



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY  
PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

## PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

## SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

## ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

## OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

263 RANCH TRAIL, ROCKWALL, TX 75032

SUBDIVISION

GENERAL LOCATION

LOT

BLOCK

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

R.D. MOORMAN, INC.

☐ APPLICANT

CONTACT PERSON

RYAN MOORMAN

CONTACT PERSON

Felipe Zanotti

ADDRESS

263 RANCH TRAIL

ADDRESS

17727 ADDISON RD,

CITY, STATE & ZIP

Rockwall, TX 75032

CITY, STATE & ZIP

DALLAS, TX, 75287

PHONE

972-977-2110

PHONE

214-430-7927

E-MAIL

RYAN@RDMOORMANINC.COM

E-MAIL

ZANOTTI@ZTXSURFACES.COM

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Moorman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

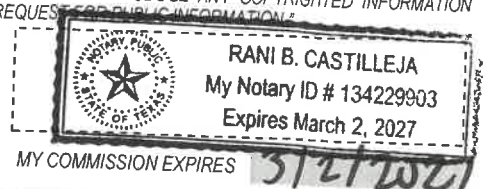
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ \_\_\_\_\_ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS 15<sup>th</sup> DAY OF May, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

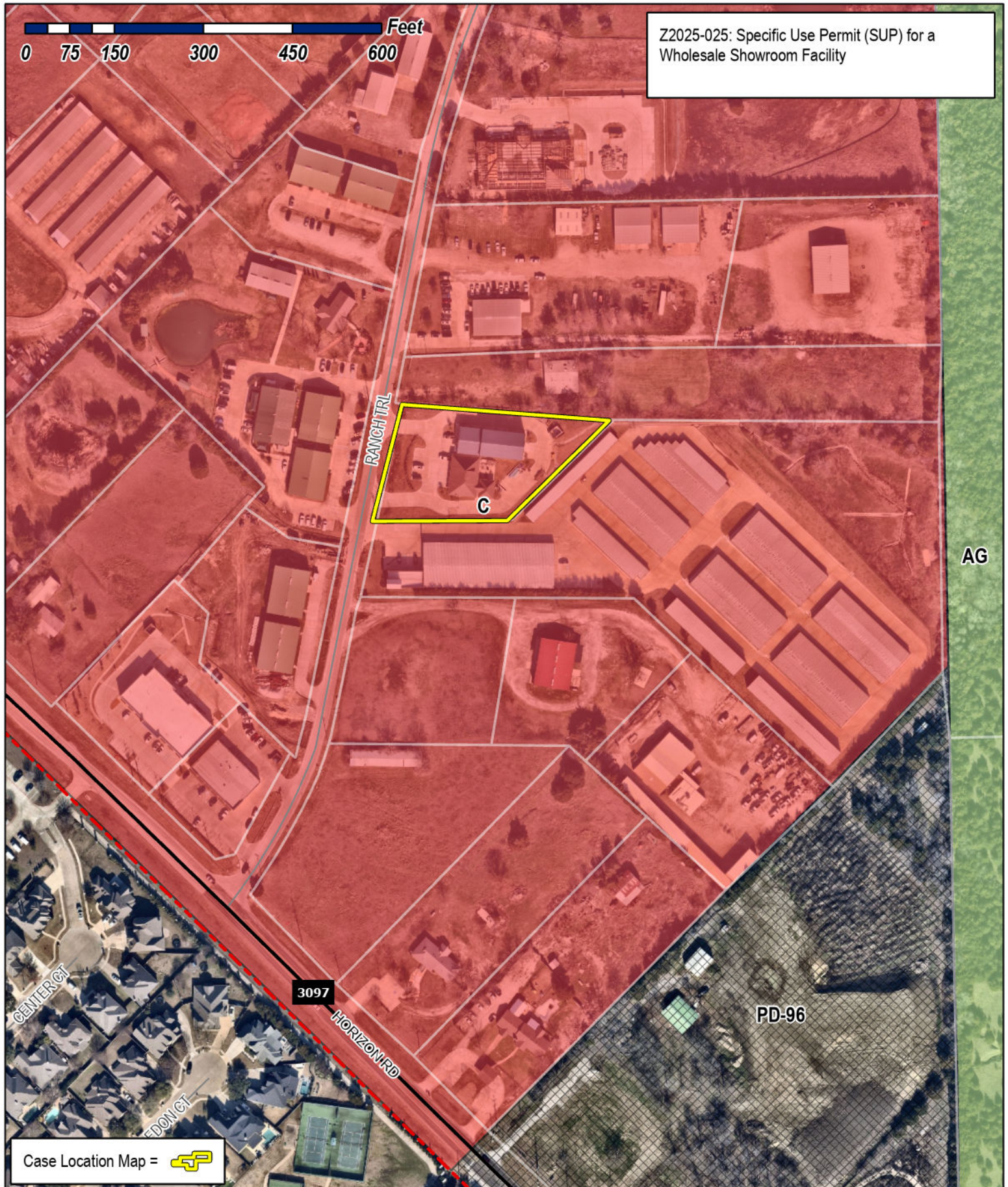
Rani B. Castilleja



MY COMMISSION EXPIRES

3/2/2027





Case Location Map = 



## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



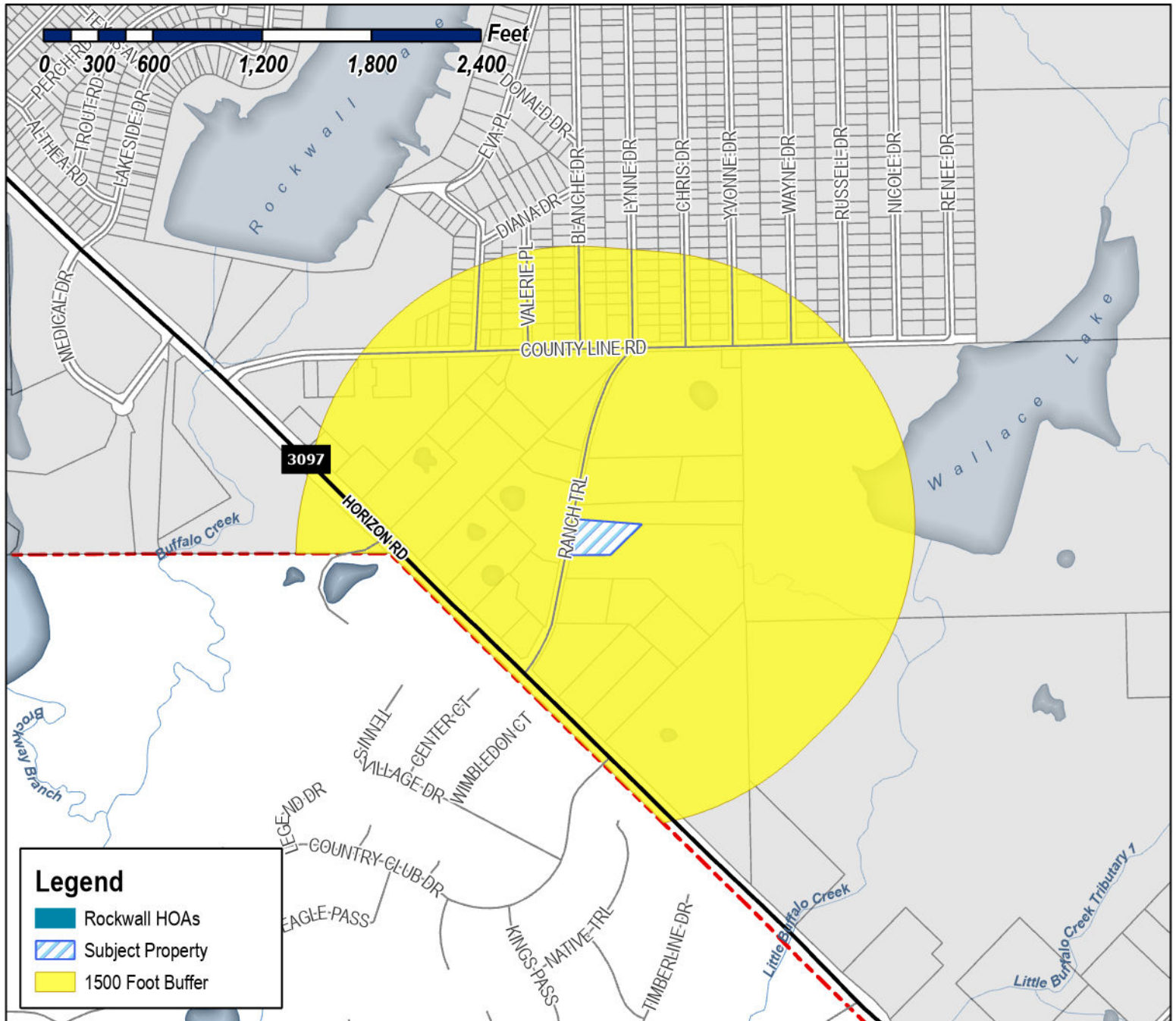




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**Case Number:** Z2025-025  
**Case Name:** Specific Use Permit (SUP) for Wholesale Showroom Facility  
**Case Type:** Zoning  
**Zoning:** Commercial (C) District  
**Case Address:** 263 Ranch Trail

**Date Saved:** 5/16/2025

For Questions on this Case Call (972) 771-7745





RIDGE POINTE HORIZON LP 102 S GOLIAD #200 ROCKWALL, TX 75087	GLOBAL HOLDINGS INTERNATIONAL BUSINESS TRUST KELLI CHRISTINE HAYNIE - TRUSTEE 10500 LAKELINE MALL DR APT 5605 AUSTIN, TX 78717	ZALOMANTE LLC 1690 LYNN LN LUCAS, TX 75002
5543 FM3097 LLC 1809 BRISTOL LANE ROCKWALL, TX 75032	DOMINGUEZ SALVADOR AND DIANA DOMINGUEZ 1948 FREDIANO LN MCLENDON CHISHOLM, TX 75032	RESIDENT 196-224 RANCH TRL ROCKWALL, TX 75087
RESIDENT 207 RANCH TRL ROCKWALL, TX 75087	RESIDENT 209 RANCH TRL ROCKWALL, TX 75087	RESIDENT 231 RANCH TRL ROCKWALL, TX 75087
