

OLD ROCKWALL HISTORIC DISTRICT GUIDELINES

- EXHIBIT (2) -

OLD TOWN ROCKWALL HISTORIC DISTRICT - Certificate of Appropriateness - Application

Please complete the following table. In addition, it is requested that photographs of the property be submitted. Please submit a sufficient number of photographs of the property to adequately represent the character of the subject property. If additional space is needed, please continue on additional sheets.

Address of Property: 712 HARTMAN (address or legal description)
Street Address
Rockwall Texas 75087 Rockwall
City State Zip Code County

Name of Property, If Applicable: (name of Structure or Addition name)

Has the building been moved? No X Yes If yes, when was the property moved? (mm/dd/yr -if known, otherwise, the year moved is sufficient)

Name of Historic District: OLD TOWN ROCKWALL HISTORIC DISTRICT
National Register District Certified State or Local District Proposed Historic District
If listed individually in the National Register of Historic Places,
Please give date of listing (mm/dd/yy)

Owner: GLENN & PHYLLIS ANDERSON Street Address: 2019 GULLWING (if different from above)
Rockwall TX 75087
City State Zip Code
214-952-8817
Telephone Number (preferably daytime)

Authorized Contact: Street Address: (if different from Owner)
City State Zip Code
Telephone Number (preferably daytime)

Description of Property Construction, Renovation and Repair (attach photographs, plans, elevations, etc.):
1800-2000 SF. ARTS & CRAFTS STYLE 2 STORY, SINGLE FAMILY
RESIDENCE WITH DETACHED 2 CAR GARAGE.

Owner's Signature City of Rockwall Use Only: H2003-006 Project Number

REHABILITATION, RESTORATION AND NEW CONSTRUCTION

Prepared by the Old Town Rockwall Historic District Planning Committee

**Application for Certificate of Appropriateness
City of Rockwall**

**Owner: Glenn & Phyllis Anderson
Address: 712 Hartman Avenue
Rockwall, TX 75087**

Applicable Statutes:

**Exhibit "B"
OLD ROCKWALL HISTORIC DISTRICT GUIDELINES**

III. BUILDING STANDARDS

New additions to existing buildings or structures, including the construction of an additional free-standing building or structure on a lot, or new construction which utilizes existing party walls, should be accomplished as outlined in these Guidelines if the definition of an "Applicable Property" is met.

For new construction on any vacant lot, the scale, mass, volume, period and style shall be compatible with other historic buildings or structures in the Historic District.

***Specific Information:* New Construction is two story, medium roof pitch, average volume structure in the Arts & Crafts style. Numerous examples of the structure type occur within the historic district.**

A. Height

All new buildings and additions shall be constructed to a height and number of stories which are consistent and compatible with existing neighboring historic buildings or structures on the same block face.

***Specific Information:* Proposed Construction is 29' in height above ground elevation. Balance of the same block face are one, one & one-half and two story residential structures. Immediate neighboring structures are 710 and 714 Hartman which are 21' and 24' in height respectively.**

B. Building Setback and Orientation

1. All new additions, alterations, infill and new infill construction should recognize and maintain the established historic home site orientation, and side and front side setbacks within the block face, thereby being visually compatible and

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maintaining the established rhythm and setback spacing.

Specific Information: Proposed Construction faces north and is consistent with the balance of the block face. The setback will be at 25' consistent with City of Rockwall requirements. Side setback for the structure will be 15' from the west property line and approximately 25' from the east property line.

2. Consideration will be given to the historic precedence for previous site configuration. Out buildings such as garages and storage buildings are historically set upon the lot line in this District, therefore this configuration is proper.

Specific Information: Proposed garage construction faces north will be consistent with the balance of the block face. The setback will be approximately 75' consistent with City of Rockwall requirements. Side setback for the structure will be 5' from the west property line and approximately 35' from the east property line.

3. New structures should be built to maintain an elevation with a "pier-and beam" appearance.

Specific Information: Proposed Construction will utilize a "pier and beam" foundation. Construction similar to that of the other Craftsman homes in the district will be utilized. Example



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4. A new commercial structure should not be oriented toward a residential block face. Residential block for new construction is defined as a block face having at least fifty percent (50%) residential use at the time the new structure is proposed.

Specific Information: NOT APPLICABLE.

C. Building Facades and Materials

In cases where the original exterior facade materials are unavailable, complementary exterior materials may be used.

1. All exterior wood and masonry materials and their use should be compatible to the style and period of the building or structure.

Specific Information: Proposed Construction will utilize a brick foundation system consistent with the "pier and beam" foundation. Siding materials will be wood, 4" or 5" lap siding with detailing consistent with the Arts & Crafts Style. Example – Fannin Street



2. The existing building facade materials on a building should be respected and not be changed or concealed by the introduction of a different material.

Specific Information: NOT APPLICABLE.

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3. When the existing facade materials are not the original type, then materials may be replaced with, or returned to the original type.

Specific Information: NOT APPLICABLE.

4. Exterior building columns should be of a style and materials typical of the period and style of the building.

Specific Information: Proposed Construction will utilize "pier type" porch columns typical of the Arts & Crafts period.

5. All new chimneys should be of a style, proportion and materials compatible with the period and style of the building. Any new construction or additions should not conceal or destroy existing chimneys.

Specific Information: Proposed Construction will utilize exposed brick chimney construction typical of the Arts & Crafts period.

6. Materials, structural and decorative elements and the manner in which they are used, applied or joined together should be typical of the style and period of the existing structure. New additions, alterations and new construction should be visually compatible with neighboring historic buildings or structures.

Specific Information: Proposed Construction, of the Arts & Crafts style, is similar to other structures within the historic district. The broad front porch, porch columns and front window elevations are quite compatible with the adjacent historic structures at 710 & 714 Hartman Avenue.

7. The overall relationship of the size, width, height and number of doors and windows on the exterior building facades should be typical of the style and period of the structure. These elements should be proportionally balanced, sized and located in a manner typical of the style and period of the structure and compatible with neighboring historic buildings or structures.

Specific Information: Proposed Construction will be appropriate to the Arts & Crafts style and period. They will be compatible in layout and style to neighboring structures.

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8. Storm doors and storm windows are permitted so long as they do not damage or conceal significant features and are visually compatible in size, style and color with the structure. Finishes or should be consistent with the historical materials of the property.

***Specific Information:* Proposed Construction will not utilize storm windows or doors.**

9. Metal and corrugated or slatted plastic awnings are not permitted except where these awnings are a historical feature of the property. The shape, size and color of awnings shall be compatible with the structure and not conceal or damage any significant architectural details.

***Specific Information:* Proposed Construction will not utilize awnings.**

D. Roofs

1. Roof shape, form and design should be typical of or consistent with the style and period of the architecture of buildings within the Historic District.

***Specific Information:* Proposed Construction will be appropriate to the Arts & Crafts style and period. They will be compatible in layout and style to neighboring structures.**

2. The accepted roof overhang for a new structure should be typical of a structure of similar style and period. Replacement, addition or alteration to an existing roof should have the same overhang as the existing roof.

***Specific Information:* Proposed Construction will be appropriate to the Arts & Crafts style and period. Roof overhang will be approximately 24" and will be compatible in layout and style to neighboring structures.**

3. The eaves or soffit heights of a structure should be consistent with the heights of neighboring contributing structures or with those in the closest block face with buildings of a similar period and style and the same number of stories.

***Specific Information:* Proposed Construction will be appropriate to the Arts & Crafts style and period. Eave or soffit height will be approximately 14 feet**

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above grade and will be compatible in layout and style to neighboring structures and to those of similar stories in the block face.

4. Roof materials/colors should be visually compatible and compliment the style and period of the structure. Where historically typical materials are no longer available, compatible alternatives will be allowed.

***Specific Information:* Proposed Construction will be appropriate to the Arts & Crafts style and period. Roof materials will be heavy dimension shingles with profile similar to wood shakes.**

5. The degree and direction of roof slope and pitch should be consistent with the style and period of the historic structure.

***Specific Information:* Proposed Construction will be appropriate to the Arts & Crafts style and period. They will be compatible in layout and style to neighboring structures.**

6. Mechanical equipment placed on the roof should not to be visible from the street.

***Specific Information:* Proposed Construction will not place any equipment on the roof.**

E. Front Yards

1. The front yard is defined as a yard across the full width of a lot extending from the front line of the main building to the front street line of the lot.

***Specific Information:* Proposed Construction will define a front yard across the entire width (80' +/-) of the property and at least 25' in depth. City of Rockwall setback requirements will necessitate that the front yard be slightly deeper than the neighboring structures. Our desire to save the "front yard" trees has prompted us to position the house with an approximately 35' setback.**

2. Generally, the use of the front yard will be reserved for landscaping with the purpose of enhancing the structures on the lot with plant material.

***Specific Information:* Proposed Construction will provide irrigated lawn**

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areas and native plant landscaping areas.

