



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 263 RANCH TRAIL, ROCKWALL, TX 75032
 SUBDIVISION: _____
 GENERAL LOCATION: _____ LOT: _____ BLOCK: _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: _____ CURRENT USE: _____
 PROPOSED ZONING: _____ PROPOSED USE: _____
 ACREAGE: _____ LOTS [CURRENT]: _____ LOTS [PROPOSED]: _____

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>R.D. MOORMAN, INC</u>	<input type="checkbox"/> APPLICANT	_____
CONTACT PERSON	<u>RYAN MOSEMAN</u>	CONTACT PERSON	<u>Felipe Zanotti</u>
ADDRESS	<u>263 Ranch Trail</u>	ADDRESS	<u>17727 ADDISON RD,</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75032</u>	CITY, STATE & ZIP	<u>DALLAS, TX, 75287</u>
PHONE	<u>972-977-2110</u>	PHONE	<u>214-430-7927</u>
E-MAIL	<u>RYAN@RDMOORMANINC.COM</u>	E-MAIL	<u>ZANOTTI@ZTXSURFACES.COM</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ryan Moorman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

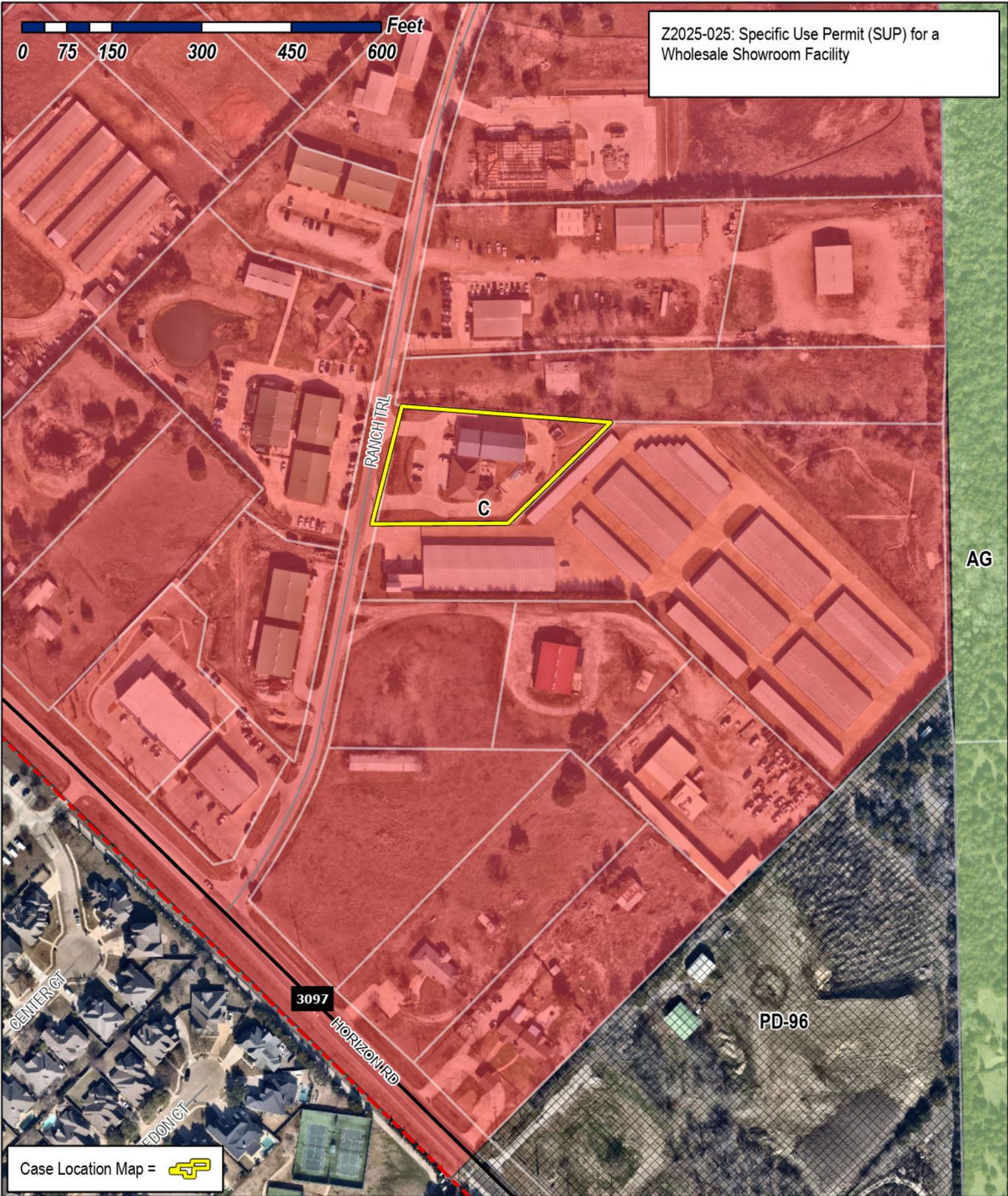
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF May, 2025

