



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☐ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☒ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☒ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☒ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Highway 276 Royse City TX 75189

SUBDIVISION

LOT

105

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Agriculture

CURRENT USE Agriculture

PROPOSED ZONING SF-1

PROPOSED USE Single family home

ACREAGE 105.285

LOTS [CURRENT]

1

LOTS [PROPOSED]

70

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER

☒ APPLICANT

KRE 15 LLC

CONTACT PERSON

CONTACT PERSON

William Andrew Solomon

ADDRESS

ADDRESS

4512 Legacy Drive

CITY, STATE & ZIP

CITY, STATE & ZIP

Plano, Texas 75024

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED william@sumamonde.com [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____, TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

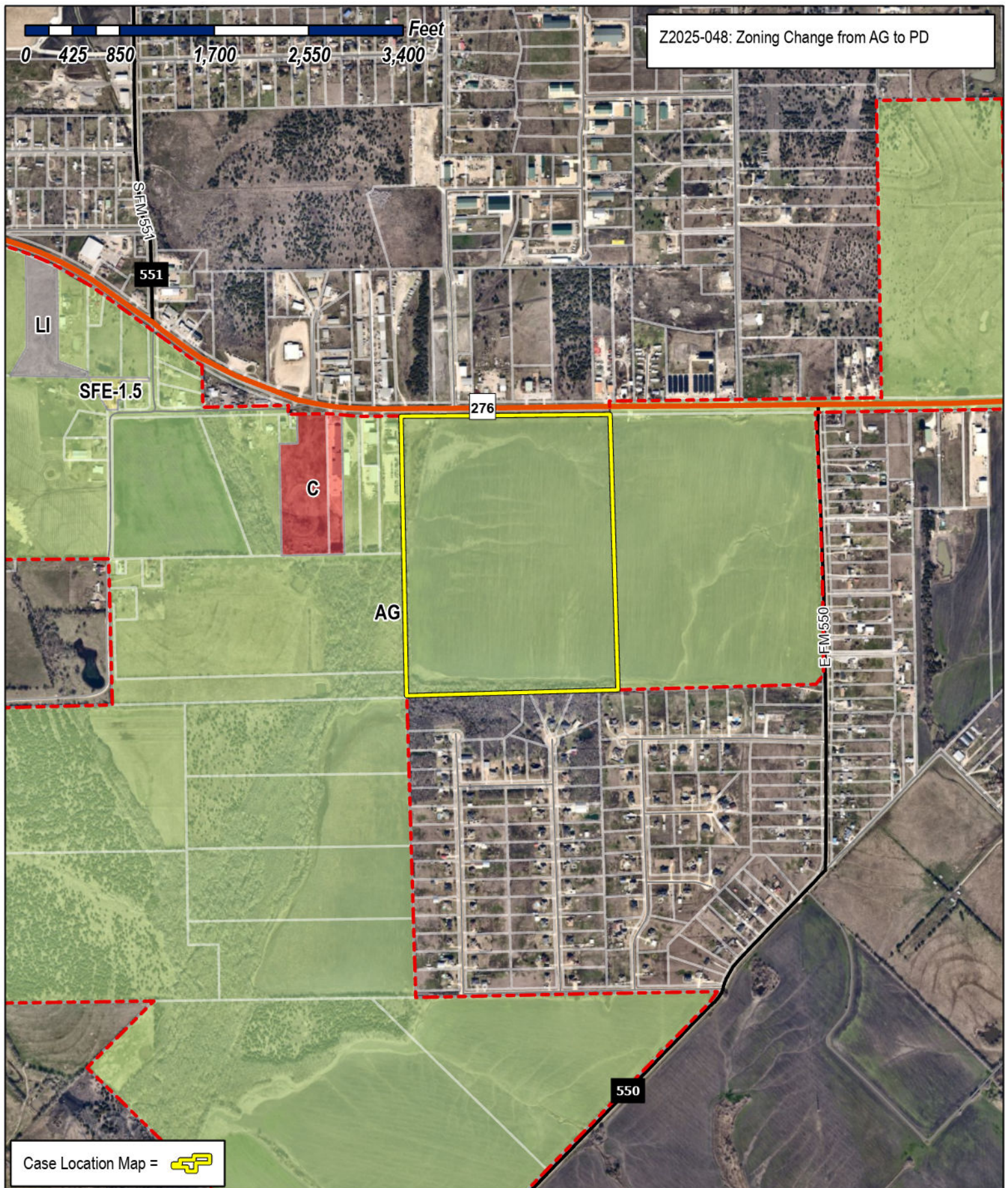
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE

William Solomon (Jul 17, 2025 12:34 CDT)