3. Any paving in the front yard should be consistent with the historic character of the property or nearby contributing properties. As a general rule, the following standards will be followed:
 - a. A paved walkway from the front lot line to the front or, on a corner lot, from the side lot line to a side entry of the structure. In all cases, the walkway should not be wider than the entry steps and in no instance should the walkway be wider than ten (10) feet.
 - b. A paved walkway is allowed from the driveway to the front and/or. side entry walkway, with a maximum width of three (3) feet.
 - c. In no instance will the front yard of any lot be paved or graveled except for an appropriate driveway or walkways.
 - d. No residential front yard area will be designated as a vehicle parking area unless previously paved as such.

***Specific Information:* Proposed Construction will provide an appropriate paved walkway to the front lot line approximately 5' in width. A paved walkway (3' wide) will be provided from the driveway to the front entrance steps. These surfaces will be in the Arts & Crafts style and period. They will be compatible in layout and style to neighboring structures. No portion of the front yard, excepting the driveway, will be paved or used for vehicle parking.**

F. Side Yards

1. The side yard is defined as a yard between the building and the side line of the lot, extending from the front yard to the rear yard.

***Specific Information:* Proposed Construction will provide a west side yard approximately 23' wide extending from the front building line of the structure to the rear yard.**

2. Unless previously used for a driveway, the side yard shall is to be used for landscaping with the purpose of enhancing the structures with plant material.

***Specific Information:* Proposed Construction will comply.**

3. Parking of vehicles on the side yard will not be allowed, except on paved

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driveways as outlined in Section I.

***Specific Information:* Proposed Construction will provide for vehicle parking only on paved surfaces as outlined in Section 1.**

G. Rear Yards

1. The rear yard is the area extending across the full width of the lot and measured between the rear lot line and rear line of the main building.

***Specific Information:* Proposed Construction will provide a rear yard extending from the rear line of the main building south 165' to the rear lot line.**

2. Garages, storage buildings and out buildings are allowed in the rear yard to the extent permitted by City of Rockwall Zoning Ordinances. These structures should reflect the character of the existing residence and be compatible in terms of scale, height, size, roof shape, materials and detailing. .

***Specific Information:* Proposed Construction will include the construction of a garage, to the extent permitted by City of Rockwall Zoning Ordinances, reflecting the Arts & Crafts style and period of the residence. The structure will be compatible in layout and style to neighboring structures.**

3. Consideration should be given to the historic precedence for previous site configuration. Outbuildings such as garages and storage buildings are historically set upon the lot line in this Historic District. This configuration is proper for new additions, alterations, infill and new infill construction. The location of these buildings should be sensitive to the character, site and environment of any adjacent contributing structures, especially when the rear yard is on a corner lot visible from street public rights-of-way.

***Specific Information:* Proposed Construction will locate the garage 6 east of the east property line in accordance with historical precedence and neighborhood construction. The structure will be compatible in layout and style to neighboring structures.**

H. Fences

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A fence in the front, side, or rear yards should meet all applicable city codes. Most fences require only a fence permit; however, a fence requiring a building permit will also be reviewed and approved by the Board. Any fence that requires review must be architecturally compatible in height, materials, color, texture and design with the style and period of the main structure on the lot.

***Specific Information:* Proposed Construction does not contemplate fencing requiring a building permit. However, any fencing installed will be appropriate to the Arts & Crafts style and period.**

I. Driveways

1. The purpose of the driveway shall be to create a paved surface for the movement of vehicles to parking areas. The driveway is defined as the paved area within the property line extending from the back of the sidewalk or lot line to the garage, out building or porte cochere.

***Specific Information:* Proposed Construction will provide a driveway from Hartman south to the garage.**

2. The driveway should not exceed a width of ten (10) feet.

***Specific Information:* Proposed Construction will comply.**

3. The driveway may extend along the side of the residence or structure, through the porte cochere (if applicable) to the rear yard.

***Specific Information:* Proposed Construction provide a driveway through the east side yard to the garage. No porte cochere is contemplated.**

4. Front or side yard circular driveways will not be allowed, unless consistent with the historic character or features of the property or nearby contributing properties.

***Specific Information:* Not Applicable**

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5. On a corner lot, the driveway may extend from the side street to the garage if the garage is faces the side street. All other width and approach regulations will apply to driveways on corner lots.

Specific Information: Not Applicable

6. Ribbon driveways are allowed if the paved ribbons are at least one (1) foot wide, and no greater than two (2) feet wide.

Specific Information: Not Applicable

7. Any new driveway constructed through a front yard should be a minimum of ten (10) feet from an existing driveway on the adjacent lot, except in the instances of "shared" driveways.

Specific Information: Proposed Construction will advance a new drive along the east property line and will abandon the existing drive. The existing "Texas" brick will be salvaged and used to the extent available in the new drive.

8. Parking should be on "improved" surfaces only, thereby maintaining the integrity of the front, side and rear yards of the property.

Specific Information: Proposed Construction does not include any parking areas other than those on the driveway.

J. Paving Materials

1. Driveway and sidewalks should be paved with concrete, brick, cut stone, pavers, natural rock or asphalt.

Specific Information: Proposed driveway construction will be appropriate to the Arts & Crafts style and period. The materials under consideration are concrete with either pavers or brick.

2. All new sidewalks and driveways should be constructed to be compatible in texture, color, style and size with the main structure on the lot.

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Specific Information: Proposed driveway construction will be appropriate to the Arts & Crafts style and period. The materials under consideration are either pavers or brick.

K. Parking Areas for Commercial Development – NOT APPLICABLE

1. *Design Standards*

Off-street parking should be provided behind the front facade of the main structure on the property. The number of spaces and design of the parking spaces shall conform to the Off-Street Parking Requirements as set forth in Article V of the City of Rockwall Comprehensive Zoning Ordinance.

2. *Screening*

- (a) All parking lots for more than five vehicles and having frontage on a public street should be screened from the street by an evergreen hedge not lower than three feet nor higher than four feet tall. If a hedge is not desired, then an earthen berm, masonry wall, or combination thereof may be substituted, provided the stated heights are observed.
- (b) A visibility triangle with a minimum base of four (4) feet shall be provided at entrances.

L. Lighting of Yards and Parking Areas

- 1. These Guidelines regulate the spillover of light and glare on operators of motor vehicles, pedestrians, and nearby property. The nuisance and hazard aspects of glare are regulated.
- 2. No flickering or flashing lights shall be permitted.
- 3. Light sources shall not be located in the buffer yard except on pedestrian walkways. No light shall spill across the property line of an adjacent residential property.
- 4. Outdoor security lights should be placed so that no light spills across the adjacent property line.

Specific Information: Proposed Construction will provide discrete outdoor lighting fixtures to control light spillover. The fixtures will be appropriate to the Arts & Crafts style and period. They will be compatible in layout and style to neighboring structures.

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M. Paint and Color

1. Brick, stone or other naturally or historically unpainted materials should not be painted unless the material has been painted before.

Specific Information: NOT APPLICABLE.

2. Florescent and metallic colors are not recommended on the exterior of any structure. Paint does not require a building permit and therefore is not subject to Board review. Appropriate colors complimentary to the style and period of the structure and to neighboring historic structures are preferred; however, specific approval of paint colors is not required.

Specific Information: Proposed Construction will be appropriate to the Arts & Crafts style and period. They will be compatible in layout and style to neighboring structures. Color palettes under consideration have been attached for information purposes. See pages 14-15.

3. For new commercial construction and for additions requiring site plan approval, finishes and color may be a part of the review.

Specific Information: NOT APPLICABLE.

N. Signage, General – NOT APPLICABLE

1. An unlighted sign with the address or name of the occupant of the residence may be attached or detached and should not measure more than one square foot.
2. Signs should not obscure significant architectural features of a building or structure. The material, shape, color, design and lettering style of all signs should be compatible with the style and period of the structure and the Historic District as a whole.

O. Signage for Commercial Properties

1. No signs other than those identifying the property where they are installed or

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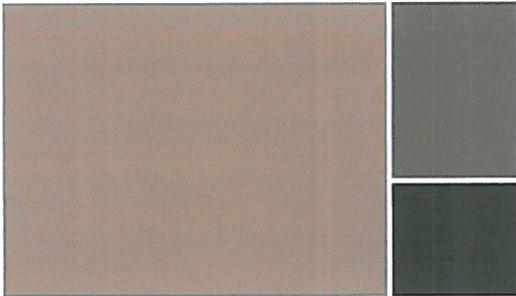
Owner: Glenn & Phyllis Anderson
Address: 712 Hartman Avenue
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identifying the business conducted therein should be permitted. All lighting elements such as wires, junction boxes, transformers, ballasts, switches and panel boxes should be concealed from view.