OWNER'S SIGNATURE: _____
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: Rani B. Castilleja

NOTARY PUBLIC
 STATE OF TEXAS
RANI B. CASTILLEJA
 My Notary ID # 134229903
 Expires March 2, 2027
 MY COMMISSION EXPIRES 3/2/2027

0 75 150 300 450 600 Feet

Z2025-025: Specific Use Permit (SUP) for a Wholesale Showroom Facility



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

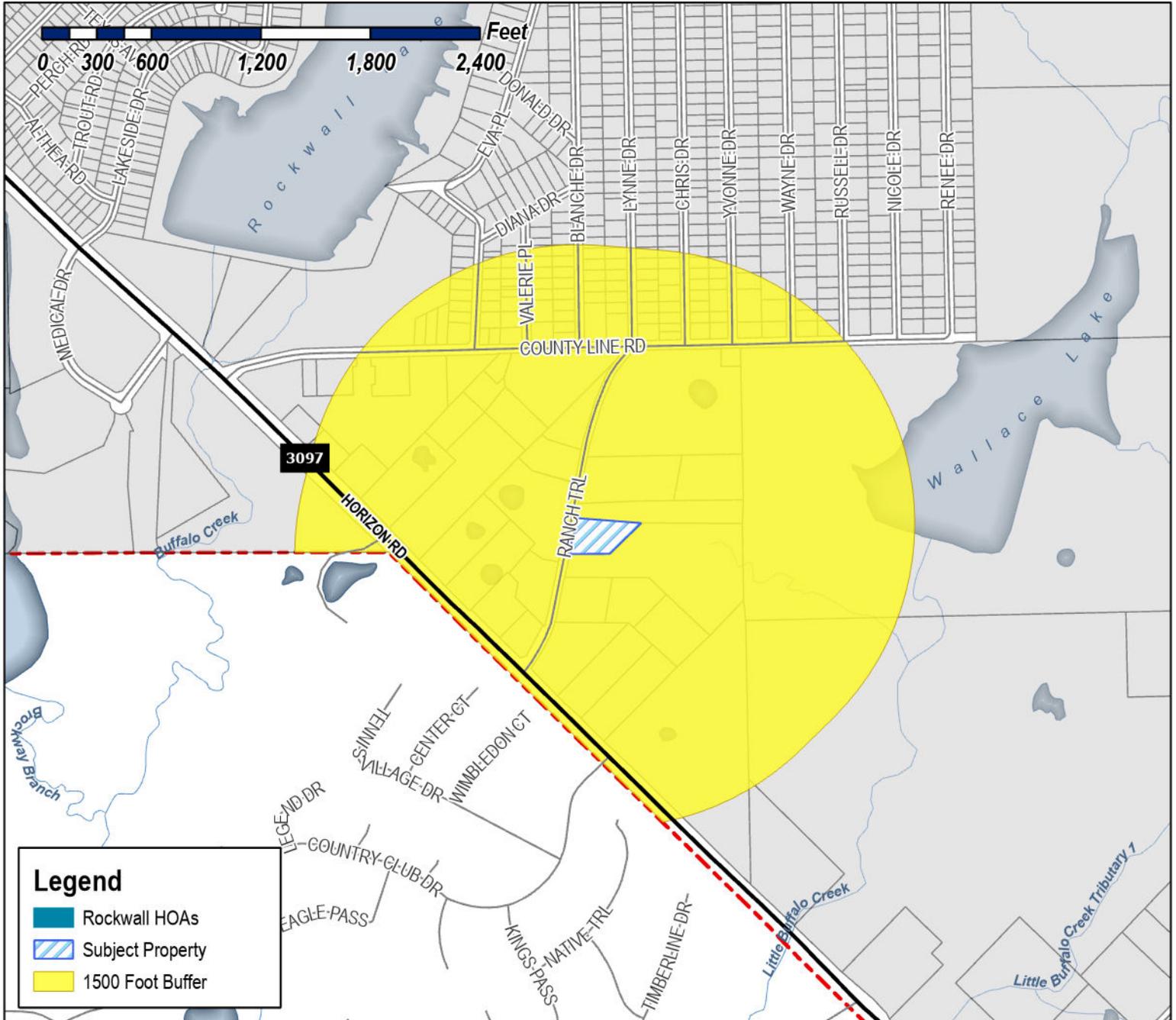




City of Rockwall

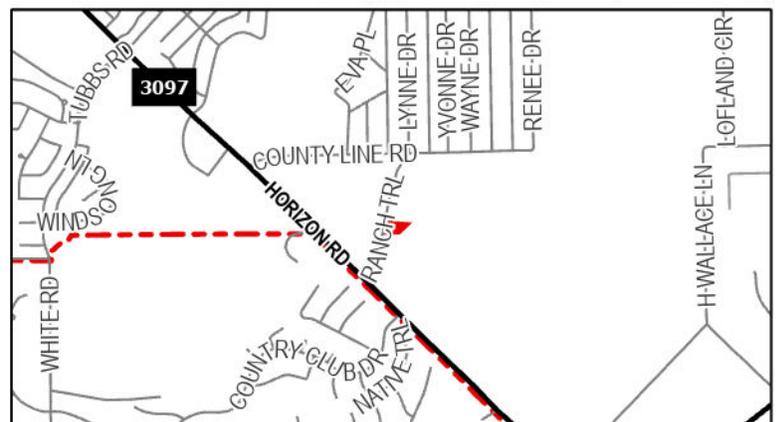
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Case Number: Z2025-025
Case Name: Specific Use Permit (SUP) for Wholesale Showroom Facility
Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 263 Ranch Trail

