



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 118 National Dr. Rockwall Texas 75032

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light industrial CURRENT USE Metal Shop

PROPOSED ZONING Light Industrial PROPOSED USE Wood work shop

ACREAGE 1.95

LOTS [CURRENT]

LOTS [PROPOSED]

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ OWNER Michael Williamson

☒ APPLICANT

CONTACT PERSON

CONTACT PERSON

ADDRESS 118 National Dr.

ADDRESS

CITY, STATE & ZIP Rockwall, Tx 75032

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Williamson [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 290.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 18 DAY OF July, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 18 DAY OF July, 2025.

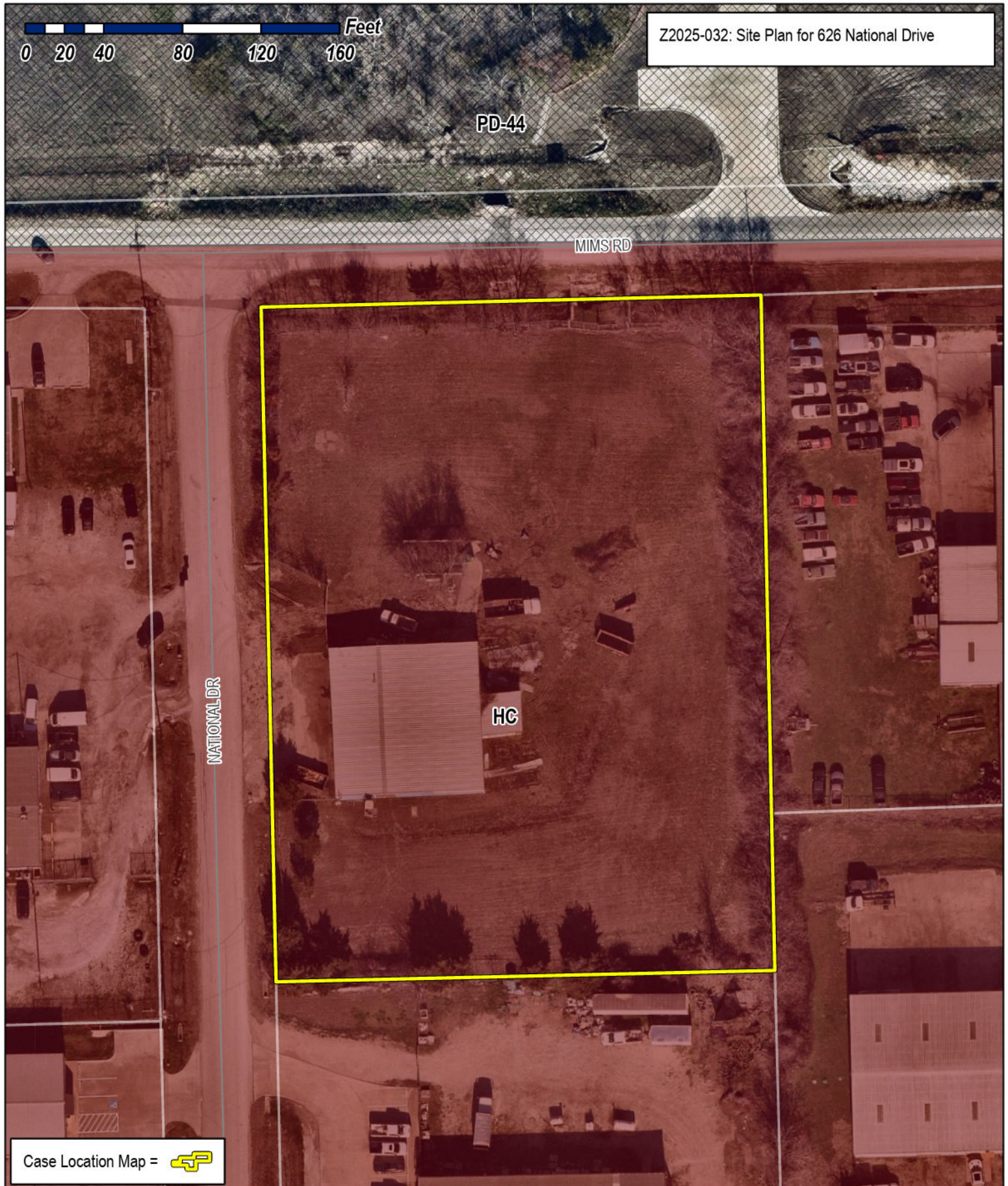
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