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

MY COMMISSION EXPIRES _____



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

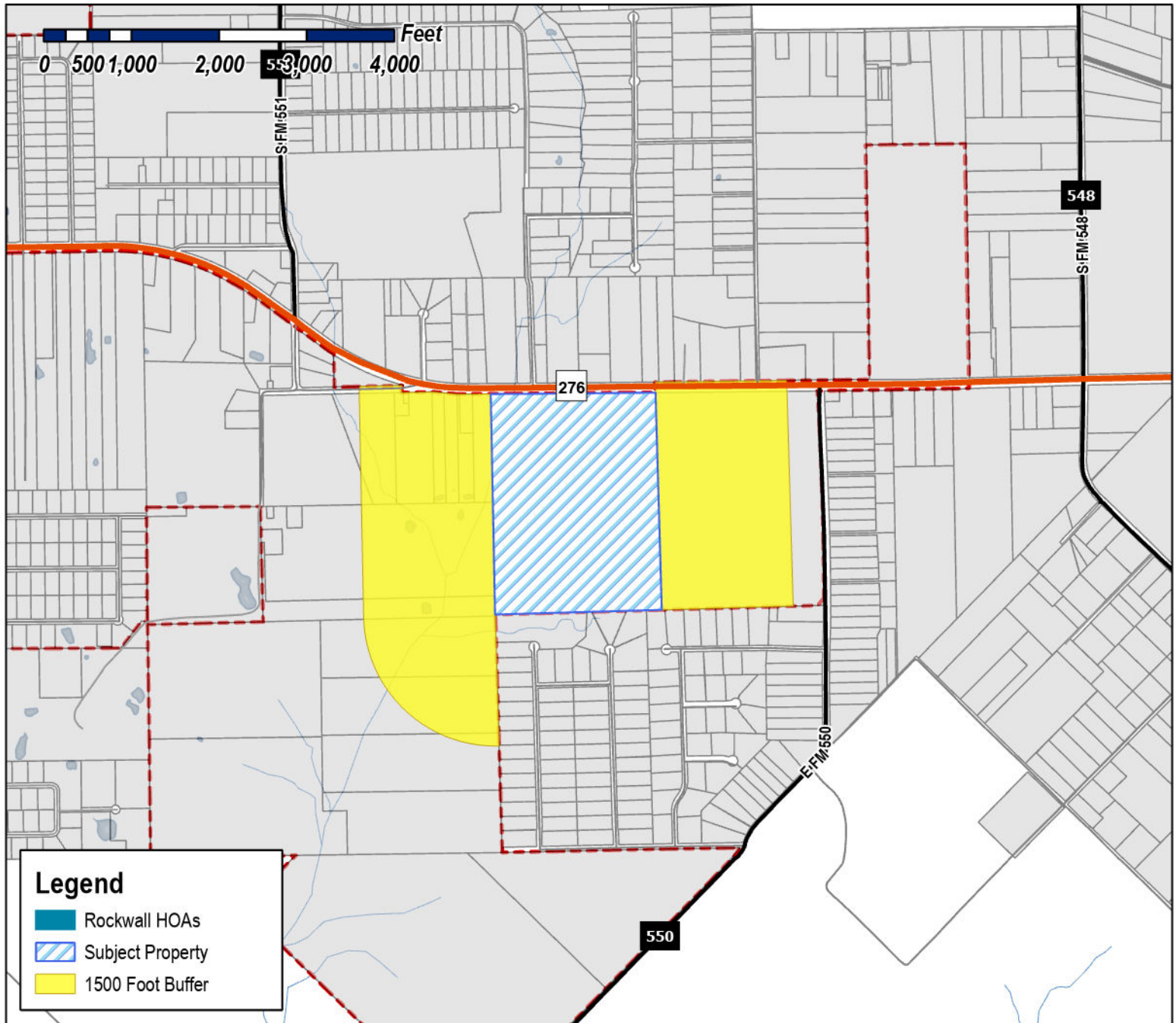




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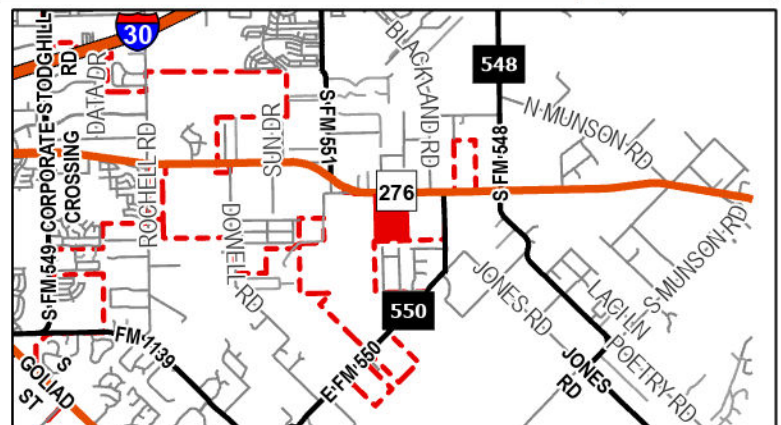
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Case Number: Z2025-048
Case Name: Zoning Change from AG to PD
Case Type: Zoning
Zoning: Agricultural (AG) District
Case Address: State Highway 276

Date Saved: 7/18/2025

For Questions on this Case Call (972) 771-7745

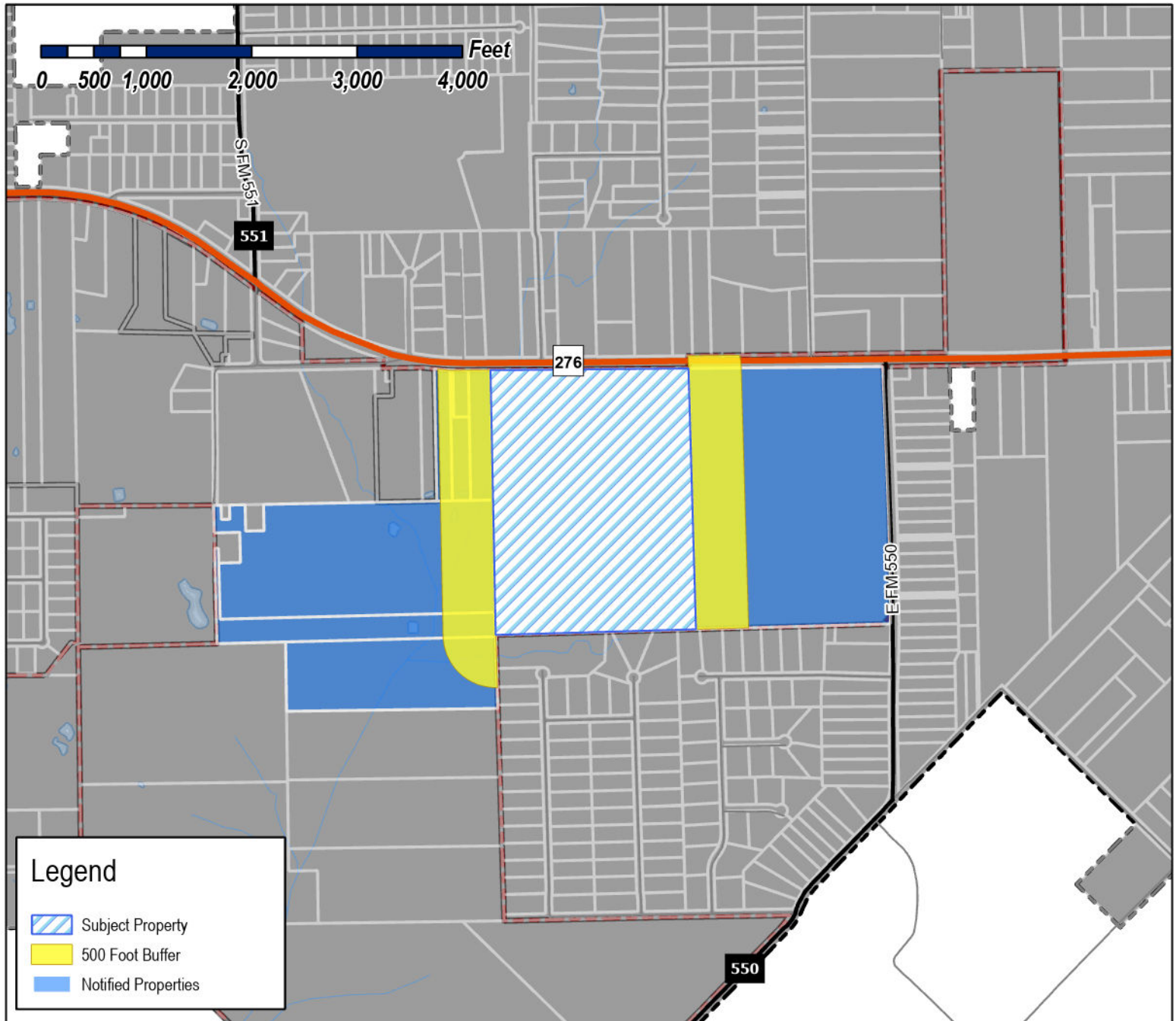




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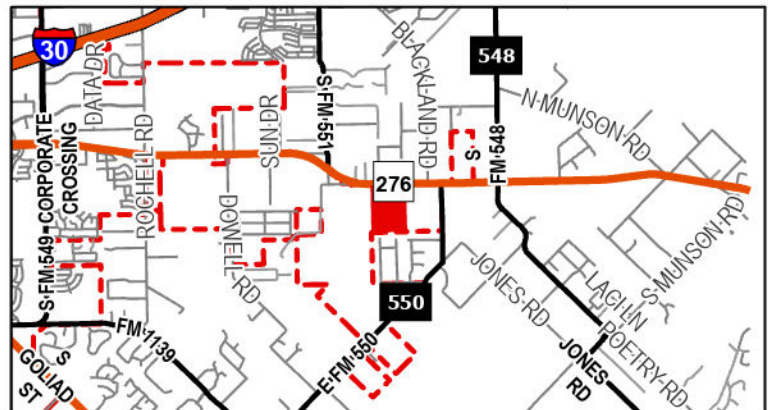
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LITHIA REAL ESTATE INC
150 N BARTLETT STREET
MEDFORD, OR 97501

