



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
☐ AMENDING OR MINOR PLAT (\$150.00)
☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1362 FM Road 552
 SUBDIVISION Skyview Country Estates No. 3 LOT 28 BLOCK
 GENERAL LOCATION Northeast corner of FM Road 552 and Breezy Hill Lane

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING General Retail CURRENT USE Worship Center
 PROPOSED ZONING General Retail PROPOSED USE Worship Center
 ACREAGE 7.05 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Ridgeview Church	<input checked="" type="checkbox"/> APPLICANT	Sutherland King Consulting, LLC
CONTACT PERSON	Felix Tan	CONTACT PERSON	Grayson Hughes
ADDRESS	1362 FM Road 552	ADDRESS	6430 Meadowcreek Drive
CITY, STATE & ZIP	Rockwall, TX 75087	CITY, STATE & ZIP	Dallas, TX 75254
PHONE	972.771.2661	PHONE	214.208.0519
E-MAIL	felix.tan@ridgeview.net	E-MAIL	grayson.hughes@sutherlandking.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Matt Geisinger [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

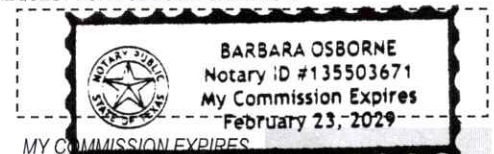
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

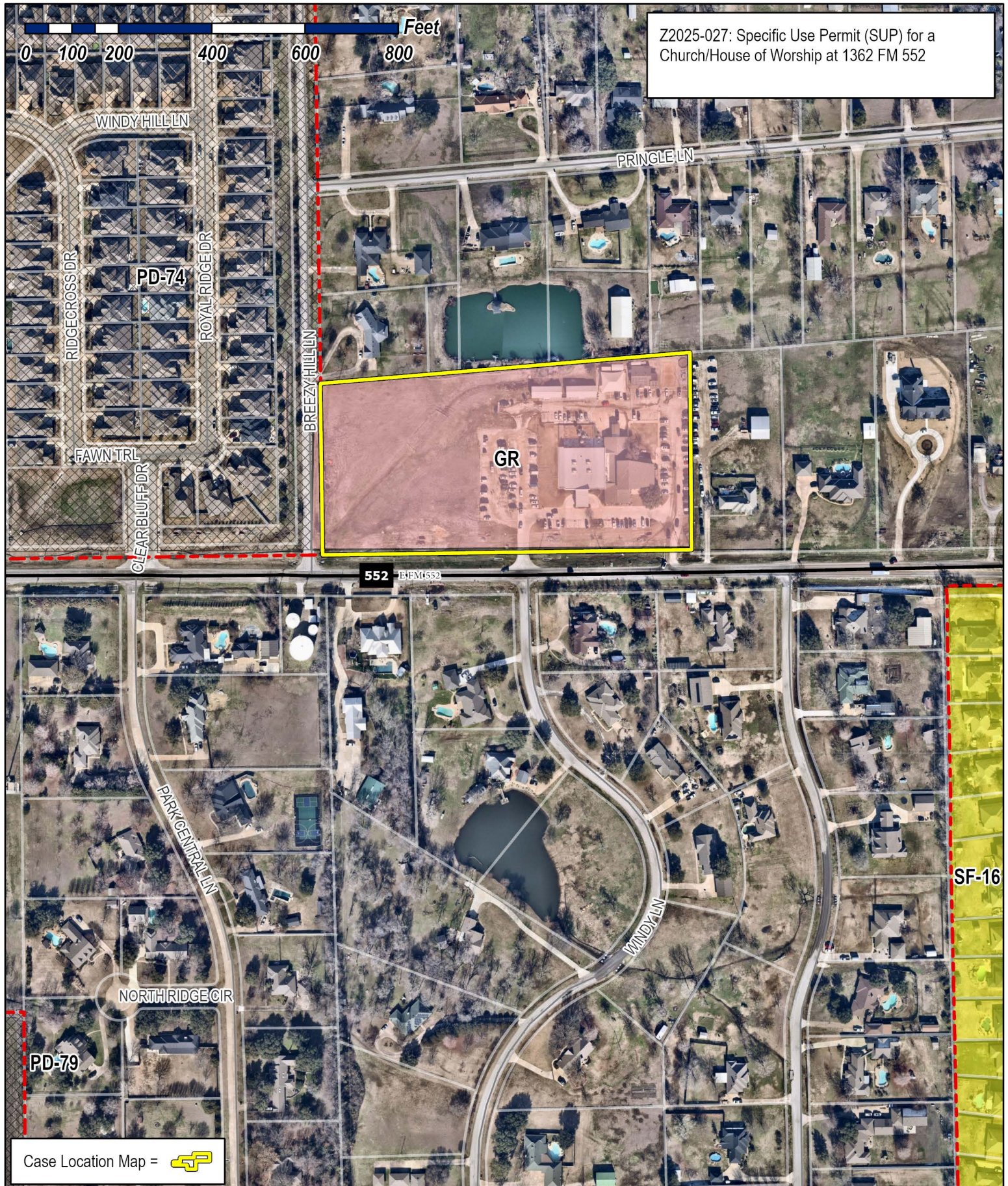
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF May, 2025