LIZEETH JUAREZ
Notary ID #134653132
My Commission Expires
November 20, 2027

MY COMMISSION EXPIRES November 20, 2027



City of Rockwall

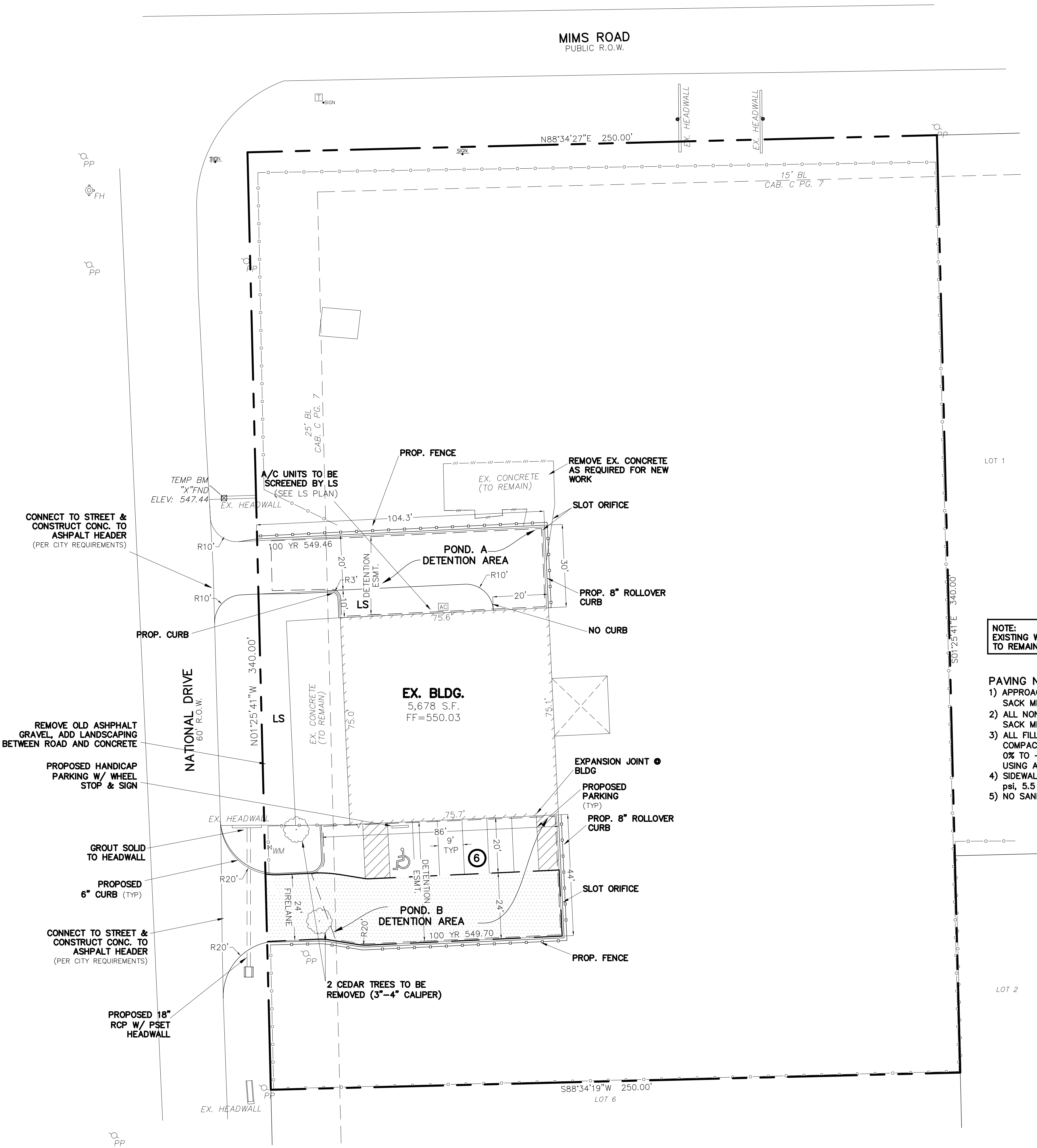
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

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WARNING:
PRIOR TO THE BEGINNING OF ANY CONSTRUCTION OR CONSTRUCTION STAKING, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CIVIL ENGINEER TO ENSURE THAT ALL PARTIES ARE IN POSSESSION OF THE MOST CURRENT SET OF CONSTRUCTION DOCUMENTS.

