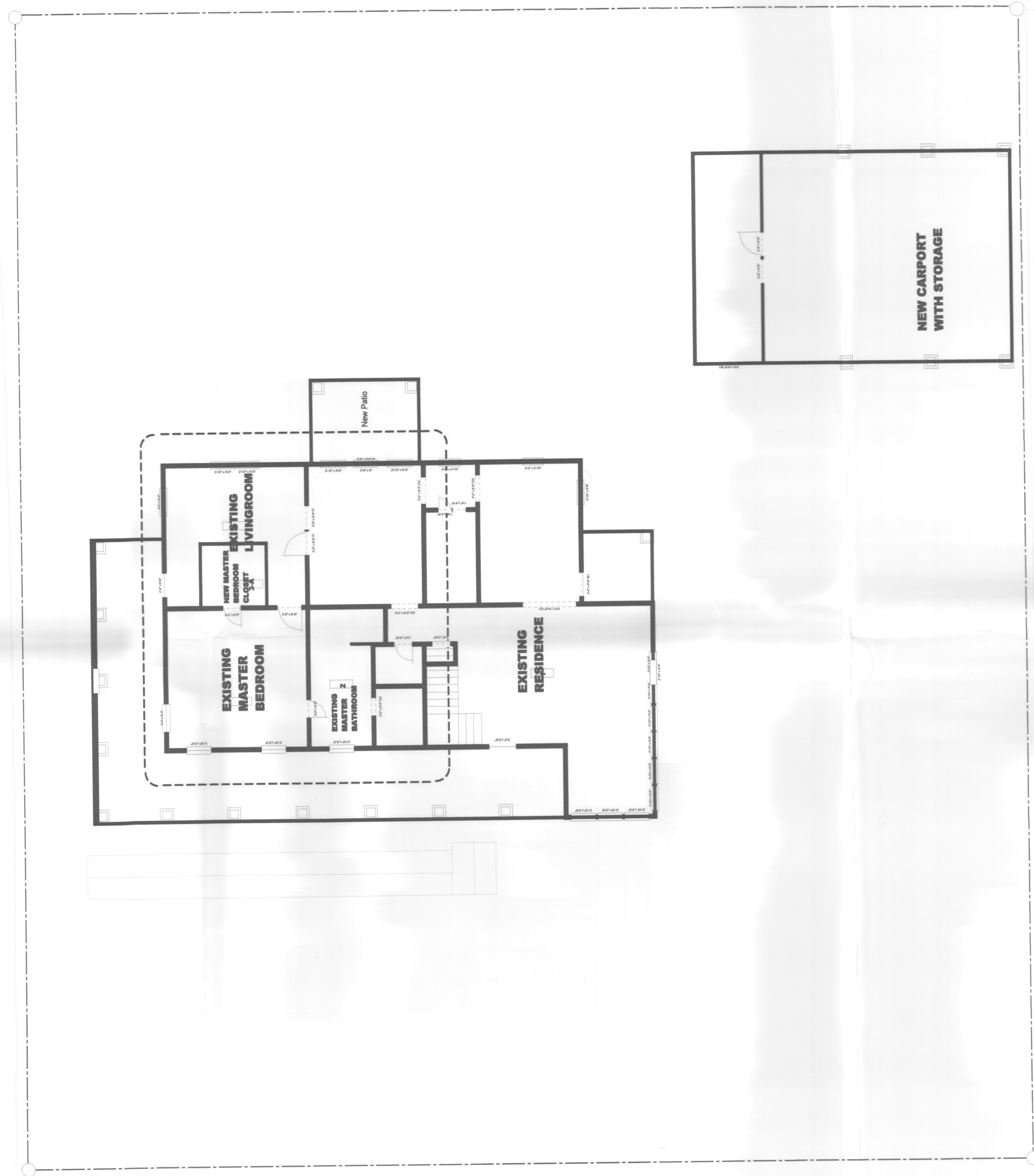


PARKS AVENUE



CLARK STREET

WILLIAMS STREET

LIST OF DRAWINGS

- 1.0 SITE PLAN, AREA TABULATIONS, ROOF PLAN
- 2.0 FLOOR PLAN
- 2.1 ENLARGED FLOOR PLAN
- 3.0 ENLARGED FOUNDATION PLAN
- 4.0 ENLARGED ELECTRICAL PLAN
- 5.0 ENLARGED PLUMBING PLAN
- 6.0 ENLARGED HVAC PLAN
- 7.0 ELEVATIONS

ROOFING NOTES

1. VERIFY ALL CONDITIONS, DIMENSIONS AND LOCATIONS.
2. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
3. COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, CIVIL, LANDSCAPE, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
4. CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY DECKING, UNDERLAYMENT, AND FLASHING AS PER MANUFACTURE RECOMMENDATIONS AND NEW COMPOSITION SHINGLE ROOFING AS SPECIFIED BY THE OWNER / GC AT ALL NEW ROOFING AREAS.
5. CONTRACTOR TO LOCATE AND VERIFY WITH OWNER / GC ALL DOWNSPOUT AND GUTTER LOCATIONS
6. ALL ROOFING SURFACES MATERIAL SHALL MATCH EXISTING.
7. NO PLUMBING VENTS SHALL BE LOCATED ON FRONT ROOF SLOPES

SITE PLAN

SCALE: 1/8" = 1'-0"



Project:
Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

Cover Plan

**SHEET
NUMBER**

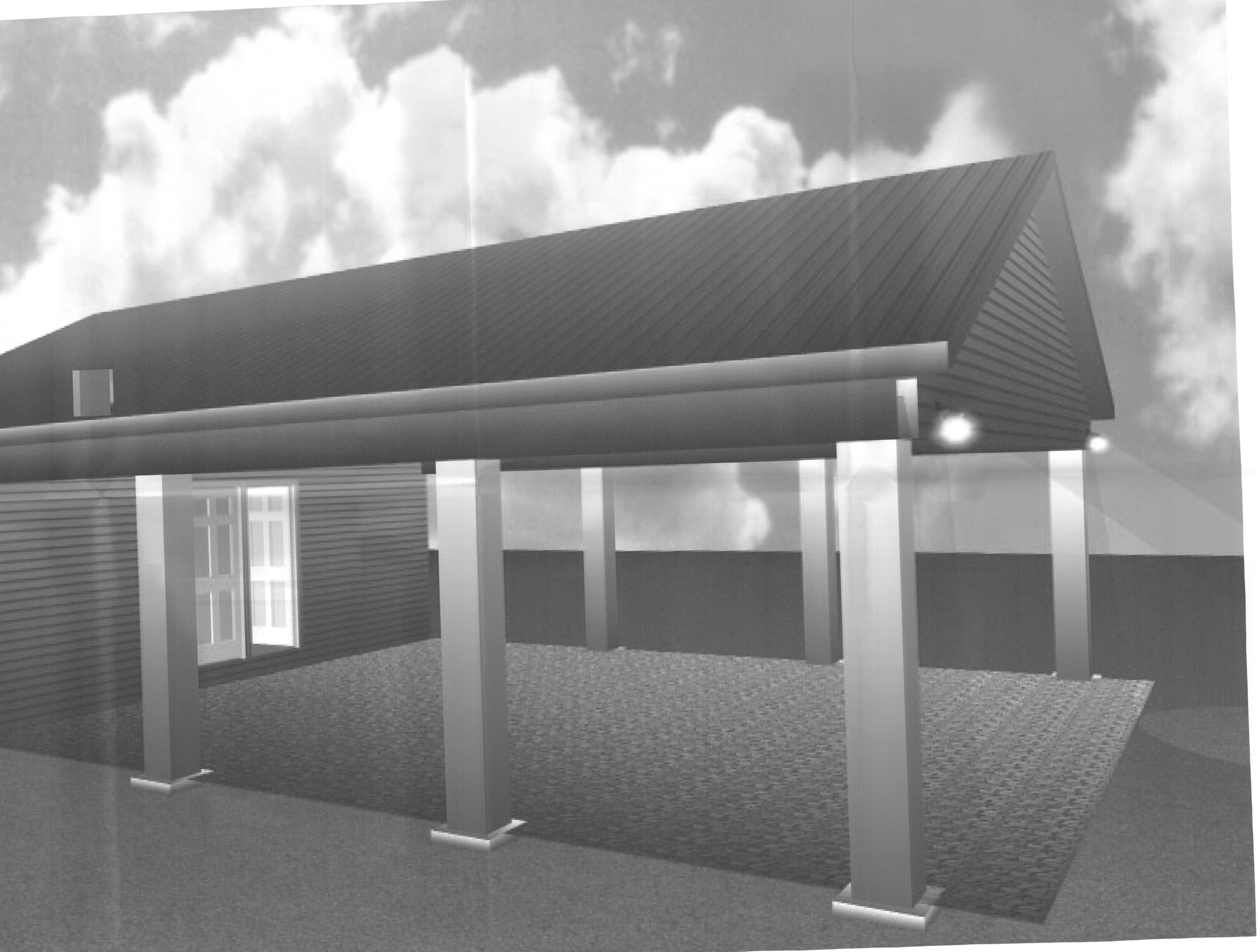
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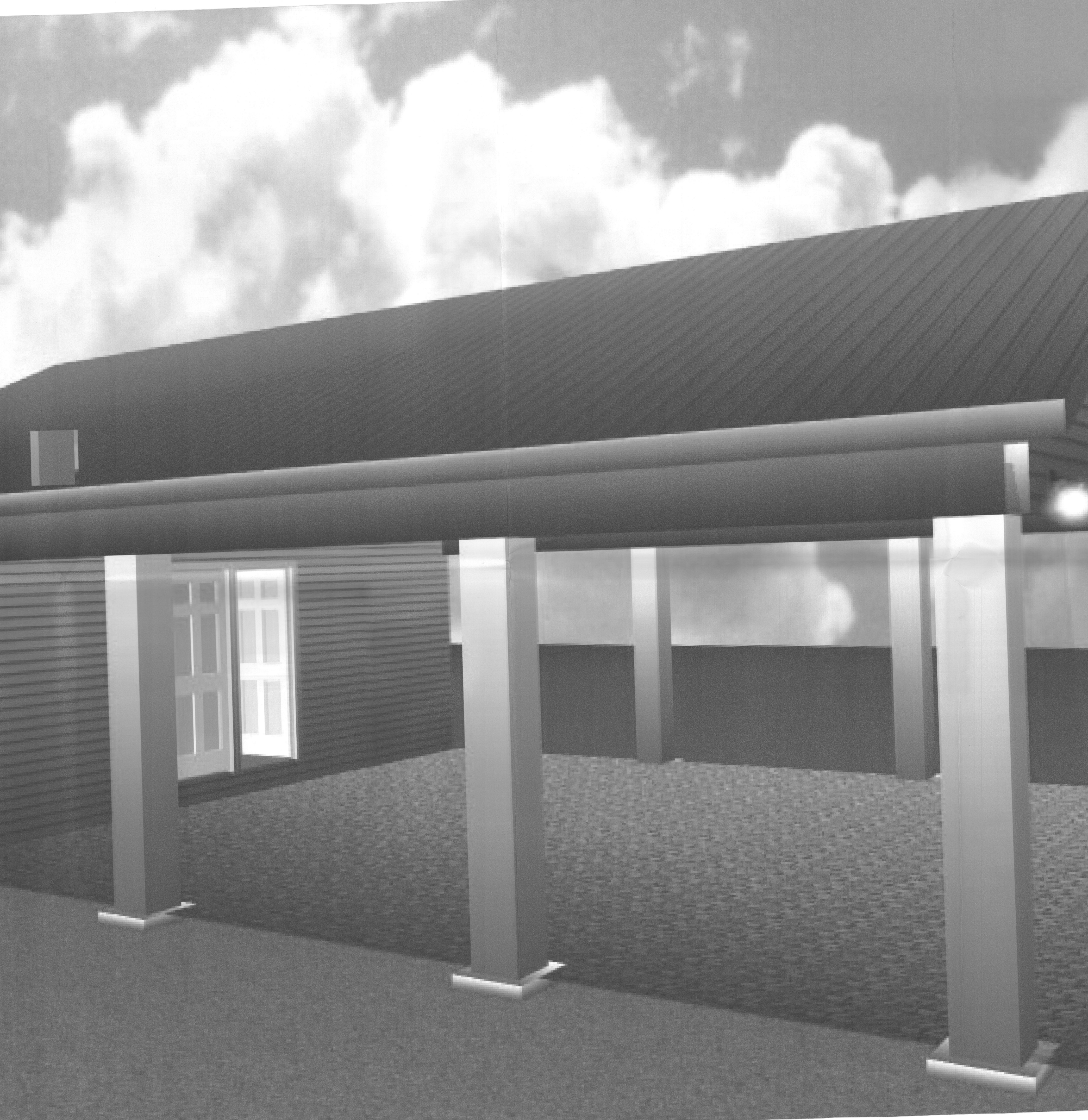
DATE:
09 / 20 / 04

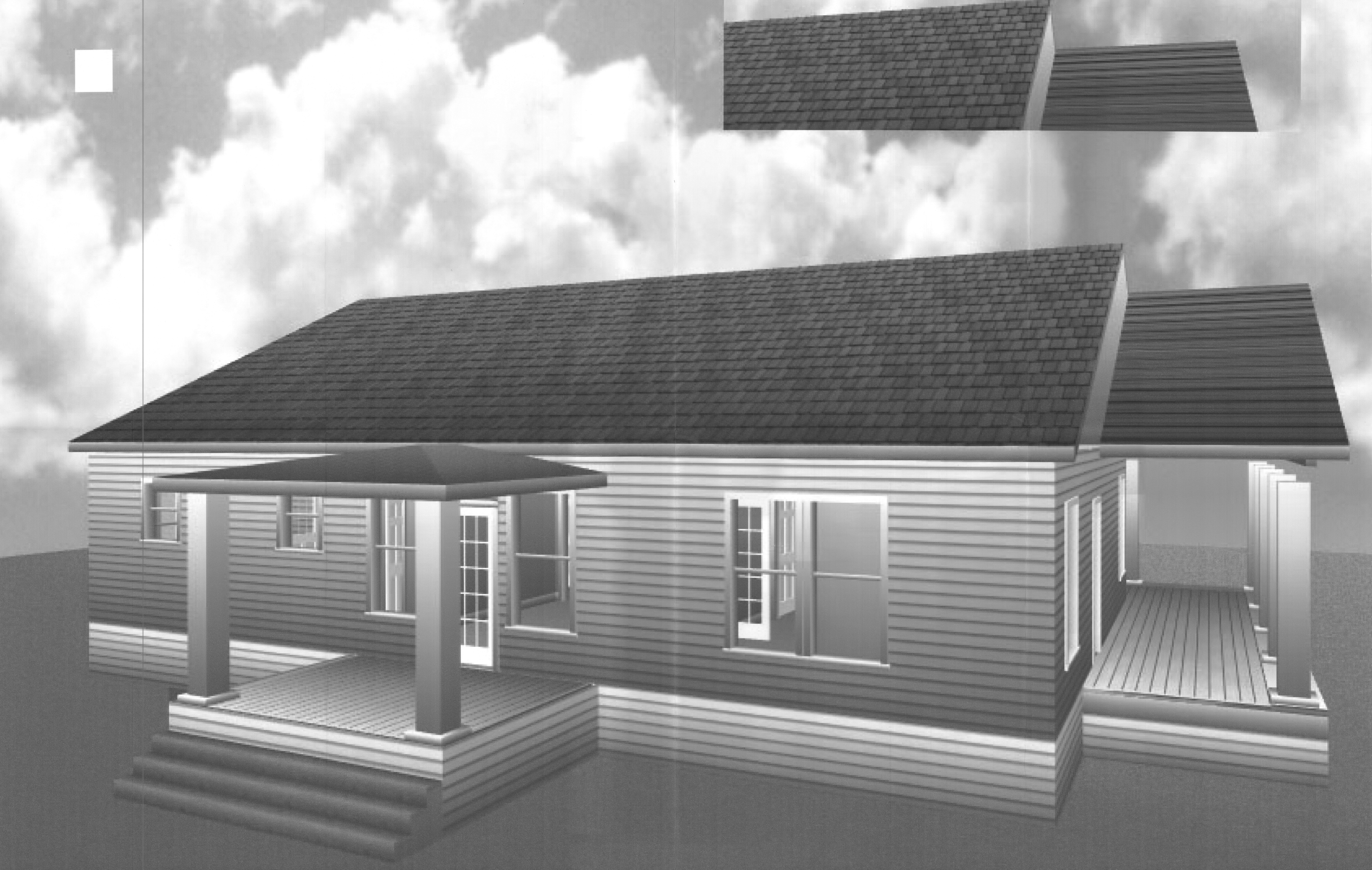
Designed By:
William (Marty) M. Knight
Office (972) 242-2240 Cell (214) 284-5826

1.0





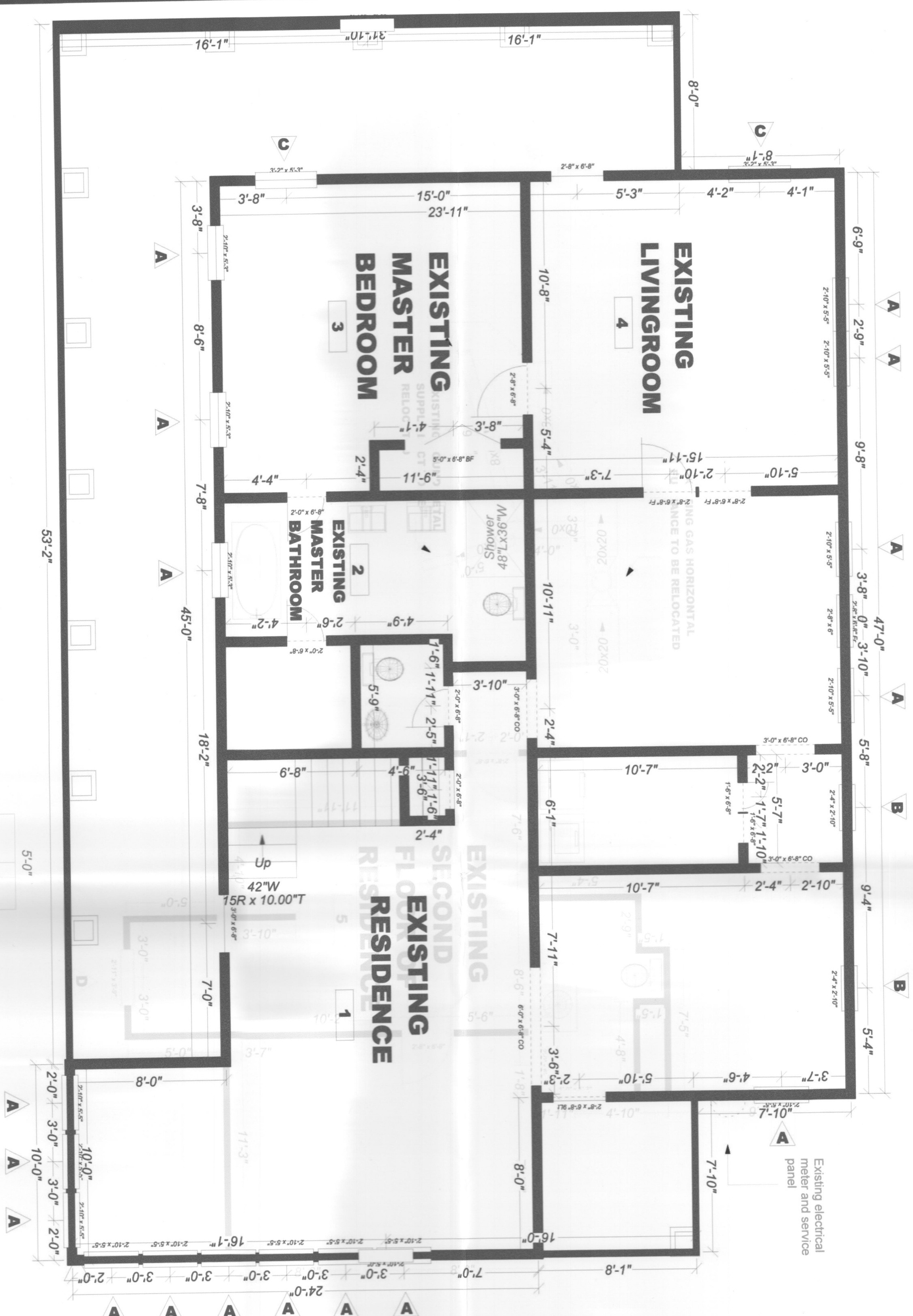




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14. All Engineered wood is to comply with applications and recommendations of the American Plywood Association for residential construction from E-30 and ENVS480A.
15. Plywood sub-floor to be 1 1/8" T & G exterior grade plywood. Glued & nailed to joists. Map upper surface with water sealer the same day as laid and prior to standing walls.
16. Flashing to be copper. Saw cut install at the visible masonry applications.
17. Cast iron sewer lines are to be used between first & second floors, or as required for noise attenuation using PVC will be acceptable everywhere else.
18. No plumbing vents on front roof slopes.