OWNER'S SIGNATURE

Matt Geisinger
Barbara Osborn

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

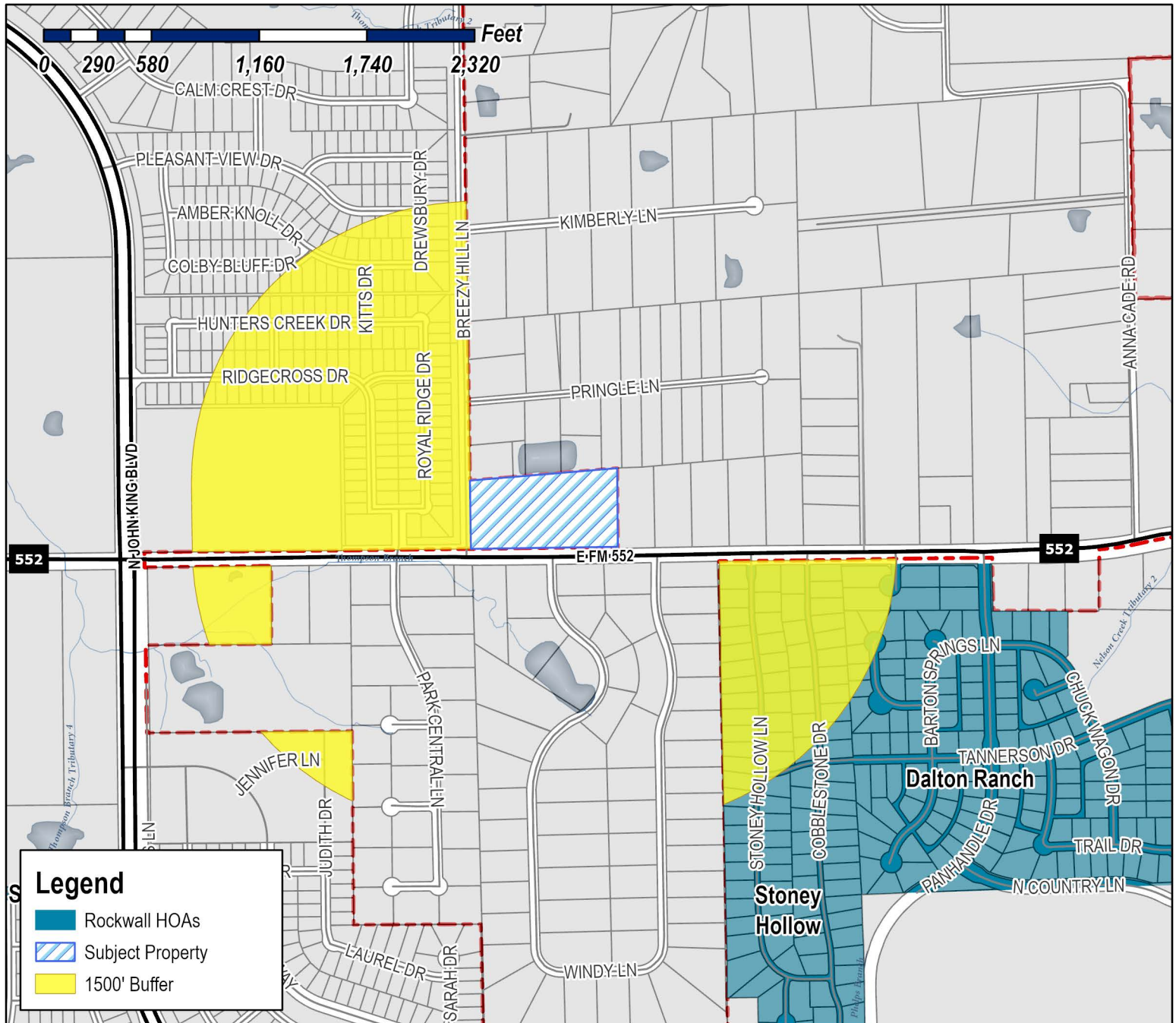




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

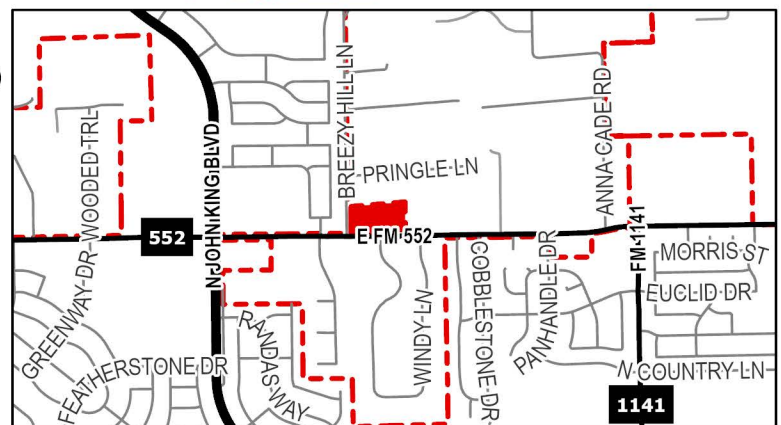
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-027
Case Name: SUP for a Church/House of Worship
Case Type: Zoning
Zoning: General Retail (GR) District
Case Address: 1362 FM 552