LA-DF INVESTMENT FUND 9 LLC
212 S Palm Ave Ste 200
Alhambra, CA 91801

GLOVER KERRY C AND JOANN
3901 OAK POINT DR
CROSSROADS, TX 76227

KRE 15 LLC
4512 LEGACY DR STE 100
PLANO, TX 75024

VICENTE AUSENCIO AND MARISOL AND
509 RIGGS CIRCLE
MESQUITE, TX 75149

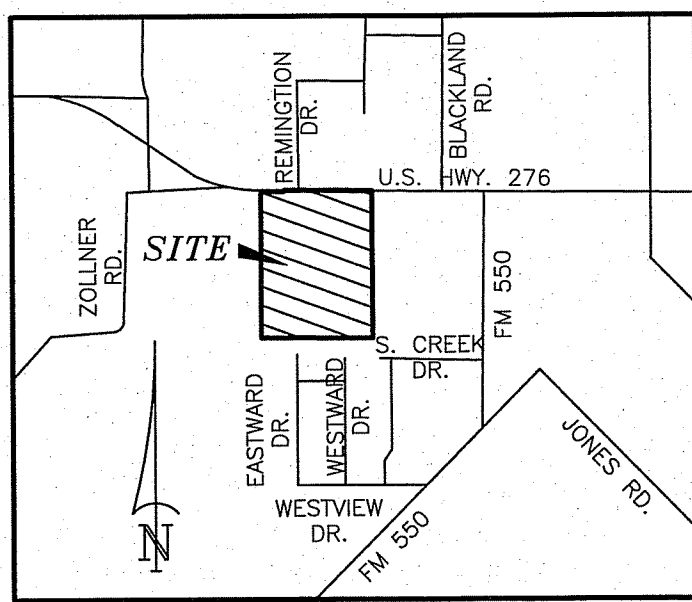
MULLEN ADVENTURES LLC
5677 STATE HIGHWAY 276
ROYSE CITY, TX 75189

JAY & PAM PROPERTIES LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

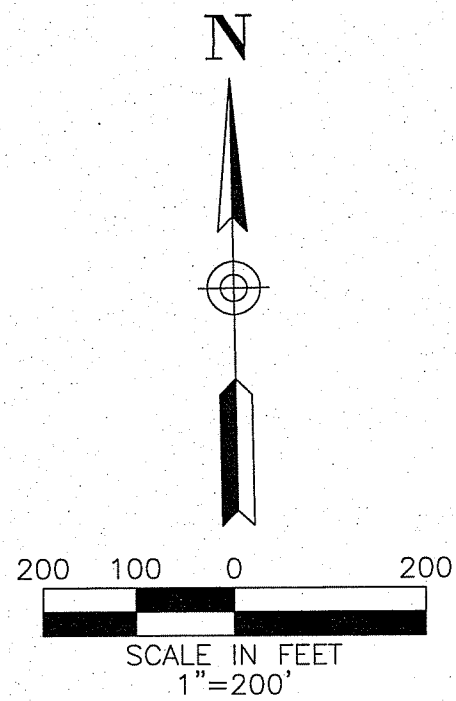
SIGN OF QUALITY LLC
5707 STATE HIGHWAY 276
ROYSE CITY, TX 75189

RESIDENT
5751 HWY276
ROCKWALL, TX 75087

KENNEDY RICKEY EDMOND
9912 COUNTY ROAD 2426
TERRELL, TX 75160



VICINITY MAP
NOT TO SCALE



The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone as derived from GPS observations using the Allterra RTK Network and adjusted to surface using a surface scale factor of 1.000146135

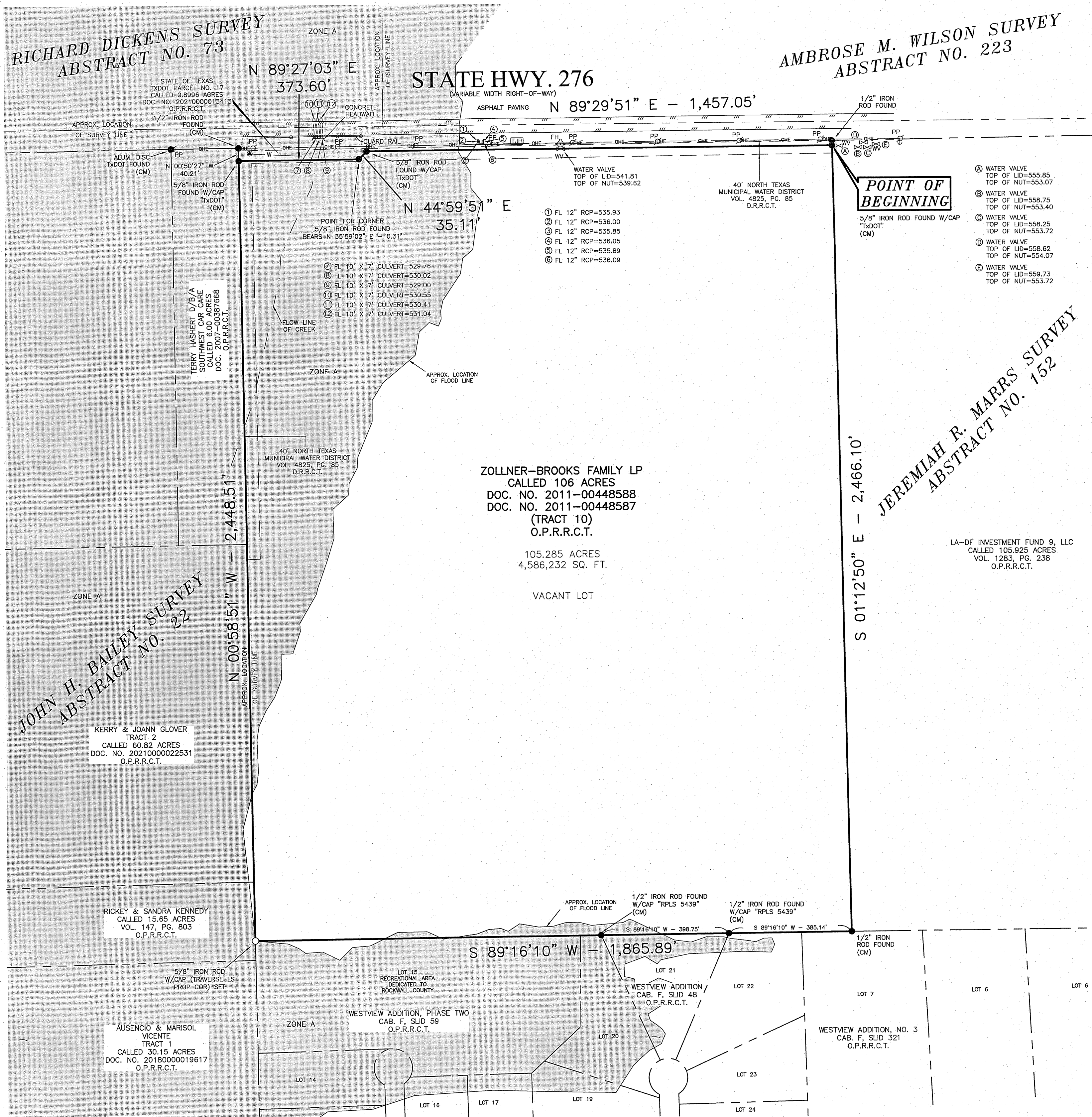
LEGEND	
	BOUNDARY LINE
	ADJOINER BOUNDARY LINE
	EASEMENT LINE (AS NOTED)
	WATER LINE
	OVERHEAD ELECTRIC LINE
	WROUGHT IRON FENCE
	WOOD FENCE
	SET IRON ROD (AS NOTED)
	FOUND IRON ROD (AS NOTED)
	"X" CUT FOUND
	"X" CUT SET
	WATER VALVE
	FIRE HYDRANT
	TELEPHONE JUNCTION BOX
	LIGHT POLE
	POWER POLE
	GUY WIRE
	CONTROL MONUMENT
O.P.R.R.C.T.	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
D.R.R.C.T.	DEED RECORDS ROCKWALL COUNTY, TEXAS

FLOOD NOTES

A portion of the subject property shown hereon lies within Zone "A", No Base Flood Elevations determined, the rest lies within Zone "X", (areas determined to be outside of the 0.2% annual chance floodplain), according to the Flood Insurance Rate Map, Community Panel No. 48397C006SL, dated September 26, 2008.