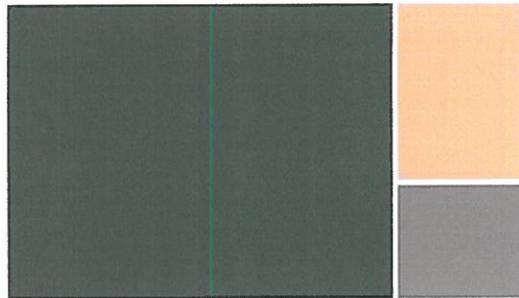
2. In a building of more than two floors, no sign is permitted above the second floor.
3. Size should be in proportion to the architecture and scale of the building. Horizontal signs should not exceed ten percent (10%) of the total front elevation of the building.
4. Horizontal signs should be located in the area defined by the first floor cornice and the vertical supports. A horizontal sign should not cover tops of first floor windows. Horizontal signs should not project more than twelve (12) inches from the surface of the building.
 - a. Attached signs should be placed below the cornice line of the first floor no higher than the bottom of the second story windows, or not less than eleven (11) feet above grade level. An awning or canopy should be subjected to the same requirements as an attached sign. An awning or canopy and an attached sign combined should not exceed the total area permitted for a wall sign.
 - b. Projecting signs should not extend higher than the bottom of the second story windows or not less than eleven (11) feet above grade level. Projecting signs should not extend more than two feet beyond the building surface.
5. Lighted signs will receive approval from the City of Rockwall Historic Preservation Advisory Board on a case-by-case basis.
6. Roof top signs are not permitted. Banners signs are permitted for thirty (30) days and "special event" banners are allowed for two (2) weeks. The City of Rockwall Sign Ordinance requires permits for banners.
7. Flashing, flickering or moving signs are not permitted.
8. Temporary signs may be permitted for no longer than thirty (30) days.
9. Display window signs will not occupy more than twenty percent (20%) of the window area. This window area includes signs, which are placed within three (3) feet of the window and visible from the outside.
10. Signs on a residential structure converted to commercial should be a single free-standing and/or "swinging" sign with one or two support standards. The maximum size is sixteen (16) square feet and it should not impede pedestrian or motor vehicle traffic. Monument signs should not be permitted. Detached signs will be approved the City of Rockwall Historic Preservation Advisory Board on a case-by-case basis.

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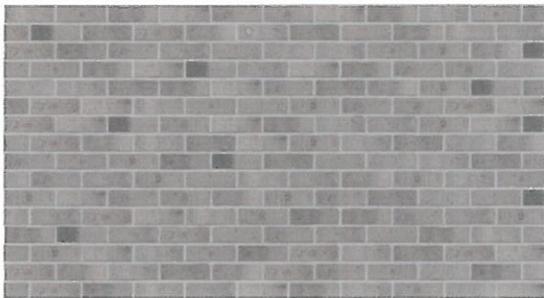
Owner: Glenn & Phyllis Anderson
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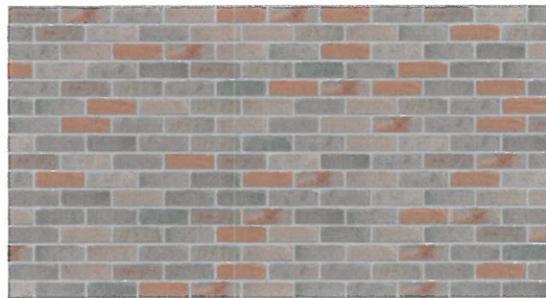
WALL *Revercraft Suede* **SW 2842**
TRIM *Revercraft Brass* **SW 2843**
ACCENT *Polished Mahogany* **SW 2838**



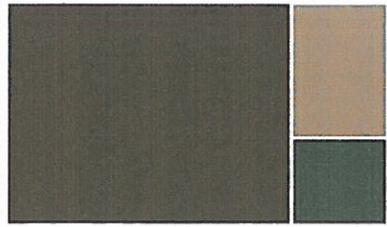
WALL *Revercraft Bronze Green* **SW 2846**
TRIM *Birdseye Maple* **SW 2834**
ACCENT *Hammered Silver* **SW 2840**



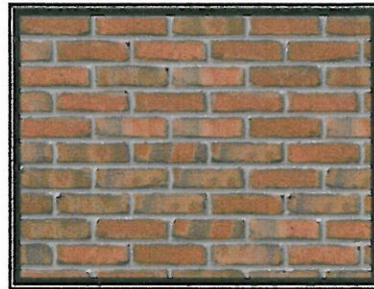
Acme Brick – Weatherford



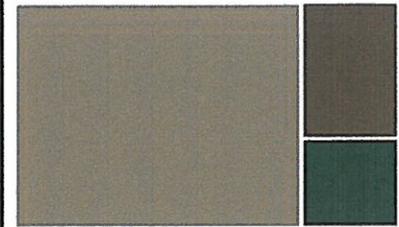
Acme Brick – Plaza Heights



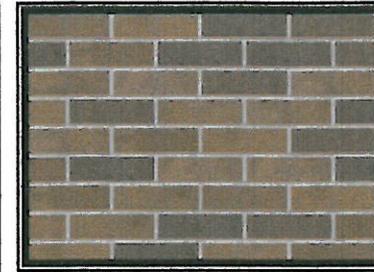
WALL Rustic Brown SW 2837
TRIM Roycroft Suede SW 2842
ACCENT Roycroft Bronze Green SW 2846



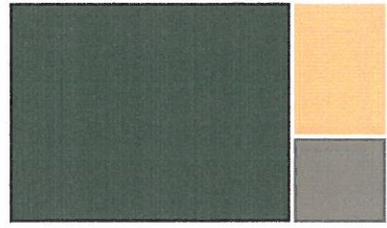
ACME - BENNINGTON



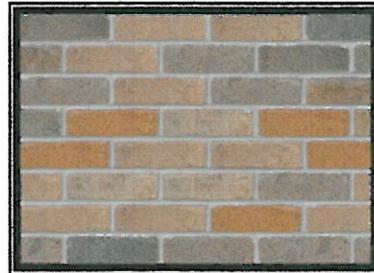
WALL Weathered Shingle SW 2841
TRIM Rustic Brown SW 2837
ACCENT Bronze Green SW 2847



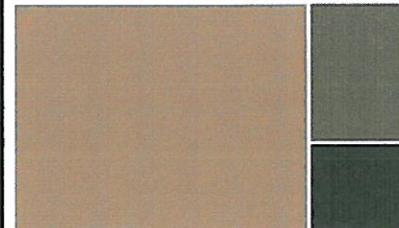
ACME - RED-HANDCRAFT



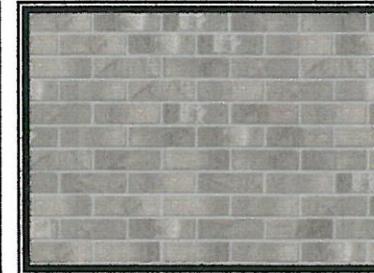
WALL Roycroft Bronze Green SW 2846
TRIM English Maple SW 2834
ACCENT Hammered Silver SW 2840