ROOM FINISH SCHEDULE										
NO.	ROOM NAME	FLOOR	WALLS			CEILING	HEIGHT	ROOM SIZE	REMARKS	
			BASE	N	E S W					
1	EXISTING 1ST FLOOR	9	2	1	1	1	1	9'-0"	Existing	Varying heights
2	MASTER BATHROOM	2	1	1	1	1	1	9'-0"	Existing	
3	MASTER BEDROOM	9	2	1	1	1	1	9'-0"	Existing	
4	EXIST. LIVING AREA	9	2	1	1	1	1	9'-0"	Existing	

WINDOW & DOOR SCHEDULE			
SYM	SIZE	MODEL / TYPE	QUAN.
A	2'-10" x 5'-5" x 6 9/16"	"Existing" Single Hung Wood	17
B	2'-4" x 2'-10" x 6 9/16"	"Existing" Single Hung Wood	2
C	3'-2" x 5'-3" x 6 9/16"	"Existing" Single Hung Wood	2
D	2'-1" x 3'-9" x 6 9/16"	"Existing" Single Hung Wood	
E			
F			
G			

ROOM FINISH KEY

FLOORS

1. ENTRY MAT
2. CARPET 'A'
3. CARPET 'B'
4. SHEET VINYL
5. CERAMIC TILE (COLOR OPT.)
6. SEALED CONC.
7. CONCRETE
8. SHEET VINYL

WALLS

1. GYPSUM BOARD PAINT
 2. WATER RESISTANT GYPSUM BOARD PAINT
 3. EXPOSED CONCRETE (BLOCK) - ELASTOMERIC PAINT
 4. EXPOSED CONCRETE (BLOCK) W/ SEALER
- CEILINGs**
1. GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
 2. 2" X 2" SUSP. ACOUSTIC TILE (NON-PAINTED)
 3. EXPOSED ROOF STRUCTURE - PAINT

9. WOOD
- BASE**
1. 2 1/2" FINGER JOINT PINE
(PAINT GRADE)
2. 4" PINE (PAINT GRADE)

Project=

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

DATE: _____

Designed By:

William
Office (972) 242-2240

Cell (214) 284-5826

Existing 1st Floor Plan

SHEET NUMBER

Scale: 1/4" = 1' 0"

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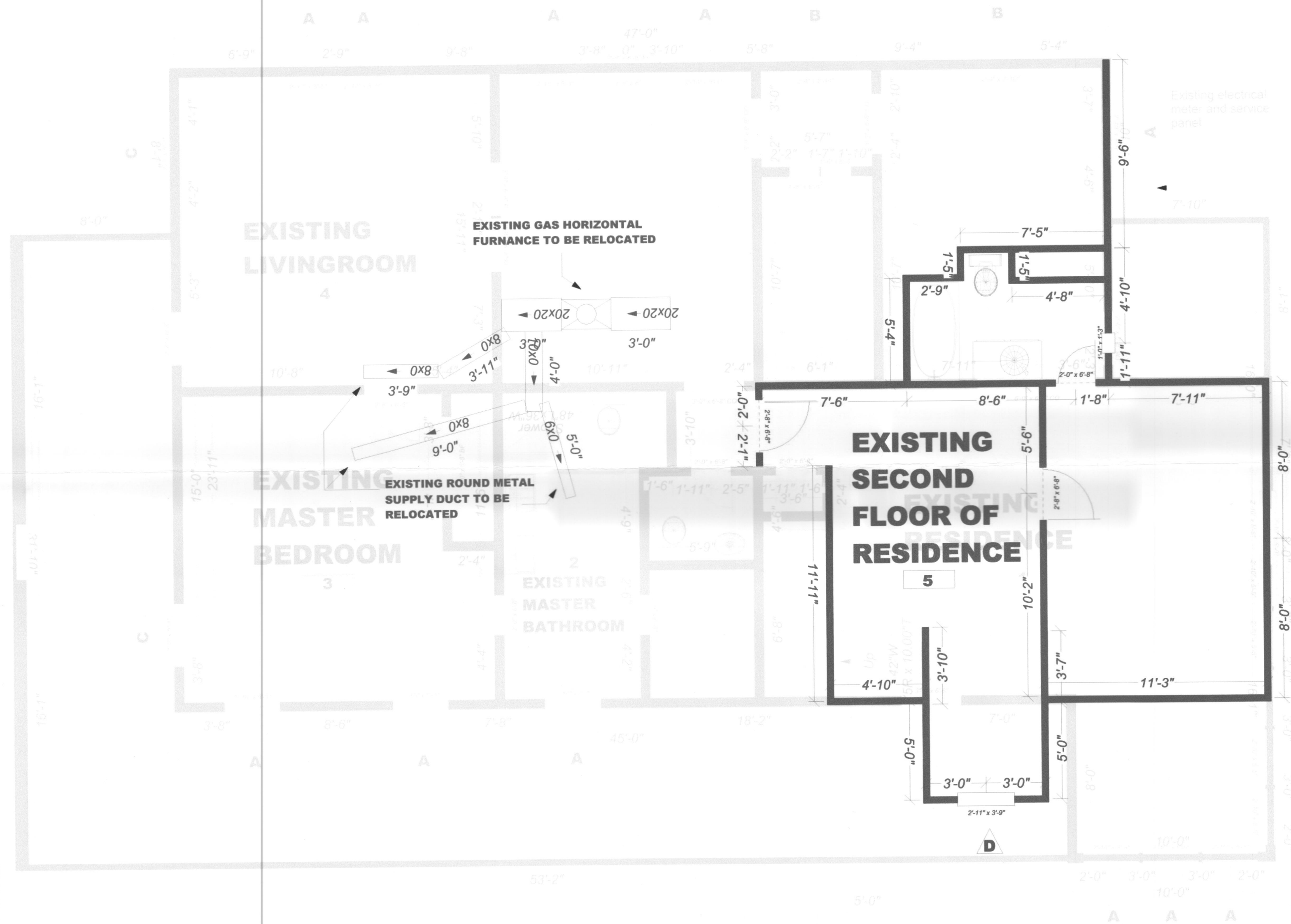
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ROOM FINISH SCHEDULE									
NO.	ROOM NAME	FLOOR	BASE	WALLS			CEILING	HEIGHT	ROOM SIZE
				N	E	W			
5	EXISTING 2nd FLOOR	9	2	1	1	1	1	4'-0" to 9'-0"	Existing
6	MASTER BATHROOM	9	2	1	1	1	1	9'-0"	Existing
7	MASTER BEDROOM	9	2	1	1	1	1	9'-0"	Existing
8	EXIST. LIVING AREA	9	2	1	1	1	1	9'-0"	Existing

ROOM FINISH KEY

FLOORS

1. ENTRY MAT
2. CARPET 'A'
3. CARPET 'B'
4. SHEET VINYL
5. CERAMIC TILE (COLOR OPT.)
6. SEALED CONC.
7. CONCRETE
8. SHEET VINYL
9. WOOD

BASE

1. 2 1/2" FINGER JOINT PINE (PAINT GRADE)
2. 4" PINE (PAINT GRADE)

WALLS

1. GYPSUM BOARD PAINT
2. WATER RESISTANT GYPSUM BOARD PAINT
3. EXPOSED CONCRETE (BLOCK) - ELASTOMERIC PAINT
4. EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILINGS

1. GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
2. 2' X 2' SUSP. ACOUSTIC TILE (NON-RATED)
3. EXPOSED ROOF STRUCTURE - PAINT

WINDOW & DOOR SCHEDULE			
SYM	SIZE	MODEL / TYPE	QUAN.
A	2'-10" x 5'-5" x 6 9/16"	"Existing" Single Hung Wood	17
B	2'-4" x 2'-10" x 6 9/16"	"Existing" Single Hung Wood	2
C	3'-2" x 5'-3" x 6 9/16"	"Existing" Single Hung Wood	2
D	2'-11" x 3'-9" x 6 9/16"	"Existing" Single Hung Wood	
E			
F			
G			

Project:

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

DATE:

09 / 20 / 04

Designed By:

William (Marty) M. Knight
Office (972) 242-2240 Cell (214) 284-5826

Existing 2nd
Floor Plan

Scale: 1/4" = 1' 0"

SHEET
NUMBER

2.1

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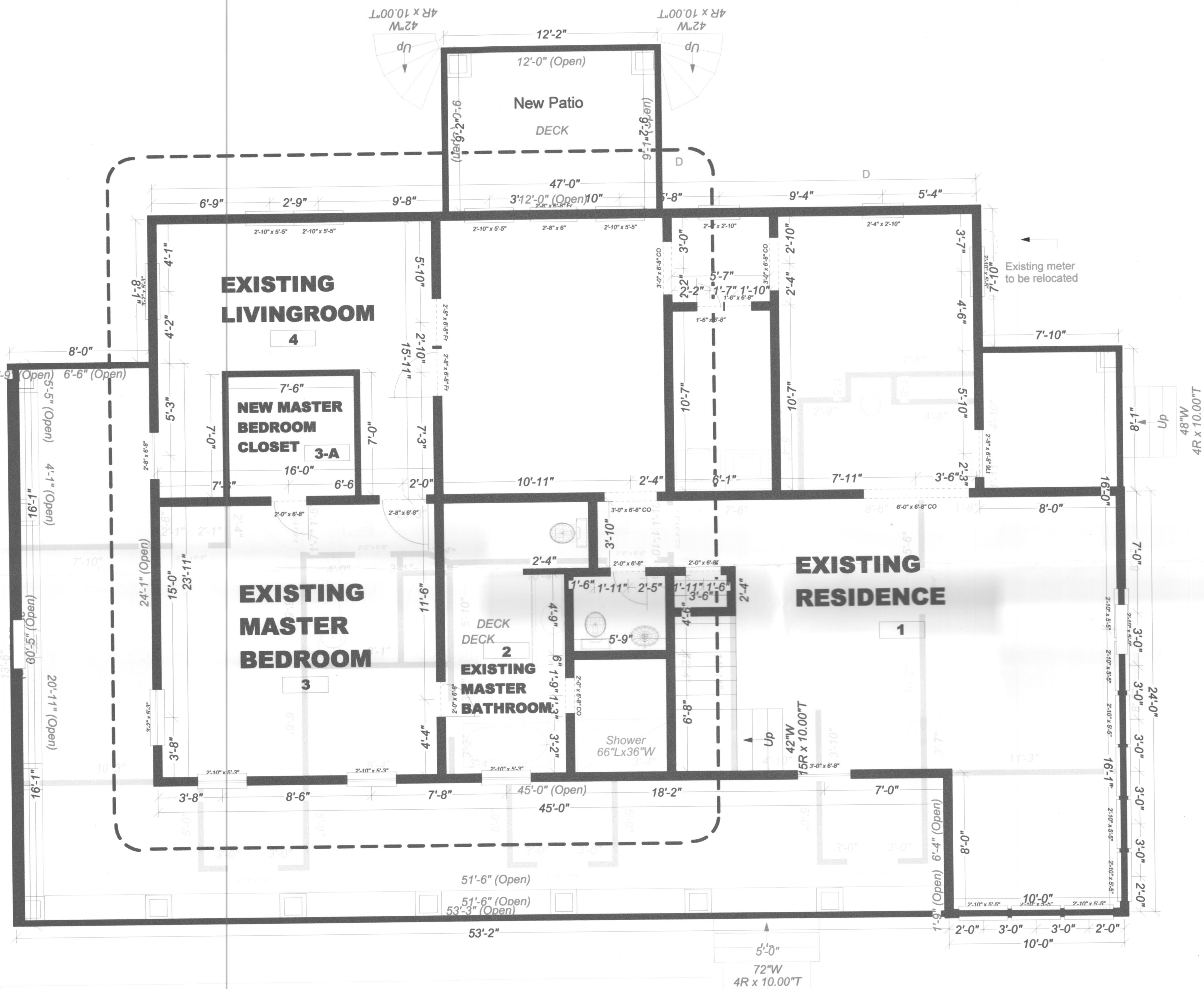
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ROOM FINISH SCHEDULE								
NO.	ROOM NAME	FLOOR	BASE	WALLS			CEILING	HEIGHT
				N	E	S		
1	EXISTING 1ST FLOOR	9	2	1	1	1	1	9'-0"
2	MASTER BATHROOM	9	2	1	1	1	1	9'-0"
3	MASTER BEDROOM	9	2	1	1	1	1	9'-0"
3-A	MASTER BEDROOM CLOSET	9	2	1	1	1	1	9'-0"
4	EXIST. LIVING AREA	9	2	1	1	1	1	9'-0"

ROOM FINISH KEY

FLOORS

- ENTRY MAT
- CARPET 'A'
- CARPET 'B'
- SHEET VINYL
- CERAMIC TILE (COLOR OPT.)
- SEALED CONC.
- CONCRETE
- SHEET VINYL
- WOOD

BASE

- 2 1/2" FINGER JOINT PINE (PAINT GRADE)
- 4" PINE (PAINT GRADE) BASE

WALLS

- GYPSUM BOARD PAINT
- WATER RESISTANT GYPSUM BOARD PAINT
- EXPOSED CONCRETE (BLOCK) - ELASTOMERIC PAINT
- EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILINGS

- GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
- 2' X 2' SUSP. ACOUSTIC TILE (NON-RATED)
- EXPOSED ROOF STRUCTURE - PAINT

WINDOW & DOOR SCHEDULE			
SYM	SIZE	MODEL / TYPE	QUAN.
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D			
E			
F			
G			

Project:

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

DATE:

09 / 20 / 04

Designed By:

William (Marty) M. Knight
Office (972) 242-2240 Cell (214) 284-5826

New 1st
Floor Plan

Scale: 1/4" = 1' 0"

SHEET
NUMBER

2.2

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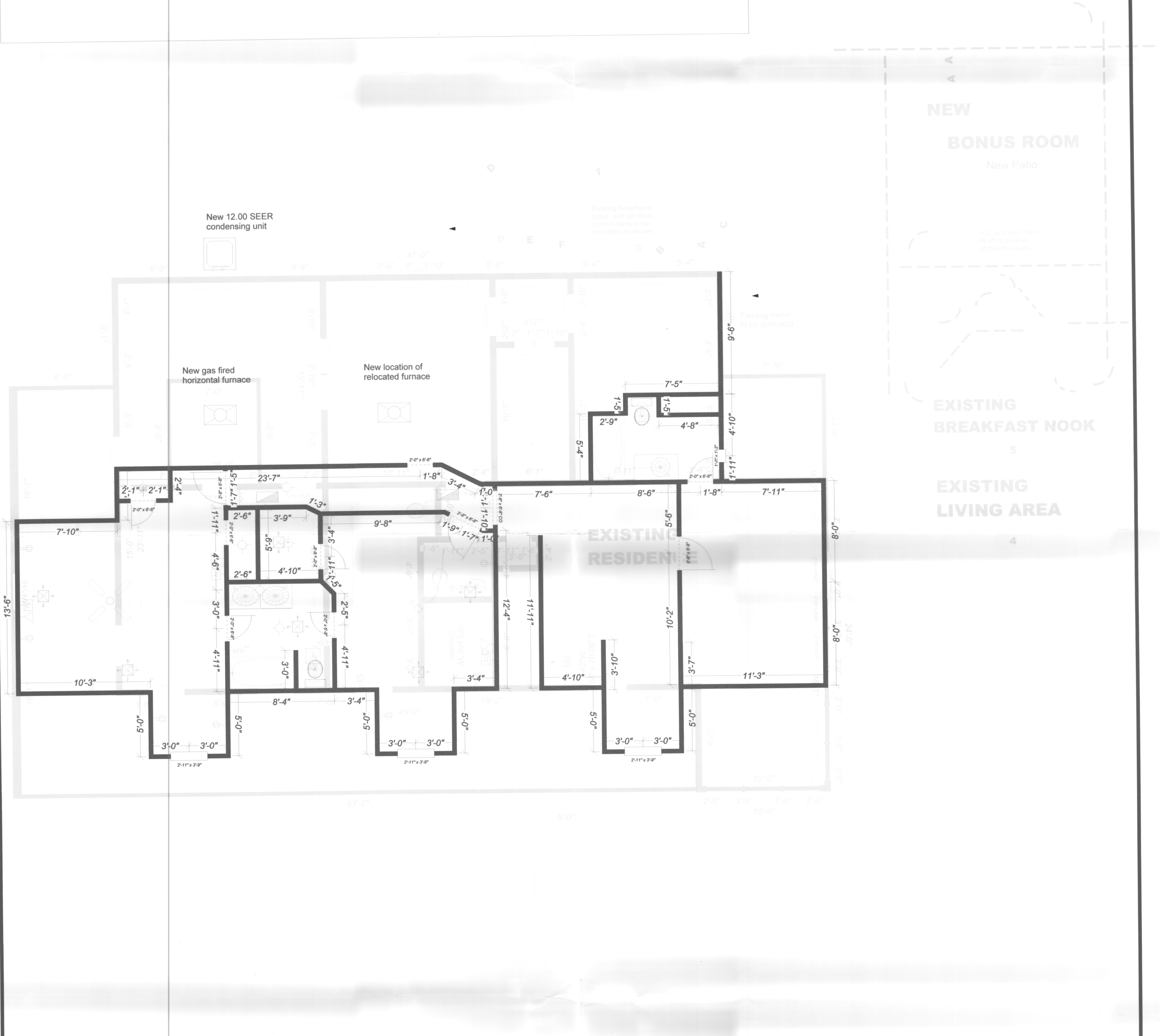
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18. No plumbing vents on front roof slopes.

Existent wiring from existing outside speaker located in new location (sheet 2)



ROOM FINISH SCHEDULE									
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HEIGHT	ROOM SIZE	REMARKS	
				N	E	S	W		
5	EXISTING 2nd FLOOR	9	2	1	1	1	1	4'-0" to 9'-0"	Varying heights
6	STORAGE AREA	9	2	1	1	1	1	5'-0" x 5'-0"	Existing
7	EXISTING GARAGE	9	2	1	1	1	1	9'-0" x 9'-0"	Existing
8	EXIST. LIVING AREA	9	2	1	1	1	1	18'-0" x 18'-0"	Existing

ROOM FINISH KEY

FLOORS

- ENTRY MAT
- CARPET 'A'
- CARPET 'B'
- SHEET VINYL
- CERAMIC TILE (COLOR OPT.)
- SEALED CONC.
- CONCRETE
- SHEET VINYL
- WOOD

BASE

- 2 1/2" FINGER JOINT PINE (PAINT GRADE)
- 4" Pine (Paint Grade) BASE

WALLS

- GYPSUM BOARD PAINT
- WATER RESISTANT GYPSUM BOARD PAINT
- EXPOSED CONCRETE (BLOCK) - ELASTOMERIC PAINT
- EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILINGS

- GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
- 2" X 2" SUSP. ACOUSTIC TILE (NON-RATED)
- EXPOSED ROOF STRUCTURE - PAINT

WINDOW & DOOR SCHEDULE			
SYM	SIZE	MODEL / TYPE	QUAN.
A 1	2'-10" x 5'-5" x 6 9/16"	"Existing" Single Hung Wood XED GLASS	17
B 2	2'-4" x 2'-10" x 6 9/16"	"Existing" Single Hung Wood (Reuse)	2
C	3'-2" x 5'-3" x 6 9/16"	"Existing" Single Hung Wood	2
D	2'-11" x 3'-9" x 6 9/16"	"Existing" Single Hung Wood	1
E	2'-0" x 6'-8" x 4 9/16"	"New" Interior H.C. Raised Panel	1
F	5'-0" x 6'-8" x 4 9/16"	"New" Interior Double French Door (15 lite)	2
G	5'-0" x 1'-9" x 4 9/16"	"New" Interior Eleptical Transom	1

Project:

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DATE:

09 / 20 / 04

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New 2nd
Floor Plan
Scale: 1/4" = 1' 0"

SHEET
NUMBER

2.3

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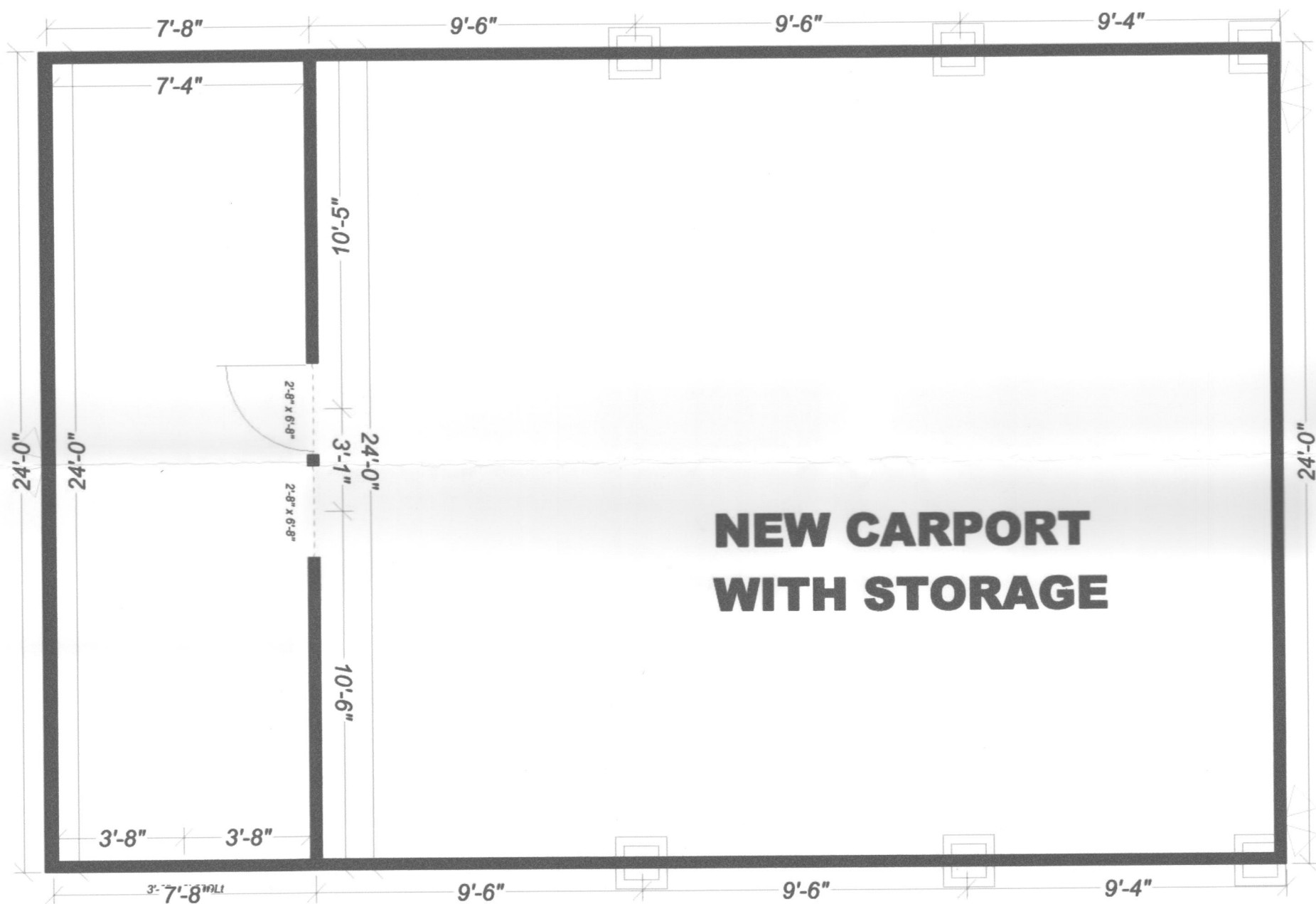
14. All Engineered wood is to comply with applications and recommendations of the American Plywood Association for residential construction form # E30 and EWSS480A.

15. Plywood sub-floor to be 1 1/8" T & G exterior grade plywood. Glued & nailed to joists. Mop upper surface with water sealer the same day as laid and prior to standing walls.

16. Flashing to be copper. Saw cut install at the visible masonry applications.

17. Cast iron sewer lines are to be used between first & second floors, or as required for noise attenuation using PVC will be acceptable everywhere else.

18. No plumbing vents on front roof slopes.



ROOM FINISH SCHEDULE									
NO.	ROOM NAME	FLOOR	BASE	WALLS			CEILING	HEIGHT	ROOM SIZE
				N	E	W			
1	BONUS ROOM	1	2	1	1	1	1	12'-0" / 8'-0"	19'-11" X 26'-11"
2	STORAGE AREA	8	1	1	1	1	1	8'-0"	5'-8" X 8'-0"
3	EXISTING GARAGE	7	-	1	1	1	1	9'-0"	Existing
4	EXIST. LIVING AREA	9	1	1	1	1	1	18'-0"	Existing

ROOM FINISH KEY

FLOORS

1. ENTRY MAT
2. CARPET 'A'
3. CARPET 'B'
4. SHEET VINYL
5. CERAMIC TILE (COLOR OPT.)
6. SEALED CONC.
7. CONCRETE
8. SHEET VINYL
9. WOOD

BASE

1. 2 1/2" FINGER JOINT PINE (PAINT GRADE)
2. 4" COVED RUBBER BASE

WALLS

1. GYPSUM BOARD PAINT
2. WATER RESISTANT GYPSUM BOARD PAINT
3. EXPOSED CONCRETE (BLOCK) - ELASTOMERIC PAINT
4. EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILINGS

1. GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
2. 2' X 2' SUSP. ACOUSTIC TILE (NON-RATED)
3. EXPOSED ROOF STRUCTURE - PAINT

WINDOW & DOOR SCHEDULE			
SYM	SIZE	MODEL / TYPE	QUAN.
A-1	3'-0" x 1'-6" x 4 9/16"	"Existing" RADIUS ALUM. FIXED GLASS	3
A-2	3'-0" x 6'-0" x 4 9/16"	"Existing" Single Hung Alum. (Reuse)	3
B	2'-8" x 6'-8" x 4 9/16"	"Existing" Exterior French Door	1
C	2'-8" x 6'-8" x 4 9/16"	"New" Exterior French Door (1 lite)	1
D	2'-0" x 6'-8" x 4 9/16"	"New" Interior H.C. Rasied Panel	1
E	5'-0" x 6'-8" x 4 9/16"	"New" Interior Double French Door (15 lite)	2
F	5'-0" x 1'-9" x 4 9/16"	"New" Interior Eleptical Transom	1

Project:

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

Carport Plan

Scale: 1/2" = 1' 0"

SHEET NUMBER

2.5

DATE:

09 / 20 / 04

Designed By:

William (Marty) M. Knight
Office (972) 242-2240 Cell (214) 284-5826

H2004-008

**AGENDA
ROCKWALL CITY COUNCIL**

**November 15, 2004
6:00 p.m. Regular Meeting
City Hall, 385 S. Goliad, Rockwall, Texas 75087**

1. Call to Order

Mayor Jones called the meeting to order at 6:00 p.m. Present were Mayor Ken Jones and Councilmembers Bob Cotti, Stephen Straughan, Tim McCallum, John King and Terry Raulston. Councilmember Bill Cecil was absent. Also present were City Manager Julie Couch and City Attorney Pete Eckert.

2. Invocation and Pledge of Allegiance – Mayor Ken Jones

3. Youth Advisory Council Members Take Oath

Youth Advisory Council Member Kachi Amajor was sworn-in by Mayor Jones.

Mayor Jones advised the audience that we would not be following the agenda tonight and called Connie Jackson of the Planning and Zoning Commission forward to address the Council.