Date Saved: 5/16/2025
 For Questions on this Case Call (972) 771-7745

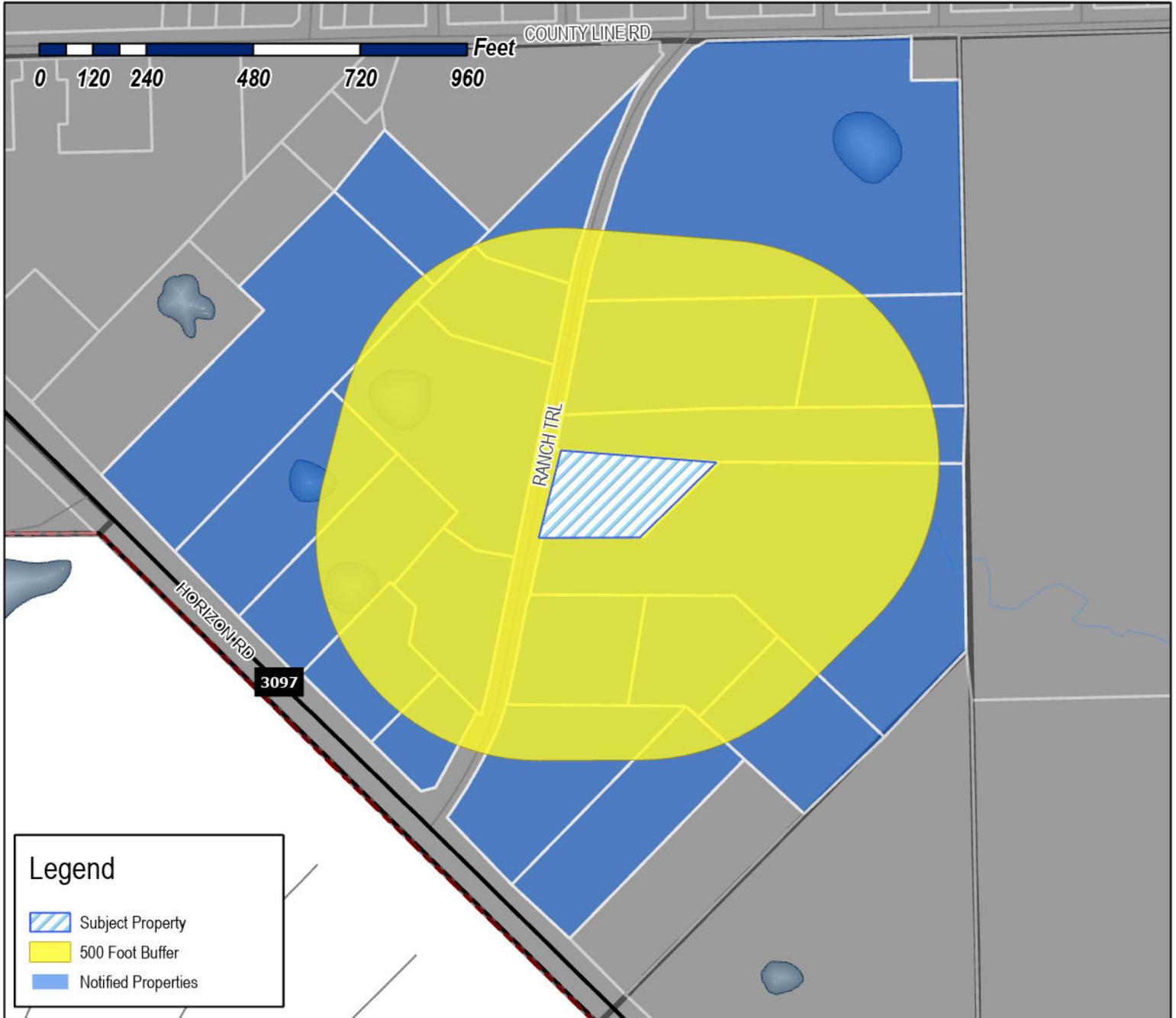




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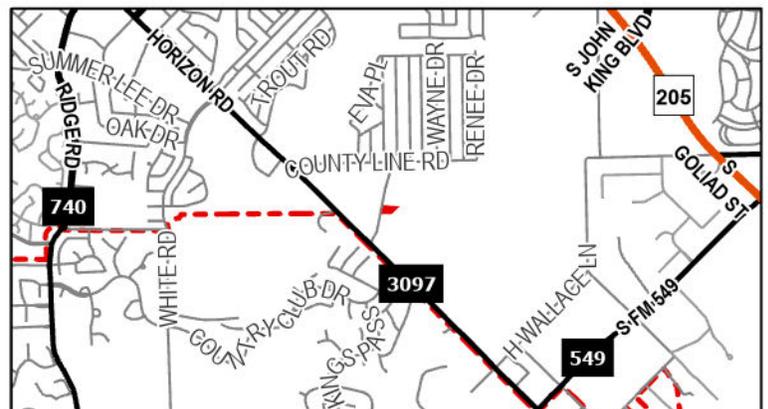
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Case Type: Zoning
Zoning: Commercial (C) District
Case Address: 263 Ranch Trail

Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



GLOBAL HOLDINGS INTERNATIONAL BUSINESS

RIDGE POINTE HORIZON LP
102 S GOLIAD #200
ROCKWALL, TX 75087

TRUST
KELLI CHRISTINE HAYNIE - TRUSTEE
10500 LAKELINE MALL DR APT 5605
AUSTIN, TX 78717

ZALOMANTE LLC
1690 LYNN LN
LUCAS, TX 75002

5543 FM3097 LLC
1809 BRISTOL LANE
ROCKWALL, TX 75032

DOMINGUEZ SALVADOR AND
DIANA DOMINGUEZ
1948 FREDIANO LN
MCLENDON CHISHOLM, TX 75032

RESIDENT
196-224 RANCH TRL
ROCKWALL, TX 75087

RESIDENT
207 RANCH TRL
ROCKWALL, TX 75087

RESIDENT
209 RANCH TRL
ROCKWALL, TX 75087

RESIDENT
231 RANCH TRL
ROCKWALL, TX 75087

PATRIOT PAWS SERVICE DOGS
LORI STEVENS
254 RANCH TRL
ROCKWALL, TX 75032

RESIDENT
259 RANCH TRAIL
ROCKWALL, TX 75087

HEATH #23 INVESTMENT, LLC
2712 IH 30
MESQUITE, TX 75150

RESIDENT
285 RANCH TRL
ROCKWALL, TX 75087

RESIDENT
295 RANCH TRAIL
ROCKWALL, TX 75087

RESIDENT
315 RANCH TRAIL
ROCKWALL, TX 75087

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX 75032

RAAA REAL ESTATE LLC
3508 McFarlin Blvd
Dallas, TX 75205

KUMAR ATUL
3508 MCFARLIN BLVD
DALLAS, TX 75205

CPIV-354 RANCH TRAIL LLC
354/356 RANCH TRL
ROCKWALL, TX 75032

RESIDENT
354-356 RANCH TRL
ROCKWALL, TX 75087

RESIDENT
382 RANCH TRL
ROCKWALL, TX 75087

RESIDENT
405 RANCH TRL
ROCKWALL, TX 75087

TRUMAN HEIGHTS LLC
4741 PARKWOOD DR
ROCKWALL, TX 75032

DIVAGOZ PROPERTIES LLC
494 Lynne Dr
Rockwall, TX 75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX 75230

RESIDENT
5573 FM3097
ROCKWALL, TX 75087

RESIDENT
5627 HORIZON RD
ROCKWALL, TX 75087

RESIDENT
5653 FM3097
ROCKWALL, TX 75087

RESIDENT
5739 FM3097
ROCKWALL, TX 75087

RESIDENT
5739 HORIZON RD
ROCKWALL, TX 75087

HORIZON ROAD SELF STORAGE LLC
5763 S State Highway 205 Ste 100
Rockwall, TX 75032

RESIDENT
5811 FM3097
ROCKWALL, TX 75087

HOMEBANK TEXAS
P O BOX 909
SEAGOVILLE, TX 75159

KUMAR ATUL
3508 MCFARLIN BLVD
DALLAS, TX 75205

Subject: Request for SUP to Establish Tile and Stone Showroom Facility at 263 Ranch Trail

Dear City of Rockwall Planning and Zoning Department,

We are the prospective tenants of the property located at 263 Ranch Trail, Rockwall, and we are reaching out to discuss our intended use of the facility and the necessary steps to proceed with obtaining the required approvals.

Our goal is to establish a tile and stone showroom at this location. The facility will operate solely as a display showroom — the front area will feature sample tiles, while the back area will showcase stone slabs. Please note that we will not be functioning as a third-party warehouse for any external company. Our business is focused entirely on displaying product samples for wholesale purposes, without on-site fabrication or storage services for others.

We believe this intended use aligns with the definition of a Wholesale Showroom Facility, as outlined in the Commercial (C) District zoning regulations. As such, we understand that this use is permitted through a Specific Use Permit (SUP).

Attached is our proposed floorplan for your review. We would appreciate the City's help in getting the SUP approved so we can move forward with our project.

Thank you for your attention and support. We look forward to your feedback and assistance

DOOR SCHEDULE									
DOOR NUMBER	DOOR SIZE	FRAME	FINISH	GLASS	OPERATOR	MARKING	REMARKS	REMARKS	REMARKS
01	3'-0" x 7'-0" = 1 3/4"	ALUM	ALUM						
02	3'-0" x 7'-0" = 1 3/4"	HU	WD						
03	3'-0" x 7'-0" = 1 3/4"	HU	WD						
04	3'-0" x 7'-0" = 1 3/4"	HU	WD						
05	3'-0" x 7'-0" = 1 3/4"	HU	WD						
06	3'-0" x 7'-0" = 1 3/4"	HU	WD						
07	3'-0" x 7'-0" = 1 3/4"	HU	WD						
08	10'-0" x 14'-0" OYHD	HU	STL						AUTOMATIC DOOR OPERATOR

PAINT SCHEDULE

DOORS:
PAINT W/1. DOORS TO MATCH ADJACENT MATERIAL / WD DOORS STAINED AS SELECTED BY OWNER.