NOTE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION OF ALL EXISTING UTILITIES AND EASEMENTS PRIOR TO START OF OPERATIONS. CONTRACTOR WILL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO START OF CONSTRUCTION. TAKE THE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.



SITE DATA:

LOT AREA:
1.95 Acres, 84,999 sq.ft.
LOT COVERAGE:
6.7%
FLOOR TO AREA RATIO:
14.97:1
EX. BUILDING AREA:
5,678 sq.ft.
OFFICE:
WAREHOUSE:
EX. BUILDING HEIGHT:
1 STORY
IMPERVIOUS AREA (including buildings):
15,599 sq.ft.
PARKING:
Required: 6
Office ($\frac{1}{300}$ sf) =
Warehouse ($\frac{1}{300}$ SF) =
Handicap = 1
Provided:
Standard = 5
Handicapped = 1
Total Provided = 6
LANDSCAPE AREA:
Required: (20%) 17,000 sq.ft.
Provided: 69,400 sq.ft.

NOTE:
EXISTING WATER & SEWER SERVICE TO REMAIN AS IS

PAVING NOTES:

- APPROACHES AND FIRELANE TO BE 6" THICK, 3600 psi, 6.5 SACK MIX, REINFORCED WITH #3 BARS @ 18" ON CENTER. (O.C.)
- ALL NON-FIRELANE PAVING CAN BE 6" THICK, 3000 psi, 5½ SACK MIX, REINFORCED WITH #4 BARS @ 18" O.C.
- ALL FILL (IF REQUIRED) SHALL BE PLACED ON 8" LIFTS AND COMPACTED TO 95% OF STD. PROCTOR @ MOISTURE RANGE OF 0% TO +4% OF OPTIMUM MOISTURE. (UNLESS OTHERWISE NOTED) USING A SHEEPS-FOOT ROLLER.
- SIDEWALK TO BE 4" THICK CONCRETE #3 @ 24" O.C.E.W., 3000 psi, 5.5 SACK MIX IN R.O.W.
- NO SAND UNDER PAVING.

ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF ACCURACY OF DESIGN.

ONLY DRAWINGS STAMPED "RELEASED FOR CONSTRUCTION" BY THE CITY OF ROCKWALL TO BE USED FOR CONSTRUCTION.



Gerald Monk
6/25/25

PROJECT #:

SITE & DIMENSION CONTROL PLAN 626 NATIONAL

LOT 7, BLOCK A, 1.95 ACRES
NATIONAL ADDITION
City of Rockwall, Rockwall County, Texas 75087

owner
CFL LANDSCAPES
ZACHARY CONTI
469.264.9260

prepared by

MONK CONSULTING ENGINEERS
1200 W. State Street, Garland Texas 75040
972 272-1763 Fax 972 272-8761

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PROJECT NO.: 2025-3 REG. NO.: F-2567

date: 6/25/25 scale: 1"=20' sheet: C101

GENERAL NOTES

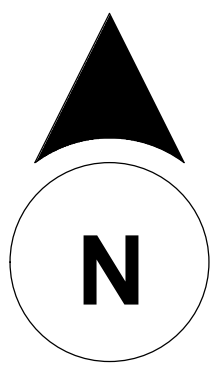
- Buildings 5,000 square feet or greater shall be sprinkled. Alternative fire protective measures may be approved by the Building Inspector and Fire Department.
- Fire lanes shall be designed and constructed per city standards.
- Handicapped parking areas shall be designed and provided per city standards and shall comply with requirements of the current adopted Uniform Building Code.
- Mechanical units, dumpster and trash compactors shall be screened in accordance with the Zoning Ordinance.
- All signage contingent upon Building Inspection Department.
- Approval of the site plan is not final until all engineering plans are approved.
- Open storage, where permitted, shall be screened in accordance with the Zoning Ordinance.
- Please contact the Building Inspection Department to determine the type of construction and occupancy group.
- All electrical transmission, distribution and service lines must be underground.

