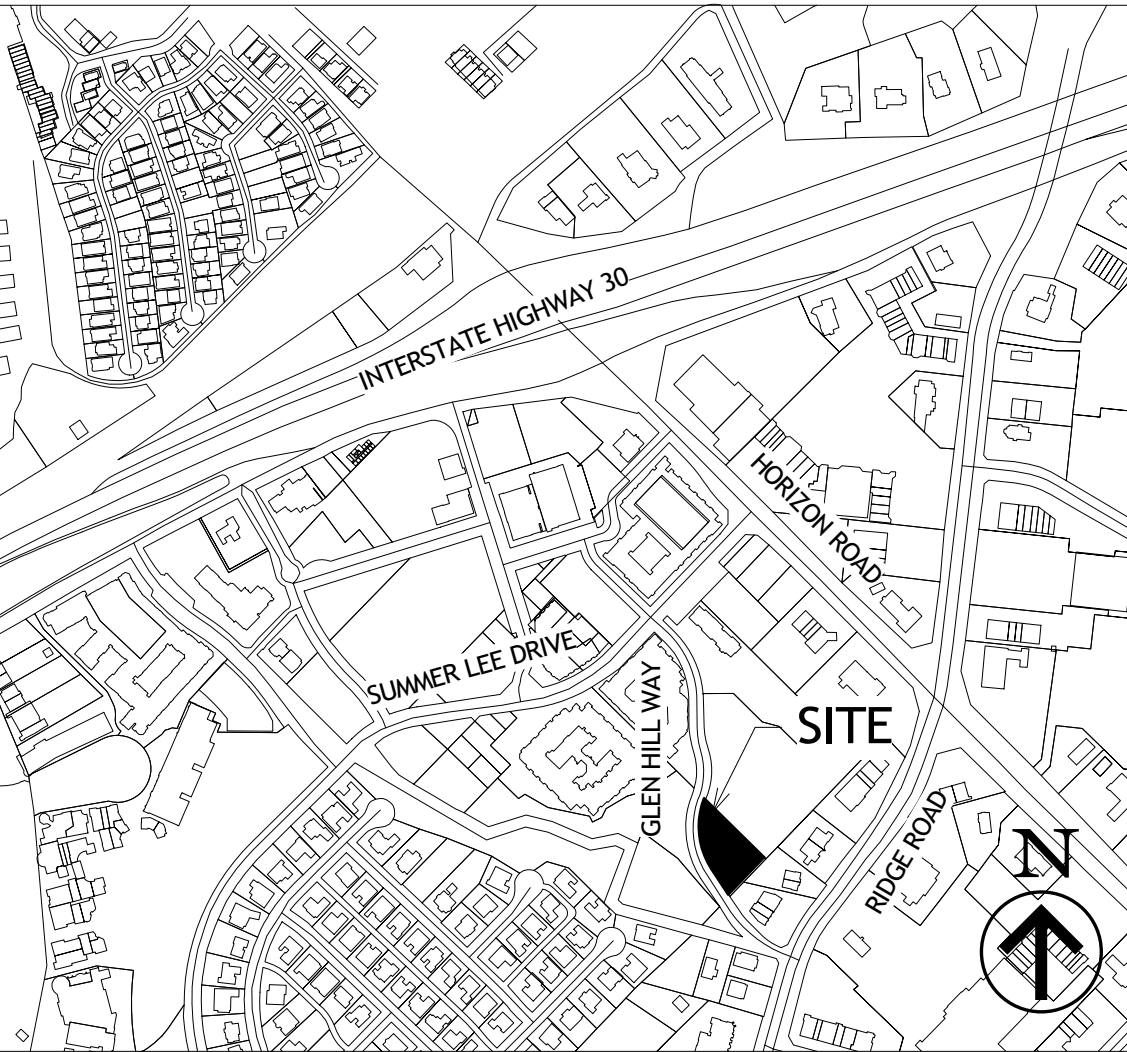
Landscaping Area	
Open Space Required	
Required area per zoning	N/A
Total Open Space Provided	4,822
Other Landscape area within the lot	10,672
Total Landscape Area	15,494
Impervious Area	
Building Area	9,363
Sidewalks, Pavement, and other Impervious Flatwork	9,896
Other Impervious Area (Decorative Stamped Concrete)	3,182
Total Impervious Area	22,441
Total Landscape Area, Impervious Area, Permeable Area	37,935
Total Area for Outdoor Storage	None





Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	SLF	Luminaire Lumens	Luminaire Watts	Total Watts	Arrangement
	17	CLA-1-P2-161-1-30K	Single	CLA-1-P2-161-1-30K-DRY	1.000	5858	55	952	55
	12	77511 880K_160	Single	Street Light	1.000	3558	28	336	28

VICINITY MAP



1 Photometric Study
1" = 20'-0"

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Total Area for Outdoor Storage	None

GREENLIGHT

STUDIO, LLC
www.greenlightcompany.com

Applicant:
Greenlight Studio LLC
100 N. Cottonwood Drive
Suite 104
Richardson, Texas 75080
v: 214.810.4335

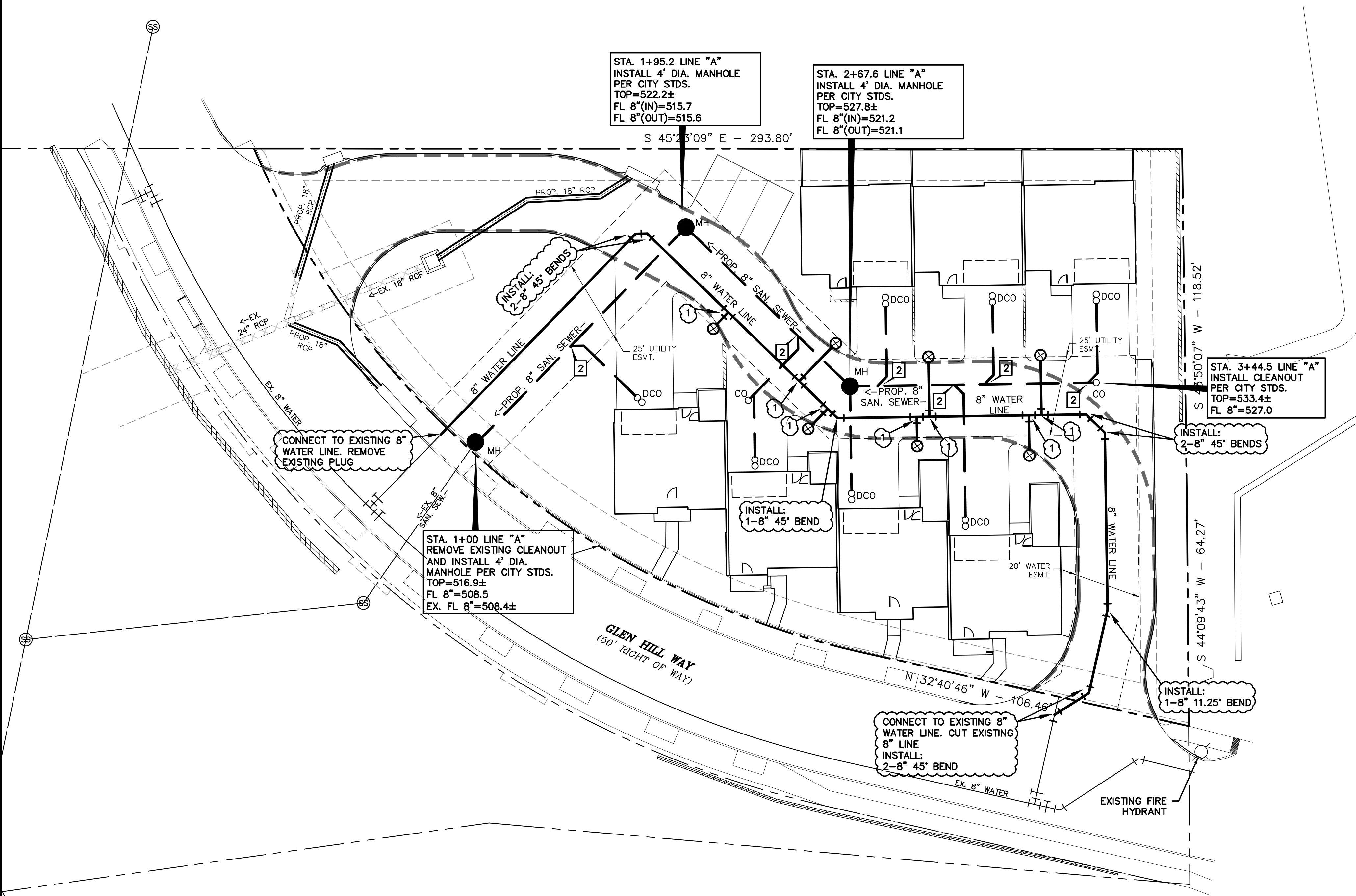