FRAMES:
PAINT TO MATCH ADJACENT MATERIAL - STOREFRONT FRAMES TO BE DARK BRONZE
EXTERIOR WELDED STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE
INTERIOR STEEL FRAMES - FIELD PAINTED COLOR - DARK BRONZE
INTERIOR HOLLOW METAL FRAMES - KNOCK-DOWN TYPE/FIELD PAINTED DARK BRONZE

HARDWARE:
BUILT HINGLES: (2) PAIR - IVES D-KNUCKLE - DARK BRONZE FINISH
DOOR HARDWARE SETS: ALLEGON, ASSA ABLOY, DORMA HAGER, SARGENT, SCHLAGE, YALE
#1 ENTRY LOCK SET - KEYS
#2 MESSAGE LOCK SET
#3 PRIVATE LOCK SET - KEYS
#4 EMERGENCY LOCK/RELEASE SET (NEW TYPE PUSH PAD) - ALL TO BE I.A.S. ACCEPTABLE
#5 STORE ROOM LOCK SET - KEYS
#6 PUSH/PULL W/ KICKPLATE / DEAD BOLT THUMB LATCH
#7 PUSH BUTTON ACCESS CODE, EMERGENCY LOCK/RELEASE SET (PUSH PAD)
CLOSER: DOMINA #8000 SERIES
THRESHOLD: NATIONAL GUARD PRODUCTS #895HD (JS-15)
WEATHERSTRIP: PELAND #301AV BULB WEATHERSTRIP (HEADER & JAMB SIDES)
DOOR TOP DRIP CAP: PENKO #345 - COLOR - DARK BRONZE

ROOM FINISH SCHEDULE						
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	OPEN OFFICE AREA	CONCRETE	CONCRETE	CEANING	POPCEAN	
101	CONFERENCE ROOM	CONCRETE	CONCRETE	CEANING	POPCEAN	
102	BREAKROOM	CONCRETE	CONCRETE	CEANING	POPCEAN	
103	RESTROOM	CONCRETE	CONCRETE	CEANING	POPCEAN	
104	RESTROOM	CONCRETE	CONCRETE	CEANING	POPCEAN	
105	WAREHOUSE	CONCRETE	CONCRETE	CEANING	POPCEAN	