** NOTICE TO CONTRACTORS **

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY **CBG SURVEYING TEXAS LLC OF GARLAND, TEXAS**. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS, WHICH NEGATIVELY IMPACT THE PROJECT. ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

NOTES:

- ALL WORK MUST CONFORM TO CITY OF ROCKWALL & NCTCOG STANDARDS AND DETAILS 5th EDITION.
- ALL WORK IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO CITY OF ROCKWALL STANDARDS AND DETAILS.
- SEE PLAT FOR ALL INFORMATION REGARDING EASEMENTS, PROPERTY LINES, ETC.
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.



Scale: 1/20" = 1 ft

0 5 10 15 20 25 30 35 40

Required: (20%) 17,000 Sq. Ft.
Provided:
New landscaping - 7,270.96 Sq ft.
Total provided landscaping - 76,670.96 Sq Ft.















Trees to be removed : 2
Trees to be added: 4
Existing trees on fence line extend throughout property line.

Street buffer:
Four Trees
Red Oak 3" (2)
Crape Myrtle 3" (2)

Ground Cover - Bermuda Sod

Shrub buffer - Mexican Feather grass 3 gal

All New landscaping to require irrigation.

| Symbol | Qty | Common Name | Container | Height and Sprea |
|---|-------------------|-----------------------------|-----------|------------------|
| Groundcovers\Ornamental Grass | | | | |
|  | 16 | Big Blue Lillyturf, Bloomed | 1 Gal. | 10" H x 8" W |
|  | 16 | Mexican Feather Grass | Full Size | |
|  | 1 | Street Buffer | 3 Gal | 18" H x 12" W |
| Groundcovers\Perennials | | | | |
|  | 10 | Chinese Fringe Flower | 3 Gal | 12" H x 18" W |
| Shrubs\Evergreen | | | | |
|  | 17 | Golden Vicary Privet | 3 Gal. | 18" H x 12" W |
| Trees\Deciduous | | | | |
|  | 1 | Crape Myrtle | Full Size | |
|  | 1 | Crape Myrtle(street Buffer) | 3" Cal | 8' |
|  | 79 | Existing Tree | Full Size | |
|  | 1 | Red Oak(street buffer) | Full Size | |
|  | 1 | Street Buffer | 3" Cal | 10' |
| Trees\Evergreen | | | | |
|  | 2 | Nellie Stevens Holly | 30 Gal | 6' |
| Fill Style | Finish | Spec. | | |
|  | Existing Concrete | N/A | | |
|  | Proposed Concrete | 3500 PSI, Reenforced rebar | | |
|  | Bermuda Sod | Tiff 419 | | |

PLEASE BE ADVISED
This design is intellectual property of Clients First Landscape Solutions. We have the exclusive right to use, alter and profit from it. You do not have are permission to install it.