Date Saved: 5/16/2025

For Questions on this Case Call (972) 771-7745

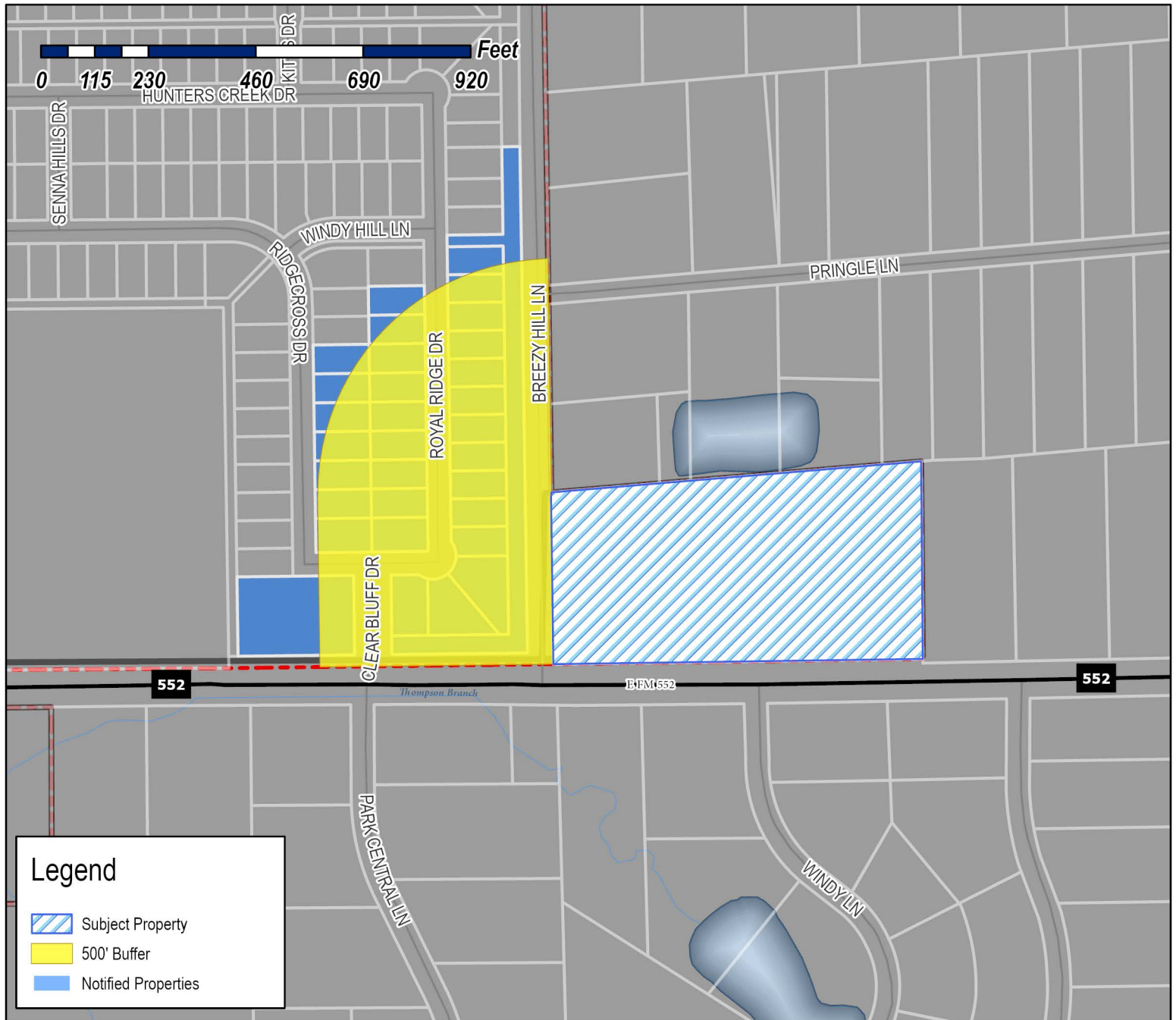




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

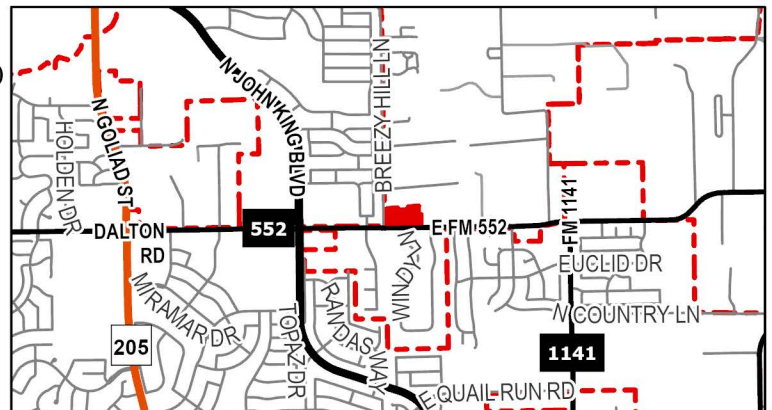
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2025-027
Case Name: SUP for a Church/House of Worship
Case Type: Zoning
Zoning: General Retail (GR) District
Case Address: 1362 FM 552

Date Saved: 5/16/2025

For Questions on this Case Call: (972) 771-7745



BREEZY HILL ESTATES HOMEOWNERS
ASSOCIATION INC
1024 S Greenville Ave Ste 230
Allen, TX 75002

COMPTON BRADFORD D AND
REBECCA J COMPTON
1033 FAWN TRL
ROCKWALL, TX 75087

BUTLER MICHAEL GLENN AND THERESA LYNN
1037 FAWN TRAIL
ROCKWALL, TX 75087

RESIDENT
1313 FM552
ROCKWALL, TX 75087

RIDGEVIEW CHURCH
1362 E FM 522
ROCKWALL, TX 75087

CHERUBINI VICTOR & ASHLEY DOLLAR
3302 ROYAL RIDGE DR
ROCKWALL, TX 75087

KIPE MICHAEL AND DIANA
3306 RIDGECROSS DR
ROCKWALL, TX 75087

DUNPHY JAMES AND KATHERINE
3306 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

RESENDEZ ALYSSA RENEE AND REY JR
3307 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

HEUSS JEREMY D AND SHANNON N
3310 RIDGECROSS DRIVE
ROCKWALL, TX 75032

SHELTON DANA BLAIR AND ANNETTE
COLAROCHIO
3310 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

SMITH JAY & CHRISTINE
3311 ROYAL RIDGE DR
ROCKWALL, TX 75087

ZIELINSKI THOMAS R & PATRICIA D
3314 RIDGECROSS DR
ROCKWALL, TX 75087

SMITH CHRISTINE PIGG AND JAY RICHARD
3314 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

LUETKE SENECA L
3315 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

NGUYEN TIFFANY THAO AND HENRY HIEP VO
3318 RIDGECROSS DRIVE
ROCKWALL, TX 75087

PORTER KAREN CLAIBORNE AND RUSSELL
WAYNE
3318 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