PATRIOT PAWS SERVICE DOGS LORI STEVENS 254 RANCH TRL ROCKWALL, TX 75032	RESIDENT 259 RANCH TRAIL ROCKWALL, TX 75087	HEATH #23 INVESTMENT, LLC 2712 IH 30 MESQUITE, TX 75150
RESIDENT 285 RANCH TRL ROCKWALL, TX 75087	RESIDENT 295 RANCH TRAIL ROCKWALL, TX 75087	RESIDENT 315 RANCH TRAIL ROCKWALL, TX 75087
RANCH TRAIL VENTURES LLC 315 RANCH TRAIL ROCKWALL, TX 75032	RAAA REAL ESTATE LLC 3508 McFarlin Blvd Dallas, TX 75205	KUMAR ATUL 3508 MCFARLIN BLVD DALLAS, TX 75205
CPIV-354 RANCH TRAIL LLC 354/356 RANCH TRL ROCKWALL, TX 75032	RESIDENT 354-356 RANCH TRL ROCKWALL, TX 75087	RESIDENT 382 RANCH TRL ROCKWALL, TX 75087
RESIDENT 405 RANCH TRL ROCKWALL, TX 75087	TRUMAN HEIGHTS LLC 4741 PARKWOOD DR ROCKWALL, TX 75032	DIVAGOZ PROPERTIES LLC 494 Lynne Dr Rockwall, TX 75032
BIG LEAGUE SPORTS ACADEMY INC 5508 FOREST LANE DALLAS, TX 75230	RESIDENT 5573 FM3097 ROCKWALL, TX 75087	RESIDENT 5627 HORIZON RD ROCKWALL, TX 75087
RESIDENT 5653 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 FM3097 ROCKWALL, TX 75087	RESIDENT 5739 HORIZON RD ROCKWALL, TX 75087

HORIZON ROAD SELF STORAGE LLC  
5763 S State Highway 205 Ste 100  
Rockwall, TX 75032