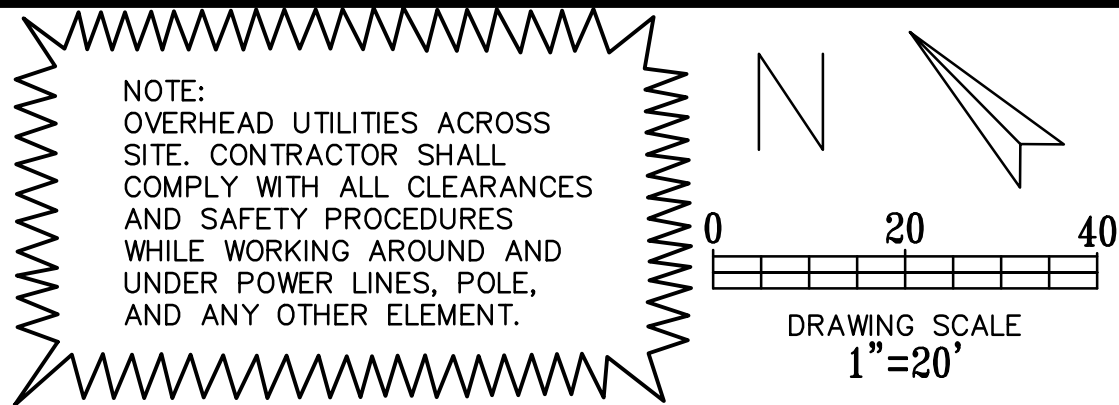
Owner:
Zapa Investments, LLC
201 W. Kaufman St.
Richardson, Texas 75081
v: 972.682.1435

Photometric Study

Rockwall Townhomes
Glen Hill Way
Lot 3 Block A Harbor Hills Addition
Rockwall, Texas

City of Rockwall, Texas
E. Teal Survey Abstract A207

Prepared June 13, 2025



- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - PROPOSED SANITARY SEWER PIPE
 - EXISTING SANITARY SEWER PIPE
 - PROPOSED SANITARY SEWER CLEANOUT
 - PROPOSED WATER PIPE
 - EXISTING WATER PIPE
 - EXISTING STORM PIPE
 - PROPOSED STORM SEWER PIPE