THOMAS JARROD M
3319 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

STANLEY SHANNON D AND CHARIDY LYNN
3322 RIDGECROSS DRIVE
ROCKWALL, TX 75087

WADE KENNETH KYLE
3322 ROYAL RIDGE DR
ROCKWALL, TX 75087

ARGUEDAS JUAN CARLOS AND
DAYANNA VILLALOBOS
3323 ROYAL RIDGE DR
ROCKWALL, TX 75087

BARRETT OLAN DEAN
3326 ROYAL RIDGE DR
ROCKWALL, TX 75087

COLEMAN EDWARD EARL SR AND
NIKITA NASHA COLEMAN
3401 ROYAL RIDGE DR
ROCKWALL, TX 75087

NGUYEN DIANE & HIEU TRUNG
3402 RIDGECROSS DRIVE
ROCKWALL, TX 75087

SOUTHERLAND AUSTIN & SHAYLEE
3402 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

JOHNSON CHRISTOPHER MAX AND ANGELA KAY
3405 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

GARVIN CARSON C AND JENNIFER S
3406 RIDGECROSS DRIVE
ROCKWALL, TX 75087

LIEBRUM CORY R & RACHEL J
3406 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

TESKE CHARLES A JR AND KIMBERLY K
3409 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

SMITH ELOISE
3410 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

LEWIS STANLEY DALE AND ANITA LYNN
3413 ROYAL RIDGE DR
ROCKWALL, TX 75087

FRIERSON KEVIN & REBECCA
3414 ROYAL RIDGE DRIVE
ROCKWALL, TX 75087

MARTIN ANGELA AND JESSIE
3418 ROYAL RIDGE DR
ROCKWALL, TX 75087



May 15, 2025

2024.011

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

RE: Specific Use Permit Explanation Letter
Ridgeview Church Expansion

Dear Team,

SUTHERLAND KING CONSULTING, LLC (SKC) is providing this letter on behalf of Ridgeview Church in support of their application for expanding their facilities.

The church endeavors to expand the existing worship facilities by approximately 35,000 square feet of internal space and subsequent parking areas on the exterior of the building as reflected on the site plan associated with this submission.

It is our understanding this property was previously annexed into the City and assigned a zoning designation of General Retail, therefore this use is a legally non-conforming use and requires a Specific Use Permit upon substantial redevelopment.

We respectfully request the approval of a Specific Use Permit to permit this expansion.

In addition, we understand that General Retail prohibits parking between the building and the street frontage.

Since this property is on a corner lot (2 frontages) and the church is attempting to maximize available parking for its patrons' use and safety, we require all available areas for parking we can possibly use.

We respectfully request a variance to this requirement so that we may provide parking as shown on the associated site plan, including parking between the church and Breezy Hill, as well as the parking between the church and FM 552. As required by the landscape ordinance, we will provide landscape screening to accommodate any headlights as well as respecting the required buffers along the rights-of-way.



In summary:

- We request approval of the Specific Use Permit to extend the church worship facilities.
- We request approval of the variance to allow parking between the primary building and the right-of-way.

If you should have any questions about the information contained herein, please do not hesitate to contact our office.

