

**CITY OF ROCKWALL
HISTORIC PRESERVATION ADVISORY BOARD (HPAB) MEMO**

AGENDA DATE: 02/16/2017

APPLICANTS: Tyler and Megan Riddle

AGENDA ITEM: H2017-002; 307 S. Clark Street– Building Permit Fee Waiver/Reduction

SUMMARY:

Discuss and consider a request by Tyler and Megan Riddle for the approval of a waiver to the building permit fees associated with the renovation and expansion of an existing single-family home on a Medium Contributing property being a 1.181-acre parcel of land identified as Block 51, B.F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Historic Overlay District and the Old Town Rockwall (OTR) Historic District, addressed as 307 S. Clark Street, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicants have submitted an application requesting that the Historic Preservation Advisory Board (HPAB) approve a Building Permit Fee Waiver/Reduction for the purpose of renovating and expanding an existing medium-contributing property with a 1,649 sq. ft. single-family home that is located within the Old Town Rockwall (OTR) Historic District. In addition, the applicants have submitted separate requests for a Certificate of Appropriateness (COA) and a small matching grant. This home is considered to be constructed in the *Folk Victorian* architectural style.

CHARACTERISTICS OF THE REQUEST:

The subject property is addressed as 307 S. Clark Street and is recognized as a medium-contributing property, which indicates that the property has significant architectural and/or historic characteristics. The main home is approximately 1,649 sq. ft., (and based on the Rockwall Central Appraisal District records) the main area is considered to have been constructed in 1890. The property is zoned Single Family 7 (SF-7) District and is located south of the southeast corner of Hartman Street and S. Clark Street.

The applicants are requesting a Building Permit Fee Waiver/Reduction for the purpose of renovating and expanding an existing single-family home on a *medium-contributing* property. For a residential property to be eligible for the Building Permit Fee Waiver/Reduction Program, the property must be located within the Old Town Rockwall (OTR) Historic District or the Southside Residential Neighborhood Overlay (SRO) District and must involve a minimum investment of \$5,000 associated with the rehabilitation or restoration of a property. Properties classified as *Contributing* (i.e. *High, Medium, or Low Contributing*) shall be eligible for a full waiver of building permit fees. Based on the estimated valuation of \$110,500 for the remodel/rehabilitation, the permit fees would be approximately \$1,064.05. Should the Historic Preservation Advisory Board (HPAB) approve the request, the applicants would be eligible for a full waiver of permit fees.

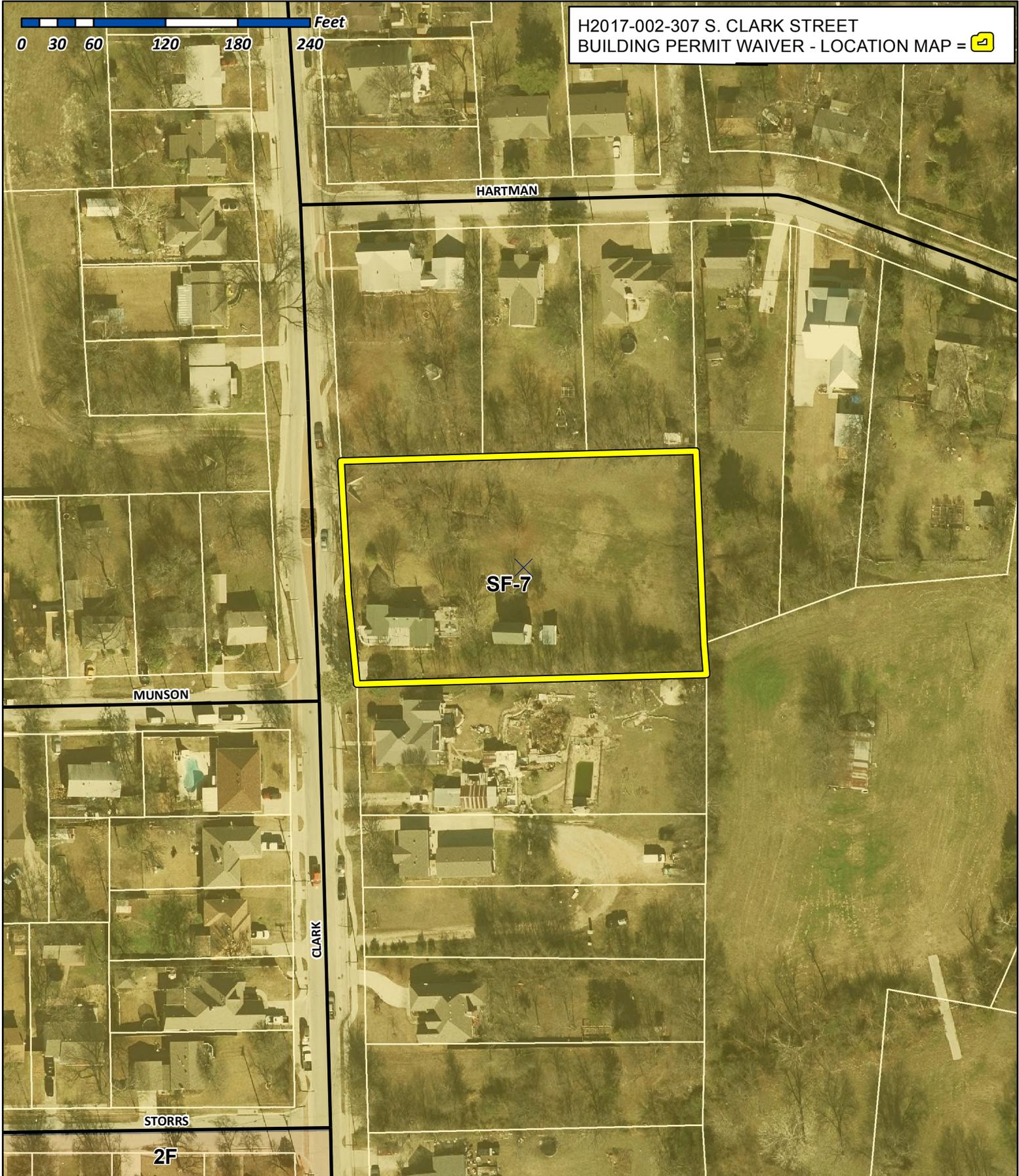
RECOMMENDATIONS:

Based on the applicant's proposed scope of work and the contributing nature of the subject property, the approval of the proposed Building Permit Waiver/Reduction is a discretionary decision for the Historic Preservation Advisory Board (HPAB). If the HPAB chooses to approve the request, staff would offer the following condition of approval:

1. Any construction, building or demolition necessary to complete this request must conform to the requirements set forth by the Unified Development Code, the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 30 60 120 180 240 Feet

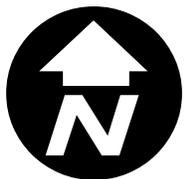
H2017-002-307 S. CLARK STREET
BUILDING PERMIT WAIVER - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Main House

- Removal of Current Roof Top Patio
- Extend the Patio Across the Front of the Home with Aluminum Roof
- Add Additional Dormer
- New Paint



FRONT ELEVATION



FRONT ELEVATION

307 S. Clark St. - Rockwall, TX. 75087

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Homestead Designs

Plano, TEXAS
214-215-1013
e-mail: homestead.designs@verizon.net

REVISION DATE
11-03-2016 BLP

HIDDLE
OUT BUILDING

PROJECT
ADDRESS:
307 CLARK
STREET
ROCKWALL, TX.

PLAN NUMBER
0000

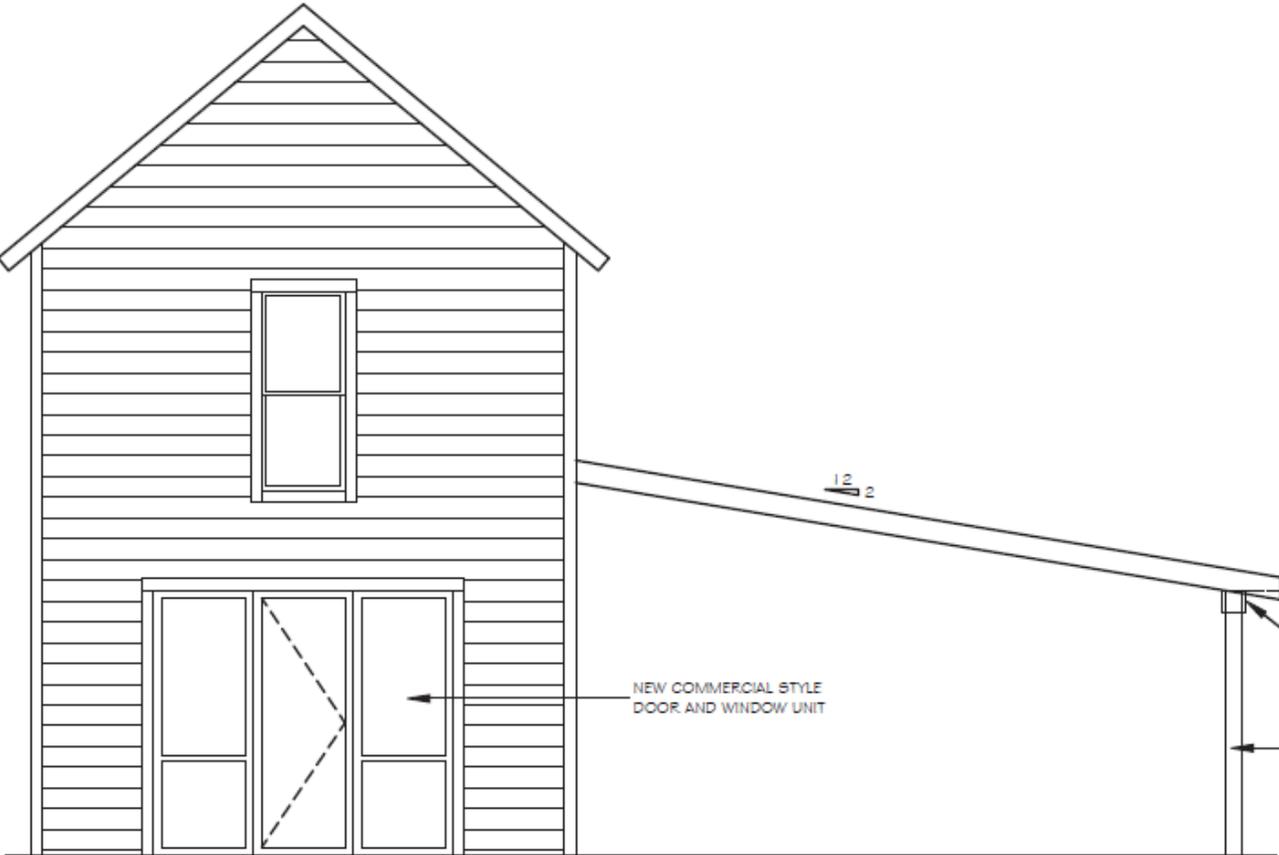
DESIGNED AND
DRAWN BY:
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DESIGNS
B.L. PHILLIPS
FOUNDER-
DESIGNER
214-215-1013