1. INSTALL:
1-1" TAPPING SLEEVE
1-8" METER AND BOX
2. INSTALL:
1-4" SEWER LATERAL

GENERAL NOTES

- THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES ON THESE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE APPROXIMATE. THE CONTRACTOR, PRIOR TO CONSTRUCTION, MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES AND SHALL BE RESPONSIBILITY FOR CONTACTING ALL FRANCHISE AND MUNICIPAL UTILITIES. THE ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF FINAL GRADE AND/OR PAVEMENT. ANY REMOVAL OR DAMAGE TO EXISTING IMPROVEMENTS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT HIS OR HER EXPENSE AND SHALL BE APPROVED BY THE OWNER. SAID EXISTING IMPROVEMENTS INCLUDE BERMS, DITCHES, FENCES, VEGETABLE, ETC.
- DURING THE CONSTRUCTION OF THIS PROJECT, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE RESOLVED BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE, WHICH ARE MADE DURING THE BIDDING PHASE, WILL HAVE NO BEARING ON THE DECISION.

- ANY UTILITY TEST THAT FAILS TO MEET CITY/STATE REQUIREMENTS SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE. ALL PARTIES WILL ONLY ACCEPT SIGNED ORIGINAL COPIES OF ALL TESTING REPORTS FOR REVIEW.
- CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL TEES, WYES, BENDS, CROSSES AND FIRE HYDRANTS. ALL CONCRETE FOR BLOCKING SHALL BE MINIMUM 3000 PSI CONCRETE. POLYETHYLENE WRAP SHALL BE INSTALLED AROUND ALL DUCTILE IRON FITTINGS AND VALVES. THE WRAP SHALL HAVE AN 8 MIL. THICKNESS AND BE WRAPPED AND HELD IN PLACE BY 2" WIDE PLASTIC BACKED ADHESIVE TAPE (POLYKEN 900, SCOTCHRAP NO. 50 OR EQUAL). THE WRAP SHALL BE INSTALLED WITHOUT BREAKS, TEARS OR HOLES IN THE FILM.
- ALL WATER MAINS 12" AND SMALLER SHALL BE PVC A.W.W.A. C900, DR-14, CLASS 200 WATER PIPE.
- ALL TAPPING SLEEVES, VALVES AND VALVE BOXES, FITTINGS AND THRUST BLOCKING SHALL BE PER THE DESIGN AND SPECIFICATIONS.
- ALL MATERIALS, CONSTRUCTION, TESTING AND WORKMANSHIP SHALL CONFORM TO CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- WATER LINES CROSSING UNDER STORM SEWER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 24" OR AS GOVERNED BY TCEQ. PARALLEL WATER LINES SHALL BE AT LEAST 9' CLEAR HORIZONTALLY TO SANITARY SEWER LINES AND MANHOLES. WHERE MINIMUM CLEARANCE CANNOT BE ACHIEVED, WATER LINES SHALL BE ENCASED BY A MINIMUM 6" 3000 PSI (MIN. 5.5 SACK) CONCRETE TO 10' EITHER SIDE OF UTILITY CROSSING. WHERE WATER LINES CROSS CREEKS OR DITCHES, THE WATER LINE SHALL BE PROTECTED BY CONCRETE ENCASEMENT AT LEAST 10' PAST THE EMBANKMENT SLOPE ON EACH SIDE.