- a. Appointment with Planning and Zoning Chairman to discuss and answer any questions regarding cases on the agenda and related issues and take any necessary action.**

Connie Jackson explained the Phillip Herbst, Chairman of the Planning and Zoning Commission was unable tonight and advised the Council of the action taken by the Commission on the various items on tonight's agenda.

4. Consent Items

- a. Consider approval of the Minutes from the August 9, 2004 Special Meeting (Ethics Seminar) and take any action necessary.**
- b. Consider approval of the Minutes from the August 13, 2004 City Council Budget Retreat and take any action necessary.**
- c. Consider approval of the Minutes from the August 26, 2004, Special Meeting and take any action necessary.**
- d. Consider approval of the Minutes from the September 26-27, 2004 Annual Retreat and take any action necessary.**
- e. Consider approval of the Minutes from the October 18, 2004 City Council meeting and take any action necessary.**
- f. Consider approval of the Minutes from the October 25, 2004 City Council meeting and take any action necessary.**

- 92 g. Consider approval of the Minutes from the November 1, 2004 City
93 Council meeting and take any action necessary.
- 94 h. Consider approval of a **Resolution** supporting the Police Department in
95 its application for training agreement with Texas Commission on Law
96 Enforcement Center Standards and Education (TCLOSE) and take any
97 action necessary.
- 98 i. **P2004-053** -- Consider approval of a request by Kerry Burden of PM
99 Realty Group for approval of a replat of Lots 2 and 4, Block B, Horizon
100 Ridge Addition, being a 5.93-acre tract zoned (PD-9) Planned
101 Development No. 9 district and designated for (GR) General Retail uses,
102 located at the northeast corner of Ralph Hall Pkwy and Summer Lee
103 Drive and take any action necessary.
- 104 j. **P2004-054** -- Consider approval of a request by Bryan Burger of
105 Lawrence A. Cates & Associates, LLP, for approval of a replat of Lots 1-3,
106 Block A, Horizon Ridge Addition, being a 13.60-acre tract zoned (PD-9)
107 Planned Development district and designated for (GR) General Retail
108 uses, located at the northeast corner of Ridge Rd (FM 740) and Arista
109 Road and take any action necessary.
- 110 k. **P2004-055** -- Consider approval of a request by Paul Hames of Bury +
111 Partners, DFW, for approval of a final plat of Lot 2, Block A, Bowles
112 Addition, being a 1.561-acre tract zoned (PD-48) Planned Development
113 No. 48 district and located at the northwest corner of SH 66 and N.
114 Lakeshore Blvd. and take any action necessary.
- 115 l. **P2004-058** -- Consider approval of a request by Allan Ross for approval
116 of a final plat of Lots 1 and 2, Block A, The Larsen School Addition, being
117 a 10.11 acre tract zoned (PD-10) Planned Development district and
118 designated for (C) Commercial uses, situated along the east side of
119 Townsend Dr south of the existing SH 276 and north of the future
120 realignment of SH 276 and take any action necessary.
- 121 m. Consider approval of the purchase of six police pursuit vehicles and take
122 any action necessary.
- 123 n. Consider approval of the award of the engineering contract for the
124 Townsend Road project and take any action necessary.
- 125 o. Consider approval of the litter abatement contract and take any action
126 necessary.
- 127 p. **SP2004-023** -- Consider approval of a request by Kerry Burden of PM
128 Realty Group for approval of a site plan for the 62,992-sf Rockwall
129 Medical Center, located on Lot 4, Block B, Horizon Ridge Addition, being
130 a 4.4479-acre tract zoned (PD-9) Planned Development No. 9 district and
131 designated for (GR) General Retail uses, located along the east side of
132 Ralph Hall Pkwy north of Summer Lee Drive. Take any action necessary.

- 133 q. **SP2004-024** – Consider approval of a request by Paul Hames of
134 Bury+Partners, DFW, and Larry Bloom of Oculus, Inc., for approval of a
135 site plan for Bank of America, located on Lot 2, Block A, Bowles Addition,
136 being a 1.56-acre tract zoned (PD-48) Planned Development district and
137 situated at the northwest corner of SH 66 and N. Lakeshore Blvd within
138 the (SH 66 OV) SH 66 Overlay District. Take any action necessary.
- 139 r. Consider authorizing the Mayor to execute an Interlocal Agreement with
140 Rockwall County for services of an emergency management intern and
141 take any action necessary.

142 **Councilmember Straughan requested that items 4i, 4p and 4q be pulled from the Consent**
143 **Agenda. Councilmember Raulston requested that item 4d be pulled and Councilmember**
144 **Cotti requested that item 4r be pulled. Councilmember Straughan made a motion to**
145 **approve the remaining items on the Consent Agenda. Councilmember Cotti seconded**
146 **the motion and the motion passed by a vote of 6 ayes and 1 absent [Cecil].**
147

148 **Councilmember Straughan stated that he had pulled items 4i and 4p because he thought**
149 **the legal description was incorrect. Robert LaCroix, Planning Director, discussed the**
150 **discrepancy and the stated that lots 6 and 7 changed. Councilmember Straughan then**
151 **made a motion to approve items 4i and 4p. Councilmember McCallum asked what the life**
152 **expectancy of the covered parking was. LaCroix stated that we may have to look at it in**
153 **4 or 5 years. McCallum requested that Straughan amend his motion to include that all**
154 **covered parking would be maintained in good, aesthetic condition. Straughan agreed to**
155 **amend his motion and McCallum seconded the motion. The motion passed by a vote of**
156 **6 ayes and 1 absent [Cecil].**
157

158 **Councilmember Cotti made a motion to approve item 4d and Councilmember Straughan**
159 **seconded the motion. The motion passed by a vote of 5 ayes, 1 abstain [Raulston] and 1**
160 **absent [Cecil].**
161

162 **Councilmember Straughan stated that he had pulled item 4q because of the parking and**
163 **tree mitigation. We need to reduce the parking and save the pecan trees. Robert LaCroix**
164 **stated that the Planning and Zoning Commission is responsible for the tree plan. After**
165 **lengthy discussion, Councilmember McCallum made a motion to approve the request**
166 **with the following conditions: (1) Lot 2 swell will be redirected to preserve trees until**
167 **development occurs; (2) there will be a Tree Preservation Day; (3) they will re-look at the**
168 **parking lot with the intent to save trees and following the Planning and Zoning**
169 **Commission's recommendations for 36 parking spaces; and (4) the applicant will work**
170 **with Chuck Todd, City Engineer, to avoid flooding. Councilmember Straughan seconded**
171 **the motion and the motion passed by a vote of 6 ayes and 1 absent [Cecil].**
172

173 **With regarding Consent Item 4r, Kristy Ashberry, Emergency Management Coordinator,**
174 **discussed the background of request. Councilmember Cotti made a motion to approve**
175 **the request and Councilmember Raulston seconded the motion. The motion passed by a**
176 **vote of 6 ayes and 1 absent [Cecil].**
177

178 **5. Appointments**

179

180 **Mayor Jones recused himself from the discussion and action, if any, on the following**
181 **matter. Mayor Pro Tem McCallum took control of the meeting.**

- 182 b. Appointment with Todd White regarding Takeline leasing issue and take
183 any action necessary.

184 Todd White stated he was here on behalf of Tony Garner (Lot 70R in the Shores). Mr.
185 Garner's lot was determined to be a non-qualifying property with regard to leasing the
186 Takeline. Mr. Garner wants to be able to go to the Appeals Board and work with his
187 neighbors so he can lease the property. Brag Griggs, Director of Parks & Recreation,
188 stated that the requirements were that the property must be adjacent to the main body of
189 water. Griggs also advised that none of the lines that were drawn crossed over any
190 easements. After discussion, Councilmember Cotti made a motion to authorize the
191 property owners of Lots 4, 5, 6, and Lot 70R, Block C, Turtle Cove Addition, to go to the
192 Appeals Board. Councilmember Raulston seconded the motion and the motion passed
193 by a vote of 5 ayes, 1 abstain [Jones] and 1 absent [Cecil].

- 194
195 c. Appointment with Richard Briesch regarding Takeline leasing issue and
196 take any action necessary.

197 Mr. Briesch of 1490 Coastal requested that he be allowed to lease the Takeline. After
198 discussion it was determined that Mr. Briesch's property does back up to the main body
199 of water. Julie Couch stated that there are 3 lots and that Staff would look at it and draw
200 the lot lines in accordance with the requirements. Councilmember Raulston made a
201 motion to send this to Staff to make sure the three lots in this area follow the
202 requirements set by the Council with regard to the Takeline. Councilmember Straughan
203 seconded the motion and the motion passed by a vote of 5 ayes, 1 abstain [Jones] and 1
204 absent [Cecil].

205
206 Mayor Jones returned and took control of the meeting.

- 207
208 d. Appointment with Sharan Wilson with Charter Cable for update and to
209 discuss current cable customer service issues, cable installation
210 schedule. Take any action necessary.

211 Councilmember Raulston recused himself from the meeting with regard to this issue.
212 Dottie Lane, Ricky Allen and Diane Montgomery of Charter appeared before the Council
213 to give an update on current service and services to be offered in the near future.
214 Councilmember McCallum inquired as to when the franchise came back up for bid and
215 Cheryl Austin stated it was in three years. After discussion and since Charter is not
216 providing the same services in Rockwall as it does elsewhere, the Council stated its
217 desire to review the franchise agreement to determine if there was any action that could
218 be taken due to this lack of service.

219
220 Councilmember Raulston returned to the meeting.

- 221
222 e. Appointment with Dwight Shupe of Hughes & Luce regarding Caruth
223 property land use matters and take any action necessary.

224 Dwight Shupe of Hughes & Luce stated that he is a real estate lawyer and that density,
225 which is the issue between it and the City, is a litmus test. Shupe stated that this is not a
226 forum to discuss settlement issues. He is here to give his word to work with Pete and
227 Terry to resolve the issue and hopes there is an opportunity to resolve this issue.
228 Councilmember King stated this was an issue of utility planning. Julie Couch, City
229 Manager, stated that we would look at both properties and work through our attorneys.

231 Mayor Jones stated that the Council would address Site Plans/Plat item 7b now.

- 232
- 233 b. **SP2004-022** -- Discuss and consider a request from Am Boon Tan of CEI
- 234 Engineering Associates, Inc., for approval of an amended site plan for
- 235 Walmart Supercenter, located on Lot 2, Block A, Walmart Supercenter
- 236 Addition, which is zoned (C) Commercial District and situated along the
- 237 north side of Interstate 30 within the (IH-30 OV) IH-30 Overlay District.
- 238 Take any action necessary.

239 Robert LaCroix discussed the background of the request and stated the issues included

240 truck access, outside storage and parking. Murphy Oil Company desires to add gas

241 pumps at the Walmart on I-30. The current site plans shows additional parking, but the

242 Planning and Zoning Commission has requested that this additional parking not be

243 constructed. The applicant will have to work with Walmart Corporate to delete the area

244 from the site plan. A thinner canopy is being used. It is recommended that more trees

245 be planted to screen along the service road. Councilmember Raulston asked whether or

246 not the parking lot would hold up to the weight of the gasoline delivery trucks. Chuck

247 Todd, City Engineer, advised that they will be replacing all the concrete around the

248 station. The entrance into Walmart will also be reconstructed to enable the trucks to

249 make the turn without pulling into the left lane. After discussion, Councilmember Cotti

250 made a motion to deny the request and Councilmember McCallum seconded the motion.

251 Councilmember King asked if it was without prejudice and Councilmember Cotti

252 amended his motion to provide without prejudice and Councilmember McCallum agreed.

253 The motion passed by a vote of 6 ayes and 1 absent [Cecil]. The Council stated that this

254 matter could be brought back to P&Z an the Council after the applicant has addressed

255 the concerns about the parking area reinforcement, signage, outside display area

256 demarcation and elimination of the additional parking allocation/construction.

257

258 **6. Public Hearing Items**

259

- 260 a. **AM2004-002** -- Hold a public hearing and consider a City-initiated
- 261 amendment to the Comprehensive Land Use Plan (aka "Hometown
- 262 2000"), specifically to adopt a Downtown Plan for the area generally
- 263 bounded by Olive Street to the north, St. Augustine to the east, Storrs to
- 264 the south and Second Street to the west. The adoption of a Downtown
- 265 Plan and Incentives Program is a recommended implementation strategy
- 266 within the Comprehensive Plan to encourage development and improve
- 267 circulation, parking, walkability, infill strategies and land use mix and take
- 268 any action necessary.

269 Robert LaCroix discussed the background of the Downtown Plan. Mayor Jones opened

270 the public hearing and the following persons came forward to address the Council:

271

272 **Dennis Wilson, Consultant**

273 Mr. Wilson gave a power point presentation on the project.

274

275 **Ross Ramsay**

276 Mr. Ramsay stated that he is a member of the citizen's committee and they

277 are all in favor of the plan. Ramsay stated "It is our heartbeat."

278 **Billy Morris**

279 **Mr. Morris asked what this was going to cost. How are we going to pay for**
280 **it? It looks like a great plan, but we need to figure out a way to take care of**
281 **the traffic.**
282

283
284 **There being no one further to address the Council, Mayor Jones closed the public**
285 **hearing.**
286

287 **Councilmember Straughan made a motion to approve the Downtown Plan and Mayor**
288 **Jones seconded the motion. The motion passed by a vote of 6 ayes and 1 absent [Cecil].**
289

290 **Mayor Jones recused himself from discussion and action on the following matters.**
291 **Mayor Pro Tem McCallum took control of the meeting.**
292

- 293 **b. H2004-008 -- Hold a public hearing and consider of an *Ordinance* for a**
294 **city initiated request for expansion of the Historic Overlay District to**
295 **include properties known as parts of Lots 1, 2 and 3, WD Austin Addition.**
296 **The overall proposal is comprised of approximately 2.19-acres and**
297 **includes the properties addressed as 902, 904, 906, 908 and 912 N.**
298 **Goliad Street and take any action necessary. (1st Reading)**

299 **Robert LaCroix discussed the background of the request and stated it was an expansion**
300 **of the Historic Overlay District. Mayor Pro Tem McCallum opened the public hearing but**
301 **no one came forward to address the Council, so the public hearing was closed.**
302 **Councilmember Cotti made a motion to approve the request and Councilmember**
303 **Raulston seconded the request. The ordinance was read as follows:**
304

305 **AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,**
306 **AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, AS**
307 **HERETOFORE AMENDED, BY THE AMENDMENT OF SECTION 6.2 HISTORIC**
308 **OVERLAY DISTRICT TO PROVIDE FOR GENERAL PROVISIONS AND**
309 **REQUIREMENTS FOR THE EXPANSION OF THE HISTORIC OVERLAY DISTRICT ON A**
310 **2.19-ACRE TRACT KNOWN AS PARTS OF LOTS 1, 2, AND 3, W.D. AUSTIN ADDITION;**
311 **INCLUDING PROPERTIES ADDRESSED AS 902, 904, 906, 908 AND 912 N. GOLIAD**
312 **STREET AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A" ATTACHED**
313 **HERETO; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY**
314 **OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR**
315 **EACH OFFENSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A**
316 **REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.**
317

318 **The motion passed by a vote of 5 ayes, 1 abstain [Jones] and 1 absent [Cecil].**
319

- 320 **c. P2004-057 -- Hold a public hearing and consider a request by Harold**
321 **Fetty of Rockwall Surveying for approval of a replat of a part of Lot 2,**
322 **W.D. Austin Addition, being a 0.45-acre tract zoned (PD-50) Planned**
323 **Development No. 50 district and designated for Residential-Office uses,**
324 **located at 908 N. Goliad and take any action necessary.**

325 **Robert LaCroix discussed the background of the request for a replat of 908 N. Goliad and**
326 **stated this is where the Reese Home was moved to. Mayor Pro Tem McCallum opened**
327 **the public hearing and the following persons came forward to address the Council:**
328

Harold Fetty, Applicant

Mr. Fetty stated he did not have anything to add to what LaCroix had discussed.

There being no one further to address the Council, Mayor Pro Tem McCallum closed the public hearing.

Councilmember Raulston made a motion to approve the request and Councilmember Cotti seconded the motion. The motion passed by a vote of 5 ayes, 1 abstain [Jones] and 1 absent [Cecil].

- d. **SP2004-025** -- Discuss and consider a request by Harold Fetty of Rockwall Surveying for approval of a site plan for relocation of the Reese House, located on a part of Lot 2, W.D. Austin Addition, a 0.45-acre tract zoned (PD-50) Planned Development No. 50 district and situated at 908 N. Goliad and take any action necessary. *[Note this is not a public hearing, but is placed here to be heard as a part of the above items.]*

Robert LaCroix discussed the background of the request. Councilmember Raulston made a motion to approve the request and Councilmember King seconded the motion. The motion passed by a vote of 5 ayes, 1 abstain [Jones] and 1 absent [Cecil].

Mayor Jones returned and took control of the meeting.

- e. **Z2004-039** -- Hold a public hearing and consider approval of an **Ordinance** for a City-initiated request to rezone the following nine (9) tracts: Take any action necessary. (1st Reading)

Tract 1: Being Tract 4-2, Abstract No. 24, NM Ballard Survey, being a 5-acre tract located at 1530 I-30, from (Hwy C) Highway Commercial district to (LI) Light Industrial district;

Tract 2: Being Tract 16, Abstract No. 99, A Hanna Survey, a 2.023-acre tract located at 1551 I-30, from (PD-36) Planned Development district to (LI) Light Industrial district;

Tract 3: Being a part of Lot 2, Block A, McKeown-Belaustegui Addition, and being a 6.6068-acre tract located at 1760 I-30, from (Hwy C) Highway Commercial district to (LI) Light Industrial district;

Tract 4: Being Tract 7-1, Abstract No. 134, J Lockhart Survey, a 3.2931-acre tract located south of I-30 and immediately east of 1760 I-30, from (Hwy C) Highway Commercial district to (LI) Light Industrial district;

Tract 5: Being a part of Lot 1, Block C, Rockwall Commercial Park; a part of Lot 1, Block D, Rockwall Commercial Park; and Tract 5, Abstract 134, J Lockhart Survey; a 28.3627-acre tract located at 1805 I-30, from (Hwy C) Highway Commercial district to (LI) Light Industrial district;

- 374 **Tract 6:** Being a part of Lot 1, Block D, Rockwall Commercial Park,
375 a 1-acre tract north of I-30 and southeast of 1805 I-30,
376 from (Ag) Agriculture district to (LI) Light Industrial district;
- 377 **Tract 7:** Being Lot 1, Block 1, Ya-hoo Subdivision, a 3.085-tract
378 located at 1960 I-30, from (PD-34) Planned Development
379 district to (LI) Light Industrial district;
- 380 **Tract 8:** Being Tract 9-9, Abstract No. 134, J Lockhart Survey, a
381 3.335-acre tract located south of I-30 and east of 1960 I-
382 30, from (Hwy C) Highway Commercial district to (LI) Light
383 Industrial district;
- 384 **Tract 9:** Being Lot 1, Block A, Love's Addition, a 6.3778-acre tract
385 located at 1990 I-30, from (Hwy C) Highway Commercial
386 district to (LI) Light Industrial district.

387 **Robert LaCroix discussed the background of the request. Mayor Jones opened the**
388 **public hearing but no one appeared so the public hearing was closed. Councilmember**
389 **Cotti made a motion to approve the request and Councilmember Straughan seconded the**
390 **motion. The ordinance was read as follows:**

391 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
392 AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL SO
393 AS TO CHANGE THE ZONING FROM (HWY C), HIGHWAY COMMERCIAL DISTRICT
394 TO (LI), LIGHT INDUSTRIAL DISTRICT ON APPROXIMATELY 5-ACRES OF LAND,
395 CHANGE THE ZONING FROM (PD-36), PLANNED DEVELOPMENT DISTRICT TO
396 (LI), LIGHT INDUSTRIAL DISTRICT ON APPROXIMATELY 2.023-ACRES OF LAND,
397 CHANGE THE ZONING FROM (HWY C), HIGHWAY COMMERCIAL DISTRICT TO
398 (LI), LIGHT INDUSTRIAL DISTRICT ON APPROXIMATELY 6.6068-ACRES OF LAND,
399 CHANGE THE ZONING FROM (HWY C), HIGHWAY COMMERCIAL DISTRICT TO
400 (LI), LIGHT INDUSTRIAL DISTRICT ON APPROXIMATELY 3.2931-ACRES OF LAND,
401 CHANGE THE ZONING FROM (HWY C), HIGHWAY COMMERCIAL DISTRICT TO
402 (LI), LIGHT INDUSTRIAL DISTRICT ON APPROXIMATELY 28.3627-ACRES OF
403 LAND, CHANGE THE ZONING FROM (AG), AGRICULTURE DISTRICT TO (LI),
404 LIGHT INDUSTRIAL DISTRICT ON APPROXIMATELY 1-ACRE OF LAND, CHANGE
405 THE ZONING FROM (PD-34), PLANNED DEVELOPMENT DISTRICT TO (LI), LIGHT
406 INDUSTRIAL DISTRICT ON APPROXIMATELY 3.085-ACRES OF LAND, CHANGE
407 THE ZONING FROM (HWY C), HIGHWAY COMMERCIAL DISTRICT TO (LI), LIGHT
408 INDUSTRIAL DISTRICT ON APPROXIMATELY 3.335-ACRES OF LAND AND
409 CHANGE THE ZONING FROM (HWY C), HIGHWAY COMMERCIAL DISTRICT TO
410 (LI), LIGHT INDUSTRIAL DISTRICT ON APPROXIMATELY 6.3778-ACRES OF LAND
411 MORE SPECIFICALLY DESCRIBED IN EXHIBIT "A" ATTACHED HERETO;
412 PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO
413 THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE AND EVERY DAY THE
414 OFFENSE CONTINUES SHALL BE DEEMED A SEPARATE OFFENSE; PROVIDING
415 FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE;
416 PROVIDING FOR AN EFFECTIVE DATE.

417
418
419 **The motion passed by a vote of 6 ayes and 1 absent [Cecil].**
420

- 421 f. **Z2004-041 -- Hold a public hearing and consider approval of an**
422 **Ordinance** for a City-initiated request to rezone the following two (2)
423 tracts: Take any action necessary. **(1st Reading)**

424 **Tract 1:** Being the west 50-ft x 100-ft of Lot 4, Block J, Sanger
425 Brothers Addition, located at the northwest corner of Bourn
426 and Davy Crockett, from (Of) Office district to (SF-7)
427 Single-Family Residential district;

428 **Tract 2:** Being Lot A, Block 123, BF Boydston Survey, a 0.494-acre
429 tract located at 404 N. Goliad, from (Of) Office district to
430 (GR) General Retail district.

431
432 **Robert LaCroix discussed the background of the request. Mayor Jones opened the**
433 **public hearing but no one appeared so the public hearing was closed. Councilmember**
434 **Straughan made a motion to approve the request and Councilmember King seconded the**
435 **motion. The ordinance was read as follows:**

436 AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
437 AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL SO
438 AS TO CHANGE THE ZONING FROM (OF), OFFICE DISTRICT TO (SF-7), SINGEL-
439 FAMILY DISTRICT ON APPROXIMATELY 0.115-ACRES OF LAND AND CHANGE
440 THE ZONING FROM (OF), OFFICE DISTRICT TO (GR) GENERAL RETAIL DISTRICT
441 ON APPROXIMATELY 0.494-ACRES OF LAND MORE SPECIFICALLY DESCRIBED
442 IN EXHIBIT "A" ATTACHED HERETO; PROVIDING FOR A PENALTY OF FINE NOT
443 TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH
444 OFFENSE AND EVERY DAY THE OFFENSE CONTINUES SHALL BE DEEMED A
445 SEPARATE OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING
446 FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.
447

448
449 **The motion passed by a vote of 6 ayes and 1 absent [Cecil].**
450

451 **7. Site Plans / Plats**
452

- 453 a. **P2004-047 --** Discuss and consider a request by Capstar Realty for
454 approval of a final plat of Flagstone Estates, being 87 single-family lots on
455 52.375-acres situated along the northeast side of Mims Rd southeast of
456 Ralph Hall Pkwy. The subject tract is zoned (PD-54) Planned
457 Development district. Take any action necessary. *[This item was tabled*
458 *at the November 1, 2004 meeting.]*

459 **Robert LaCroix discussed the background of the request and stated we are still waiting**
460 **on the facilities agreement, which is discussed in Action Item 8b below. Councilmember**
461 **Straughan made a motion to table items 7a and 8b until the next meeting and**
462 **Councilmember Raulston seconded the request. The motion passed by a vote of 6 ayes**
463 **and 1 absent [Cecil].**
464

- 465 c. **P2004-056 --** Discuss and consider a request by Ramsay Ivy Co., L.C.,
466 for approval of a development plan and preliminary plat for Park Place
467 West, being a 55.8-acre, 166-lot development consisting of single family
468 residential, neighborhood service and residential-office uses. The subject
469 tract is zoned (PD-59) Planned Development No. 59 district (Ord. No. 04-
470 59) and situated south of Washington/Aluminum Plant Road, east of
471 Renfro Street, and north of the M. K. & T. Railroad. Take any action
472 necessary.