ACME - PLAZA HEIGHTS

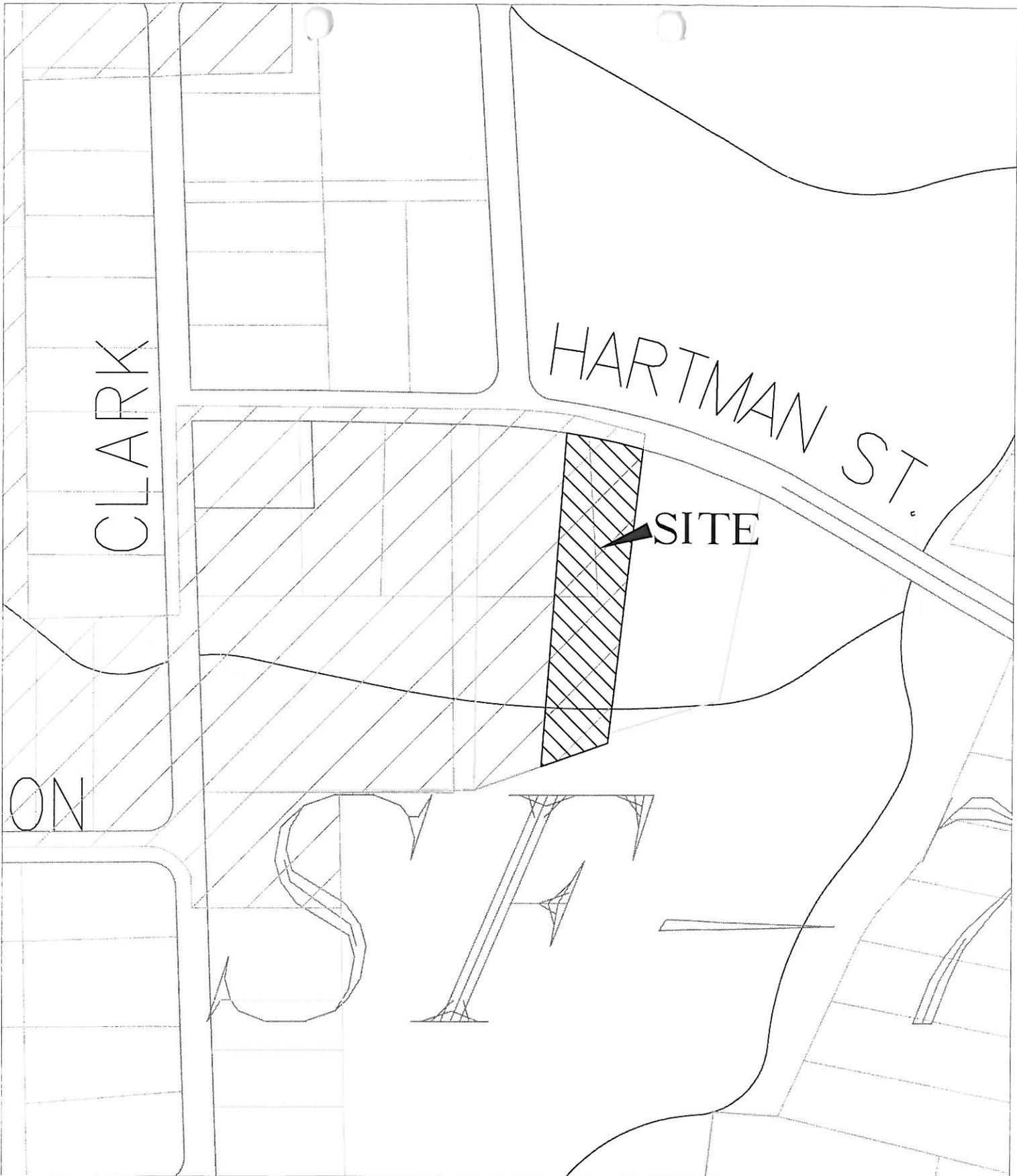


WALL Roycroft Suede SW 2842
TRIM Roycroft Brass SW 2843
ACCENT Polished Mahogany SW 2838



ACME - OLD SMOKEY*

*** - The applicant chose a similar brick color called Weatherford which I could not find on the ACME website**



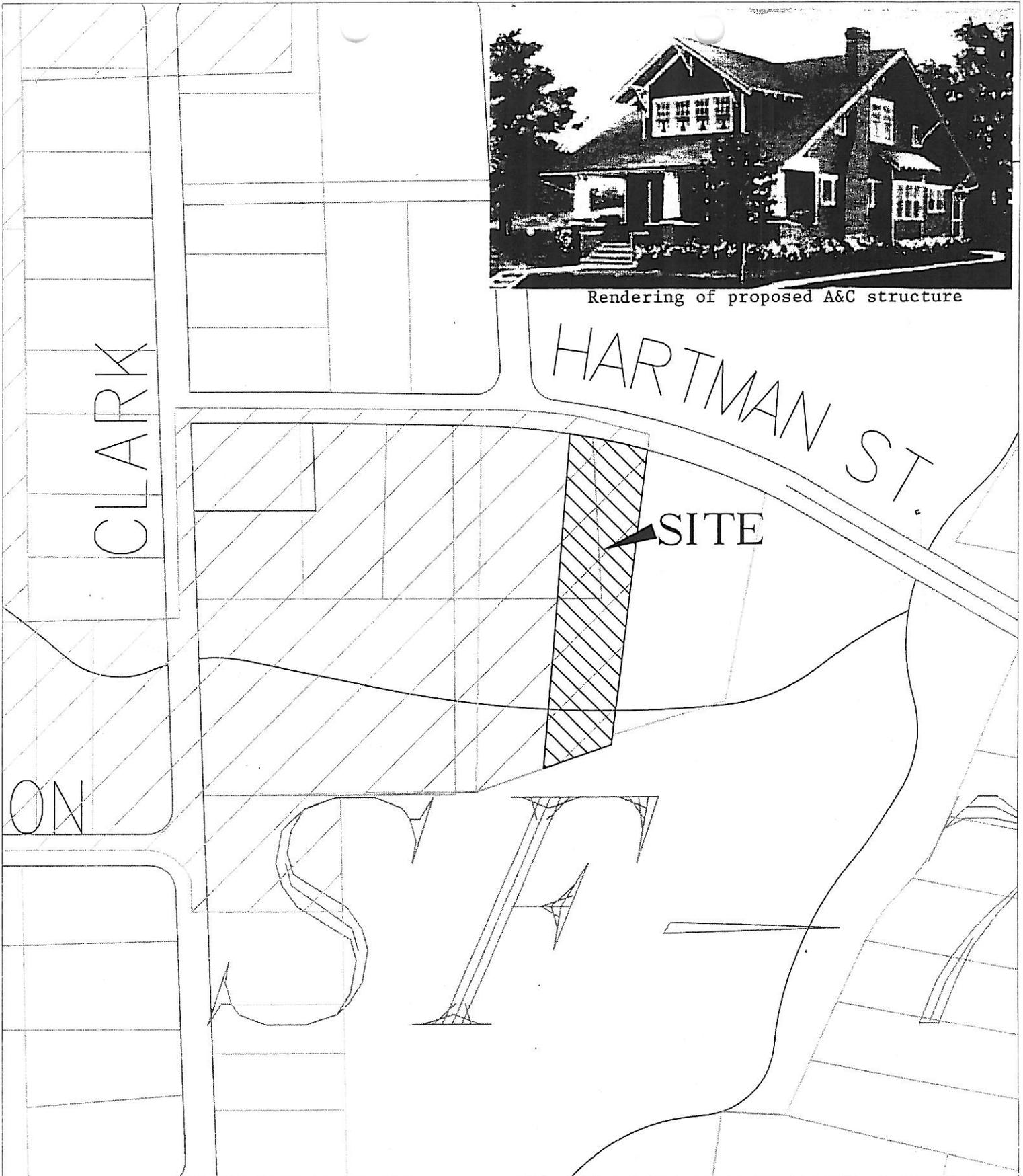
H2003-006
712 Hartman



1" = 150'



Rendering of proposed A&C structure



H2003-006
712 Hartman



1" = 150'

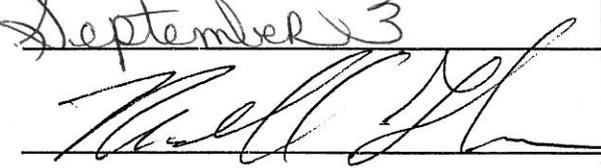
PUBLISHER'S AFFIDAVIT

THE STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Michael Gresham, who being by me duly sworn deposes and says that he is the Publisher of *Rockwall County News* and that said newspaper meets the requirements of Section 2051.044 of the Texas Government Code, to wit:

1. it devotes not less than twenty-five per cent of its total column lineage to general information;
2. it is published at least once each week;
3. it is entered as second-class postal matter at the office where it is published;
4. it has been published regularly and continuously since 1985; and
5. it is generally circulated within Rockwall County.

Publisher further deposes and says that the attached notice was published in said newspaper on the following date(s) to wit:

September 3


Michael Gresham
Editor and Publisher

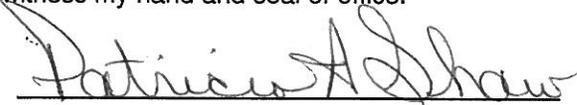
Legal Notices	Legal Notices	Legal Notices
PUBLIC NOTICE		
The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on September 18, 2003 at 6:30 p.m. at the Rockwall City Hall, 385 South Goliad, Council Chambers, Rockwall, Texas to consider the following items:		
H2003-006		
Discuss and consider a request for a Certificate of Appropriateness (CofA) from Glenn Anderson for the building of a two-story, Arts and Crafts style residential structure proposed for the single, 0.49-acre, SF-7 residentially-zoned lot located at 712 Hartman (Hurst Addn.; Lot 2; Block A).		

SUBSCRIBED AND SWORN BEFORE ME

by Michael Gresham, who

- a) is personally known to me, or
 b) provided the following evidence to establish his/her identity. _____

on the 11th day of September, A.D. 2003.
to certify which witness my hand and seal of office.



Notary Public, State of Texas



Advertising Receipt

Rockwall County News
 316 S Goliad, Ste 107
 PO BOX 819
 Rockwall, TX 75087
 Phone: 972-722-3099
 Fax: 972-722-3096

ROCKWALL, CITY OF- LEGALS
 ATTN: DOROTHY BROOKS
 385 SOUTH GOLIAD
 ROCKWALL, TX 75087

Cust#: 01100978-000
 Ad#: 17509926
 Phone: (972)771-7700
 Date: 09/03/03

Ad taker: 16 Salesperson: 6 Classification: 001

Description	Start	Stop	Ins.	Cost/Day	Surcharges	Total
09 ROCKWALL COUNTY NEWS	09/03/03	09/03/03	1	36.00		36.00

Payment Reference:

520916
 Public notice
 james s williams
 Historic pres. advisory board
 9/3

Total:	36.00
Tax:	0.00
Net:	36.00
paid:	0.00
I Due	36.00

A Note From...