RESIDENT  
5811 FM3097  
ROCKWALL, TX 75087

HOMEBANK TEXAS  
P O BOX 909  
SEAGOVILLE, TX 75159

KUMAR ATUL  
3508 MCFARLIN BLVD  
DALLAS, TX 75205

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance



DOOR SCHEDULE											
DOOR NUMBER	DOOR SIZE	SWING	FRAME	FINISH	DOOR TYPE	GLASS	GLASS TYPE	GLASS FINISH	GLASS SETTING	DOOR MATERIAL	REMARKS
01	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
02	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
03	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
04	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
05	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
06	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
07	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
08	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
09	3'-0" x 7'-0" = 1 3/4"	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	
10	10'-0" x 14'-0" OVDH	●	ALUM	ALUM	●	GLASS	GLASS	GLASS	GLASS	GLASS	Automatic Door Opener

PAINT SCHEDULE

DOORS: PAINT W/ DOORS TO MATCH ADJACENT MATERIAL / WD DOORS STAINED AS SELECTED BY OWNER.

FRAMES: PAINT TO MATCH ADJACENT MATERIAL - STOREFRONT FRAMES TO BE DARK BRONZE. EXTERIOR WELDED STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE. INTERIOR STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE. INTERIOR HOLLOW METAL FRAMES - KNOCK-DOWN TYPE/FIELD PAINTED DARK BRONZE.

HARDWARE: BULTI HINGES (2) PAIR - IVES D-KNUCKLE - DARK BRONZE FINISH. DOOR HARDWARE SETS: ALLEGON, ASSA ABLOY, DORMA, HAGER, SARGENT, SCHAGE, YALE. #1 ENTRY LOCK SET - KEYED. #2 MESSAGE LOCK SET. #3 PRIVATE LOCK SET - KEYED. #4 EMERGENCY LOCK/RELEASE SET (RHW TYPE PUSH PAD) - ALL TO BE T.A.S. ACCEPTABLE. #5 STORE ROOM LOCK SET - KEYED. #6 PUSH/PULL W/ KICKPLATE / DEAD BOLT THUMB LATCH. #7 PUSH BUTTON ACCESS CODE, EMERGENCY LOCK/RELEASE SET (PUSH PAD). CLOSER: DOMA #8000 SERIES. THRESHOLD: NATIONAL GUARD PRODUCTS #8950 (JG-15). WEATHERSTRIP: PCLAND #3014V BULB WEATHERSTRIP (HEADER & JAMB SIDES). DOOR TOP DRIP CAP: PENKO #345 - COLOR - DARK BRONZE.

ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	OPEN OFFICE AREA	●	●	●	●	
101	CONFERENCE ROOM	●	●	●	●	
102	BREAKROOM	●	●	●	●	
103	RESTROOM	●	●	●	●	
104	RESTROOM	●	●	●	●	
105	WAREHOUSE	●	●	●	●	