Robert LaCroix discussed the background of the request and stated that right-of-way dedication would be required with the plat. We will need some creativity for signage in the development. After discussion, Mayor Jones made a motion to approve the request and Councilmember Raulston seconded the motion. The motion passed by a vote of 5 ayes, 1 nay [McCallum] and 1 absent [Cecil].

8. Action Items

- a. Discuss and consider a variance request from Michael Baldwin with TXU Electric Delivery, to allow for the extension of an overhead distribution feeder from the Rockwall East substation on State Highway 276 to State Highway 205, and take any action necessary.

Michael Baldwin with TXU discussed his request for a variance from the underground utilities requirement. After discussion, Councilmember King made a motion to approve the request for the extension of an overhead distribution feeder and the variance from underground utilities requirement and Councilmember Cotti seconded his motion. The motion passed by a vote of 5 ayes, 1 abstain [Raulston] and 1 absent [Cecil].

- b. Discuss and consider approval of a Facilities Agreement for the Flagstone subdivision located at Mims Road and Ralph Hall Parkway, and take any action necessary. *[See minutes above – tabled to next meeting]*.
- c. Discuss the proposed revised Comprehensive Zoning Ordinance with regard to RV parking and storage and take any action necessary.

Robert LaCroix discussed the changes being brought back after the work session. After discussion, Staff was instructed to work on the requirements and bring them back to the Council at the next meeting.

There being no further business to come before the Council in regular session, Mayor Jones adjourned the meeting into Executive Session at 10:53 p.m.

9. HOLD EXECUTIVE SESSION UNDER SECTIONS 551.072, 551.074 AND 551.086 OF TEXAS GOVERNMENT CODE TO DISCUSS:

- a. Deliberation regarding the purchase, exchange, lease, or value of real property.
- b. Personnel Issues, including Board, Commission, and Committee Appointments, and Related Matters.
- c. Commercial or financial information regarding business prospects that the City seeks to have locate, stay, or expand in or near the territory of the City of Rockwall and with which the Board is conducting economic development negotiations.
- d. Consultation with attorney pursuant to §551.071(1) to discuss pending or contemplated litigation relating to annexation.
- e. Pursuant to Section 551.071(2) of the Open Meetings Act: Consultation with attorney with regard to a matter that it is the duty of the attorney to consult with the Council and falls under the attorney-client privilege.

519 10. TAKE ANY ACTION AS RESULT OF EXECUTIVE SESSION

520 No action was taken as a result of Executive Session.

521
522
523 There being no further business to come before the Council, Mayor Jones adjourned the
524 meeting at 12:15 a.m.

525
526 Approved by the City Council of the City of Rockwall, Texas, this _____ day of
527 _____, 2004.

528
529
530 _____
531 Ken Jones, Mayor

532 ATTEST:

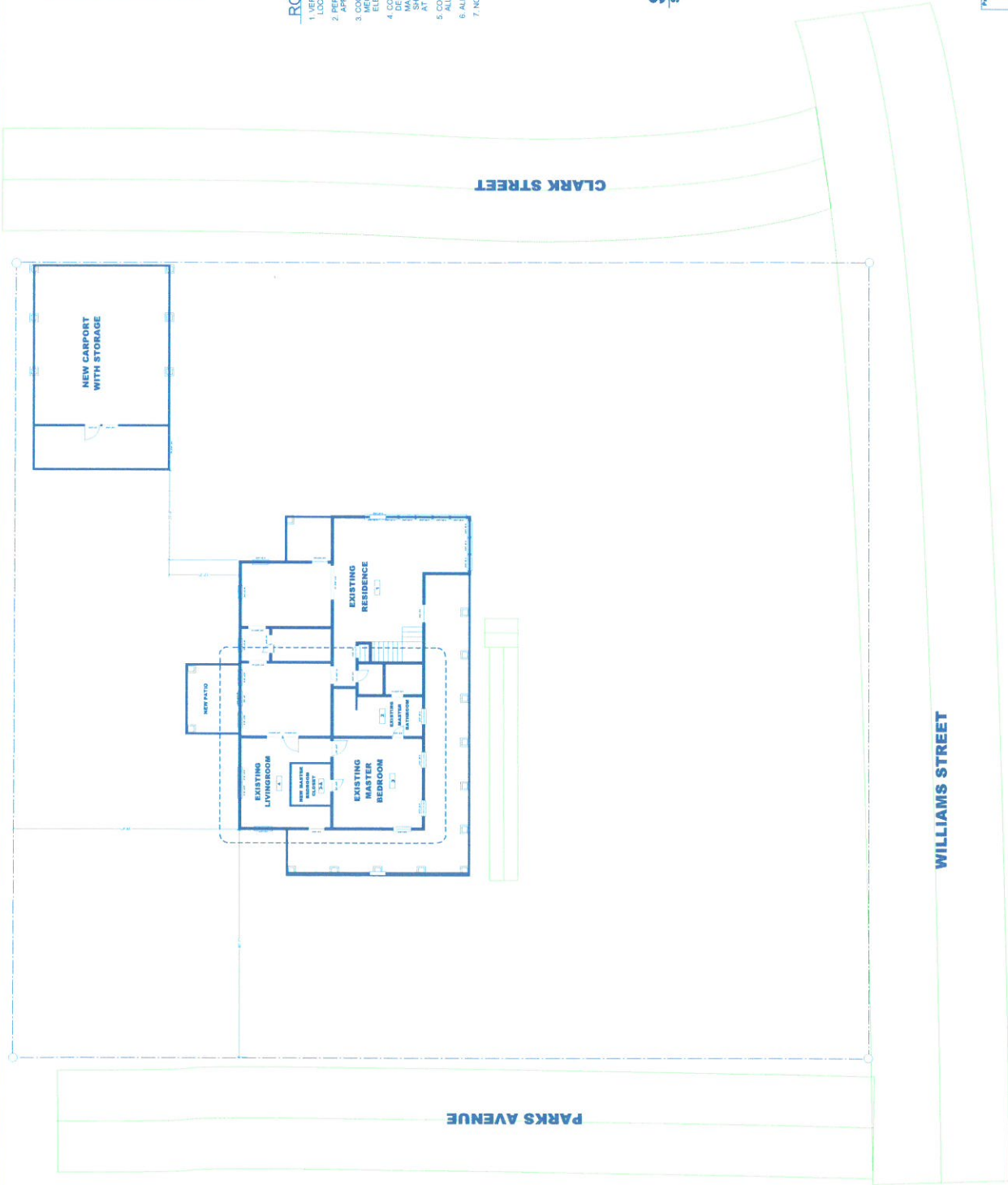
533 _____
534 Dorothy Brooks, City Secretary
535
536

LIST OF DRAWINGS

- 1.0 SITE PLAN, AREA TABULATIONS, ROOF PLAN
- 2.0 FLOOR PLAN
- 2.1 ENLARGED FLOOR PLAN
- 3.0 ENLARGED FOUNDATION PLAN
- 4.0 ENLARGED ELECTRICAL PLAN
- 5.0 ENLARGED PLUMBING PLAN
- 6.0 ENLARGED HVAC PLAN
- 7.0 ELEVATIONS

ROOFING NOTES

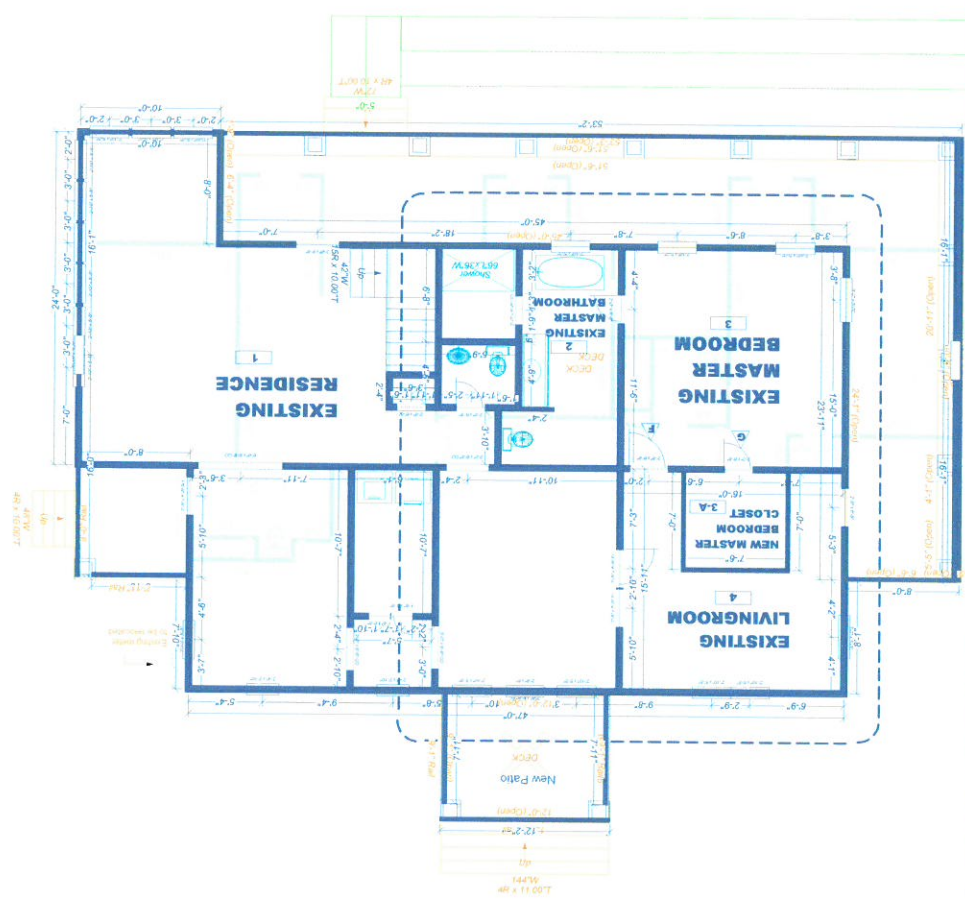
- 1. VERIFY ALL CONDITIONS, DIMENSIONS AND LOCATIONS.
- 2. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
- 3. COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, CIVIL, LANDSCAPE AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
- 4. CONTRACTOR TO PROVIDE ALL NECESSARY DECKING, UNDERLAYMENT AND FLASHING AS PER MANUFACTURE RECOMMENDATIONS AND NEW COMPOSITION SHINGLES TO BE INSTALLED AS SPECIFIED BY THE OWNER / GC.
- 5. CONTRACTOR TO LOCATE AND VERIFY WITH OWNER / GC ALL DOWNSPOUT AND GUTTER LOCATIONS.
- 6. ALL ROOFING SURFACES MATERIAL SHALL MATCH EXISTING.
- 7. NO PLUMBING VENTS SHALL BE LOCATED ON FRONT ROOF SLOPES.



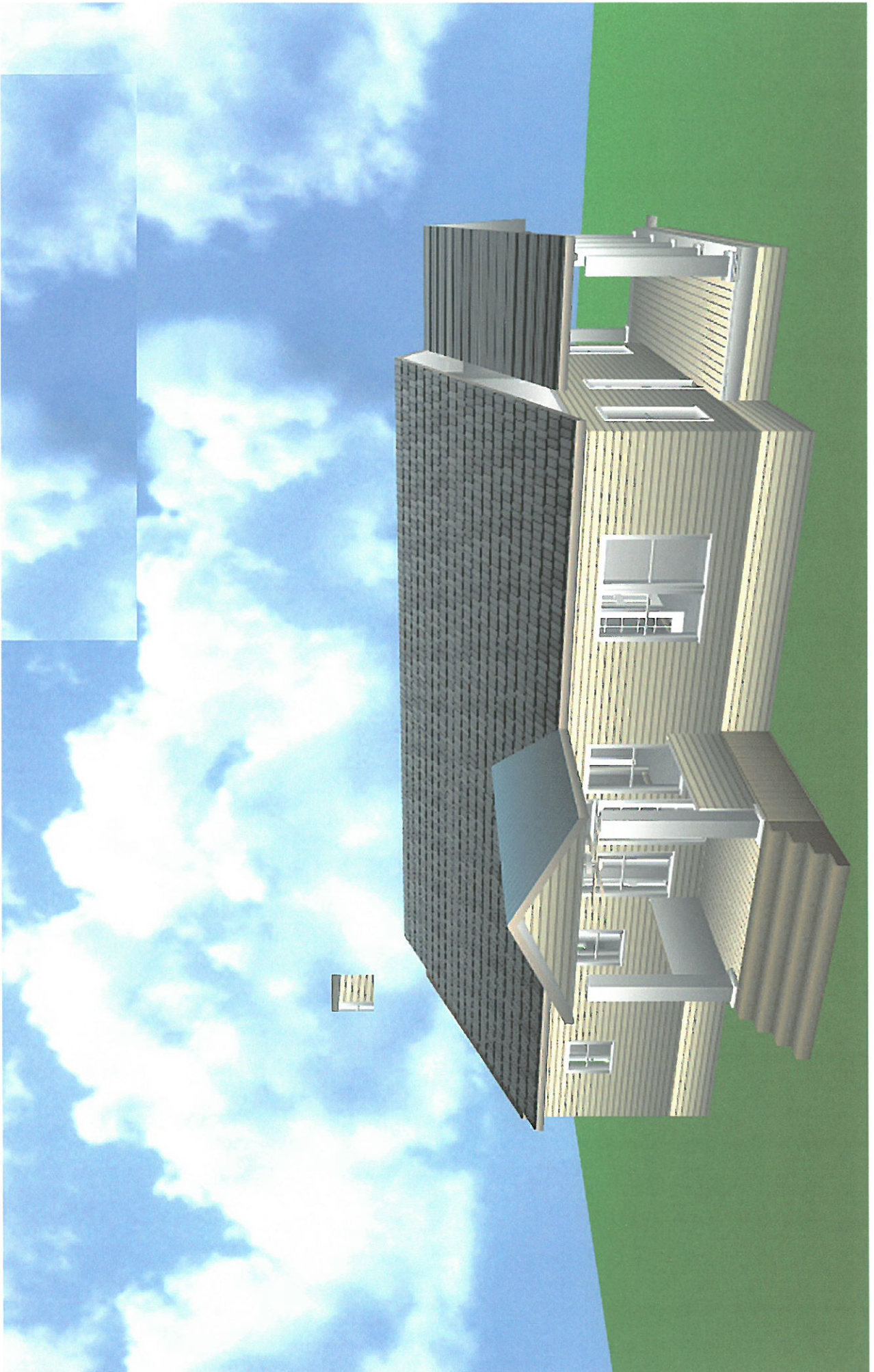
Project:	Potts Residence	Sheet:	1.0
Owner:	Active Construction / Capital	Scale:	1/8" = 1'-0"
Architect:	Brakely, Dean, LLC	Author:	Brakely, Dean, LLC
Date:	09 / 20 / 04	Revised By:	Brakely, Dean, LLC

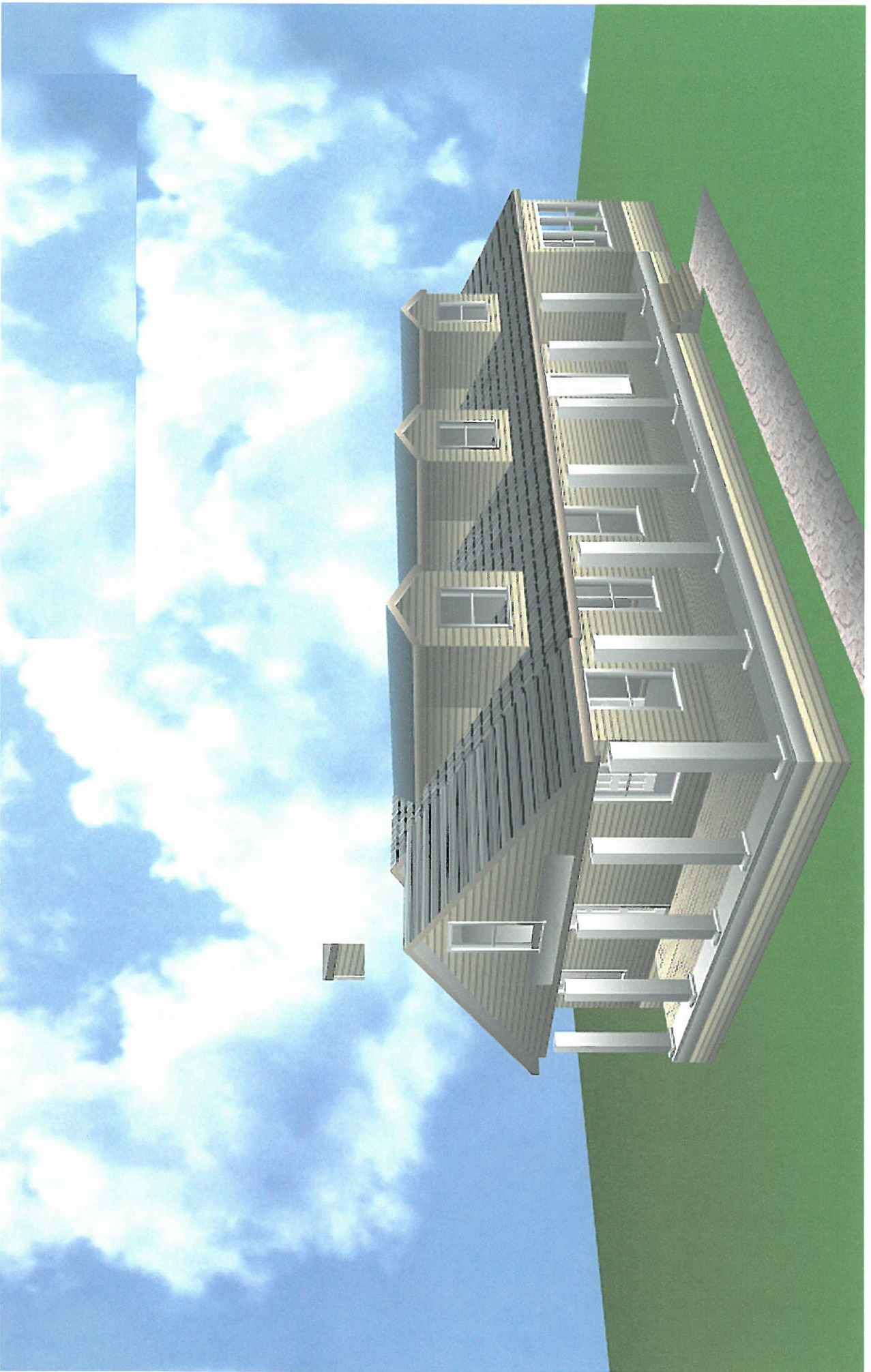
NO.	ROOM	FLOOR	NAME	AREA	WALLS	CEILING	HEIGHT	ROOM SIZE	REMARKS
1	EXISTING 3RD FLOOR			1	1	1	9'-0"		Existing
2	MASTER BEDROOM			9	9	9	9'-0"	7'-6" x 7'-0"	Existing
3	BATH			9	9	9	9'-0"		Existing
4	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
5	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
6	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
7	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
8	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
9	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
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11	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
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72	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
73	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
74	EXISTING LIVING AREA			9	9	9	9'-0"		Existing
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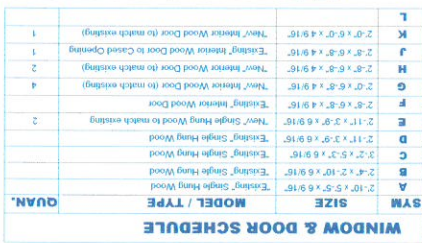
SYMBOL		SIZE	MODEL / TYPE	QUAN.
A		2'-0" x 5'-0" x 6'-9 1/8"	"Easting" Single Hung Wood	17
B		2'-4" x 2'-0" x 6'-9 1/8"	"Easting" Single Hung Wood	2
C		3'-2" x 5'-3" x 6'-9 1/8"	"Easting" Single Hung Wood	2
D				
E		2'-0" x 5'-0" x 4'-9 1/8"	"Easting" Interior Wood Door	1
F		2'-0" x 5'-0" x 4'-9 1/8"	"Easting" Interior Wood Door	1
G		2'-0" x 5'-0" x 4'-9 1/8"	"Easting" Interior Wood Door (to match existing)	



- [illegible]





[illegible]

WALLS

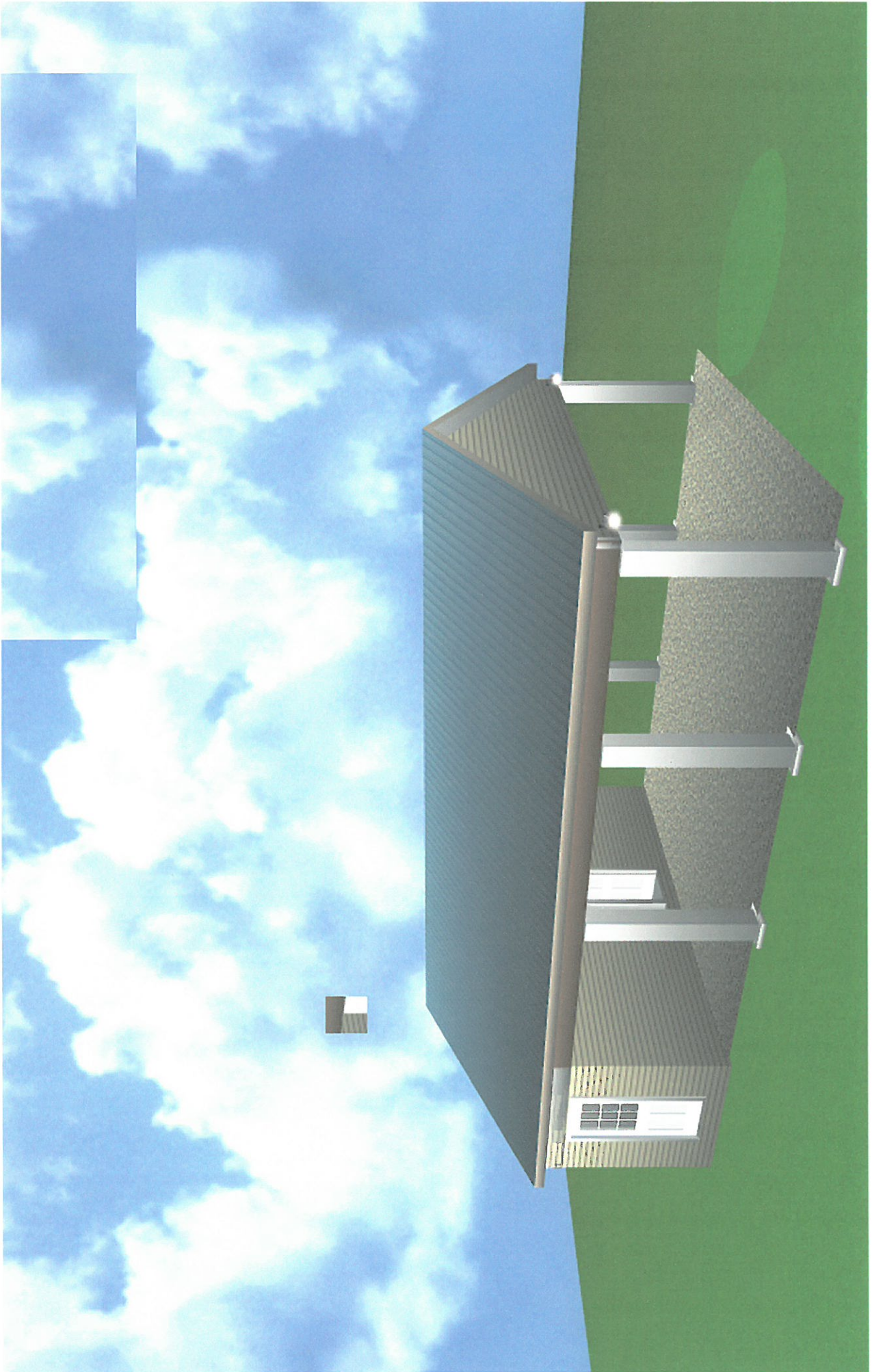
1. GYPSUM BOARD PAINT
2. WATER RESISTANT GYPSUM BOARD PAINT
3. GEMENT (TILE) BACKER BOARD
4. EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILING

1. GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
2. 2" X 2" SUSP. ACUSTIC TILE (NON-PAINT)
3. EXPOSED ROOF STRUCTURE - PAINT

1. GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
2. 2" X 2" SUSP. ACOUSTIC TILE (NON-RATED)
3. EXPOSED ROOF STRUCTURE - PAINT

**SHEET
NUMBER** 2.3



- EXHIBIT (2) -

H2004-007

OLD ROCKWALL HISTORIC DISTRICT - Certificate of Appropriateness - Application

Please complete the following table. In addition, it is requested that photographs of the property be submitted. Please submit a sufficient number of photographs of the property to adequately represent the character of the subject property. If additional space is needed, please continue on additional sheets.