GENERAL NOTES

- This survey was prepared in conjunction with the Title Commitment listed above and the Surveyor has performed no additional research for easements, restrictions or other matters of record which may affect the land that were not disclosed in said Title Commitment.
- A request for water, sewer and drainage plans were requested from the City of Royse City but no plans were received.



TITLE NOTES

This survey relies solely on the Commitment for Title Insurance prepared by Chicago Title Insurance Company, Commitment No. 8058642200083 and GF No. CTRR64-8058642200083-RR, with an effective date of June 15, 2022 and issued on July 6, 2022. The surveyor has performed no additional research for easements, restrictions or other matters of record which may affect the land.

10. The following matters and all terms of the documents creating or offering evidence of the matters:

- f. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: Seaway Pipeline Inc.
Purpose: As provided in said document
Recording Date: January 21, 1985
Recording No: Volume 217, Page 269 Deed Records, Rockwall County, Texas
(does not affect the subject tract)

- g. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: Phillips Texas Border Pipeline Company f/k/a/ Phillips Natural Gas Company
Purpose: As provided in said document
Recording Date: February 1, 1994
Recording No: Volume 869, Page 1, Deed Records, Rockwall County, Texas
(does not affect the subject tract)

- h. Easement(s) and rights incidental thereto, as granted in a document:

Granted to: North Texas Municipal Water District
Purpose: As provided in said document
Recording Date: November 14, 2006
Recording No: Volume 4825, Page 85, Deed Records, Rockwall County, Texas
(affects subject tract as shown on survey)

LAND DESCRIPTION

Being a 105.285 acre tract of land situated in the Jeremiah R. Marrs Survey, Abstract No. 152, City of Royse City, Rockwall County, Texas, being all of a tract of land conveyed to Zollner-Brooks Family, LP, a Texas limited partnership, by Warranty Deed Without Title Examination, recorded in Document No. 2011-00448588 and Document No. 2011-00448587, of the Official Public Records of Rockwall County, Texas (O.P.R.R.C.T.), and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod with cap stamped "TxDOT" (controlling monument (CM)) found on the northeasterly corner of said Zollner tract, being on the southerly right-of-way line of State Highway 276 (a variable width right-of-way) and being on the westerly line of a tract of land conveyed to LA-DF Investment Fund 9, LLC, by Special Warranty Deed, recorded in Volume 1283, Page 238, O.P.R.R.C.T.;

THENCE South 01 degrees 12 minutes 50 seconds East, along the common easterly line of said Zollner tract and the westerly line said LA-DF tract, a distance of 2,466.10 feet to a 1/2 inch iron rod (CM) found on the common southeasterly corner of said Zollner tract and the southwesterly corner of said LA-DF Investment Fund, said iron rod also being on the northerly line of Lot 7, of Westview Addition, No. 3, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 321, O.P.R.R.C.T.

THENCE South 89 degrees 16 minutes 10 seconds West, along the common southerly line of said Zollner tract, the northerly line of said Lot 7, Westview Addition, No. 3 plat, the northerly line of Lots 20-22, of Westview Addition, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 48, O.P.R.R.C.T. and the northerly line of Lot 15, of Westview Addition, Phase Two, an addition to the City of Royse City, Rockwall County, Texas, according to the plat thereof recorded in Cabinet F, Slide 59, O.P.R.R.C.T., a distance of 1,865.89 feet to a 5/8 inch iron rod with cap stamped "TxDOT" set on the common southwesterly corner of said Zollner tract, and the northwesterly corner of said Lot 15, said iron rod set also being on the easterly line of a tract of land conveyed to Rickey Edmond Kennedy and wife, Sandra Ann Kennedy, by Warranty Deed With Vendor's Lien, recorded in Volume 147, Page 803, O.P.R.R.C.T.;

THENCE North 00 degrees 58 minutes 51 Seconds West, along the common westerly line of said Zollner tract, and the easterly line of said the Kennedy tract, the easterly line of a tract of land conveyed to Kerry C. Glover and Joann Glover, by General Warranty Deed, recorded in Document No. 2021000022631, O.P.R.R.C.T. and the easterly line of a tract of land conveyed to Terry Hashert db/a Southwest Car Care, by Warranty Deed With Vendor's Lien, recorded in Document No. 2007-00387668, O.P.R.R.C.T., a distance of 2,448.51 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM) found for corner;

THENCE departing said Terry Hashert tract and along the common northerly line of said Zollner tract and the southerly right-of-way line of said State Highway 276 the following three (3) calls:

- North 89 degrees 27 minutes 03 seconds East, a distance of 373.60 feet to a point for corner from which a 5/8 inch iron rod found bears at North 35 degrees 59 minutes 02 seconds East - 0.31';
- North 44 degrees 59 minutes 51 seconds East, a distance of 35.11 feet to a 5/8 inch iron rod with cap stamped "TxDOT" (CM);
- North 89 degrees 29 minutes 51 seconds East, a distance of 1,457.05 feet to the **POINT OF BEGINNING** and containing 105.285 acres of land (4,586,232 square feet), more or less.

SURVEYOR'S CERTIFICATION

To: Dreamland Realty, Zollner-Brooks Family, LP, a Texas limited partnership and Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1-4, 8, 11(a), 13, 14 in conjunction with the laws of the State of Texas.
The fieldwork was completed on September 7, 2022.

Date of Plat or Map: September 14, 2022

Chase Crawford
Registered Professional Land Surveyor
Texas Registration No. 6913
Date: September 14, 2022