#### GENERAL NOTES:

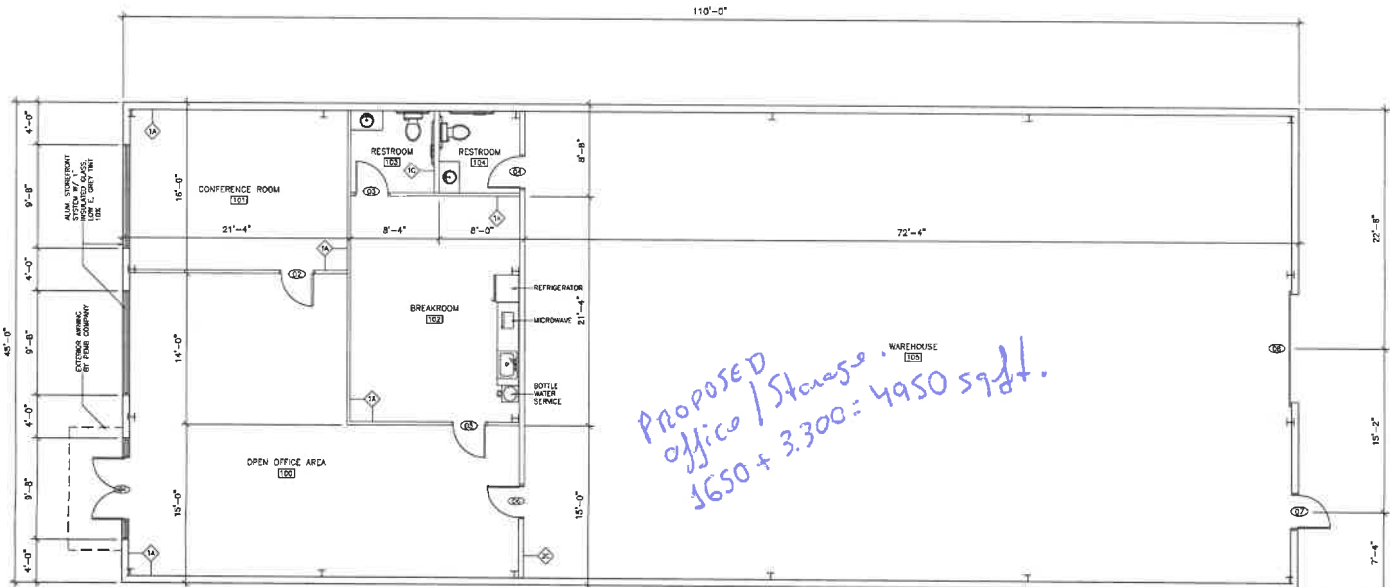
- CONTRACTOR SHALL SCHEDULE AND COORDINATE WORK. VERIFY DELIVERY DATES FOR ANY LONG LEAD ITEMS AND MATERIALS TO ENSURE INSTALLATION IN THEIR PROPER SEQUENCE OF THE JOB.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCIES FROM THE DRAWINGS PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST BUILDING CODES AND ORDINANCES OF THE CITY OF ROCKWALL, TEXAS. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONSTRUCTION SAFETY CODE - 1004 REQUIREMENTS, ETC. TO ENSURE ALL SUBCONTRACTORS COMPLY WITH THESE REQUIREMENTS.
- PROVIDE 48 HOURS NOTICE TO THE BUILDING OWNER OF ANY WORK THAT MAY BE NEARBY OR AFFECT THE BUILDING UTILITY SERVICE OR REQUIRE WORK OUTSIDE THE BUILDING AREA PRIOR TO CONSTRUCTION.
- PROVIDE ONE YEAR WARRANTY FOR MATERIALS AND WORKMANSHIP.
- ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.
- DETAILS ARE USUALLY KEPT ONCE ON THE PLANS OR ELEVATIONS. THE SAME SHALL BE KEPT ON THE PLANS OR ELEVATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CLEAN UP AREA AFFECTED BY EACH WORK AND REMOVE DEBRIS AND MATERIALS FROM SITE UPON COMPLETION OF WORK.
- MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES.
- AUTHORITY HAVING JURISDICTION DOES NOT RELIEVE THE CONTRACTOR FROM FULL COMPLIANCE WITH NATIONALLY RECOGNIZED STANDARDS AND GOVERNING ORDINANCES. RESUBMITTALS TO OBTAIN APPROVED PLANS ARE REQUIRED BEFORE FINAL INSTALLATION AND APPROVAL.
- DO NOT USE PAINTS, PRIMERS, SEALERS, OR GLUES THAT EMIT VOLATILE ORGANIC COMPOUNDS (VOC) EXCEPT AS SPECIFIED.
- ALL SUBCONTRACTORS INCLUDING ANY NEARBY CONTRACTOR WITH JOB SUPERINTENDENCY, WORK IS SUBJECT TO INTERFERE WITH BUILDING LAYOUT. SUBCONTRACTOR MUST ALL-LOFTS WORK AT HIS OWN RISK.
- COORDINATE ALL JOINTS IN CONCRETE WITH THE ARCHITECT.
- CONTRACTOR SHALL INCLUDE KEYING OF LOCKS ON ALL DOORS AND PROVIDE TWO KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNER.
- CONTRACTOR SHALL SEAL ALL CONTROL, CONSTRUCTION, AND EXPANSION JOINTS IN CONCRETE FINISH.
- CONFORM TO APPLICABLE CODES FOR BOND WORK, SAFETY OF EXISTING STRUCTURES, DUST CONTROL, SERVICE UTILITIES AND UTILITIES HAZARDS.
- CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACTIVITIES.
- PROVIDE, ERECT & MAINTAIN TEMPORARY BARRIERS & ENCLOSURE AT EXISTING OPERATIONS.
- MAINTAIN AND PROTECT EXISTING AND ACCESS AT ALL TIMES. DO NOT CLOSE OR OBSTRUCT ROADWAYS AND DRIVEWAYS WITHOUT PERMIT.
- COORDINATE WITH BUILDING OWNER AND NOTIFY THE ADJACENT PROPERTY OWNER OF ANY WORK WITH ANY EFFECT THEIR PROPERTY WITH POTENTIAL NOISE, VIBRATION, OR OBSTRUCTION.
- REMOVAL AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.