Address of Property: <u>601 Williams St.</u>			
Street Address <u>Rockwall</u>	State <u>Texas</u>	Zip Code <u>75087</u>	County <u>Rockwall</u>
Name of Property, If Applicable: _____			
Has the building been moved? No <u>X</u> Yes _____ If yes, when was the property moved? (mm/dd/yr -if known, otherwise, the year moved is sufficient)			
Name of Historic District: <u>Rockwall Historic District</u>			
_____ National Register District <u>X</u> Certified State or Local District _____ Proposed Historic District			
If listed individually in the National Register of Historic Places, Please give date of listing _____ (mm/dd/yy)			
Owner: <u>Jason & Anna Potts</u>		Street Address: <u>601 Williams St.</u>	
City <u>Rockwall</u>	State <u>Texas</u>	Zip Code <u>75087</u>	County <u>Rockwall</u>
Telephone Number (preferably daytime) <u>214-662-8803</u>			
Authorized Contact: (if different from Owner) _____		Street Address: _____	
City _____	State _____	Zip Code _____	County _____
Telephone Number (preferably daytime) _____			
Description of Property Construction, Renovation and Repair (attach photographs, plans, elevations, etc.): <u>1. Install 2 Dormers to match existing Dormer.</u> <u>2. Back porch renovation</u> <u>3. Side porch repair.</u> <u>4. New Construction of car port</u>			
Owner's Signature <u>Jason A. Potts</u> <u>9/15/04</u>		City of Rockwall Use Only:	Project Number

REHABILITATION, RESTORATION AND NEW CONSTRUCTION

Prepared by the
Old Rockwall Historic District Planning Committee

972-771-7700

972-771-7748

September 16, 2004
9:20 a.m.

Edward Jones

Jason A. Potts
(972) 412-9757

FAX DIRECTORIES
Fax Cover Sheet: (Public Use)

Fax Cover Sheet - (public use)

DATE: 9/16/04

DELIVER TO: CHRIS in Planning & Zoning

FAX NUMBER: (972) 771-7748 PHONE NUMBER: (972) 771-7700

FROM: Jason Potts

FAX NUMBER: (972) 463-5472 PHONE NUMBER: (214) 662-8803

NUMBER OF PAGES: (including cover sheet) 3

Check those that apply:

- ☐ For your information.
- ☒ Here are the documents we discussed.
- ☐ Please sign and return to our office.
- ☐ Please call me about the attached documents.
- ☐ Here is some information relating to your investment. Please review.
- ☐ As you requested.
- ☐ Diversification issue. Call me.
- ☐ We should discuss this.
- ☐ Enclosed is important account information. Please check it for accuracy, complete if required, sign where indicated and return.

Please call our office with any questions.

The information contained in this facsimile message is intended only for the use of the individual or entity to which it is addressed and may contain information that is legally privileged and/or confidential. If the reader of this message is not the intended recipient or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone. Thank You.

(Revision 8/10/04 8:55 Access 510236)

COMPLIANCE DEPARTMENT KM PRINCIPAL.

Approved for public use.

K & K Contractors

TRUE QUALITY CUSTOM CONSTRUCTION WITH INTEGRITY



September 15, 2004

Mr. & Mrs. Jason Potts
601 Williams Street
Rockwall, Texas 75083

RE: Front (Side) Porch Repair
601 Williams Street

Mr. & Mrs. Potts,

Upon our inspection of the premises this past Tuesday, September 14, 2004, you will find our recommendation for the necessary repairs to secure and re-support the exterior header on the south side of the primary porch. Please note that this would be considered repair and / or maintenance work to any historical committee, considering the elevation and esthetics of the exterior will not change. Therefore, in my experience, this should not require any approval prior to performing the following repairs. However, if an approval is required I will provide the committee any and all documentation requested by the committee for their review and approval.

Our recommendation is to remove the existing skirt area, temporarily shore (support) each column (5 total) on the side porch, pour a 12" to 16" diameter X 16" depth pier, install an Adjustable Steel Jack Post at each existing column, frame around each post with 1" X's to match existing, and reinstall skirt. This recommendation is listed within our detailed estimate and contract documents.

Again, I would like to thank you for your assistance in this matter. It has been our pleasure working with you thus far, and look forward to performing this project.

Thank You,

William (Marty) M. Knight
K & K Contractors

P.O. Box 112724
Caddo Park, Texas 75011-2724
972-242-2240
972-242-5149 Fax
k&kcontractors@aol.com

September 15, 2004

Page 1 of 1

H2004-007

PUBLISHER'S AFFIDAVIT

THE STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared Michael Gresham, who being by me duly sworn deposes and says that he is the Publisher of *Rockwall County News* and that said newspaper meets the requirements of Section 2051.044 of the Texas Government Code, to wit:

1. It devotes not less than twenty-five percent (25%) of its total column lineage to general interest items;
2. it is published at least once each week;
3. it is entered as second-class postal matter in the county where it is published;
4. it has been published regularly and continuously since 1985; and
5. It is generally circulated within Rockwall County.

Clipping (s)

Publisher further deposes and says that the attached notice was published in said newspaper on the following date(s) to wit:

October 6th A.D. 2004
Michael Gresham
Editor and Publisher

SUBSCRIBED AND SWORN BEFORE ME

by Michael Gresham, who

- ☒ a) is personally known to me, or
☐ b) provided the following evidence to establish his/her identity.

on the 11th day of October, A.D. 2004,
to certify which witness my hand and seal of office.

Patricia A. Shaw

Notary Public, State of Texas



Public Notice

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on Thursday, 10/21/2001 at 6:30 p.m. in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following items:

H2004-007: Foree Addition (601 Williams)

Hold a public hearing and consider a request for a Certificate of Appropriateness (CofA) from Jason & Ann Potts for the restoration of the structure and addition of a 32'x24' accessory building (carport) located in the side yard of 601 Williams Street (Lots 1, 2, 3, 4, Block B, Foree). The tract is zoned (SF-7) Single Family district and identified as a "High Contributing Property".

H2004-008: Austin Addition (902, 904, 908, & 912 Goliad St.)

Hold a public hearing and consider a city initiated request for expansion of the Historic Overlay District for properties known as parts of Lots 1, 2, and 3, WD Austin Addition. The overall proposal is comprised of approximately 2.19 acres and includes the properties addressed as 902, 904, 906, 908 and 912 N. Goliad Street.

All interested property owners are invited to attend.

PUBLISHER'S AFFIDAVIT


THE STATE OF TEXAS COUNTY OF ROCKWALL

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Clipping (s)

Publisher further deposes and says that the attached notice was published in said newspaper on the following date(s) to wit:

October 6th A.D. 2001


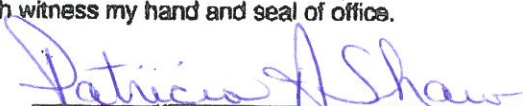
Michael Gresham
Editor and Publisher

SUBSCRIBED AND SWORN BEFORE ME

by Michael Gresham, who

- ☒ a) is personally known to me, or
☐ b) provided the following evidence to establish his/her identity, _____

on the 11th day of October, A.D. 2001
to certify which witness my hand and seal of office.



Notary Public, State of Texas



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All interested property owners are invited to attend.

Advertising Receipt

Rockwall County News

316 S Goliad, Ste 107
PO BOX 819
Rockwall, TX 75087
Phone: 972-722-3099
Fax: 972-722-3096

ROCKWALL, CITY OF- LEGALS
ATTN: DOROTHY BROOKS
385 SOUTH GOLIAD
ROCKWALL, TX 75087

Cust#: 01100978-000
Ad#: 17520409
Phone: (972)771-7700
Date: 10/01/04

Ad taker: 15 **Salesperson:** 6 **Classification:** 001

Description	Start	Stop	Ins.	Cost/Day	Surcharges	Total
09 ROCKWALL COUNTY NEWS	10/06/04	10/06/04	1	42.00		42.00

Payment Reference:

380459-Spencer-Public Notice- The city of Rockwall Historic Preservation Advisory Board will hold a public hearing on Thursday, 10/21/2001 at 6:30pm in the Council Chambers at Rockwall City Hall.H2004-007 - H2004-008

Total: 42.00
Tax: 0.00
Net: 42.00
Prepaid: 0.00

Total Due	42.00
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Attn: Chris Spencer - Planner

SMITH GLEN A
602 WILLIAMS ST
ROCKWALL, TX 75087

WENTZEL SCOTT W & JANSY
306 N CLARK ST
ROCKWALL, TX 75087

Jason & Ann Potts
601 WILLIAMS
ROCKWALL, TX 75087

EDWARDS ARCH
BOX 253
ROCKWALL, TX 75087

510 WILLIAMS ST

RIDDELL CONNIE L
509 WILLIAMS STREET
ROCKWALL, TX 75087

509 WILLIAMS ST

CC SUBDIVISION LLC
DBA DOUBLE C DEVELOPMENT
504 WILLIAMS
ROCKWALL, TX 75087

507 WILLIAMS ST

MIFFLIN LLOYD & SUSAN
505 WILLIAMS ST
ROCKWALL, TX 75087

BARKER TROY H
216 E CHURCH ST
ROYSE CITY, TX 75189

505 PARKS AVE

IRVIN F V
19 AUSTIN CORNER ST
ROCKWALL, TX 75087

507 PARKS AVE

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

509 PARKS AVE

DOROTIK ANNA MARIE
CHRISTOPHER DEE RUBARTS
510 PARKS AVE
ROCKWALL, TX 75087

510 PARKS AVE

FREEMAN WILLIAM B JR
508 PARKS AVENUE
ROCKWALL, TX 75087

MOORE JAMES S & KIMBERLY N
506 PARKS AVE
ROCKWALL, TX 75087

506 PARKS AVE

SUMBLIN ROYDEN MARIE
501 AUSTIN ST
ROCKWALL, TX 75087

501 AUSTIN ST

HARRIS RICHARD D & JUDY
210 GLENN AVE
ROCKWALL, TX 75087

504 AUSTIN ST

HUNTER ALVIN M
506 AUSTIN ST
ROCKWALL, TX 75087

506 AUSTIN ST

WILES KENNETH C & TRINA D
122 CLIPPER CT
ROCKWALL, TX 75032

501 NASH ST

KITCHENS ROBERT
503 NASH STREET
ROCKWALL, TX 75087

503 NASH ST

DAVIS JUDY
505 NASH
ROCKWALL, TX 75087

505 NASH ST

BOUNDS JANE
507 NASH ST
ROCKWALL, TX 75087

507 NASH ST

DORMAN ROBET D
704 WILLIAMS ST
ROCKWALL, TX 75087

704 WILLIAMS ST

DAVIS JEANNE
706 WILLIAMS ST
ROCKWALL, TX 75087

706 WILLIAMS ST



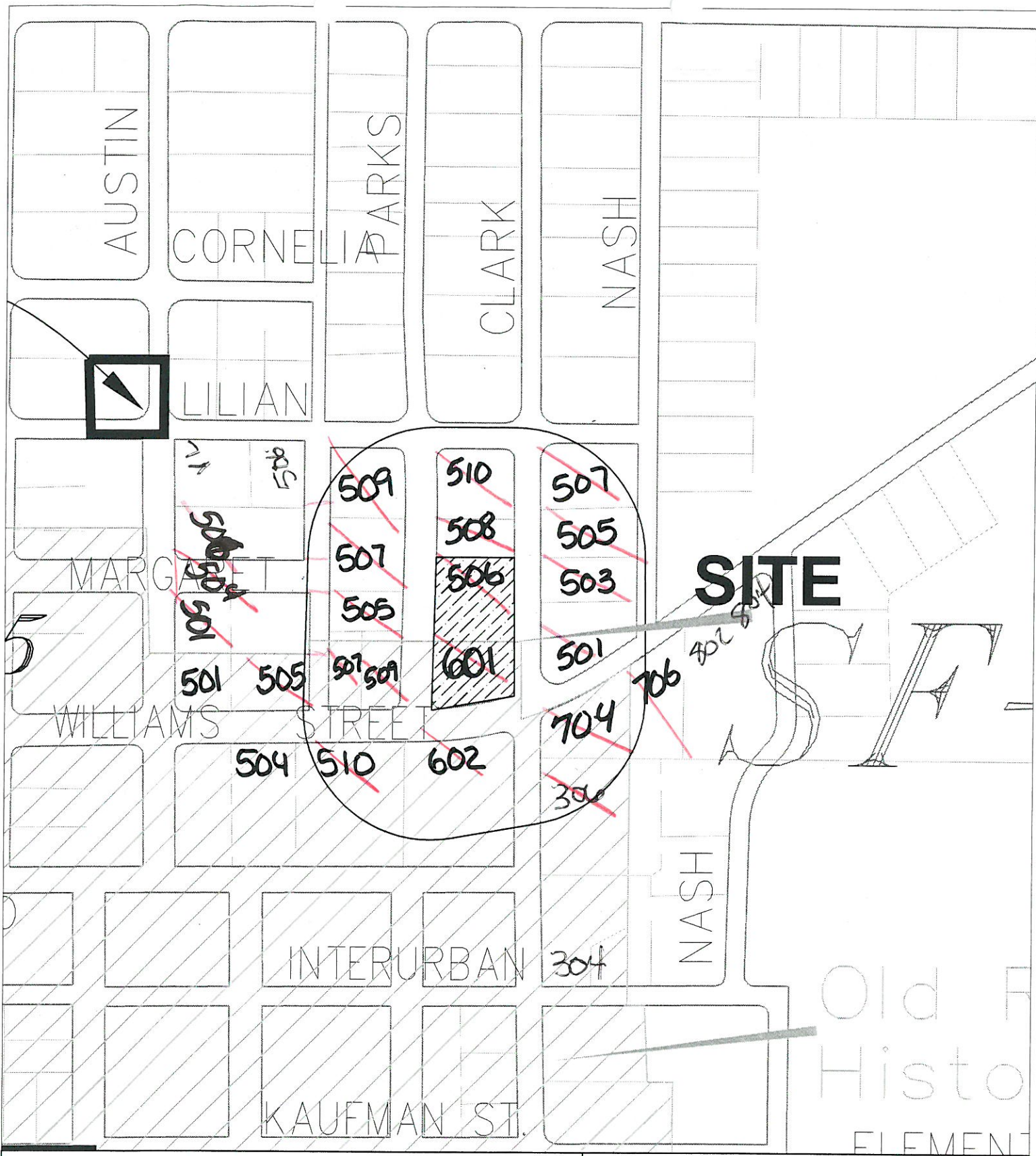
H2004-007



H2004-007



H2004-007



H2004-007

601 Williams



1" = 200'



CITY OF ROCKWALL

at Rockwall CityPlace

Public Notice

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on **Thursday, 10/21/2004 at 6:30 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

H2004-007: 601 Williams Street (Jason Potts)

Hold a public hearing and consider a request for a Certificate of Appropriateness (CofA) from Jason & Ann Potts for the restoration of the structure and the addition of a 32'x24' accessory building (carport) located in the side yard of 601 Williams Street St (Lots 1,2,3, 4, Block B, Foree). The tract is zoned (SF-7) Single Family district and identified as a "High Contributing Property".

As an interested property owner, you are invited to attend these meetings and/or express your thoughts in writing by returning the form below. To ensure your comments are included in the information sent to the HPAB, please return the completed form below by 10/13/2004 to:

Chris Spencer
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

(please return portion of form below the dotted line)

Case number: H2004-007

Please place a check mark on the appropriate line below:

_____ I am in favor of the request for the reasons listed below 22

_____ I am opposed to the request for the reasons listed below

Your Name: _____

Rockwall Property Address: _____

- Please see Location Map of Subject Property on the back of this notice -





AD PROOF

PLEASE REVIEW CAREFULLY!

Att: Spencer

PLEASE FAX BACK OR SIGN
TO CONFIRM.

THANK YOU

Public Notice

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on Thursday, 10/21/2001 at 6:30 p.m. in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following items:

H2004-007: Foree Addition (601 Williams)

Hold a public hearing and consider a request for a Certificate of Appropriateness (CoA) from Jason & Ann Potts for the restoration of the structure and addition of a 32'x24' accessory building (carport) located in the side yard of 601 Williams Street (Lots 1, 2, 3, 4, Block B, Foree). The tract is zoned (SF-7) Single Family district and identified as a "High Contributing Property".

H2004-008: Austin Addition (902, 904, 906, & 912 Goliad St.)

Hold a public hearing and consider a city initiated request for expansion of the Historic Overlay District for properties known as parts of Lots 1, 2, and 3, WD Austin Addition. The overall proposal is comprised of approximately 2.19 acres and includes the properties addressed as 902, 904, 906, 908 and 912 N. Goliad Street.

All interested property owners are invited to attend.

380459 3x3.5 10/6

PO#: _____ Run Dates: 10/6 Total Cost: _____

We accept Visa Mastercard, American Express for your convenience.

Account #: _____ Expiration Date: _____

Name of Card Holder: _____

Thank you for advertising in the **Rockwall County News**. This proof is an opportunity to review your ad prior to printing. Please correct any errors in the text or the graphics you find. Please sign & fax changes back to **972-722-3096**.

OK To PUBLISH [Signature] DATE: 10/1/04

OK W/ CORRECTIONS _____ DATE: _____

972-771-7748

K & K Contractors
1028 Elm Street
Carrollton, Texas 75006

confidential
fax

To: Chris Spencer / City of Rockwall
Fax Number: +1 (972) 771-7748

From: Marty Knight
Fax Number: 972) 242-5149
Business Phone: 972) 242-2240
Home Phone:

Pages: 1
Date/Time: 10/20/2004 11:56:48 AM
Subject: RE: 601 Williams Street (Potts Residence)

Mr. Spencer,

Following you will find our letter of withdraw on the carport, along with a revised window schedule on the second floor addition. This change was created after my discussion with Mr. Cherry pertaining to the need of 5.9 square feet of free space for fire code.

Thank You,
Marty Knight
K & K Contractors

K & K Contractors

TRUE QUALITY CUSTOM CONSTRUCTION WITH INTEGRITY



October 19, 2004

City of Rockwall
385 S. Goliad
Rockwall, Texas 75087

Attn.: Chris Spencer
City Planner

RE: Carport Construction
601 Williams Street

Mr. Spencer,

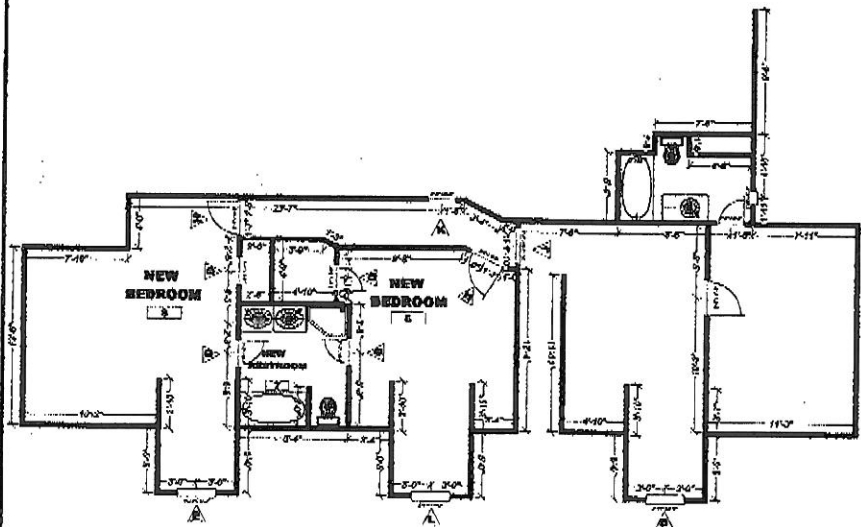
Upon notifying Mr. Potts of our discussion along with Mr. Sherer's verification today, we have decided to withdraw the request for review of the carport structure at Thursday night's hearing. Although we are making this withdraw, I would request that you allow us to add this review to the upcoming November docket. This will allow us to move forward on the attic conversion and back porch addition (upon approval Thursday night), and plea our case to the Board of Adjustments Variance on the carport before the November hearing.

Also, please see the following revised upstairs floor plan. This will show a window schedule change on the middle dormer to accommodate the minimum of 5.9 square foot for a fire escape.

Again, I would like to thank you for your assistance in this matter. It has been our pleasure working with you thus far.

Thank You,

William (Marty) M. Knight
K & K Contractors

[illegible]

ROOM FINISH SCHEDULE							ROOM SIZE	ACCOMP. SURF.	
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	SEATING			
1	RECEPTION 3rd Floor	0	2	4	1	1	6'-0" x 6'-0"	See Parting	Varying heights
2	RECEPTION 2nd Floor	0	2	4	1	1	6'-0" x 6'-0"	See Parting	Varying heights
3	ADMIN/RECEPTION	0	2	4	1	1	6'-0" x 6'-0"	See Parting	Varying heights
4	ADMIN/RECEPTION	0	2	4	1	1	6'-0" x 6'-0"	See Parting	Varying heights

FLOOR	WALL
1. ENTRY MAT	1. DRYWALL (BOARD) PART
2. CARPET 'A'	2. WATER RESISTANT BOARD OR BOARD PART
3. CARPET 'B'	3. CEILING (TILE) DACKER BOARD
4. BRICK VINYL	4. EXPOSED CONCRETE (BLOCK) IN BRICK
5. CORKING TILE (COLOR OPT)	
6. GUNDED CERAMIC	
7. CONCRETE	
8. BRICK VINYL	
9. WOOD	
	CERILING

1. 2 1/2" SQUARE AGENT TUBE (HARD CONCRETE)
2. 4" Pine (Palm Drilling) BASE

SYB	SIZE	MODEL / TYPE	QUAN
A	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
B	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
C	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
D	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
E	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
F	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
G	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
H	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
I	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
J	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
K	24"x 24"x 8" 90°	Island / Single Heavy Wood	1
L	24"x 24"x 8" 90°	Island / Single Heavy Wood	1

Project Potts Residence (Attic Conversion / Garport) 601 Williams Street Rockwall, Texas 75087	
DATE: Revised 10 / 20 / 04	Designed By: W.

**New 2nd
Floor Plan**
Scale: 1/4" = 1'-0"

**SHEET
NUMBER**

2.3

CITY OF ROCKWALL

Historic Preservation Advisory Board Memo

AGENDA DATE: 10/21/2004

APPLICANT: Jason Potts

AGENDA ITEM: H2004-007; 601 Williams Street (Jason Potts)

Hold a public hearing and consider a request for a Certificate of Appropriateness (CofA) from Jason & Ann Potts for the restoration of the structure and the addition of a 32'x24' accessory building (carport) located in the side yard of 601 Williams Street St (Lots 1,2,3, 4, Block B, Foree). The tract is zoned (SF-7) Single Family district and identified as a "High Contributing Property".