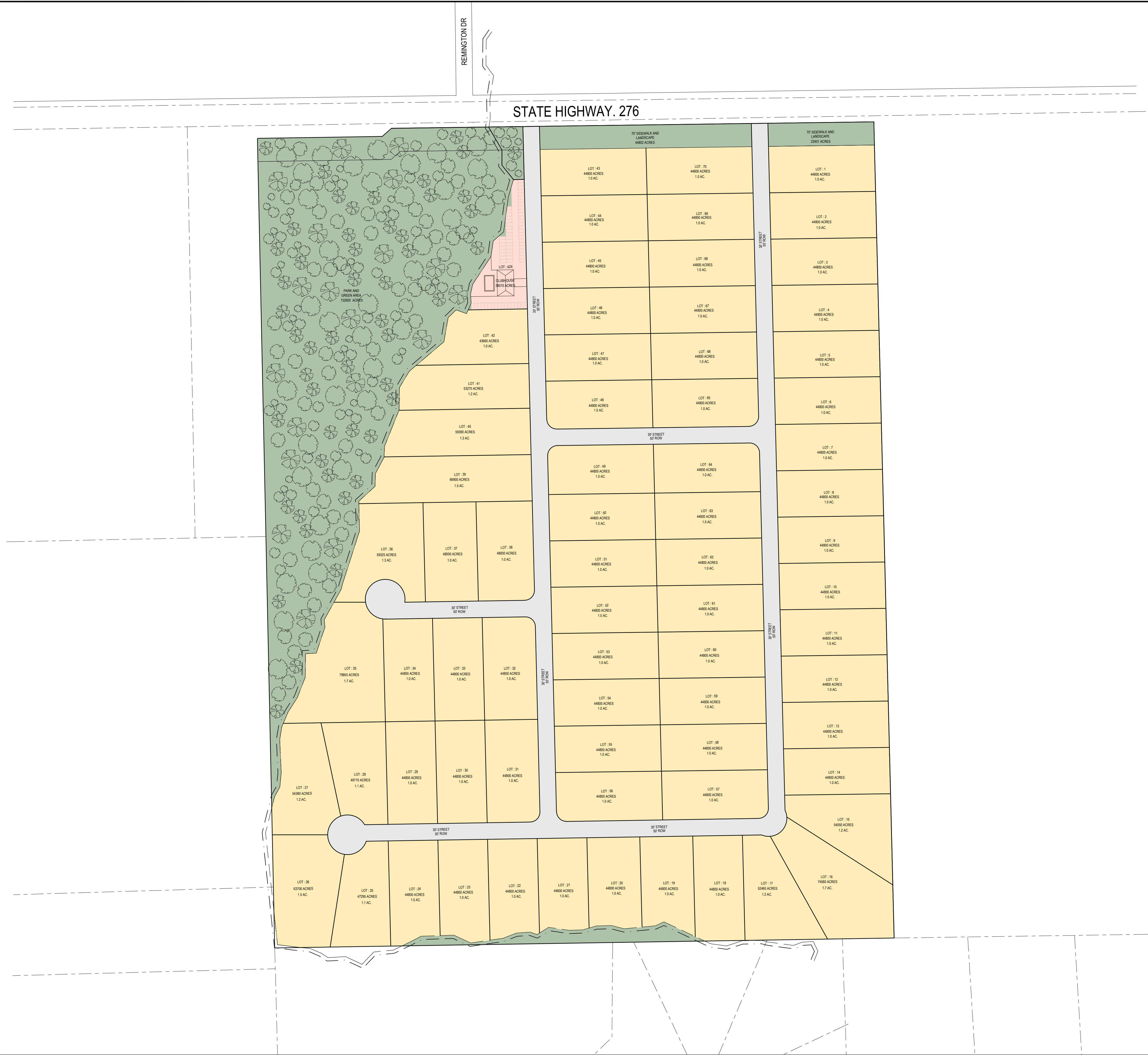
ALTA/NSPS LAND TITLE SURVEY

105.285 ACRE TRACT OF LAND
SITUATED IN THE
JEREMIAH R. MARRS SURVEY, ABSTRACT NO. 152
CITY OF ROYSE CITY, ROCKWALL COUNTY, TEXAS



Surveying | Construction Staking | Platting

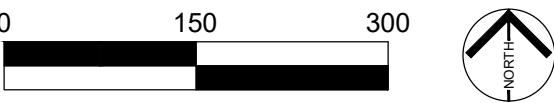
DRAWN	CHECK	DATE	SCALE	PROJECT NO.
DV	CRC	9-14-2022	1" = 200'	TR-99-22



NOTE:
THESE CIVIL DRAWINGS HAVE BEEN PREPARED FOR CIVIL DESIGN ONLY. STRUCTURAL, ARCHITECTURAL, MECHANICAL, AND OTHER RELATED ENGINEERING DESIGN AND SPECIFICATIONS ARE THE RESPONSIBILITY OF THE RESPECTIVE ENGINEERS. COMPLIANCE TO THESE DRAWINGS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL MEASUREMENTS SHALL BE REPORTED BY THE CONTRACTORS DURING THE RESPECTIVE WORK.

COPYRIGHT 2024
THESE DRAWINGS, AS INSTRUMENTS OF SERVICE, ARE THE EXCLUSIVE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE USED IN WHOLE OR PART WITHOUT HIS EXPRESS WRITTEN PERMISSION. UNAUTHORIZED USE OF THESE DRAWINGS WILL SUBJECT THE USER TO LEGAL REMEDY BEING SOUGHT BY THE ENGINEER.

- LEGEND:**
- ACCESS ROADS
 - OPEN SPACE AREA (PARK) - 20 AC.
 - AMENITY CENTER - 0.9 AC.
 - TYPE "A" - 1.0 AC. - 70 LOTS



OPTIMA
DESIGN & ENGINEERING PLLC

2808 WILDCREEK CT, KELLER TEXAS
TEL. (817) 466-6503
TEXAS FIRM REGISTRATION NO. F-23565
EMAIL: P.ALIKHANI@OPTIMAENGINEER.COM

REVISION NO.	REVISION	REV. DATE

PRELIMINARY PLAT

PROJECT:

**ROCKWALL PROPERTY
105 ACRES**

HIGHWAY 276 ROYSE CITY, TEXAS, 75189

SHEET TITLE		
CONCEPT PLAN		
DRAWN BY HASTI	ISSUE	ISSUE DATE 05.14.2025
PROJECT DATE MAY 2025	PROJECT NO. 001	REV. NO. 1
SCALE: 1" = 150'	SHEET NO. 1	

IN THE CITY OF ROCKWALL
HIGHWAY 276 ROYSE CITY, TEXAS, 75189

[illegible]

VICINITY MAP

Exhibit 'A':