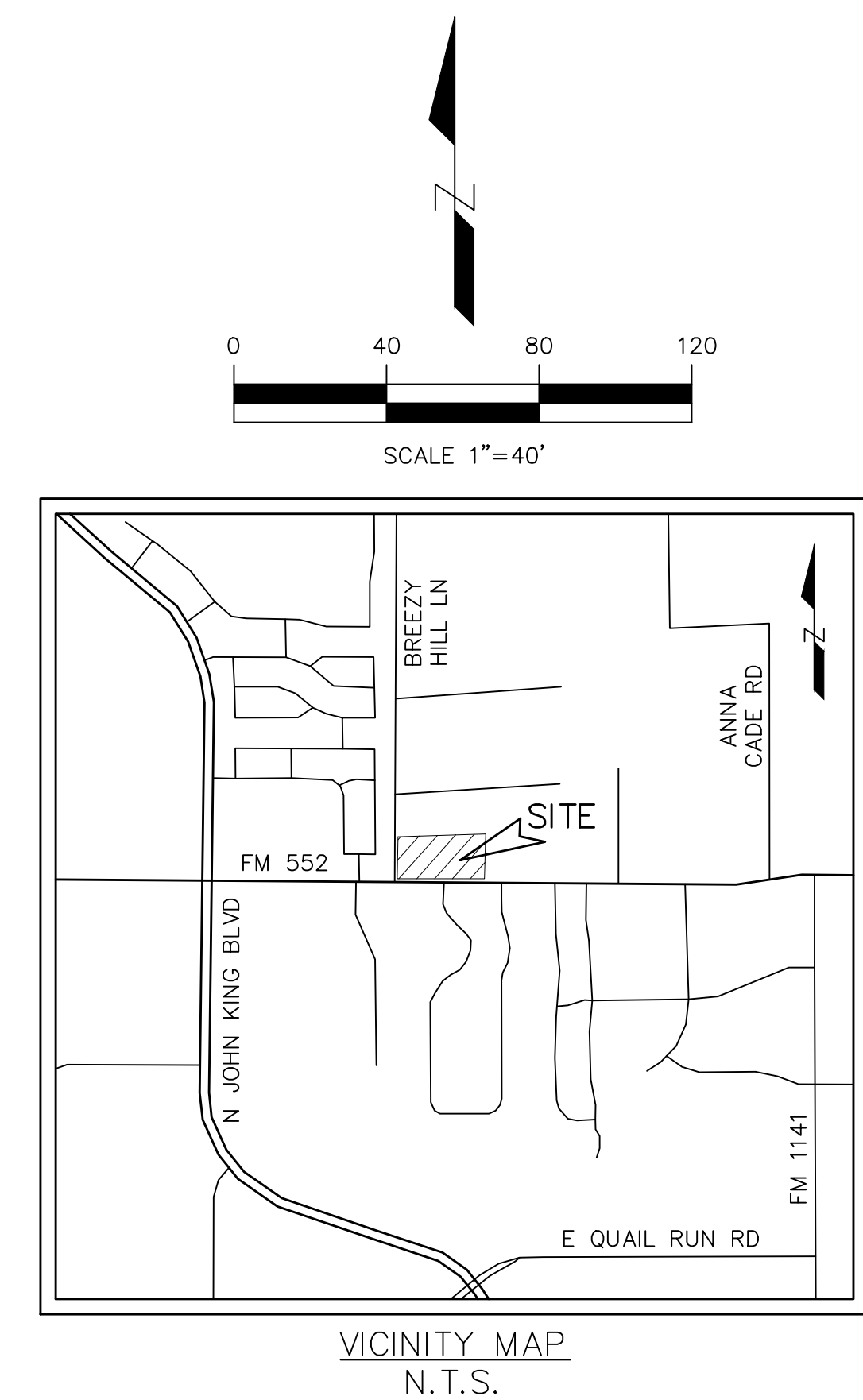
Regards,

Sutherland King Consulting, LLC
Texas Engineering Firm No. F-22938



Grayson K. Hughes, P.E.
CEO / Founding Principal





SITE DATA TABLE	
ZONING	GENERAL RETAIL
LAND USE	CHURCH / HOUSE OF WORSHIP
LOT AREA	7.03 AC (307,196 SF)
BUILDING AREA	53,904 SF
EXISTING SANCTUARY SEATS	194
PROPOSED SANCTUARY SEATS	819
TOTAL SANCTUARY SEATS	1,013
PROPOSED BUILDING HEIGHT	25 FEET
BUILDING STORIES	SINGLE STORY
FINISH FLOOR ELEVATION	540.3
LOT COVERAGE	17.50%
FLOOR AREA RATIO	0.1750
TOTAL PARKING REQUIRED	1 SPACE PER 4 WORSHIP SEATS
TOTAL PARKING REQUIRED	254
TOTAL PARKING PROVIDED	286
TOTAL HC PARKING REQ'D	7
TOTAL HC PARKING PROVIDED	9

NOTE:
LINEWORK BASED ON TOPOGRAPHIC
SURVEY INFORMATION ACQUIRED ON
4/04/2025 BY WINDROSE SURVEYING
AND LAND SERVICES, LLC

SURVEYOR:
WINDROSE SURVEYING & LAND SERVICES, LLC
1959 LAKEWAY DRIVE
LEWISVILLE, TEXAS 75057
PHONE: 325.217.2544
ATTN: CHAD ODEN

SK SUTHERLAND KING
SUTHERLANDKING.COM
TX FIRM NO. F-22938
PHONE: 214.208.0519
8430 MEADOWCREEK DR
DALLAS, TX
75254

PRELIMINARY
FOR PRELIMINARY REVIEW
PERMIT, OR PRICING
PURPOSES ONLY.

PREPARED BY:
GRAYSON K. HUGHES, PE

SITE PLAN

BRIDGEVIEW CHURCH EXPANSION
1362 EAST FM ROAD 552
ROCKWALL, TEXAS

PROJECT NUMBER	2024.01
DRAWING DATE	2025.05.15
SCALE	1" = 40'
DESIGNED BY	GKH
SHEET NUMBER	
C1.0	