For your file

*do not pay from
 this receipt*

DOROTHY

Legal Notices

Legal Notices

Legal Notices

PUBLIC NOTICE

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on **September 18, 2003 at 6:30 p.m.** at the Rockwall City Hall, 385 South Goliad, Council Chambers, Rockwall, Texas to consider the following items:

H2003-006

Discuss and consider a request for a Certificate of Appropriateness (CofA) from Glenn Anderson for the building of a two-story, Arts and Crafts style residential structure proposed for the single, 0.49-acre, SF-7 residentially-zoned lot located at 712 Hartman (Hurst Addn.; Lot 2; Block A).

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ROCKWALL COUNTY

NEWS

CALL (972)

CIA

DEADLINE FOR CLASSIFIED ADVERTISING IS 5 P.

PUBLIC NOTICE

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on **September 18, 2003 at 6:30 p.m.** at the Rockwall City Hall, 385 South Goliad, Council Chambers, Rockwall, Texas to consider the following items:

H2003-006

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Coin

Operation

\$300

Call Deb

972-741-9216

Need Home Repairs?

Look in the

ROCKWALL COUNTY NEWS

to find just the right person for the job!!!

Need Help!!!
Looking For A Professional?
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ROCKWALL COUNTY NEWS
Call (972) 722-3099
for more information

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**NOTICE OF PUBLIC HEARING
BEFORE THE NEVADA CITY COUNCIL
CITY OF NEVADA, TEXAS**

Notice is hereby given that the City Council of the City of Nevada, Texas will hold a Public Hearing at 6:45 p.m. on the 8th day of September, 2003 at the Nevada City Hall, 424 E. FM 6, Nevada, Texas.

At such time and place the Council will hear and take appropriate action on the Proposed Budget for the fiscal year covering October 1, 2003 through September 30, 2004.

All interested citizens of the City are invited to attend this Public Hearing.

/s/Christy Schell, City Secretary

**NOTICE OF PUBLIC HEARING
BEFORE THE NEVADA CITY COUNCIL
CITY OF NEVADA, TEXAS**

Notice is hereby given that the City Council of the City of Nevada, Texas will hold a Public Hearing at 6:30 p.m. September, 2003 at the Nevada City Hall, 424 E. FM 6, Nevada, Texas.

At such time and place the Council will hear and take appropriate action on the proposed Tax Rate for 2003.

All interested citizens of the City are invited to attend this Public Hearing.

/s/Christy Schell, City Secretary

Legal Notices

Legal Notices

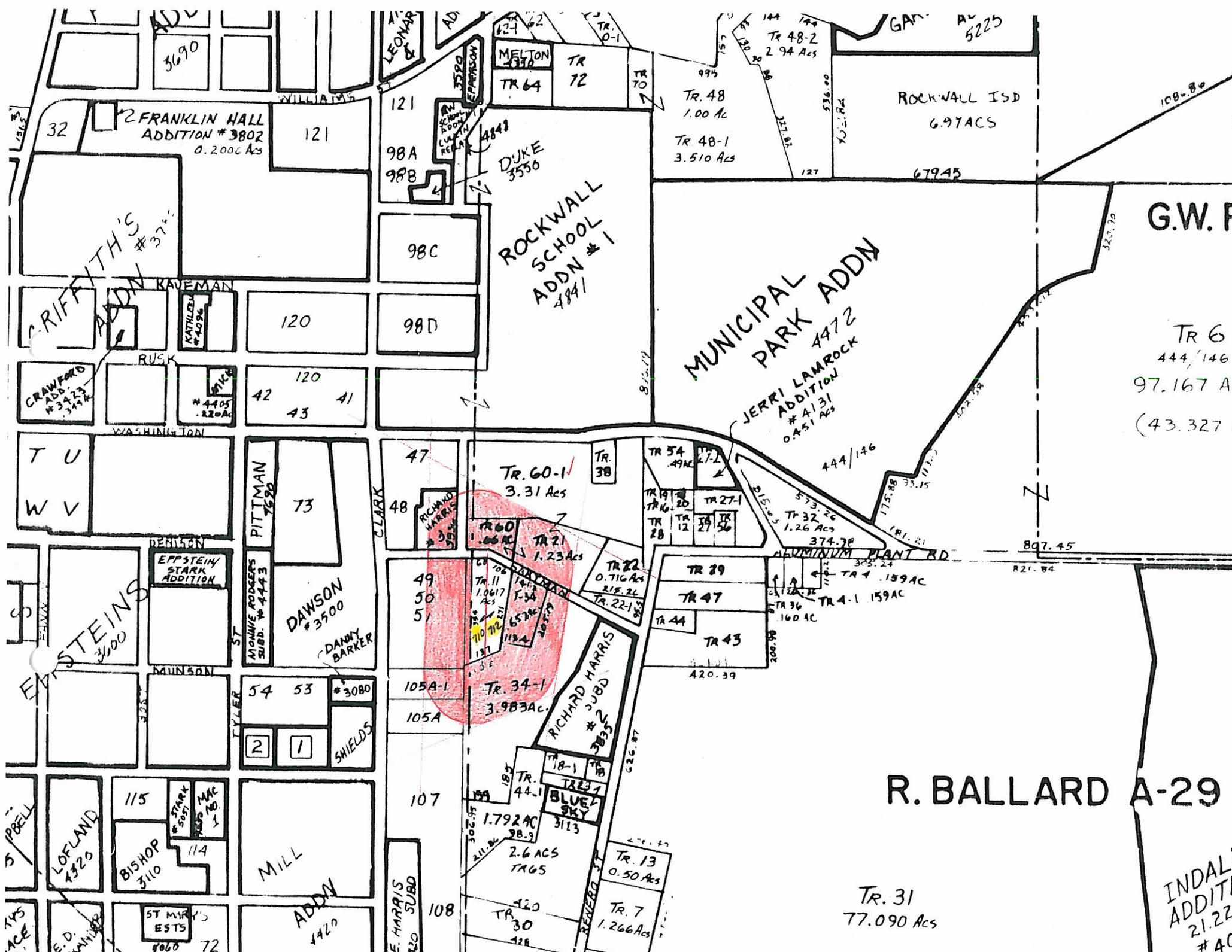
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Legal Notices

Legal Notices

ADVERTISEMENT FOR BIDS

NOTICE TO BIDDER



FRANKLIN HALL
ADDITION #3802
0.2006 Acs

ROCKWALL
SCHOOL
ADDN #1
4841

MUNICIPAL
PARK ADDN
4972

JERRI LAMROCK
ADDITION
#4131
0.451 Acs

ROCKWALL ISD
6.97 ACS

G.W.F

TR 6
444/146
97.167 Ac
(43.327 A

R. BALLARD A-29

TR. 31
77.090 Acs

INDALL
ADDITION
21.229
#401

CRIFFAITH'S
ADDN #374

CRAWFORD
ADDN
#3423
3.442

T U
W V

EPSTEIN'S
3400

EPSTEIN/
STARK
ADDITION

PITTMAN
7690

DAWSON
#3500

54 53
#3080

MILL
ADDN
4420

98A
988

98C

98D

47

48

49

50

51

105A-1

105A

107

108

DUKE
3550

RICHARD
HARRIS
#3832

TR. 34-1
3.9833 AC.

TR. 44-1
1.792 AC

TR. 30
420

MELTON
TR 64

TR 72

TR 70

TR. 38

TR. 60-1
3.31 Acs

TR. 21
1.23 Acs

TR. 11
1.0617 Acs

TR. 22
0.716 Acs

TR. 22-1
215.26

TR. 34-1
3.9833 AC.

TR. 18-1
1.87

TR. 18-2
1.87

TR. 18-3
1.87

TR. 13
0.50 Acs

TR. 7
1.266 Acs

TR. 30
420

TR. 48
1.00 AC

TR 48-1
3.510 Acs

TR 54
49 AC

TR 19
20

TR 20

TR 27-1

TR 28

TR 12

TR 27

TR 56

TR 29

TR 47

TR 44

TR 43

TR 36
160 AC

TR 4-1
159 AC

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TR 30
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105A-1

105A

107

108

115

114

115

LEONARD

WILLIAM

LEONARD

Glenn Anderson
2019 Gullwing
Rockwall, Texas 75087
Applicant

Maureen Green
945 Breezy Hill
Rockwall, Texas 75087
BF Boydston; Block 49B

E. B. Shaw
507 East Rusk
Rockwall, Texas 75087
Boydston; Bl Pt. 105A (403 Clark)

Clarence Samples
502 Renfro
Rockwall, Texas 75087
R Ballard (0029); Tr. 34-1; 3.983 ac.