- GENERAL NOTES:**
- CONTRACTOR SHALL SCHEDULE AND COORDINATE WORK. VERIFY DELIVERY DATES FOR ANY LONG LEAD ITEMS AND MATERIALS TO ENSURE INSTALLATION IN THEIR PROPER SEQUENCE OF THE JOB.
 - CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL CONDITIONS AND THE DIMENSIONS PRIOR TO CONSTRUCTION.
 - ALL CONSTRUCTION SHALL CONFORM TO THE LATEST BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 - PROVIDE 48 HOURS NOTICE TO THE BUILDING OWNER OF ANY WORK WHICH MAY DISTURB ADJACENT AREAS. OBTAIN UTILITY SERVICE OR OR NECESSARY WORK OUTSIDE THE BUILT-UP AREA PRIOR TO CONSTRUCTION.
 - PROVIDE ONE YEAR WARRANTY FOR MATERIALS AND WORKMANSHIP.
 - ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
 - DETAILS ARE USUALLY KEYS. ONCE ON THE PLANS OR ELEVATIONS OTHERWISE NOTED.
 - CONTRACTOR SHALL CLEAN UP AREA AFFECTED BY EACH WORK AND REMOVE DEBRIS AND MATERIALS FROM SITE UPON COMPLETION OF WORK.
 - MAINTAIN A CLEAN AND ORDERLY WORK AREA AT ALL TIMES.
 - AUTHORITY HAVING JURISDICTION DOES NOT RELIEVE THE CONTRACTOR FROM FULL COMPLIANCE WITH NATIONALLY RECOGNIZED STANDARDS AND ALL JOBS REQUIRED BEFORE FINAL INSTALLATION AND APPROVAL.
 - DO NOT USE PAINTS, PRIMERS, SEALERS, OR GLUES THAT EMIT VOLATILE ORGANIC COMPOUNDS (VOC). SUCH ITEMS SHALL BE RESPONSIBLE TO VERIFY THE MATERIALS BEING USED AND COMPLY WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS FOR THEIR USE.
 - ALL SUBCONTRACTORS INCLUDING A/V MUST COORDINATE WITH JOB SUPERINTENDENT. ALL WORK IS SUBJECT TO INTERFERE WITH EXISTING WORK. SUBCONTRACTOR MUST ALL LAYOUT WORK AT HIS OWN RISK.
 - COORDINATE ALL JOINTS IN CONCRETE WITH THE ARCHITECT.
 - CONTRACTOR SHALL INCLUDE 4" MIN. OF LOCKS ON ALL DOORS AND PROVIDE TWO KEYS PER NEW LOCK. VERIFY ALL REQUIREMENTS WITH OWNER.
 - CONTRACTOR SHALL SEAL ALL CONTROL, CONSTRUCTION, AND EXPANSION JOINTS IN CONCRETE FRAMES.
 - CONFORM TO APPLICABLE CODES FOR BEING WORK. SAFETY OF EXISTING STRUCTURES, DUST CONTROL SERVICE UTILITIES AND OTHERS MUST BE PROTECTED.
 - CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC OR PRIVATE ACTIVITIES.
 - PROVIDE, ERECT & MAINTAIN TEMPORARY BARRIERS & ENCLOSURE AT EXISTING OPENINGS.
 - MAINTAIN AND PROTECT EXISTING AND ACCESS AT ALL TIMES. DO NOT CLOSE OR RESTRICT ROADWAYS AND DRIVEWAYS WITHOUT NOTICE.
 - COORDINATE WITH BUILDING OWNER AND NOTIFY THE ADJACENT PROPERTY OWNER OF WORK WHICH MAY AFFECT THEIR PROPERTY WITH POTENTIAL NOISE, VIBRATION, OR DISRUPTION.
 - REMOVE AND REMOVE COMPONENTS IN AN ORDERLY AND CAREFUL MANNER.
- GENERAL & FLOOR PLAN NOTES:**
- FIELD VERIFY FLOOR CONDITIONS. PREP. LEVEL & SAND FLOORS AS NECESSARY TO PROVIDE COMPLETE INSTALLATION OF FINISH FLOOR.
 - STRUCTURAL ENGINEER'S FINISH SIZES ARE TO BE USED. REPORT ANY DISCREPANCIES TO THE ATTENTION OF THE STRUCTURAL ENGINEER & ARCHITECT.
 - ALL SUBCONTRACTORS INCLUDING SPRINKLER SUBCONTRACTOR MUST COORDINATE WORK W/ JOB SUPERINTENDENT.
 - LEVEL EXISTING CONCRETE W/ S&A LEVELIZED LEVELING COMPOUND IF REQUIRED.
 - USE MINIMUM 24 GAUGE STEEL STUDS & 5/8" TYPE "Y" ONLY. USE WATER RESISTANT DMB @ ALL WET LOCATIONS & RESTROOM.
 - PROVIDE 8-16 MIN. DATA INSULATION FULL HEIGHT ON ALL EXTERIOR WALLS.
 - PROVIDE ROOMBOARDS FOR ALL WALL MOUNTED & HUNG ITEMS. COORDINATE BREAKROOM, RESTROOM & BATHROOM.
 - PROVIDE TAPE BED & SMOOTH TEXTURE ON ALL EXPOSED DRINKWALL.
 - CONFORM ALL NEW DOOR DRIVING LOCATIONS TO THE ROOMS.
 - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY PER ICC @ RESTROOM.
- ITEMS GENERAL CONTRACTOR SHALL VERIFY:**
- REFER TO ELECTRICAL PLANS FOR CEILING HEIGHTS & LIGHTING LAYOUT IN ALL AREAS.
 - FLOORING MATERIAL SELECTED BY OWNER.
 - FINISHING WALL EXTERNS FROM SLAB TO UNDERFLOOR OF CEILING.
 - ALL INTERIOR WALLS SHALL BE 1/2" AND PAINTED W/ BMT REGULATION.
 - ALL COUNTERTOPS & CABINETS SHALL BE PLASTIC LAMINATE FINISH. VERIFY WITH OWNER.
 - INTERIOR COLLARS @ OFFICE AREA SHALL BE PAINTED IF EXPOSED. VERIFY WITH OWNER IF THEY SHOULD BE WRAPPED W/ VIL STRIPS & CAP. BMT.