#### GENERAL & FLOOR PLAN NOTES:

- FIELD VERIFY FLOOR CONDITIONS PREP. LEVEL & SAND FLOORS AS NECESSARY TO PROVIDE COMPLETE INSTALLATION OF FINISH FLOOR.
- STRUCTURAL EXISTING FRAMES BIZES ARE TO BE USED. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE STRUCTURAL ENGINEER & ARCHITECT.
- ALL SUBCONTRACTORS INCLUDING SPRINKLER SUBCONTRACTOR MUST COORDINATE WORK W/ JOB SUPERINTENDENCY.
- LEVEL EXISTING CONCRETE W/ SVA LEVELIZED LEVELING COMPOUND IF REQUIRED.
- USE MINIMUM 34 GAUGE STEEL STUDS & 5/8" TYPE "Y" ONLY. USE WATER RESISTANT DMB @ ALL WEY LOCATIONS & RESTROOM.
- PROVIDE 8-12 MIN. DATA INSULATION FULL HEIGHT ON ALL EXTERIOR WALLS.
- PROVIDE BACKING FOR ALL WALL MOUNTED & HUNG ITEMS - COORDINATE BREAKROOM, RESTROOM & HALLWAYS.
- PROVIDE TYPE RED & SMOOTH TEXTURE ON ALL EXPOSED DRINKING.
- CONFIRM ALL NEW DOOR DRIVING LOCATIONS BEFORE DOOR-DRIVING.
- PROVIDE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" PER ICC @ RESTROOM.

#### ITEMS GENERAL CONTRACTOR SHALL VERIFY:

- REFER TO ELECTRICAL PLANS FOR CEILING HEIGHTS & LIGHTING LAYOUT IN ALL AREAS.
- FLOORING MATERIAL SELECTED BY OWNER.
- RENDERING WALL EXTERIORS FROM SEAS TO UNDERPINE OF DOORING.
- ALL INTERIOR WALLS SHALL BE 1/2" & PAINTED W/ BATH REGULATION.
- ALL COUNTERTOPS & CABINETS SHALL BE PLASTIC LAMINATE FINISH. VERIFY WITH OWNER.
- INTERIOR COLUMNS & OFFICE AREA SHALL BE PAINTED IF EXPOSED. VERIFY WITH OWNER IF THEY SHOULD BE WRAPPED W/ VINYL STRIPS & CAPS. BBL.



1 FLOOR PLAN  
SCALE: 3/16" = 1'-0"

DATE: 06-17-2022	PROJECT: 2022085
JUNE 17, 2022	

NEW OFFICEWAREHOUSE FACILITY FOR  
**R.D. MOORMAN, INC.**  
 259 Ranch Trail  
 Rockwall, Texas 75087

R.D. MOORMAN, INC.  
 RYAN MOORMAN  
 259 Ranch Trail  
 Rockwall, TX 75087

**architects**  
 7501 Telemonte 30  
 Rockwall, TX 75087  
 P 972-752-8888  
 F 972-752-8888

#### FLOOR PLAN

DATE: JUN 2022	SHEET NO:
PROJECT NO: 2022085	
DRAWN BY: KR	A201
CHECKED BY: JC	



Finalized Warehouse Floorplan (110' x 45')