Sidney Tanner
2318 Mystic Shores Dr.
Cedar Hill, Texas 75104
BF Boydston;Bl. 48A;Lot A;211 S. Clark

Andrew and Jennifer Hurst
P. O. Box 751
Santa Fe, Texas 77517-0751
Owner Former? (08/03)

Jennifer Anderson
710 Hartman
Rockwall, Texas 75087
Hurst Addn; Lot 2

Secretary of Housing and Urban
Development
c/o First Preston Foreclosure
5040 Addison Circle Ste. 300
Addison, Texas 75001-3352
BF Boydston; Block 50 - .5 ac.

Michael and Janis Pittman
401 South Clark
Rockwall, Texas 75087
BF Boydston; Block Pt. 105A-1

William Standley, Trustee
2080 Airport Road
Rockwall, Texas 75087
R Ballard (0029); Tr. 21; 1.23 ac.
0029; Tr. 60 (.66) & 60-01 (3.31)

Betty Dawson
209 South Clark
Rockwall, Texas 75087
BF Boydston;Bl. 48A;Lot B

Mrs. Dorothy Dunn
301 South Clark
Rockwall, Texas 75087
BF Boydston; Block 49A

Wesley Hoover
307 South Clark
Rockwall, Texas 75087
BF Boydston; Block 51 - 1.181 ac.

Richard Hoover
716 Hartman
Rockwall, Texas 75087
R Ballard (0029); Tr. 34; 0.657 ac.

RIJU Ltd. Partnership,
A Texas Limited Partnership
210 Glenn
Rockwall, Texas 75087
R.Harris#3;Bl A;1&2;705/707 Hartman

Billy Ray Crawford
213 South Clark
Rockwall, Texas 75087
BF Boydston;Bl. 48B



CITY OF ROCKWALL

at Rockwall CityPlace

Public Notice

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on Thursday, 9/18/2003 at 6:30 p.m., at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

H2003-006: 712 Hartman - New House

Discuss and consider a request for a Certificate of Appropriateness (CofA) from Glenn Anderson for the building of a two-story, Arts and Crafts style residential structure proposed for the single, 0.49-acre, SF-7 residentially-zoned lot located at 712 Hartman (Hurst Addn.; Lot 2; Block A).

As an interested property owner, you are invited to attend these meetings or make your feelings known in writing by returning the form below. If you want your comments included in the information sent to the HPAB meeting, please return the completed form below by 9/10/2003 to:

Rockwall Planning and Zoning Dept.
(please return portion of form below the dotted line)

Case number: H2003-006

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

15

I am opposed to the request for the reasons listed below

Your Name: _____

Rockwall Property Address: _____

- Please see Location Map of Subject Property on the back of this notice -



CITY OF ROCKWALL

at Rockwall CityPlace

Public Notice

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Rockwall Planning and Zoning Dept.
(please return portion of form below the dotted line)

Case number: H2003-006

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

15

I am opposed to the request for the reasons listed below

*I think it would be an improvement of
Hartman Street and that piece of property*

Your Name: Dorothy Deunn

Rockwall Property Address: 301 S. Clark, Rockwall Texas 75087

- Please see Location Map of Subject Property on the back of this notice -



CITY OF ROCKWALL

at Rockwall CityPlace

Public Notice

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on Thursday, **October 16, 2003** at 6:30 p.m., at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

H2003-006 – 712 Hartman – New House

Hold a public hearing and consider a request for a Certificate of Appropriateness (CofA) from Glenn Anderson for the building of a two-story, Arts and Crafts style residential structure proposed for the single, 0.49-acre, SF-7 residentially-zoned lot located at 712 Hartman (Hurst Addn.; Lot 2; Block A).

As an interested property owner, you are invited to attend these meetings or make your feelings known in writing by returning the form below. If you want your comments included in the information sent to the HPAB meeting, please return the completed form below by **October 16, 2003** to:

James Williams
Rockwall Planning and Zoning Dept.
(please return portion of form below the dotted line)

Case number: H2003-006

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

15

I am opposed to the request for the reasons listed below

Your Name: _____

Rockwall Property Address: _____

- Please see Location Map of Subject Property on the back of this notice -



CITY OF ROCKWALL

at Rockwall CityPlace

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James Williams
Rockwall Planning and Zoning Dept.
(please return portion of form below the dotted line)

Case number: H2003-006

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below

15

I am opposed to the request for the reasons listed below

Your Name:

RTSU Limited Partnership By *Richard Hans GP*

Rockwall Property Address:

705 Hartman

- Please see Location Map of Subject Property on the back of this notice -



CITY OF ROCKWALL
Historic Preservation Advisory Board Memo

AGENDA DATE: 9/18/2003

APPLICANT: Glenn Anderson

AGENDA ITEM: H2003-006; 712 Hartman - New House

Discuss and consider a request for a Certificate of Appropriateness (CofA) from Glenn Anderson for the building of a two-story, Arts and Crafts style residential structure proposed for the single, 0.49-acre, SF-7 residentially-zoned lot located at 712 Hartman (Hurst Addn.; Lot 2; Block A).

BACKGROUND INFORMATION:

The subject 0.49-acre, single SF-7 residentially-zoned lot known as the Hurst Addition, Lot 2, is located on the south side of Hartman Street 450 feet east of South Clark Street. The applicant is proposing a two-story, 1,800 - 2,000 square foot, Arts & Crafts-style single family residential structure.

RECOMMENDATIONS:

Staff Recommends approval of the request.

CITY OF ROCKWALL
Historic Preservation Advisory Board Memo

AGENDA DATE: 10/16/2003

APPLICANT: Glenn Anderson

AGENDA ITEM: H2003-006; 712 Hartman - New House

Hold a public hearing and consider a request for a Certificate of Appropriateness (CofA) from Glenn Anderson for the building of a two-story, Arts and Crafts style residential structure proposed for the single, 0.49-acre, SF-7 residentially-zoned lot located at 712 Hartman (Hurst Addn.; Lot 2; Block A).

BACKGROUND INFORMATION:

In addition to the Staff Report the applicant has provided the following to Staff to send to the Board members in support of his case:

- Rendering of a house similar in style to the structure proposed
- Floor Plan
- Site Plan (on the reverse side of the rendering/floor plan sheet)
- Report outlining the Old Town Rockwall Design Guidelines; Section III. Building Standards and a response to each of the Items A. Height thru O. Signage for Commercial Properties
- Examples of four (4) Proposed Paint Color Palettes and Brick combinations

In addition, the applicant will have a set of building elevations of the proposed structure available for review the evening of the HPAB meeting.

The subject 0.49-acre, single SF-7 residentially-zoned lot known as the Hurst Addition, Lot 2, is located on the south side of Hartman Street 450 feet east of South Clark Street. The applicant is proposing a two-story, 1,800 - 2,000 square foot, Arts & Crafts-style single-family residential structure. The majority of the proposed exterior is characterized by "wood-type" materials (tumble weatherstone was a type that the applicant mentioned at the 09/18/2003 HPAB meeting). Paint colors will draw from appropriate Sherwin-Williams historic preservation paint palette for Arts and Crafts residential structures. The applicant proposes brick for the structure's skirting and a portion of the porch piers. The setback will serve to both accommodate the "curve" along Hartman and save two large trees on the front of the lot.

Additionally, the applicant is planning to proceed through the next Planning and Zoning development process to secure a conditional use permit for a detached garage that exceeds the fifteen foot maximum height restriction in the SF-7 Residential Zoning District. The location of the proposed garage is shown on the submitted site plan and the exterior materials of the garage shall match the material and proportions of the exterior materials on the proposed main structure.