Legal Description

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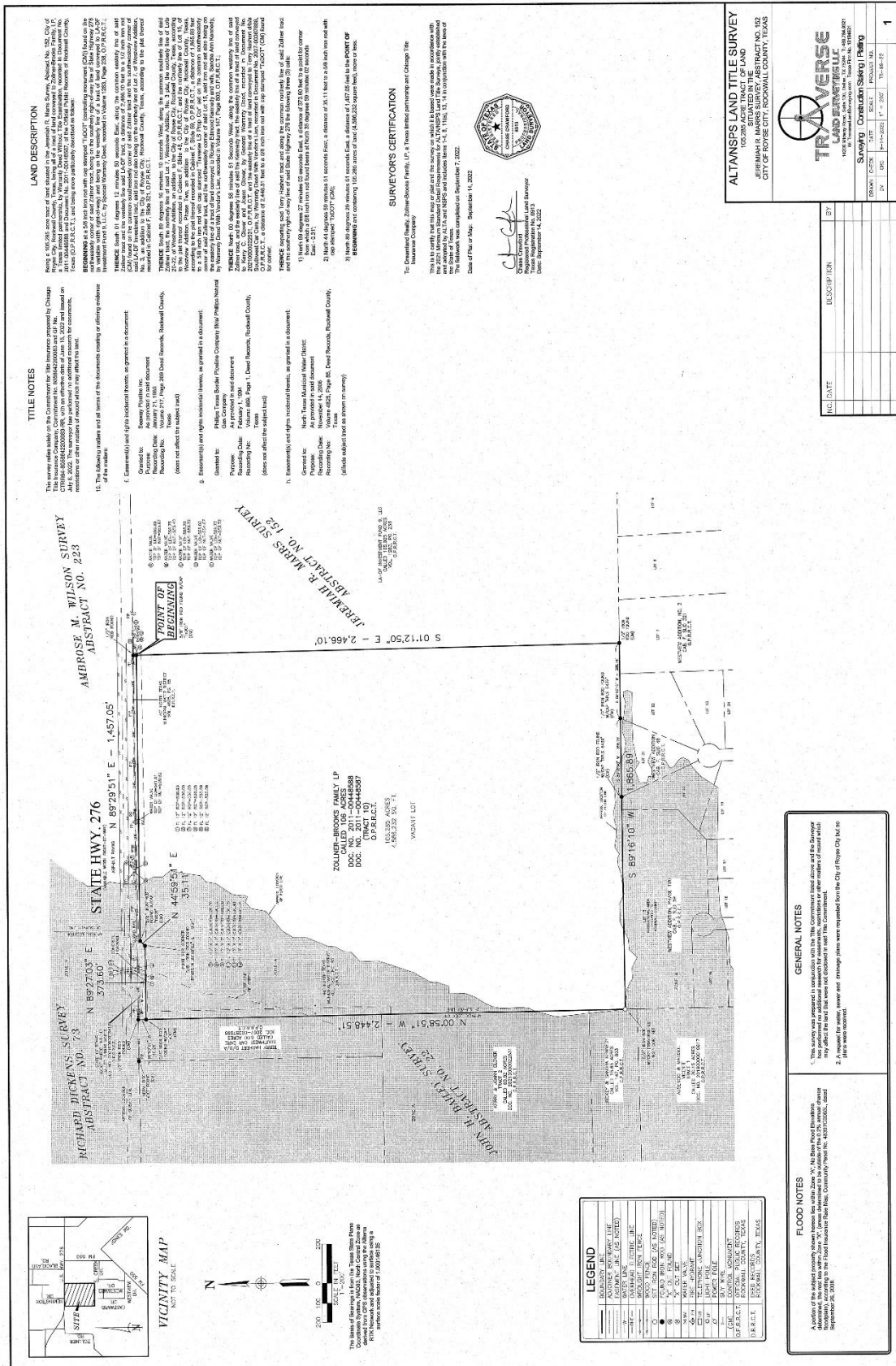
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Survey



[illegible]

Exhibit 'D':
Amenity Centers



Exhibit 'E':

Density and Development Standard

Request for city of Rockwall (Plan Development)

This request is for the planned development of the 105.285 acres lot in Rockwall from Agriculture (AG) to Planned Development - single family (SF-1) one acre lots that will meet all the City requirements. As part of this proposed Planned Development, a minimum of 20% of the total land area (approximately 21 acres) will be dedicated as common open space. This open space will be publicly accessible. The layout of these open space elements is illustrated in Exhibit C. This project supports thoughtful planning while enhancing community accessibility and preserving aesthetic and recreational value through integrated open space features.

1) Permitted Uses. Unless specifically provided by this Planned Development District ordinance, the following uses are permitted on the Subject Property:

- a) Residential Land Uses.** Residential land uses shall be allowed only within the area designated for residential lots as depicted on the Concept Plan in Exhibit 'C' of this ordinance. These areas are limited to those uses permitted by-right or by Specific Use Permit (SUP) for the Single-Family 1 (SF-1) District, as stipulated by the Permissible Use Charts contained in Article 05, Permissible Uses, of the Unified Development Code (UDC).

2) Residential Lot Composition and Layout. The lot layout and composition shall generally conform to the Concept Plan depicted in Exhibit 'C' and stated in Table 1, which is as follows:

TABLE 1: LOT COMPOSITION (SF-1)

LOT TYPE	MINIMUM LOT SIZE (FT)	MINIMUM LOT SIZE (SF)	DWELLING UNITS/LOT	DWELLING UNITS/ACRE
A	70 X 100	8,400	1.0 ¹	1.0

¹. The Single Family 1 (SF-1) district allows for one (1) unit per gross acre.

3) Density and Dimensional Requirements. Unless specifically provided by this Planned Development District ordinance, the development standards stipulated for the Subject Property shall be as follows:

- a) Residential.** Except as modified by this Planned Development District ordinance, residential land uses on the Subject Property shall be required to meet the

development standards for the Single-Family 1 (SF-1) District, as specified by Article 05, District Development Standards, of the Unified Development Code (UDC). The maximum permissible density for the Subject Property shall not exceed 1 dwelling units per gross acre of land; however, in no case should the proposed development exceed 70 units. All lots shall conform to the following standards:

TABLE 2: LOT DIMENSIONAL REQUIREMENTS

LOT TYPE	A
Minimum Lot Width ⁽¹⁾	140'
Minimum Lot Depth	270'
Minimum Lot Area (SF)	43,560
Minimum Area Dwelling Unit (SF) ⁽⁷⁾	2,500
Maximum Lot Coverage	45%
Minimum Front Yard Setback ^{(2),(5) & (6)}	20'
Minimum Rear Yard Setback ⁽⁴⁾	10'
Minimum Side Yard Setback ⁽⁹⁾	10'
Minimum Side Yard Setback (adjacent to a street) ^{(2) & (5)}	15'
Minimum Length of Driveway Pavement ⁽⁸⁾	20'
Maximum Height ⁽³⁾	36'
Minimum Garage Parking Spaces	2

^{1.} Lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may have the front lot width reduced by 20% as measured at the front property line provided that the lot width will be met at the Front Yard and Rear Yard Building Setback. Additionally, the lot depth on lots fronting onto curvilinear streets, cul-de-sacs and eyebrows may be reduced by up to 10%, but shall meet the minimum lot size for each lot type referenced in Table 1.

^{2.} The location of the Front Yard Building Setback as measured from the front property line.

^{3.} The Maximum Height shall be measured to the eave or top plate (whichever is greater) of the single-family home.

^{4.} The location of the Rear Yard Building Setback as measured from the rear property line.

^{5.} Sunrooms, porches, stoops, bay windows, balconies, masonry clad chimneys, eaves and similar architectural features may encroach beyond the Front Yard Building Setback by up to 10 feet for any property; however, the encroachment shall not exceed 5 feet on Side Yard Setbacks. A sunroom is an

enclosed room no more than 15 feet in width that has glass on at least 50% of each of the encroaching faces.

6. J-Swing or Traditional Swing Garages are permitted to encroach into the front yard building setback a maximum of 5 feet.

7. Air-conditioned space.

8. No drive approach for a residential lot shall be situated to allow access on a collector or arterial roadway.

9. All Corner Lots that back to a lot that fronts onto the same street that the Corner Lot sides, shall have a side setback that is equal to the front setback of the fronting lot. In addition, no solid fence shall be situated within this setback.

4) Building Standards for Residential. All residential development shall adhere to the following building standards:

- a) **Masonry Requirement.** The minimum masonry requirement for the exterior façade of all buildings shall be 100.00% (excluding dormers and walls over roof areas. For the purposes of this ordinance, the masonry requirement shall be limited to full width brick, natural stone, and cast stone. Cementitious fiberboard (e.g. Hardie Board or Hardy Plank) in a horizontal lap-siding, board-and-batten siding, or a decorative pattern (see examples below) may be used for up to 80.00% of the masonry requirement; however, administrative approval from the Director of Planning and Zoning may be requested for housing plans that utilize cementitious fiberboard in excess of 80.00% of the masonry requirement on a case-by-case basis.