SCALE:
1/4" = 1'-0" (SEE SHEET)

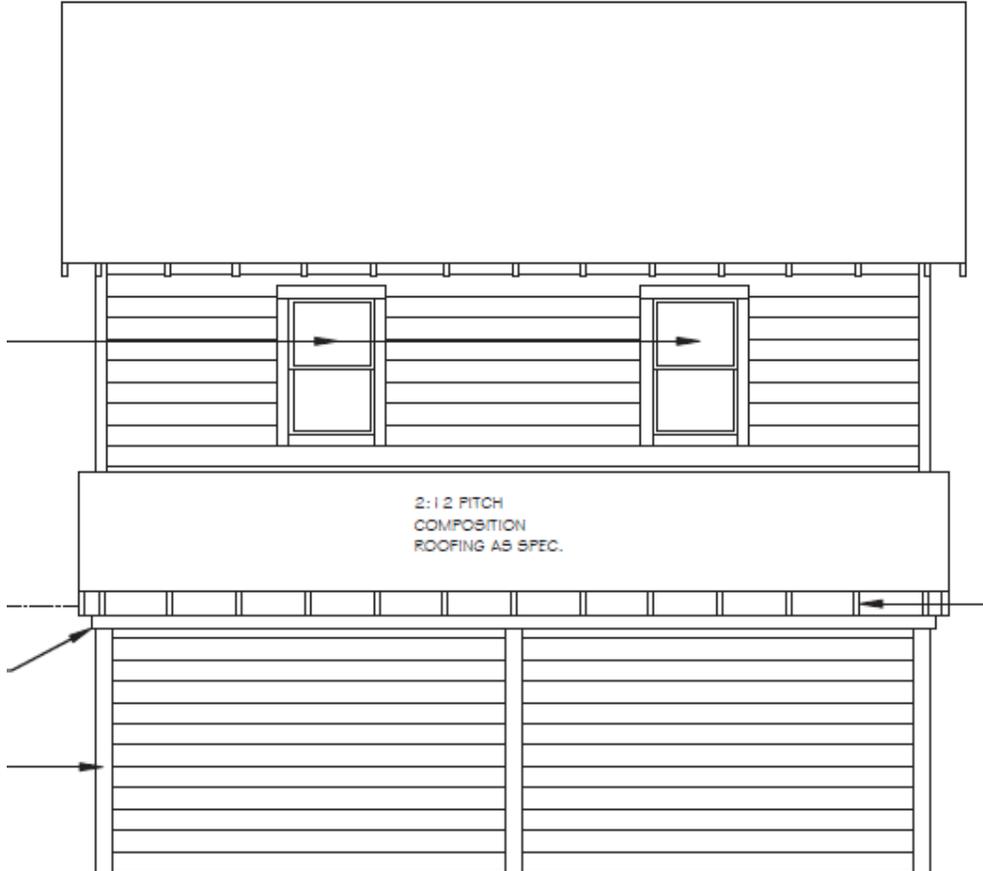
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Carriage House

- Carport Addition on Right Side of House



FRONT ELEVATION



RIGHT SIDE ELEVATION

307 S. Clark St. - Rockwall, TX. 75087

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Homestead Designs

Plano, TEXAS
214-215-1013
e-mail: homestead.designs@verizon.net

REVISION DATE
11-03-2016 MLP
MIDDLE OUT BUILDING

PROJECT ADDRESS:
307 CLARK STREET
ROCKWALL, TX.

PLAN NUMBER
0000

DESIGNED AND DRAWN BY:
HOMESTEAD DESIGNS
S.L. PHILLIPS
FOUNDER-DESIGNER
214-215-1013

SCALE:
1/4" = 1'-0" (SEE NOTES)

PAGE # 1