BACKGROUND INFORMATION:

The applicant, Jason Potts, has made a request for a Certificate of Appropriateness (CofA) for the restoration of the structure located at 601 Williams. This property lies within the Old Town Rockwall Historic District and is identified as a "High Contributing Property". The applicant has started a remodeling project of this historic house which has included the repair of the porch located along Parks Avenue. The applicant has proposed to install two (2) additional dormers, a new back porch and a new carport. Currently the house has one (1) existing dormer located on the east side of the house, the two (2) proposed dormers are to be consistent and evenly spaced with the existing dormer. In addition, the applicant has proposed to construct a new (32'X 24') carport along Clark Street. The proposed carport must have a minimum 15' side yard setback from Clark Street, be 20' behind the front facade, be architecturally integrated with the primary residential structure and must be separated a minimum distance of 10' from the house. The parking standards for Single Family require that any driveway must be a minimum of 20' in length when measured from the property line. The Historic District Guidelines Section III, Building Standards state the following:

C. Building Facades and Materials

4. Exterior building columns should be of a style and materials typical of the period and style of the building.
6. Materials, structural and decorative elements and the manner in which they are used, applied or joined together should be typical of the style and period of the existing structure. New additions, alterations and new construction should be visually compatible with neighboring historic buildings or structures.

7. The overall relationship of the size, width, height and number of doors and windows on the exterior building facades should be typical of the style and period of the structure. These elements should be proportionally balanced, sized and located in a manner typical of the style and period of the structure and compatible with neighboring historic buildings or structures.

Twenty-two (22) notices were sent out to the surrounding property owners within 200' of the subject tract, and at the time of this report, no responses had been returned. (4)

RECOMMENDATIONS:

IN FAVOR

Staff Recommends approval of the request with the following conditions:

1. That the proposed carport matches the exterior material of the existing home and does not exceed a height of 15'.
2. The applicant to indicate the location of the driveway and the type of material the drive will be constructed of.
3. The proposed carport is to be setback a minimum of 15' from Clark and have a minimum 10' separation from the existing house as required by the Comprehensive Zoning Ordinance.
4. A minimum driveway length of 20' is required.
5. The proposed dormers are required to match the existing dormer and are to be evenly spaced.
6. The back porch is to be consistent in materials, colors, and height with the existing porch located along the front and side of the house.
7. The proposed carport to be architecturally integrated with the primary residential structure.

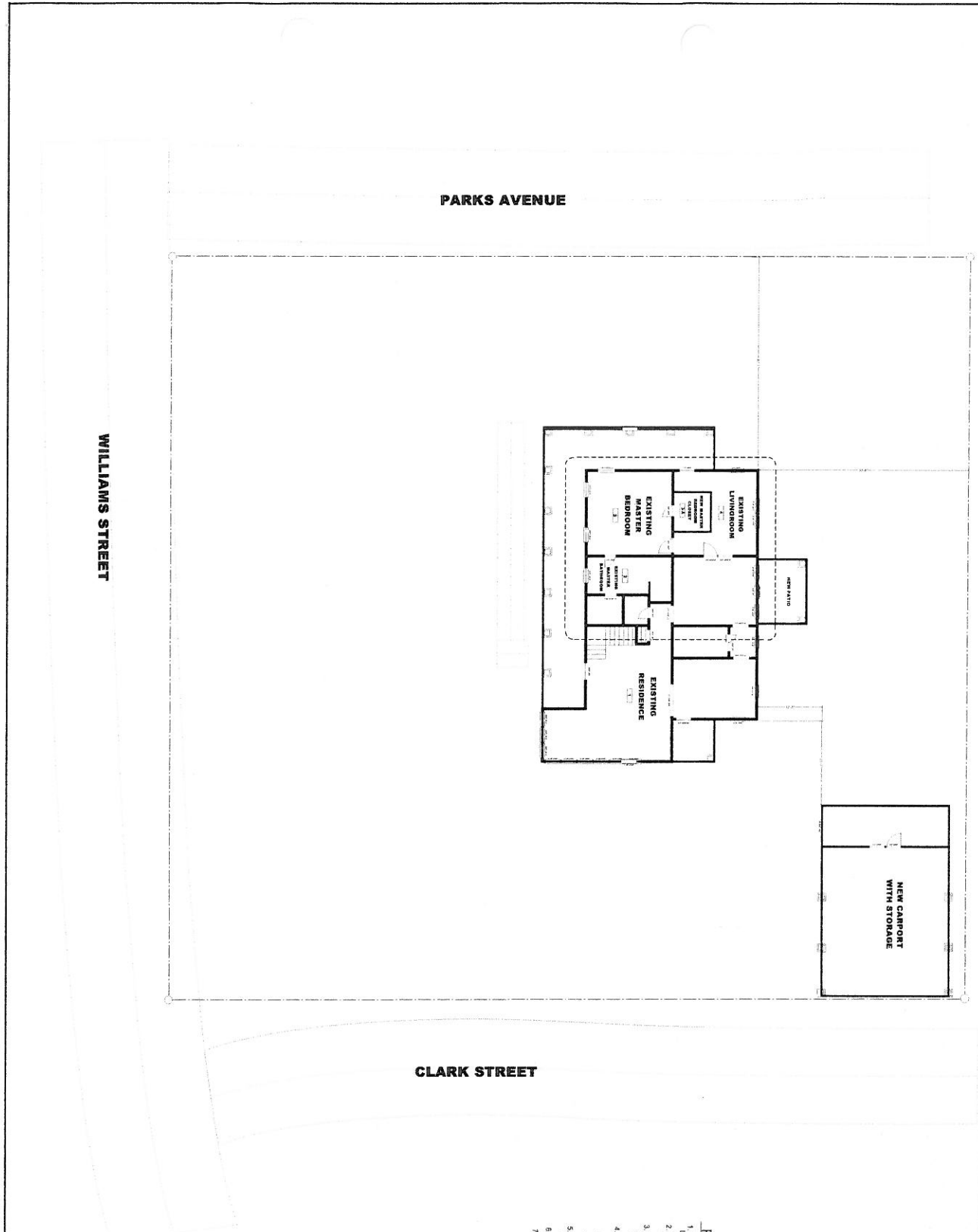


SITE

H2004-007
601 Williams



1" = 200'



LIST OF DRAWINGS	
1.0	SITE PLAN, AREA TABULATIONS, ROOF PLAN
2.0	FLOOR PLAN
2.1	ENLARGED FLOOR PLAN
3.0	ENLARGED FOUNDATION PLAN
4.0	ENLARGED ELECTRICAL PLAN
5.0	ENLARGED PLUMBING PLAN
6.0	ENLARGED HVAC PLAN
7.0	ELEVATIONS

ROOFING NOTES

1. VERIFY ALL CONDITIONS, DIMENSIONS AND LOCATIONS.
2. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
3. COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, CIVIL, LANDSCAPE, AND ELECTRICAL CONTRACTORS AND LOCATIONS.
4. CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY MANUFACTURE RECOMMENDATIONS AND NEW COMPRESSION AT ALL NEW ROOFING AREAS.
5. CONTRACTOR TO LOCATE AND VERIFY WITH OWNER / GC ALL DOWNSPOUT AND GUTTER LOCATIONS.
6. ALL ROOFING SURFACES MATERIAL SHALL MATCH EXISTING.
7. NO PLUMBING VENTS SHALL BE LOCATED ON FRONT ROOF SLOPES.

SITE PLAN
SCALE: 1/8" = 1'-0"

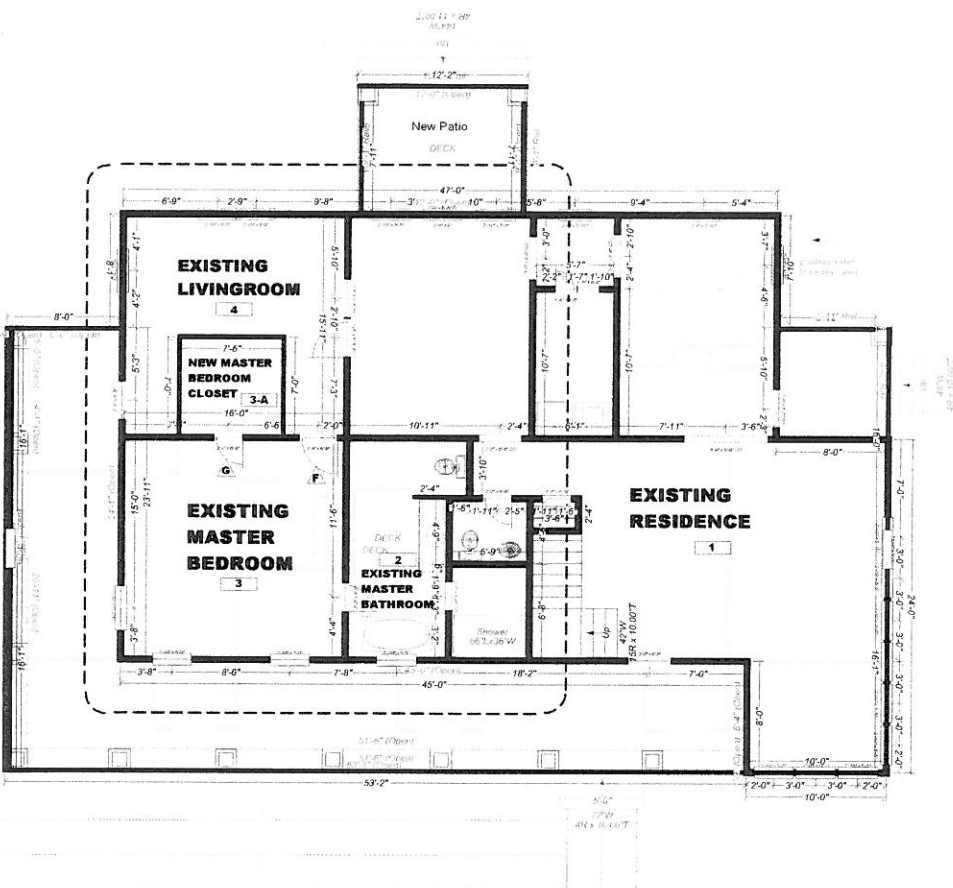


Project	
Potts Residence	
10000 S. 10th Ave., Suite 100, Scottsdale, AZ 85260	
Architect: [Firm Name]	
Date: 05/20/04	
Site Plan	
Scale: 1/8" = 1'-0"	
Sheet Number	
1.0	

GENERAL NOTES

- The Builder will examine and become familiar with all contract documents in these drawings. Survey the project and become familiar with the existing conditions and the scope of the work. All costs submitted shall be based on a thorough knowledge of all work and materials required. Any discrepancies and / or omissions as to what material or product is to be used shall be verified with the Architect or Owner prior to submitting a bid.
- All construction shall comply with the latest edition of the Building Codes as well as any and all Amendments and / or Ordinances that apply to the construction. Any non-conformance in this documentation shall be brought to the attention of the Architect and Owner, in writing, and resolved before proceeding with the work.
- All other design, such as but not limited exclusively to electrical, plumbing, heating, air-conditioning, ventilation, safety, maintenance and supervision, and site work and landscape design, is to be established and designed by others unless otherwise shown in these Architectural drawings.
- Structural, mechanical and other related documentation by others must be coordinated with these Contract Documents. Any errors, omissions, or inconsistencies in these drawings or any variations or ambiguities between these drawings and the actual site and construction conditions shall be brought to the attention of the Architect and Owner, and any other related party, in writing, for resolution and documented. Before continuing construction of the work in question, failure to notify the Owner and Architect in such an event shall constitute acceptance of any resulting obligations or responsibilities with regard to delays, added costs, code compliance, & legal remedies resulting from this or related work.
- The Contractor must verify all dimensions. DO NOT SCALE DRAWINGS. Notify the Architect of any discrepancies prior to construction.
- The Contractor shall verify all measurements, dimensions and set backs at the site and be responsible for the accuracy and correctness of same.
- The Contractor is to establish all elevations and grades with final approval of Architect.

- The Contractor shall coordinate his work with all other trades.
- The tree locations are approximate. Verify & coordinate during grade beam form layout. Notify the Architect of any conflict for resolution before continuing construction. The Contractor shall protect all existing trees to be saved with a minimum 12" wood barricade.
- All work and equipment shall be guaranteed for a minimum of three (3) years from the date of final payment and / or acceptance by the Owner. Non-payment shall void.
- Shop drawings shall be submitted for approval prior to ordering and installing any materials or equipment. Examples exclude, but are not limited to, windows, steel, roof or cut stone.
- The Contractor shall pay all fees, give all notices. He all necessary drawings, and obtain all permits and certificates of approval required in connection with all work under the Construction Documents.
- Framing lumber to be Douglas Fir for studs, ceiling joists, and rafters to be #2 S.Y.P. at Top & Bottom Plates. Floor joists, Beams, and Headers.
- All Engineered wood is to comply with applications and recommendations of the American Plywood Association for residential construction form # E30 and E1VS480A.
- Plywood sub-floor to be 1 1/8" T & G exterior grade plywood, glued & nailed to joists. Mop upper surface with water sealer the same day as laid and prior to standing walls.
- Flashing to be copper. Saw cut install at the visible masonry applications.
- Cast iron sewer lines are to be used between first & second floors, or as required for noise attenuation using PVC will be acceptable everywhere else.
- No plumbing vents on flat roof slopes.



ROOM FINISH SCHEDULE									
NO.	ROOM NAME	FLOOR	WALLS	CEILING	HEIGHT	ROOM SIZE	REMARKS		
1	EXISTING 1ST FLOOR	9	2 1 1 1 1 1	1	9'-0"	Existing			
2	MASTER BATHROOM	9	2 1 1 1 1 1	1	9'-0"	Existing			
3	MASTER BEDROOM	9	2 1 1 1 1 1	1	9'-0"	Existing			
3-A	MASTER BEDROOM CLOSET	9	2 1 1 1 1 1	1	9'-0"	Existing			
4	EXIST. LIVING AREA	9	2 1 1 1 1 1	1	9'-0"	Existing			

ROOM FINISH KEY

FLOORS

- ENTRY MAT
- CARPET 'A'
- CARPET 'B'
- SHEET VINYL
- CERAMIC TILE (COLOR OPT.)
- SEALED CONC.
- CONCRETE
- SHEET VINYL
- WOOD

BASE

- 1 1/2" FINGER JOINT PINE (PAINT GRADE)
- 4" PINE (PAINT GRADE) BASE

WALLS

- GYPSUM BOARD PAINT
- WATER RESISTANT GYPSUM BOARD PAINT
- EXPOSED CONCRETE (BLOCK) - ELASTOMERIC PAINT
- EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILINGS

- GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
- 2" X 2" SUSP. ACOUSTIC TILE (NON-RATED)
- EXPOSED ROOF STRUCTURE - PAINT

WINDOW & DOOR SCHEDULE			
SYM	SIZE	MODEL / TYPE	QUAN.
A	2'-10" x 5'-5" x 6 9/16"	Existing Single Hung Wood	17
B	2'-4" x 2'-10" x 6 9/16"	Existing Single Hung Wood	2
C	3'-2" x 5'-3" x 6 9/16"	Existing Single Hung Wood	2
D			
E			
F	2'-5" x 6'-8" x 4 9/16"	Existing Interior Wood Door	1
G	2'-0" x 6'-8" x 4 9/16"	New Interior Wood Door (to match existing)	1

Project:

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

DATE:

09 / 20 / 04

Designed By:

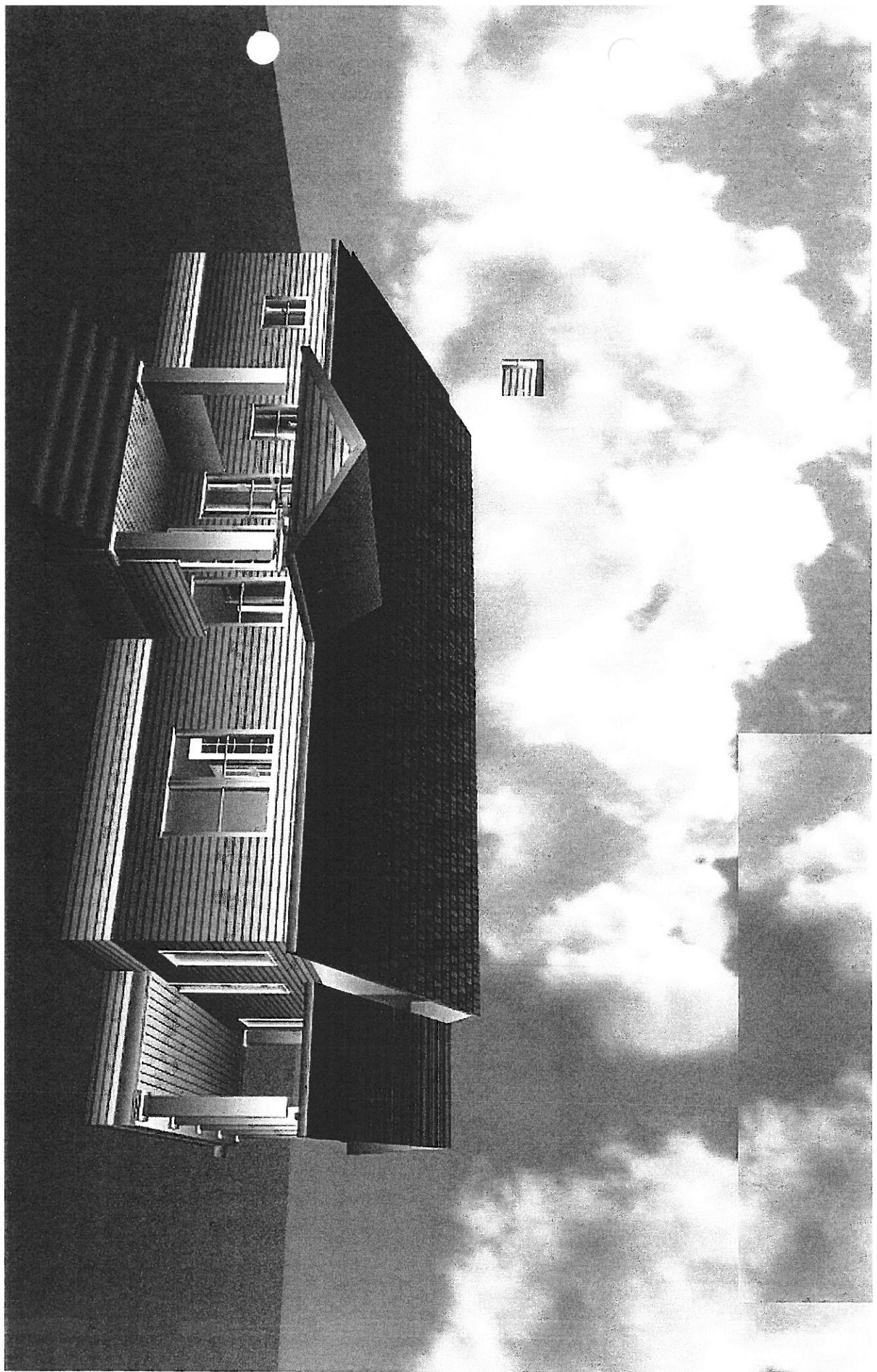
William (Marty) M. Knight
Office (972) 342-2249 Cell (214) 784-1626

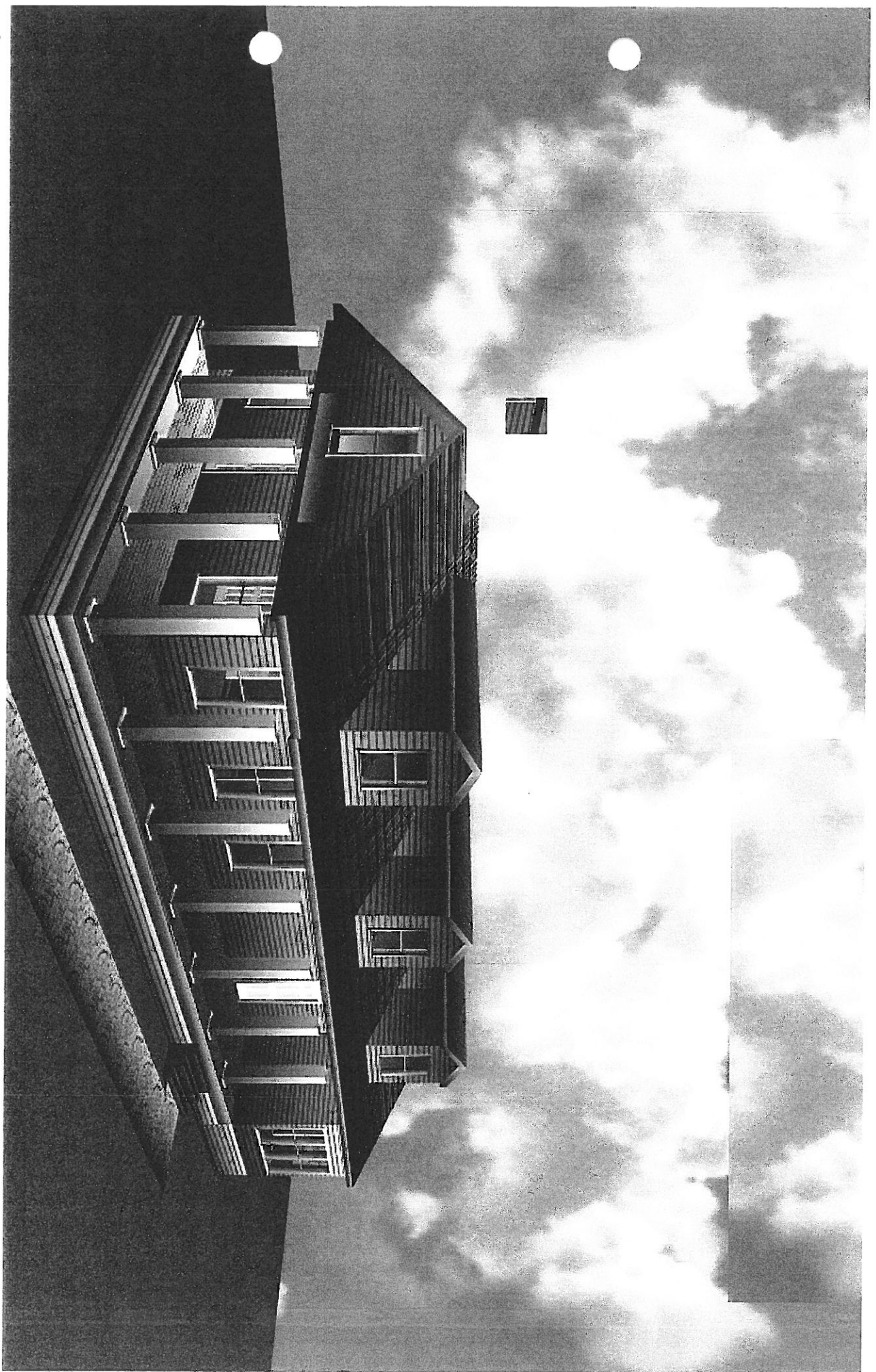
New 1st Floor Plan

Scale: 1/4" = 1' 0"

SHEET NUMBER

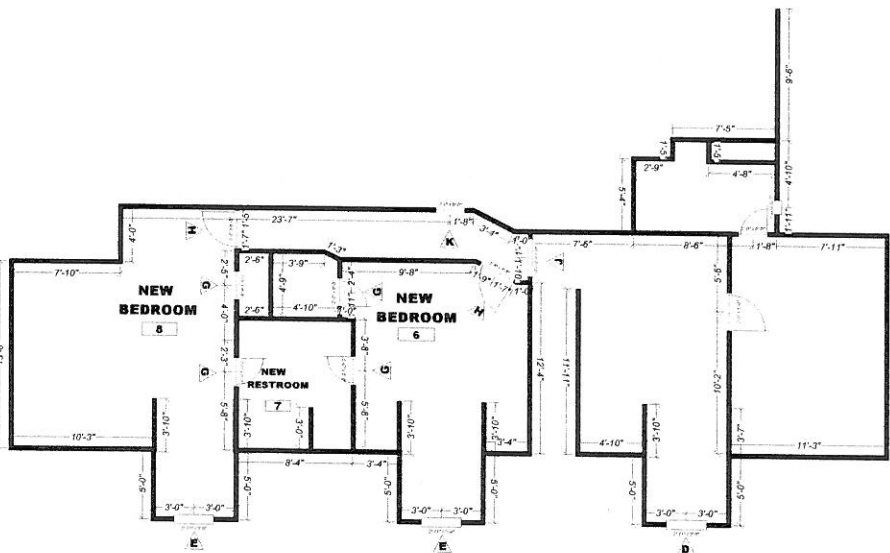
2.2





GENERAL NOTES

- The Builder will examine and become familiar with all contract documents in their entirety prior to and become familiar with the existing conditions and the scope of work. All costs submitted shall be based on a thorough knowledge of all work and materials required. Any discrepancies and / or uncertainty as to what material or product is to be used shall be verified with the Architect or Owner prior to submitting a bid.
- All construction shall comply with the latest edition of the Building Codes as well as any and all amendments and / or Ordinances that apply to the construction. Any non-conformance in this documentation shall be brought to the attention of the Architect and Owner, in writing, and resolved before proceeding with the work.
- All other design, such as but not limited to electrical, plumbing, heating, air-conditioning, ventilation, safety maintenance and supervision, and site work and landscape design, is to be established and designed by others unless otherwise shown in these Architectural drawings.
- Structural, mechanical and other related documentation by others must be coordinated with these Contract Documents. Any errors, omissions, or inconsistencies in these drawings or any additions or omissions between these drawings and the actual site and construction conditions shall be brought to the attention of the Architect and Owner and any other related party in writing for resolution and documented, before continuing construction of the work in question. Failure to notify the Owner and architect in such an event shall constitute acceptance of any resulting obligations or responsibilities with regard to delays, added costs, code compliance, & legal remedies resulting from this or related work.
- The Contractor must verify all dimensions. DO NOT SCALE DRAWINGS. Notify the Architect of any discrepancies prior to construction.
- The Contractor shall verify all measurements, easements and set backs at the site and be responsible for the accuracy and correctness of same.
- The Contractor is to establish all elevations and grades with final approval of Architect.
- The Contractor shall coordinate his work with all other trades.
- The tree locations are approximate. Verify & coordinate during grade beam form layout. Notify the Architect of any conflict for resolution before continuing construction. The Contractor shall protect all existing trees to be saved with a minimum 10' wood barricade.
- All work and equipment shall be guaranteed for a minimum of three (3) years from the date of final payment and / or acceptance by the Owner. Non-payment shall void.
- Shop drawings shall be submitted for approval prior to ordering and installing any materials or equipment. Examples include, but are not limited to, windows, steel, cast or cut stone.
- The Contractor shall pay all fees, give all notices, file all necessary drawings, and obtain all permits and certificates of approval required in connection with all work under the Construction Documents.
- Framing lumber to be Douglas Fir for studs, ceiling joists, and rafters to be #2 S & P at Top & Bottom Plates, Floor joists, Beams, and Headers.
- All Engineered wood is to comply with applications and recommendations of the American Plywood Association for residential construction form # E3J and EVSS480A.
- Plywood sub-floor to be 1/2" T & G exterior grade plywood. Glued & nailed to joists. Top upper surface with water sealer the same day as laid and prior to standing walls.
- Flashing to be copper. Saw cut install at the visible masonry applications.
- Cast on sewer lines are to be used between first & second floors, or as required for noise attenuation using PVC will be acceptable everywhere else.
- No plumbing vents on front roof slopes.