- ANY PLUMBING INSTALLED OUTSIDE OF R.O.W. OR AN EASEMENT SHALL BE INSTALLED BY A LICENSED PLUMBER AND INSPECTED BY BUILDING INSPECTIONS.
- ALL WATER LINES SHALL BE STERILIZED AND PRESSURE TESTED TO 200 PSI FOR A 3-HOUR CONTINUOUS PERIOD OR LONGER PER CITY STANDARDS. ALL TESTING AND STERILIZATION SHALL MEET OR EXCEED CITY SPECIFICATIONS.
- ALL SANITARY SEWER PIPES 4" TO 15" SHALL BE PVC SDR 35 MEETING ASTM D3034 AND HAVE RUBBER GASKET JOINTS. ALL SANITARY SEWER PIPES 18" AND LARGER SHALL BE PVC MEETING ASTM F679.
- ALL SANITARY SEWER LINES SHALL BE TESTED FOR INFILTRATION AND EXFILTRATION IN ACCORDANCE WITH STANDARDS. TV INSPECTIONS, LOW PRESSURE AIR TESTING, VACUUM TESTING OF THE MANHOLES, AND MANDREL TESTING ARE REQUIRED ON ALL SEWER LINES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PRODUCING ANY REQUIRED TRENCH SAFETY PLAN OR TRAFFIC CONTROL PLAN.
- MECHANICAL JOINT VALVES AND FITTINGS AND ALL PIPE JOINTS LESS THAN 20 FEET FROM A VALVE OR FITTING SHALL BE EQUIPPED WITH JOINT RESTRAINT DEVICES. RESTRAINT DEVICES SHALL BE EBAA IRON, 2000 PV SERIES OR APPROVED EQUAL.
- CONTRACTOR SHALL INSTALL LOCATING TAPE ON TOP OF ALL NEW UTILITY INSTALLATION. TAPE SHALL BE A MINIMUM OF 5.0 MIL OVERALL THICKNESS AND BE A MINIMUM OF 3" WIDE. CONTRACTOR SHALL USE STANDARD INDUSTRY COLORS FOR THE INSTALLATION (BLUE FOR WATER LINES, GREEN FOR SANITARY SEWER, ORANGE FOR COMMUNICATION, ETC.)

- THE FIRE LINE, FDC LINE (IF APPLICABLE) AND ALL FIRE APERTURES SHALL BE DESIGN AND PERMITTED THROUGH THE JURISDICTIONAL AUTHORITY BY A STATE LICENSED FIRE SPRINKLER DESIGNER/CONTRACTOR. THE FIRE LINE IS SHOWN FOR REFERENCE ONLY.
- WATER MAINS SHALL HAVE BLUE EMS LOCATOR PADS EVERY 250', CHANGE IN DIRECTION, VALVE, CURB STOP, AND SERVICE CONNECTION TO MAIN WATER MAIN.
- GREEN EMS LOCATOR PAD IS TO BE INSTALLED AT EVERY MANHOLE, CLEANOUT, AND SERVICE CONNECTION TO THE WASTEWATER MAIN.
- NO TREES SHALL BE PLANTED WITHIN 5' HORIZONTALLY FROM ANY PUBLIC UTILITIES.
- ALL MANHOLES TO BE RAVEN LINED OR APPROVED EQUAL.
- ALL WATER METERS SHALL HAVE A DOUBLE CHECK/BACKFLOW PREVENTION DEVICE INSTALLED ON THE PRIVATE SITE OF THE METER.

THIS DOCUMENT IS
RELEASED FOR
THE PURPOSE OF
REVIEW UNDER THE
AUTHORITY OF PAUL
CRAGUN, P.E.
NO. 112767 ON
06/11/25.

FOR REVIEW ONLY. NOT
FOR CONSTRUCTION

**III CAUTION III
UNDERGROUND UTILITIES**

EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION SUPPLIED BY VARIOUS PARTIES. THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE UTILITY LOCATIONS SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY THE HORIZONTALLY AND VERTICALLY LOCATION OF ALL UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED AND NOTIFY THE ENGINEER OF ALL CONFLICTS OF THE WORK WITH EXISTING FACILITIES. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR TO UTILITIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
CALL: TEXAS ONE CALL ☎ 811 AT LEAST 72 HRS PRIOR TO CONSTRUCTION.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN.

REVISIONS		
REV NO.	DATE	DESCRIPTION

Cumulus Design Firm #14810
2080 N. Highway 360, Suite 240 Grand Prairie, Texas 75050
Tel. 214.235.0367

UTILITY PLAN

GLEN HILL WAY TOWNHOMES

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

LOT 3, BLOCK A, HARBOR HILLS ADDITION

DATE	PROJECT NO	DRAWING SCALE	SHEET
6/11/25	CD24022	1" = 20'	C10.0