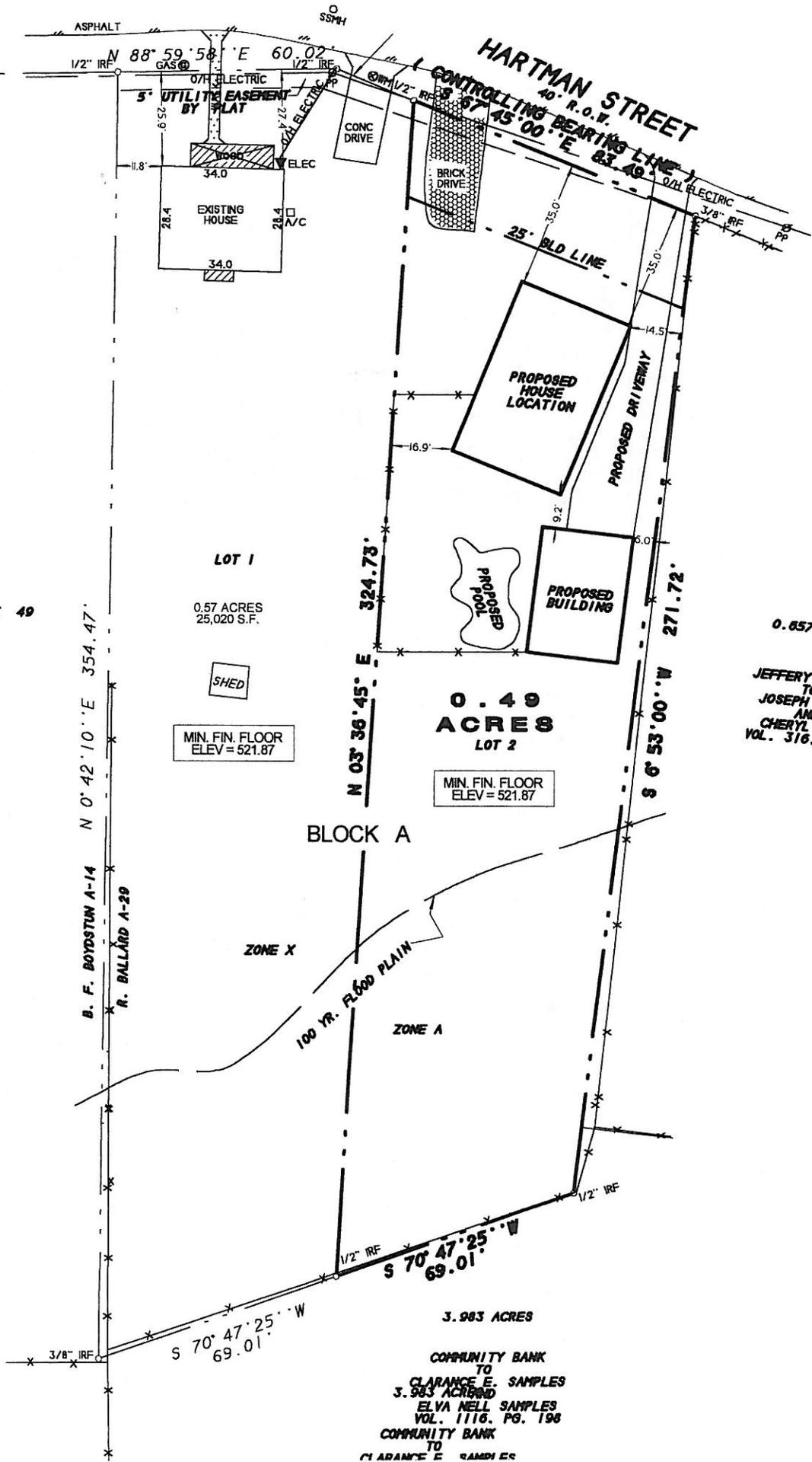
The fence that surrounds the pool shall meet the building inspection department requirements (a minimum of four feet in height with horizontal elements a minimum of 45" apart and "gaps" in vertical members no larger than 4" - however, if the "gaps" are 3/4" or less then the "horizontal" elements do not need to meet the 45" separation).

Fifteen (15) notices were sent to adjacent property owners and one (1) was returned in favor of the CofA. ***(on the reverse side of the returned notice is a copy of the e-mail correspondence between the Applicant and Marcel Quimby, Historic Preservationist).***

RECOMMENDATIONS:

Staff Recommends approval of the request with the following condition:

1. A recommendation for approval from the Board is secured for the CUP allowing a detached garage that exceeds the fifteen foot maximum height restriction.



STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS ANDREW &
County of Rockwall, Sta

All that certain lot, tract o
NO. 29, City of Rockwall
of land as described in a
August 3, 2001 and being
Rockwall County, Texas,

BEGINNING at a 1/2" iron
corner in the South marg
above cited tract of land;

THENCE N. 88 deg. 59 r
60.02 feet to a 1/2" iron r
corner at a turn in said st

THENCE S. 67 deg. 45 r
Hartman Street, a distan
Northeast corner of said
acres tract as described i
wife, Cheryl Yourcheck, c
Real Property Records o

THENCE S. 06 deg. 53 r
yellow plastic cap stamp

THENCE S 70 deg. 47 r
corner at the Southwest c

THENCE N. 00 deg. 42 r
feet to the POINT OF BE

NOW, THEREFORE, KN

STATE OF TEXAS
COUNTY OF ROCKWALL

I the undersigned owner o
an Addition to the City of R
dedicate to the use of the
easements and public pla
further certify that all other
have been notified and sig

I (we) understand and do I
stated and for the mutual

I (we) also understand the

1. No buildings shall be
easements as described h

2. Any public utility shal
buildings, fences, trees, sh
interfere with construction,
these easement strips; and
egress to, from and upon I
inspecting, patrolling, main
respective system without

3. The City of Rockwall
from or occasioned by the

4. The developer and s
improvements.

5. The developer shall I
patterns and drainage con
affected by storm drainage

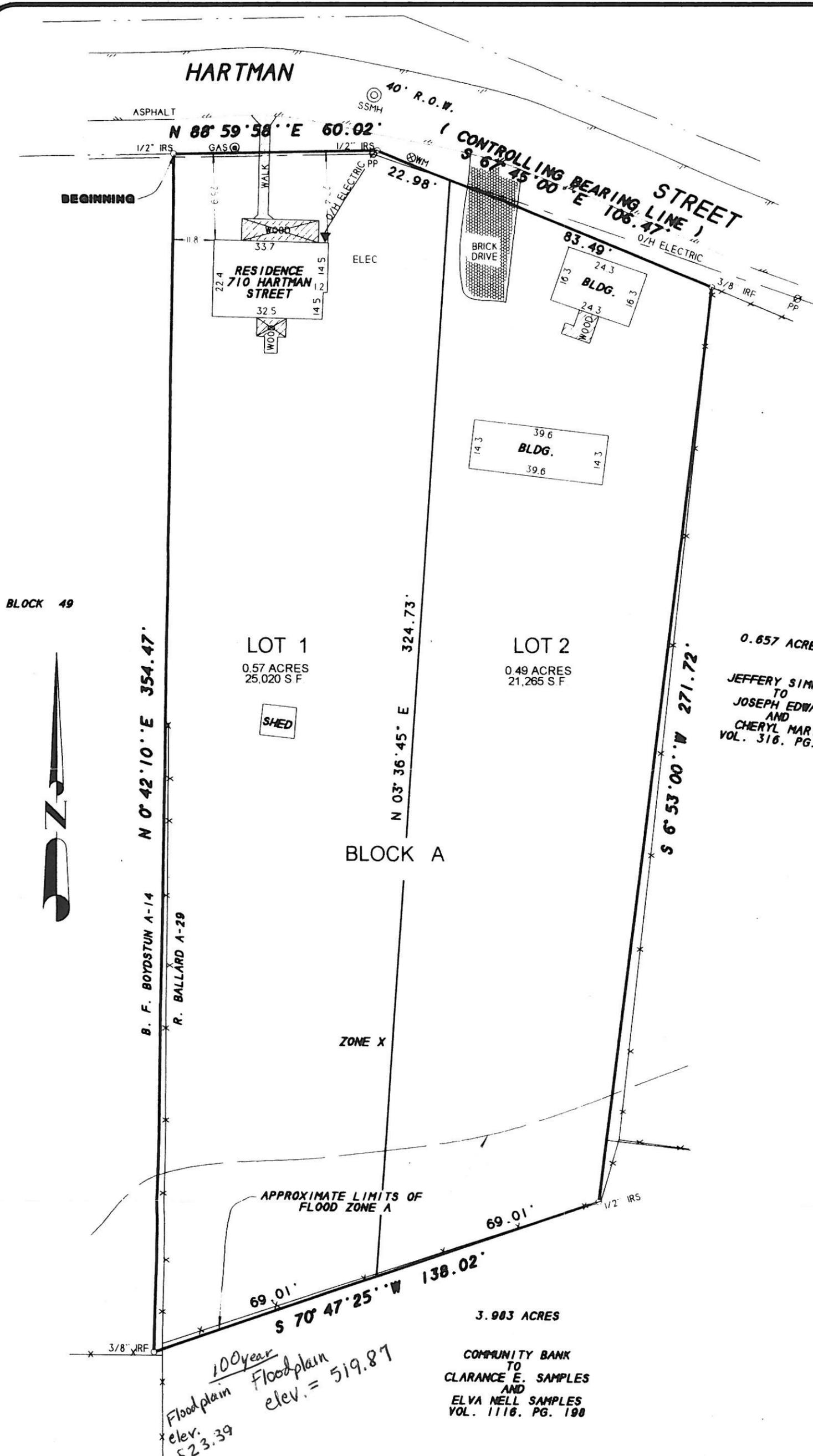
6. No house dwelling ur
addition by the owner or ar
all requirements of the Sul
with respect to the entire b
the actual installation of str
and sewer, drainage struct
the specifications of the Cit

Until an escrow deposit, su
the city's engineer and/or c
been made with the city se
owner, authorizing the city
or have the same made by
the developer an d/or own
stated in such written agre
improvements itself. Such
payments as the work prog
the city secretary, supporte

Until the developer and/or
equal to the cost of such in
thereof within the time stat
the City of Rockwall.