FIGURE 1: EXAMPLES OF CEMENTITIOUS FIBERBOARD



FIGURE 2: EXAMPLES OF BOARD AND BATTEN



FIGURE 3: EXAMPLES OF BRICK



FIGURE 4: EXAMPLES OF HORIZONTAL LAP



b) **Roof Pitch.** A minimum of a 6:12 roof pitch is required on all structures with the exception of dormers, sunrooms and porches, which shall have a minimum of a 4:12 roof pitch.

c) **Garage Orientation and Garage Doors.** This development shall adhere to the following garage design standards and orientation requirements:

1. Type 'A' Lots. Type A shall be oriented in a traditional swing (or j-swing) garage configuration - where the two 2 car garage is stated facing the side property line and the driveway swings into the garage in a J' configuration. In a traditional swing (or j-swing) garage configuration, a second (single or double) garage door facing the street is permitted if it is behind the width of the double garage door in the traditional swing (or j-swing) configuration.

All garage configurations not conforming to the aforementioned garage configurations shall meet the requirements stipulated by Article 05, Parking and Loading, of the Unified Development Code (UDC).

FIGURE 5: EXAMPLE OF GARAGE DOOR



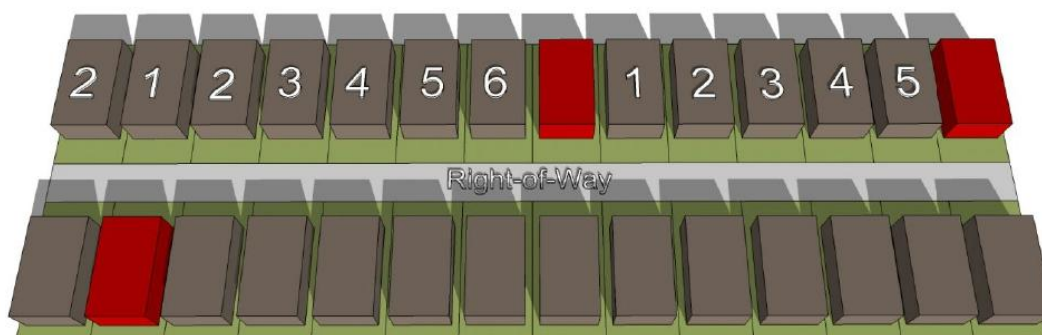
5) Anti-Monotony Restrictions. The development shall adhere to the Anti-Monotony Matrix depicted in Table 3 below (for spacing requirements see Figure 6 below).

TABLE 3: ANTI-MONOTONY MATRIX

LOT TYPE	MINIMUM LOT SIZE	ELEVATION FEATURES
A	140 X 270	(1), (2), (3), (4), (5)

- a) **Identical brick blends** or paint colors may not occur on adjacent (side-by-side) properties along any block face without at least 5 intervening homes of differing materials on the same side of the street beginning with the adjacent property and 6 intervening homes of differing materials on the opposite side of the street.
- b) **Front building elevations** shall not repeat along any block face without at least 5 intervening homes of differing appearance on the same side of the street and 6 intervening homes of differing appearance on the opposite side of the street. The rear elevation of homes backing to open spaces, shall not repeat without at least 5 intervening homes of differing appearance. Homes are considered to have a differing appearance if any of the following 3 items deviate:
 - 1. Number of Stories
 - 2. Permitted Encroachment Type and Layout
 - 3. Roof Type and Layout
 - 4. Articulation of the Front Façade
 - 5. Garage Orientation
- c) **Permitted encroachment** (i.e. porches and sunroom) elevations shall not repeat or be the same along any block face without at least 5 intervening homes of sufficient dissimilarity on the same side of the street beginning with the home adjacent to the subject property and 6 intervening homes beginning with the home on the opposite side of the street.
- d) **Each phase of the subdivision** will allow for a maximum of 4 compatible roof colors, and all roof shingles shall be an architectural or dimensional shingle (3-Tab Roofing Shingles are prohibited).

FIGURE 6. PROPERTIES LINE UP ON THE OPPOSITE SIDE OF THE STREET. WHERE RED IS THE SUBJECT PROPERTY.



6) Fencing Standards. All individual residential fencing and walls shall be architecturally compatible with the design, materials and colors of the primary structure on the same lot, and meet the following standards:

- a) Front Yard Fences.** Front yard fences shall be prohibited.
- b) Wood Fences.** All solid fencing shall be constructed utilizing standard cedar fencing materials (spruce fencing is prohibited) that are a minimum of ½-inch or greater in thickness. Fences shall be board-on-board panel fence that is constructed a minimum of 6 feet in height and a maximum of 8 feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side (i.e. facing streets, alleys, open space, parks, and/or neighboring properties). All posts and/or framing shall be placed on the private side (i.e. facing towards the home) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited.
- c) Wrought Iron/Tubular Steel.** Lots located along the perimeter of roadways (i.e. State Highway 276), abutting open spaces, greenbelts and parks shall be required to install a wrought iron or tubular steel fence. Wrought iron/tubular steel fences can be a maximum of 6 feet in height; as depicted in Exhibit 'C' of this ordinance - shall be permitted to have wood fences in accordance with the requirements of Subsection (6)(b) above.
- d) Corner Lots.** Corner lot fences (i.e. adjacent to the street) shall provide masonry columns at 45-foot center spacing that begins at the rear property line corner and terminates 10 feet behind the front yard building setback line (see Figure 7). A maximum of 6 foot board-on-board panel fence - conforming to Subsection (6)(b) above - shall be constructed between the masonry columns along the side and/or rear lot adjacent to a street. In addition, the fencing shall be setback from the side property line adjacent to a street a minimum of 10 feet. The property owner shall be required to maintain both sides of the fence.