Overall Landscape Plan

**626 National Dr.
Rockwall Texas, 75032**

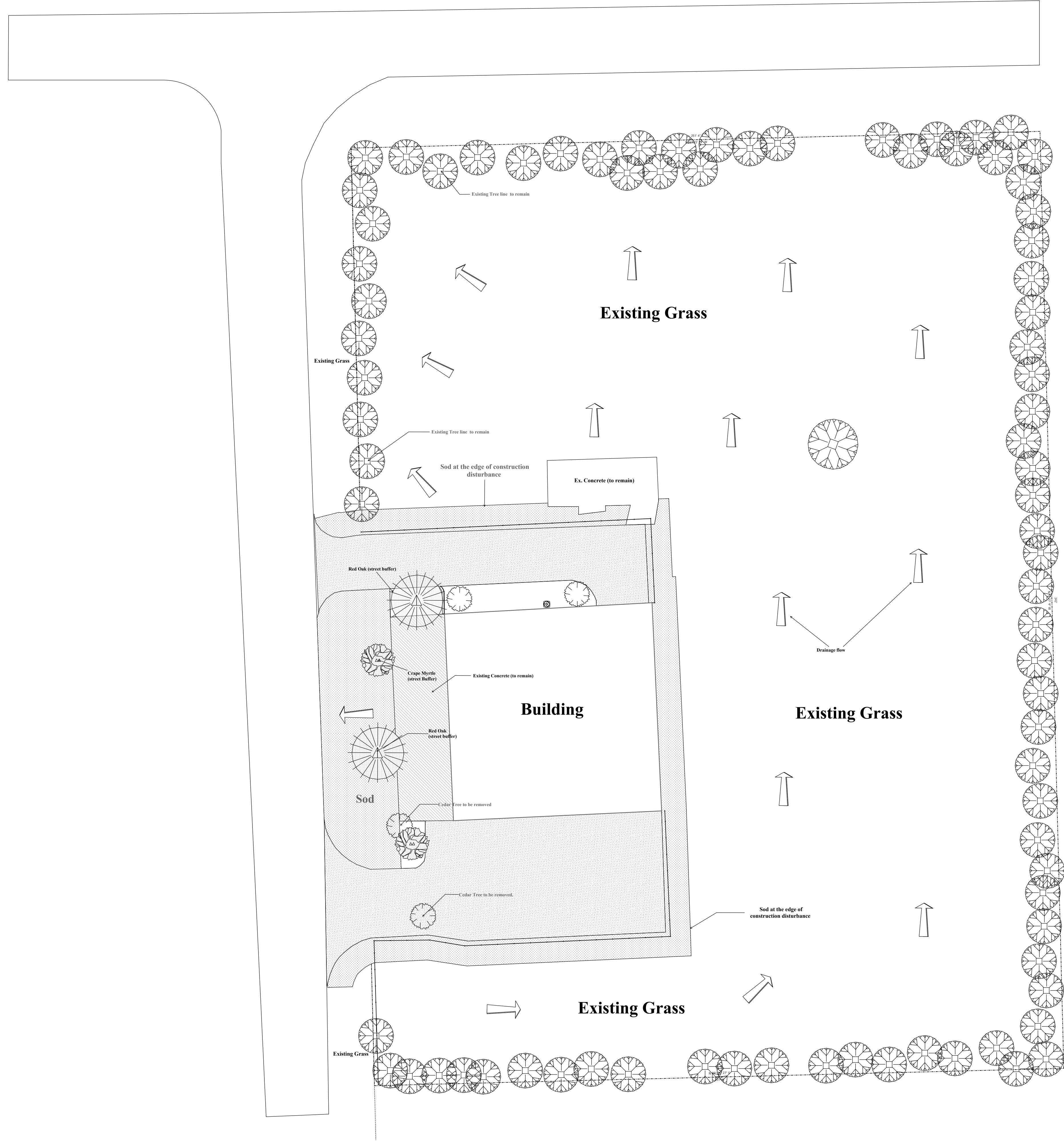
Project Number: 87

Date: 07/17/2025






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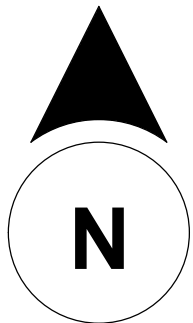
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LP-1.0



Trees to be removed: 2
Type of tree: Cedar
New Trees:
Nellie Stevens Holly (accent) see LP 1.0
Red Oak (canopy) see LP 1.0
Crape Myrtle (accent) LP 1.0
Tree Count : 86

| Symbol | Qty | Common Name | Container | Height and Spread |
|---|-----|-----------------------------|-----------|-------------------|
| Trees\Deciduous | | | | |
|  | 1 | Crape Myrtle(street Buffer) | 3" | 8' |
|  | 81 | Existing Tree | N/A | N/A |
|  | 2 | Red Oak (street buffer) | 3" | 10' |
| Trees\Evergreen | | | | |
|  | 2 | Cedar Tree to be removed | N/A | N/A |
|  | 2 | Nellie Stevens Holly | 30 Gal | 6' |



Project Number: 86

Date: 07/17/25

Scale: 1" = 20'

Sheet No.

Tree Plan

626 National Dr.
Rockwall Texas, 75032

LP-1.1

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Revisions

Notes

1)

2)

1)

2)



CLIENTS FIRST

LANDSCAPE SOLUTIONS