ROOM FINISH SCHEDULE									
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HEIGHT	ROOM SIZE	REMARKS	
5	EXISTING 2nd FLOOR	2	1	1	1	1	4'-0" to 8'-0"	Existing	Varying heights
6	NEW Bedroom # 1	2	1	1	1	1	4'-0" to 8'-0"	Existing	Varying heights
7	NEW Restroom	2	1	1	1	1	4'-0" to 8'-0"	Existing	Varying heights
8	NEW Bedroom # 4	2	1	1	1	1	4'-0" to 8'-0"	Existing	Varying heights

ROOM FINISH KEY

FLOORS

- ENTRY MAT
- CARPET 'K'
- CARPET 'B'
- SHEET VINYL
- CERAMIC TILE (COLOR OPT.)
- SEALED CONC.
- CONCRETE
- SHEET VINYL
- WOOD

BASE

- 2 1/2" FINGER JOINT PINE (PAINT GRADE)
- 4" Pine (Paint Grade) BASE

WALLS

- GYPSUM BOARD PAINT
- WATER RESISTANT GYPSUM BOARD PAINT
- CEMENT TILE BACKER BOARD
- EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILINGS

- GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
- 2" X 2" SUSP. ACOUSTIC TILE (NON-RATED)
- EXPOSED ROOF STRUCTURE - PAINT

WINDOW & DOOR SCHEDULE

SYM	SIZE	MODEL / TYPE	QUAN.
A	2'-10" x 5'-5" x 6 9/16"	Existing Single Hung Wood	
B	2'-4" x 2'-10" x 6 9/16"	Existing Single Hung Wood	
C	3'-2" x 5'-3" x 6 9/16"	Existing Single Hung Wood	
D	2'-11" x 3'-9" x 6 9/16"	Existing Single Hung Wood	
E	2'-11" x 3'-9" x 6 9/16"	New Single Hung Wood to match existing	2
F	2'-8" x 6'-8" x 4 9/16"	Existing Interior Wood Door	
G	2'-0" x 6'-8" x 4 9/16"	New Interior Wood Door (to match existing)	4
H	2'-8" x 6'-8" x 4 9/16"	New Interior Wood Door (to match existing)	2
J	2'-8" x 6'-8" x 4 9/16"	Existing Interior Wood Door to Cased Opening	1
K	2'-0" x 6'-0" x 4 9/16"	New Interior Wood Door (to match existing)	1
L			

Project:

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

DATE:

09 / 20 / 04

Designed By:

William (Marty) M. Knight
Office (972) 242-2240
Cell (214) 284-1896

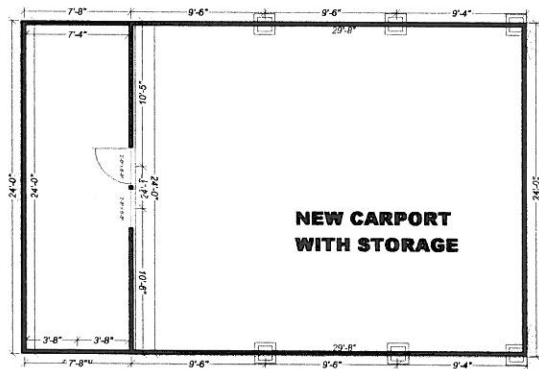
**New 2nd
Floor Plan**
Scale: 1/4" = 1' 0"

**SHEET
NUMBER**

2.3

GENERAL NOTES

- The Builder will examine and become familiar with all contract documents in their or Survey the project and become familiar with the existing conditions and the scope of work. All costs submitted shall be based on a thorough knowledge of all work and materials required. Any discrepancies and / or uncertainty as to what material or product is to be used shall be verified with the Architect or Owner prior to submitting a bid.
- All construction shall comply with the latest edition of the Building Codes as well as any and all Amendments and / or Ordinances that apply to the construction. Any non-conformance in this documentation shall be brought to the attention of the Architect and Owner, in writing, and resolved before proceeding with the work.
- All other design, such as but not limited exclusively to, electrical, plumbing, heating, air-conditioning, ventilation, safety maintenance and supervision, and site work and landscape design, is to be established and designed by others unless otherwise shown in these Architectural drawings.
- Structural, mechanical and other related documentation by others must be coordinated with these Contract Documents. Any errors, omissions, or inconsistencies in these drawings or any variations or ambiguities between these drawings and the actual site and construction conditions shall be brought to the attention of the Architect and Owner, and any other related party in writing, for resolution and documented, before continuing construction of the work in question. Failure to notify the Owner and Architect in such an event shall constitute acceptance of any resulting obligations or responsibilities with regard to delays, added costs, code compliance, & legal remedies resulting from this or related work.
- The Contractor must verify all dimensions. DO NOT SCALE DRAWINGS! Notify the Architect of any discrepancies prior to construction.
- The Contractor shall verify all measurements, casements and set backs at the site and be responsible for the accuracy and correctness of same.
- The Contractor is to establish all elevations and grades with final approval of Architect.
- The Contractor shall coordinate his work with all other trades.
- The tree locations are approximate. Verify & coordinate during grade beam form layout. Notify the Architect of any conflict for resolution before continuing construction. The Contractor shall protect all existing trees to be saved with a minimum 10' wood barricade.
- All work and equipment shall be guaranteed for a minimum of three (3) years from the date of final payment and / or acceptance by the Owner. Non-payment shall void materials or equipment. Examples include, but are not limited to, windows, steel, cast or cut stone.
- The Contractor shall pay all fees, give all notices, file all necessary drawings, and obtain all permits and certificates of approval required in connection with all work under the Construction Documents.
- Framing lumber to be Douglas Fir for studs, Ceiling joists, and rafters to be # 2 S Y P at Top & Bottom Plates, Floor joists, Beams, and Headers.
- All Engineered wood is to comply with applications and recommendations of the American Plywood Association for residential construction form # E30 and EWVS480A.
- Plywood sub-floor to be 1 1/8" T & G exterior grade plywood. Glued & nailed to joists. Mop upper surface with water sealer the same day as laid and prior to standing walls.
- Flashing to be copper. Saw cut install at the visible masonry applications.
- Cast iron sewer lines are to be used between first & second floors, or as required for noise attenuation using PVC will be acceptable everywhere else.
- No plumbing vents on front roof slopes.



ROOM FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	HEIGHT	ROOM SIZE	REMARKS
1	BONUS ROOM	1	1	1	1	1	12'-0" x 8'-0"	VAULTED CEILING
2	STORAGE AREA	1	1	1	1	1	8'-0" x 8'-0"	INCLUDED IN BONUS
3	EXISTING GARAGE	1	1	1	1	1	9'-0"	Existing
4	EXIST. LIVING AREA	1	1	1	1	1	18'-0"	Existing

ROOM FINISH KEY

FLOORS

- ENTRY MAT
- CARPET 'A'
- CARPET 'B'
- SHEET VINYL
- CERAMIC TILE (COLOR OPT.)
- SEALED CONC.
- CONCRETE
- SHEET VINYL
- WOOD

BASE

- 2 1/2" FINGER JOINT PINE (PAINT GRADE)
- 4" COVERED RUBBER BASE

WALLS

- GYPSUM BOARD PAINT
- WATER RESISTANT GYPSUM BOARD PAINT
- EXPOSED CONCRETE (BLOCK) - ELASTOMERIC PAINT
- EXPOSED CONCRETE (BLOCK) W/ SEALER

CEILINGS

- GYPSUM BOARD ON 2X FRAMING AT 16" O.C.
- 2" x 2" SUSP. ACOUSTIC TILE (NON-RATED)
- EXPOSED ROOF STRUCTURE - PAINT

WINDOW & DOOR SCHEDULE

SYM	SIZE	MODEL / TYPE	QUAN.
A-1	3'-0" x 1'-6" x 4 9/16"	"Existing" RADIUS ALUM. FIXED GLASS	3
A-2	3'-0" x 6'-0" x 4 9/16"	"Existing" Single Hung Alum. (Reuse)	3
B	2'-8" x 6'-8" x 4 9/16"	"Existing" Exterior French Door	1
C	2'-8" x 5'-8" x 4 9/16"	"New" Exterior French Door (1 lile)	1
D	2'-0" x 6'-8" x 4 9/16"	"New" Interior H.C. Raised Panel	1
E	5'-0" x 6'-8" x 4 9/16"	"New" Interior Double French Door (15 lile)	2
F	5'-0" x 1'-9" x 4 9/16"	"New" Interior Elliptical Transom	1

Project:

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

Carport Plan

Scale: 1/2" = 1' 0"

DATE:

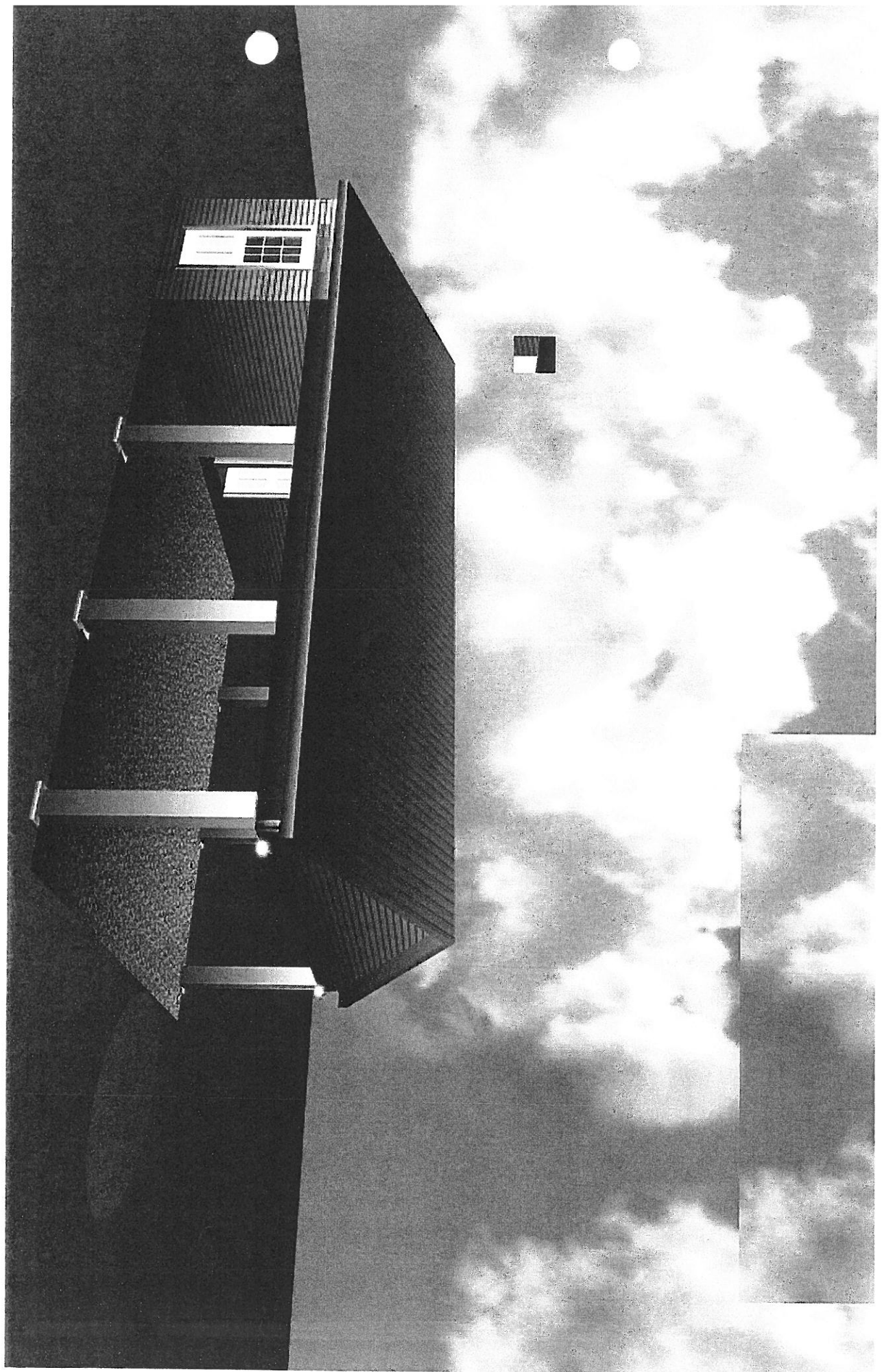
09 / 20 / 04

Designed By:

William (Marty) M. Knight
Office (972) 242-2240 Cell (214) 284-5826

SHEET NUMBER

2.4





CITY OF ROCKWALL
at Rockwall City Place

10/22/2004

Jason Potts
601 Williams Street
Rockwall, TX 75087

RE: H2004-007
601 Williams Street (Jason Potts)
Project Type: HISTORIC (C of A)

Dear Applicant:

This letter serves to notify you that the above referenced case that you (or the organization that you represent) submitted before the City of Rockwall was approved by the Historic Preservation Advisory Board on October 21, 2004. The following is a record of all recommendations, voting records and conditions of approval:

Staff Recommends approval of the request with the following conditions:

1. *The proposed dormers are required to match the existing dormer and are to be evenly spaced.*
2. *The back porch is to be consistent in materials, colors, and height with the existing porch located along the front and side of the house.*

On October 21, 2004, the Historic Preservation Advisory Board approved the Certificate of Appropriateness with the removal of the proposed carport from the C of A application for 601 Williams by a vote of 4-0 subject to two (2) staff conditions.

Please contact the City of Rockwall Community Development Staff at (972) 771-7745, or at the address listed below, with any questions or concerns regarding this matter.

Sincerely yours,

Chris Spencer
Planning and Zoning
City of Rockwall



CITY OF ROCKWALL

at Rockwall CityPlace

Public Notice

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on **Thursday, 10/21/2004 at 6:30 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

H2004-007: 601 Williams Street (Jason Potts)

Hold a public hearing and consider a request for a Certificate of Appropriateness (CofA) from Jason & Ann Potts for the restoration of the structure and the addition of a 32'x24' accessory building (carport) located in the side yard of 601 Williams Street St (Lots 1,2,3, 4, Block B, Foree). The tract is zoned (SF-7) Single Family district and identified as a "High Contributing Property".

As an interested property owner, you are invited to attend these meetings and/or express your thoughts in writing by returning the form below. To ensure your comments are included in the information sent to the HPAB, please return the completed form below by 10/13/2004 to:

Chris Spencer
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

(please return portion of form below the dotted line)

Case number: H2004-007

Please place a check mark on the appropriate line below:

X

I am in favor of the request for the reasons listed below

22

I am opposed to the request for the reasons listed below

We are in favor assuming the carport is in the rear and not visible from the front streetscape. We applaud the efforts of Mr. & Mrs. Potts for bringing back to life this wonderful home and welcome them to our neighborhood!

Your Name: _____

Alan & Peg Smith

Rockwall Property Address: _____

602 Williams Street

- Please see Location Map of Subject Property on the back of this notice -



CITY OF ROCKWALL

at Rockwall CityPlace

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Chris Spencer
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

(please return portion of form below the dotted line)

Case number: H2004-007

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below

22

☐ I am opposed to the request for the reasons listed below

As long as the structure remains architecturally consistent with the house of neighborhood I support the proposal.

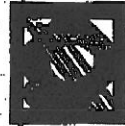
Your Name: William B. Freeman Jr

Rockwall Property Address: 508 Parks Ave

- Please see Location Map of Subject Property on the back of this notice -

K & K Contractors

TRUE QUALITY CUSTOM CONSTRUCTION WITH INTEGRITY



October 19, 2004

City of Rockwall
385 S. Goliad
Rockwall, Texas 75087

Attn.: Chris Spencer
City Planner

RE: Carport Construction
601 Williams Street

Mr. Spencer,

Upon notifying Mr. Potts of our discussion along with Mr. Sherer's verification today, we have decided to withdraw the request for review of the carport structure at Thursday night's hearing. Although we are making this withdraw, I would request that you allow us to add this review to the upcoming November docket. This will allow us to move forward on the attic conversion and back porch addition (upon approval Thursday night), and plea our case to the Board of Adjustments Variance on the carport before the November hearing.

Also, please see the following revised upstairs floor plan. This will show a window schedule change on the middle dormer to accommodate the minimum of 5.9 square foot for a fire escape.

Again, I would like to thank you for your assistance in this matter. It has been our pleasure working with you thus far.

Thank You,

William (Marty) M. Knight
K & K Contractors

P.O. Box 112724
Carrollton, Texas 75011-2724
972) 242-2240
972) 242-5149 Fax
KnKContractors@aol.com

November 3, 2004

Page 1 of 1



CITY OF ROCKWALL

at Rockwall CityPlace

Public Notice

The City of Rockwall Historic Preservation Advisory Board (HPAB) will hold a public hearing on **Thursday, 10/21/2004 at 6:30 p.m.**, in the Council Chambers at Rockwall City Hall (Second Floor), 385 South Goliad, Rockwall, Texas to consider the following item(s):

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Chris Spencer
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

(please return portion of form below the dotted line)

Case number: H2004-007

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below

22

☐ I am opposed to the request for the reasons listed below

The historic home is an added attraction of interest to the town

Your Name:

Jane K. Bounds

Rockwall Property Address:

507 Nash St., Rockwall

- Please see Location Map of Subject Property on the back of this notice -



Current Owner		Legal Description		Exemptions		Appraised	
SWEDLOW LEIF & MICHELLE (76965)		FOREE, BLOCK B, LOT 1,2,3,4		HS		\$164,280	
601 WILLIAMS				Entities		Homestead Cap	
ROCKWALL, TX 75087				GRW, SRW, CRW		N/A	
Situation Address			History Information				
601 WILLIAMS ST			2004	2003	2002	2001	
Sales			Imp HS	\$136,280	\$125,350	\$116,000	\$107,710
Date			Imp NHS	-	-	-	-
05/29/2001 2155			Land HS	\$28,000	\$24,000	\$24,000	\$20,400
05/08/1997 1231			Land NHS	-	-	-	-
01/19/1993 756			Ag Mkt	-	-	-	-
Page 316			Ag Use	-	-	-	-
Seller PITTMAN MICHAEL J & SH			Tim Mkt	-	-	-	-
HARRIS JAMES R & SHARO			HS Cap	-	-	-	-
GAINES R A			Assessed	\$164,280	\$149,350	\$140,000	\$128,110
Building Attributes			Improvement Sketch				
Construction	Foundation	Exterior	Interior	Roof	Flooring		
	20	38	72		90		
Heat/AC	Baths	Fireplace	Year Built	Rooms	Bedrooms		
	2.5				2		
Improvements							
Type	Description	Area	Year Built	Eff Year	Value		
R	RESIDENTIAL						
MA	MAIN AREA	1712		1990	\$135,790		
MA	MAIN AREA	752		1990	\$89,570		
OP	OPEN PORCH	616		1990	\$39,340		
OP	OPEN PORCH	64		1990	\$6,450		
I	MISC. IMPROVEMENT						
ST	STORAGE		2003	2003	\$490		
					\$500		
<p><i>lot coverage 13%/15% 768 CARPORT</i></p> <p><i>TOTAL 3160 sq</i></p>							
Land Segments							
Spbl Description	Area	Market	Ag Value				
A1 CV	28000	\$28,000					