FIGURE 7. TYPICAL ORNAMENTAL METAL FENCE WITH COLUMNS

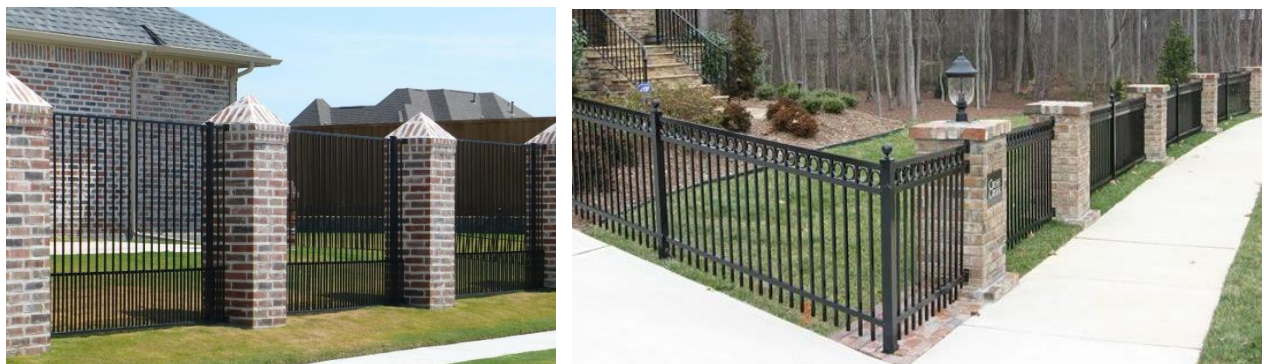


FIGURE 8. TYPICAL ORNAMENTAL METAL FENCE



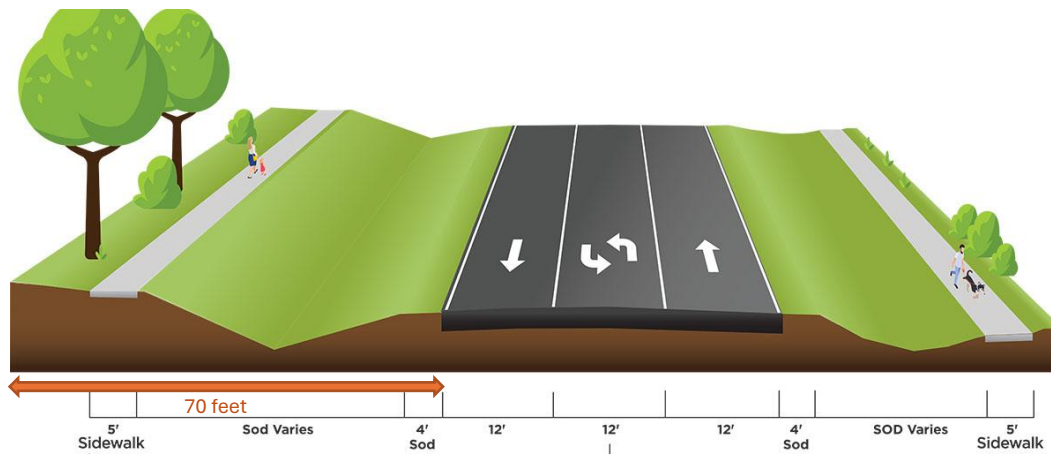
- e) **Solid Fences.** (including Wood Fences). All solid fences shall incorporate a decorative top rail or cap detailing into the design of the fence.
- f) **Fence in Easements.** No fencing shall be constructed in or across the City of Rockwall's easements.

7) Landscape and Hardscape Standards.

- a) **Landscape.** Landscaping shall be reviewed and approved with the PD Site Plan. All Canopy/Shade Trees planted within this development shall be a minimum of 4 caliper inches in size and all Accent/Ornamental/Under-Story Trees shall be a minimum of 4 feet in total height. Any residential lot that sides or backs to a major roadway where wrought iron/tubular steel fencing is required, shall also be required to plant a row of shrubs adjacent to the wrought iron/tubular fence within the required 30-foot landscape buffer (i.e. on the Homeowner's Associations' [HOAs] property). These shrubs shall be maintained by the Homeowner's Association (HOA).
- b) **Landscape Buffers.** All landscape buffers and plantings located within the buffers shall be maintained by the Homeowner's Association (HOA). Landscape buffers shall not be required to natural areas where staff determines that the existing landscaping achieves the desired aesthetic along the street frontage. This shall be determined at the time of site plan review.
 - 1. Landscape Buffer and Sidewalks (State Highway 276). A minimum of a 70-foot landscape buffer shall be provided along State Highway 276 (outside of and beyond any required right-of-way dedication), and shall incorporate ground cover, an undulating built-up berm, and shrubbery along the entire length of the frontage.
Berms shall have a minimum height of 48-inches each. In addition, 3 canopy trees and 4 accent trees shall be planted per 100-feet of linear frontage. A meandering 10 foot trail shall be constructed within the 70-foot landscape buffer. All residential lots near to State Highway 276 shall also incorporate an

additional row of evergreen shrubs adjacent to the wrought-iron fencing along the rear property lines in the landscape buffer.

FIGURE 9. TYPICAL CROSS SECTION OF LANDSCAPE BUFFER FOR STATE HIGHWAY 276



2. Landscape Buffer and Sidewalks (Minor Collectors with the Exception of Stable Glen Drive). A minimum of a 10 foot landscape buffer shall be provided along all Minor Collectors where residential lots do not front the Minor Collector. This landscape buffer shall incorporate 1 canopy tree and 1 accent tree per 50-linear feet along the entire adjacency. A meandering 5 foot sidewalk shall be constructed within the 10 foot landscape buffer.
3. Landscape Screening in the Western Triangle South of State Highway 276 (North-West of the project site). In order to create a solid living screen adjacent to the homes in the Park Subdivision that will back to the proposed open space on the west side of site. A solid living screen utilizing evergreen trees - either Eastern Red Cedar or Leland Cypress unless otherwise approved by the Planning and Zoning Commission at the time of PD Site Plan, a minimum of 4 caliper inches in size, will be planted on 10 foot centers along the entire adjacency.
4. Tree Preservation Easement (Adjacent to the Park Subdivision). A minimum of a 20-foot Tree Preservation Easement shall be provided along the western boundary of the Park Subdivision in the location depicted on the Concept Plan contained in Exhibit 'C' of this ordinance. This Tree Preservation Easement shall be dedicated on the approved subdivision plat, and is intended to protect all existing trees that are a minimum of 3 caliper inches or greater. Trees greater than 3 caliper inches in size may be removed after the property owner requests the removal from the City of Rockwall, and the City of Rockwall determines that the tree is damaged, diseased, or poses a risk to persons or property. All trees removed without the approval of the City of Rockwall shall be in violation of Article 09, Tree Preservation, of the Unified Development Code (UDC) and subject to any penalties outline in this Article.

- c) **Street Trees.** The Homeowner's Association (HOA) shall be responsible for the maintenance of all street trees and will be required to maintain a minimum of 14-foot vertical clearance height for any trees overhanging a public right-of-way. Street trees shall be planted a minimum of 5 feet from public water, sanitary sewer and storm lines. All street trees shall be reviewed with the PD Site Plan.
- d) **Residential Lot Landscaping.** Prior to the issuance of a Certificate of Occupancy (CO), any residential lots depicted on Exhibit 'C' shall be landscaped with a minimum of 2, 4 inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the front yard. In addition, corner lots shall be required to add a minimum of 2, 4 inch caliper canopy trees (as measured per Article 08, Landscape and Fence Standards, of the Unified Development Code [UDC]) within the side yard facing the street.
- e) **Irrigation Requirements.** Irrigation shall be installed for all required landscaping located within detention areas, common areas, landscape buffers, and/or open space. Irrigation installed in these areas shall be designed by a Texas licensed irrigator or landscape architect and shall be maintained by the Homeowner's Association (HOA).

8) **Street.** All streets (excluding drives, fire lanes and private parking areas) shall be built according to City street standards.

9) **Lighting.** Light poles shall not exceed 20-feet in total height (i.e. base and lighting standard). All fixtures shall be directed downward and be positioned to contain all light within the development area.

10) **Sidewalks.** All sidewalks adjacent to a street shall be a maximum of 2 feet inside the right-of-way line and be a minimum of 5 feet in overall width.

11) **Buried Utilities.** New distribution power-lines required to serve the Subject Property shall be placed underground, whether such lines are located internally or along the perimeter of the Subject Property, unless otherwise authorized by the City Council. Temporary power-lines constructed across undeveloped portions of the Subject Property to facilitate development phasing and looping may be allowed above ground, but shall not be considered existing lines at the time the area is developed, and if they are to become permanent facilities, such lines shall be placed underground pursuant to this paragraph. Franchise utilities shall be placed within a 10 foot public utility easement behind the sidewalk, between the home and the property line.

12) **Open Space/Public Park.** The development shall consist of a minimum of 20.00% open space (or a minimum of 21-acres - as calculated by the formula stipulated in the Comprehensive Plan), and generally conform to the Concept Plan contained in Exhibit 'C' of this ordinance.

13) Amenity Center. Amenity centers shall be constructed in generally the same areas as depicted in Exhibit 'C' of this ordinance and generally in accordance with the images depicted in Exhibit 'D' of this ordinance, and shall be maintained by the Homeowner's Association (HOA). The design and layout of the amenity center shall be approved with the PD Site Plan.

14) Variances. The variance procedures and standards for approval that are set forth in the Unified Development Code (UDC) shall apply to any application for variances to this ordinance.