06-17-2022

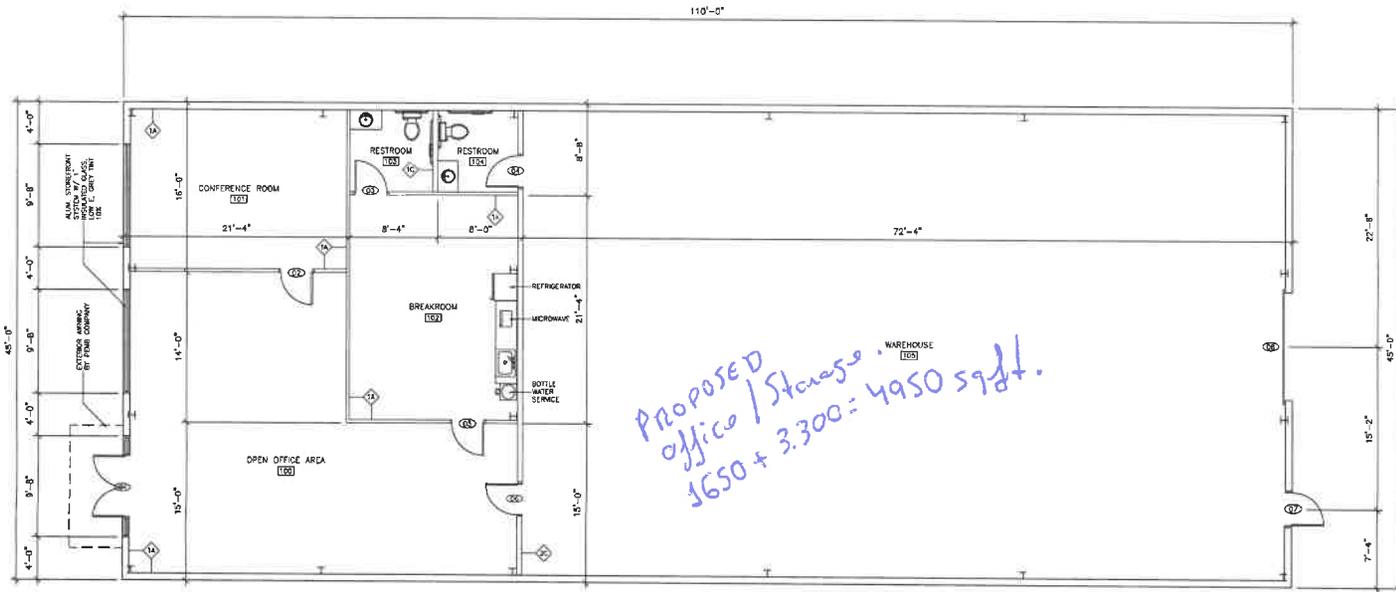
ISSUE

PROJECT:

JUNE 17, 2022

CONTRACTOR: MOORMAN, INC. 259 Ranch Trail Rockwall, TX 75087 P: 972-752-8888 F: 972-752-8888

NEW OFFICE/WAREHOUSE FACILITY FOR
R.D. MOORMAN, INC.
 259 Ranch Trail
 Rockwall, Texas 75082



1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"

architects

7501 E. Northwest 30
 Rockwall, TX 75087
 P: 972-752-8888
 F: 972-752-8888

R.D. MOORMAN, INC.
 RYAN MOORMAN
 259 Ranch Trail
 Rockwall, TX 75082

FLOOR PLAN

DATE:	JUN 2022	SHEET NO.:	
PROJECT NO.:	2022085		
DRAWN BY:	KR		A201
CHECKED BY:	JC		

Finalized Warehouse Floorplan (110' x 45')