SITE

H2004-007
601 Williams



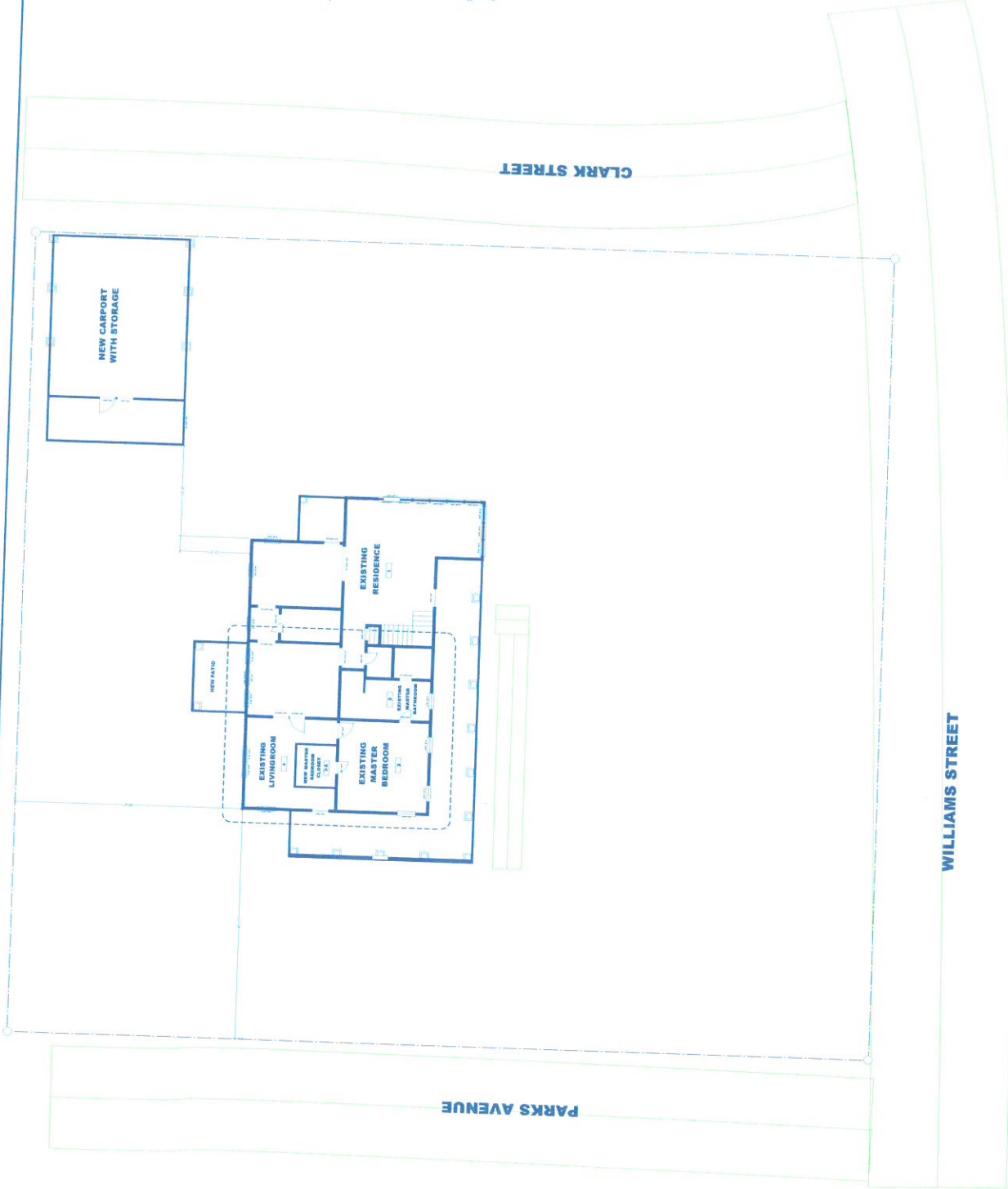
1" = 200'

LIST OF DRAWINGS	
1.0	SITE PLAN, AREA TABULATIONS, ROOF PLAN
2.0	FLOOR PLAN
2.1	ENLARGED FLOOR PLAN
3.0	ENLARGED FOUNDATION PLAN
4.0	ENLARGED ELECTRICAL PLAN
5.0	ENLARGED PLUMBING PLAN
6.0	ENLARGED HVAC PLAN
7.0	ELEVATIONS

ROOFING NOTES

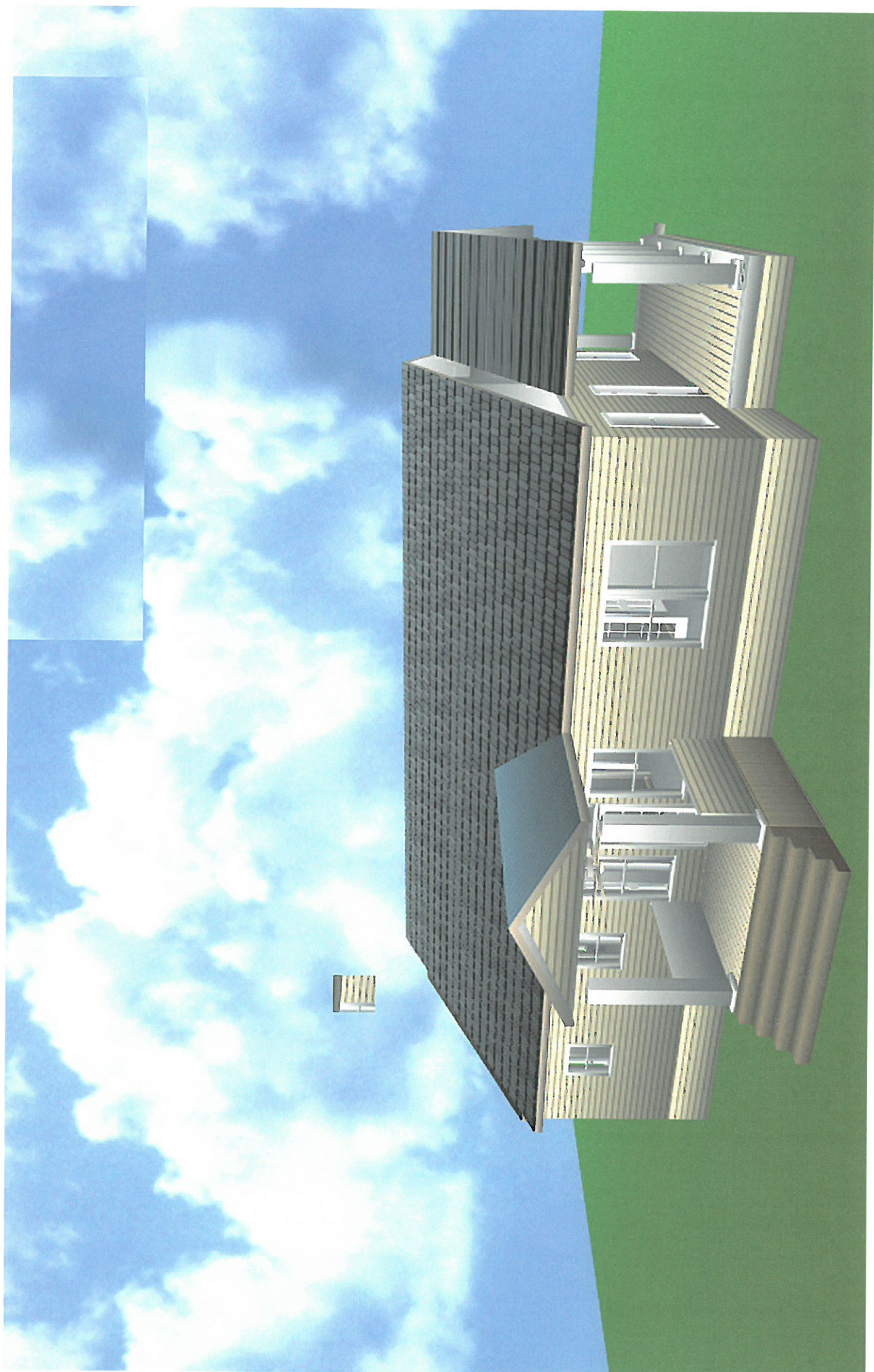
1. VERIFY ALL CONDITIONS, DIMENSIONS AND LOCATIONS.
2. PERFORM ALL WORK IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
3. COORDINATE ALL WORK WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
4. CONTRACTOR TO PROVIDE AND INSTALL ALL NECESSARY DECKING, UNDERLAYMENT AND FLASHING AS PER MANUFACTURER'S RECOMMENDATIONS AND NEW COMPOSITION SINGLE ROOFING MATERIAL SPECIFIED BY THE OWNER (GC AT ALL NEW ROOFING AREAS).
5. CONTRACTOR TO LOCATE AND VERIFY WITH OWNER (GC) ALL DOWNSPOUT AND GUTTER LOCATIONS.
6. ALL ROOFING SURFACES MATERIAL SHALL MATCH EXISTING.
7. NO PLUMBING VENTS SHALL BE LOCATED ON FRONT ROOF SLOPES.

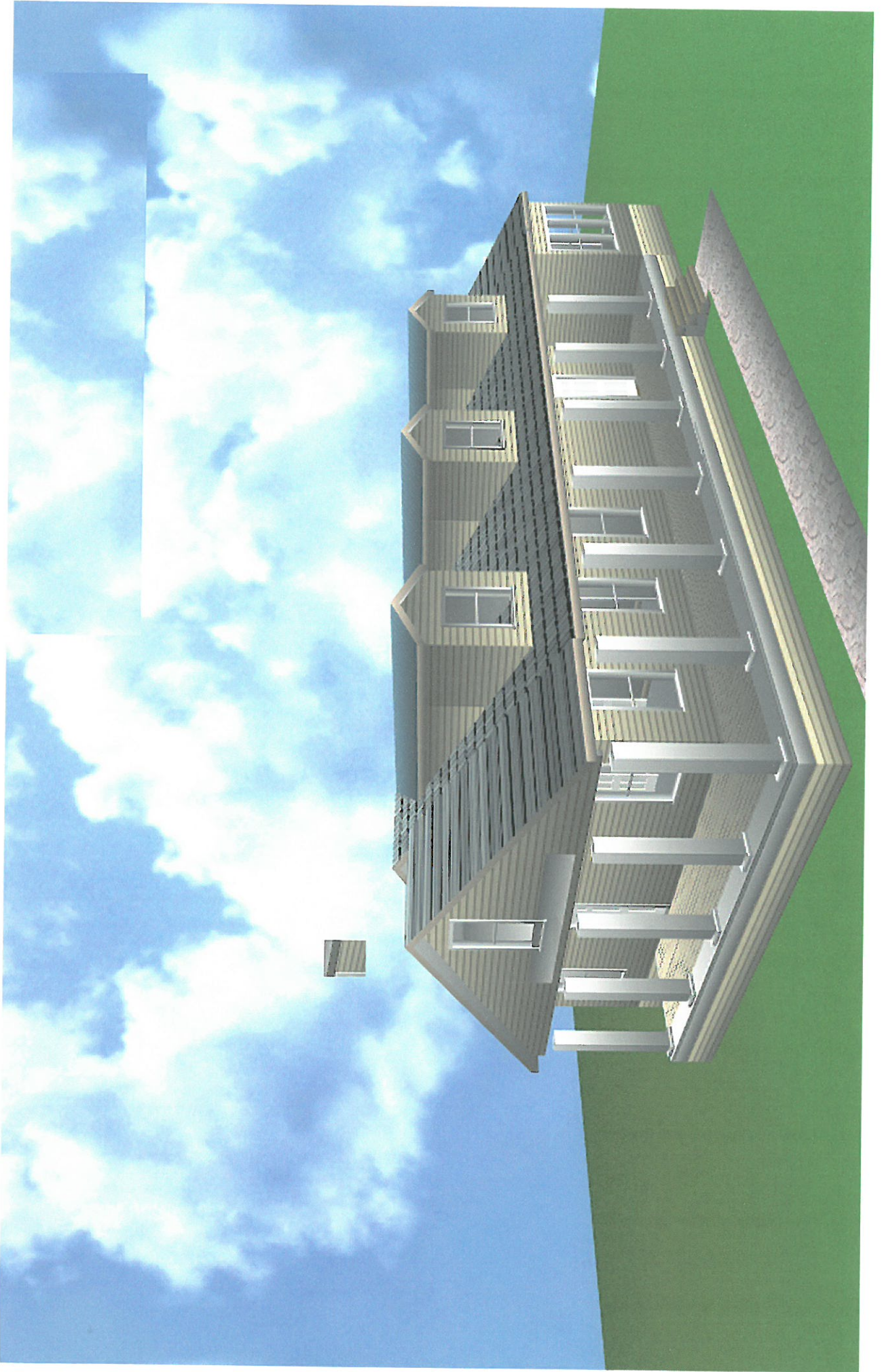
SITE PLAN
SCALE: 1/8" = 1'-0"



Project: Potts Residence		Site Plan	SHEET NUMBER
10000 Potts Road, Clarksville, TN 37040		Scale: 1/8" = 1'-0"	1.0
DATE: 08/20/04		Designed By: [Signature]	

- | | | |
|----|---|--|
| 1 | The Contractor shall coordinate the following conditions and keep them in mind throughout the project: | |
| 2 | The Contractor shall comply with the latest edition of the Chinese Codes, as well as any other applicable laws and regulations that may be issued in the future. | |
| 3 | The Contractor shall be responsible for the safety of the construction site and shall ensure that all workers are properly trained and equipped with the necessary safety gear. | |
| 4 | The Contractor shall be responsible for the safety of the construction site and shall ensure that all workers are properly trained and equipped with the necessary safety gear. | |
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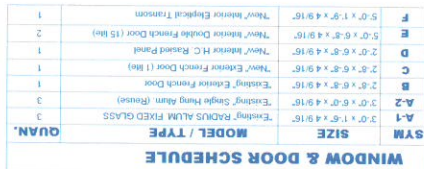


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ROOM FINISH KEY									
8	NEW BRICK	1	EXISTING BRICK	1	EXISTING BRICK	1	EXISTING BRICK	1	EXISTING BRICK
7	NEW BRICK	2	EXISTING BRICK	2	EXISTING BRICK	2	EXISTING BRICK	2	EXISTING BRICK
6	NEW BRICK	3	EXISTING BRICK	3	EXISTING BRICK	3	EXISTING BRICK	3	EXISTING BRICK
5	EXISTING BRICK	4	EXISTING BRICK	4	EXISTING BRICK	4	EXISTING BRICK	4	EXISTING BRICK
4	NEW BRICK	5	EXISTING BRICK	5	EXISTING BRICK	5	EXISTING BRICK	5	EXISTING BRICK
3	NEW BRICK	6	EXISTING BRICK	6	EXISTING BRICK	6	EXISTING BRICK	6	EXISTING BRICK
2	NEW BRICK	7	EXISTING BRICK	7	EXISTING BRICK	7	EXISTING BRICK	7	EXISTING BRICK
1	NEW BRICK	8	EXISTING BRICK	8	EXISTING BRICK	8	EXISTING BRICK	8	EXISTING BRICK

SYN	SIZE	MODEL / TYPE	QUAN.
A	2'-10" x 6'-0" x 6'-0" @ 6'-0"	Easting, Single Hung Wood	
B	2'-4" x 10'-0" @ 6'-0"	Easting, Single Hung Wood	
C	2'-5" x 7'-0" @ 6'-0"	Easting, Single Hung Wood	
D	2'-11" x 7'-0" x 6'-0"	Easting, Single Hung Wood	
E	2'-6" x 8'-0" @ 6'-0"	Easting, Single Hung Wood	
F	2'-6" x 8'-0" x 4'-0"	Easting, Single Hung Wood	
G	2'-6" x 8'-0" x 4'-0"	North, Single Hung Wood	
H	2'-6" x 8'-0" x 4'-0"	North, Single Hung Wood	
J	2'-6" x 8'-0" x 4'-0"	Easting, Single Hung Wood	
K	2'-0" x 6'-0" x 4'-0" @ 6'-0"	Easting, Single Hung Wood	
L		North, Single Hung Wood	

Project: Potts Residence (Artic Conversion / Carport) 601 Williams Street Rockwall, Texas 75087	Designed By: William (Marty) M. Knight (972) 243-5549 (972) 243-5549	DATE: 09 / 20 / 04
		Scale: 1/4" = 1'-0"
New 2nd Floor Plan		
SHEET NUMBER		

[illegible]

ROOM FINISH SCHEDULE		REMARKS	
NO.	ROOM NAME	FLOOR BASE WALLS	CEILING
1	BONUS ROOM	2	12'-0" R.O.
2	STORAGE AREA	1	9'-0" R.O.
3	EXISTING GARAGE	7	5'-0" R.O.
4	EXIST. LIVING AREA	9	18'-0"
5	EXISTING	1	9'-0"
6	EXISTING	1	18'-0"

FLOORS	WALLS
1. ENTRY MAT	1. GYPSUM BOARD PAINT
2. GARAGE A.	2. WATER RESISTANT GYPSUM BOARD PAINT
3. GARAGE B.	3. EXPOSED CONCRETE (BLOCK) -
4. SHEET VINYL	4. ELASTOMERIC PAINT
5. CERAMIC TILE (COLOR OPT.)	4. EXPOSED CONCRETE (BLOCK) W/ SEALER

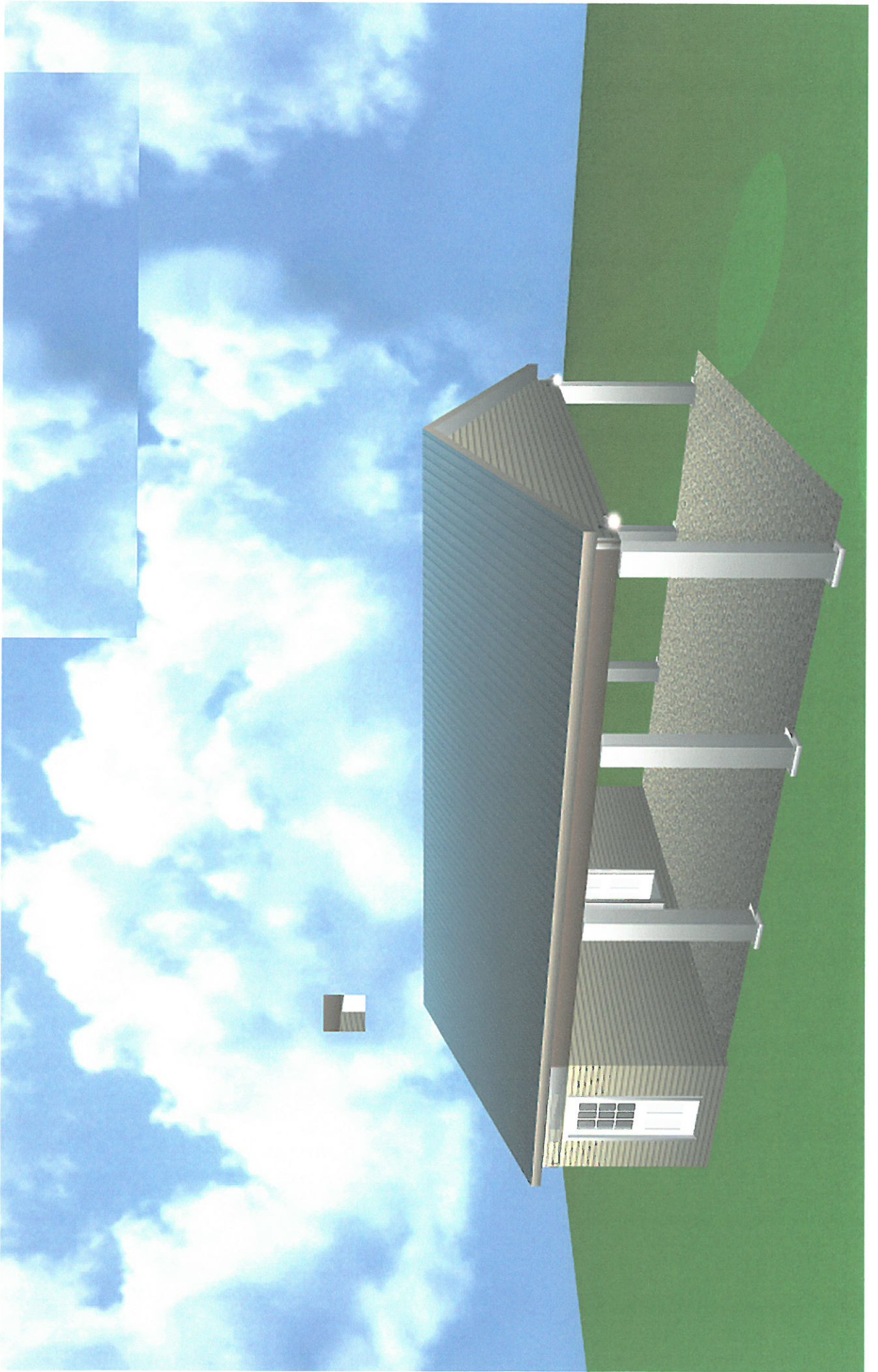
BASE	
1. 2 1/2" FINGER JOINT PINE	
2. 2" X 2" SUSP. ACCOUSTIC TILE (NON-RAUC)	
3. EXPOSED ROOF STRUCTURE - PAINT	

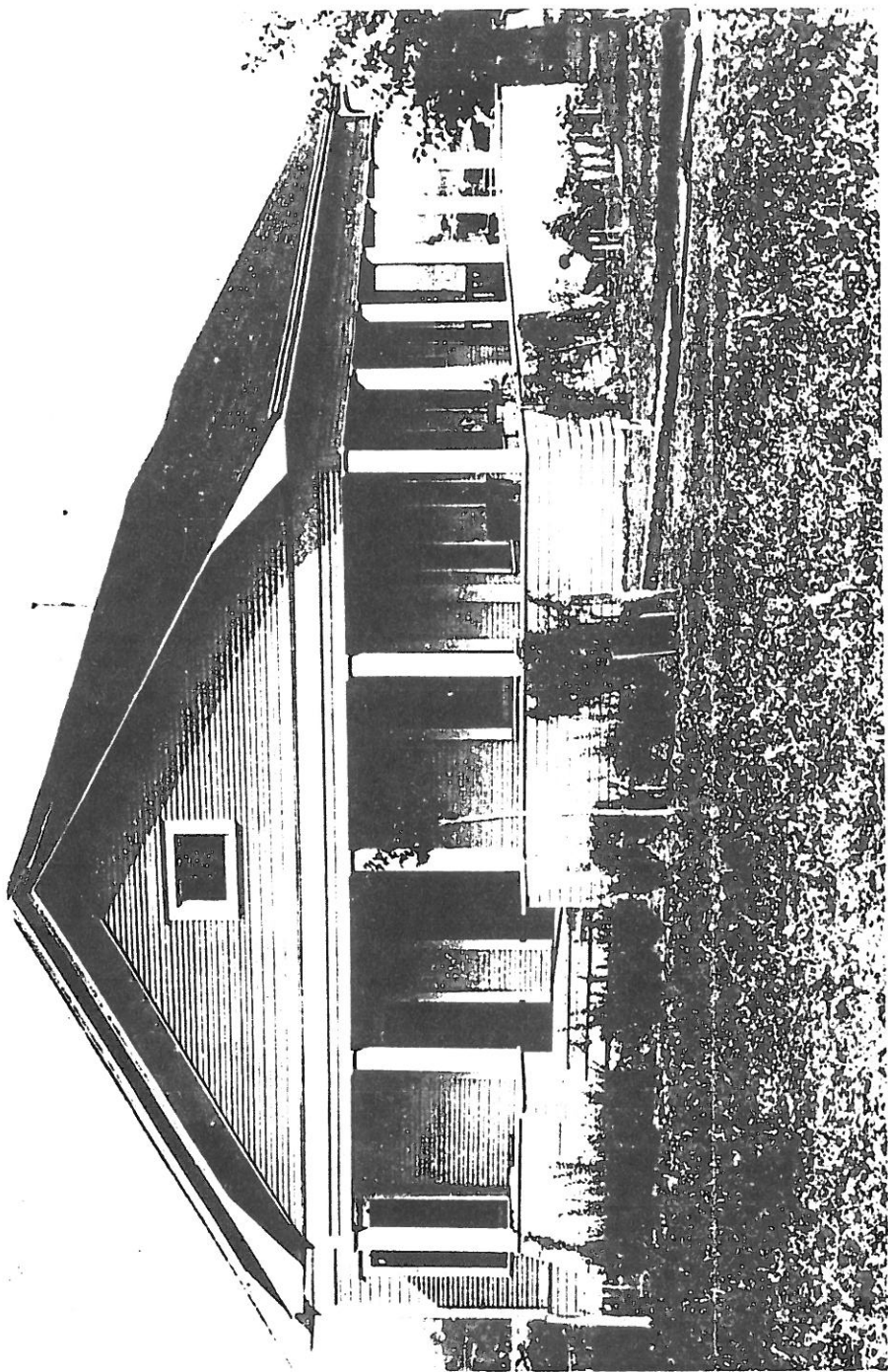
CEILING	
1. GYPSUM BOARD ON 2X FRAMING AT 16" O.C.	
2. 2" X 2" SUSP. ACCOUSTIC TILE (NON-RAUC)	
3. EXPOSED ROOF STRUCTURE - PAINT	

Potts Residence
(Attic Conversion / Carport)
601 Williams Street
Rockwall, Texas 75087

SHEET
NUMBER
2.4

Designed By: William (Marty) M. Knight
Office (972) 342-2240
Cell (214) 284-5826





Case number: H2004-007

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below

22

☐ I am opposed to the request for the reasons listed below

if airport is in keeping with
standards set by Rockwall Historic Preservation
Committee

Your Name: Scott & Jansy Wentzel

Rockwall Property Address: 306 N. Clark St.

- Please see Location Map of Subject Property on the back of this notice -

385 South Goliad



Rockwall, Texas 75087



(972) 771-7745