I (we) further acknowledge
to the impact of the subdivi
development will comport
successors and assigns he
as a result of the dedicati

ANDREW G. HURST



BLOCK 49



0.657 ACRES
JEFFERY SIMPSON
TO
JOSEPH EDWARD
AND
CHERYL MARIE
VOL. 316. PG. 87

LOT 1
0.57 ACRES
25,020 S.F.

LOT 2
0.49 ACRES
21,265 S.F.

BLOCK A

ZONE X

100 year
Floodplain
elev. = 519.87
Floodplain
elev. = 523.39

COMMUNITY BANK
TO
CLARANCE E. SAMPLES
AND
ELVA NELL SAMPLES
VOL. 1116. PG. 198

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 480547 0005 c dated June 16, 1992, this property lies in Zone X and Zone A. Part of this property does appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED DEED IN VOL. 2228, PG. 64, R. P. R. R. C. T.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

OWNERS: ANDREW
747 CAMP
ROCKWALL
972-87

Applicant's E-mail Correspondence with Marcel Quimby – Historic Preservationist

Glenn:

I received your information about your proposed house, and this Craftsman design should fit in quite well into Rockwall's historic neighborhood, assuming it is compatible with the adjacent homes and other homes on the street.

I had spoken to James on Monday (*before receiving your email*) in general terms regarding brick at foundations, skirting, and porch columns, and he had alerted me to the issues at hand.

Unfortunately, I am not familiar enough with the particular site for your home, the significant historic homes in Rockwall, the typical use of brick at these elements in the historic district, or the particular details of your house (exactly where this brick is, and details, etc.), so I don't feel comfortable making an educated response to your questions.

(this would be like a doctor making a diagnosis over the phone or over the net...not a good idea.)

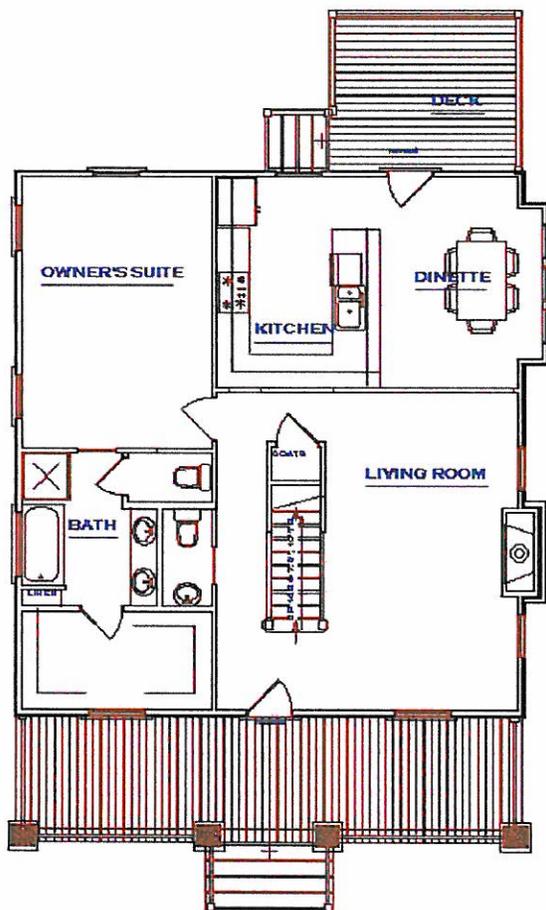
Sorry I can't be of more help....

Marcel.

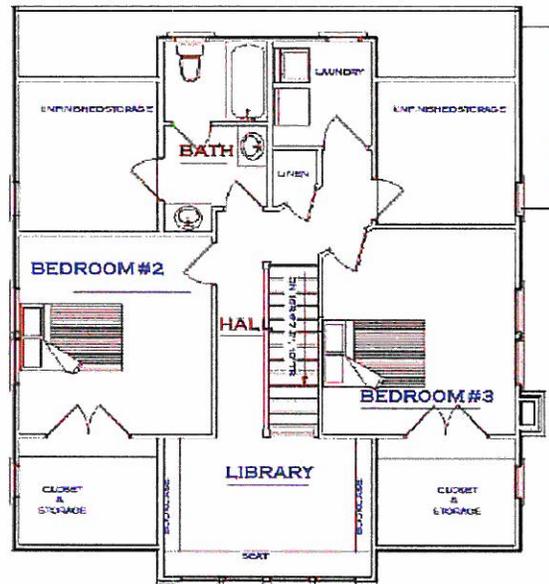
"Glenn W. Anderson" wrote:

Marcel, I am in the process of applying for a Certificate of Appropriateness for the construction of a new home to be located at 712 Hartman Ave in Rockwall. The home will be reflective of the Craftsman traditions. two story with a detached garage. My wife and I made our first application to the review board last month and are presenting some additional information on October 16, 2003. During our first presentation, some of the board members seemed unsure concerning their responsibilities on new construction and more importantly seemed not to have a fully formed policy in place. When I suggested that our proposed home would utilize brick foundation and porch pier elements, one of the board members stated that the district had been improperly "infiltrated" by brick and that brick would not be an appropriate material for new construction in the historical district. The board member suggested that we consider using a wood material "pier and beam" skirt so as to appropriately mimic the look of the homes elsewhere in the Rockwall district. I have since photographed nearly all of the "significant" contributing properties and find brick foundation materials to be common, if not typical. I've also done some reading lately, in particular, the Oklahoma City guidelines you helped to write. In those guidelines, I find a general guideline to be selecting materials that are "typical of structures of this type, age and location". The home we are proposing will be very similar to the attached file. I would appreciate any comments or guidance you might be willing to provide. Thank you, **Glenn W. Anderson**, President

712 Hartman



FIRST FLOOR PLAN



SECOND FLOOR PLAN



CITY OF ROCKWALL
 at Rockwall City Place
 385 South Goliad St.
 Rockwall, Texas 75087-3737

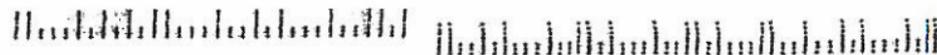
Community Development

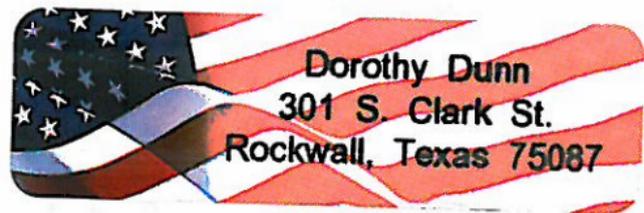


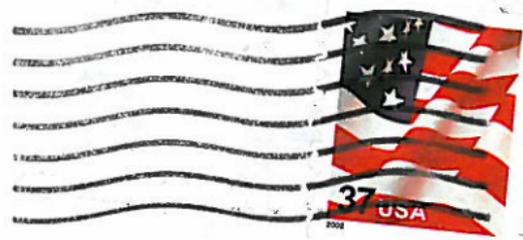
Andrew and Jennifer Hurst
 P. O. Box 751
 Santa Fe, Texas 77517-0751

HUR5751 775172004 1903 26 10/09/03
 RETURN TO SENDER
 HUR3T
 BOX CLOSED
 UNABLE TO FORWARD
 RETURN TO SENDER

775170751 2004
 750873737



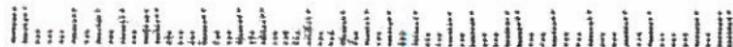
 Dorothy Dunn
301 S. Clark St.
Rockwall, Texas 75087



Planning & Zoning

*City of Rockwall
385 South Goliad
Rockwall Texas 75087*

75087/2556





CITY OF ROCKWALL

at Rockwall City Place

385 South Goliad St.

Rockwall, Texas 75087-3737

Community Development



Andrew and Jennifer Hurst
P. O. Box 751
Santa Fe, Texas 77517-0751

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HURST
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77517-0751





CITY OF ROCKWALL
at Rockwall CityPlace

10/17/2003

GLENN ANDERSON
712 HARTMAN
ROCKWALL, TX 75087

RE: H2003-006
712 Hartman - New House
Project Type: HISTORIC - CofA

Dear Applicant:

This letter serves to notify you that the above referenced case that you (or the organization that you represent) submitted before the City of Rockwall was approved by the Historic Preservation Advisory Board on 10/16/2003. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommends approval of the request with the following condition:

- 1. A recommendation for approval from the Board is secured for the CUP allowing a detached garage that exceeds the fifteen foot maximum height restriction.*

On 10/16/2003 the HPAB approved the Certificate of Appropriateness with the Staff condition by unanimous vote 7 to 0.

Please contact the City of Rockwall Community Development Staff at (972) 771-7745, or at the address listed below, with any questions or concerns regarding this matter.

Sincerely yours,

James Williams
Planning and Zoning
City of Rockwall