

**CITY OF ROCKWALL  
HISTORIC PRESERVATION ADVISORY BOARD (HPAB) CASE MEMO**

**AGENDA DATE:** 05/18/2017

**APPLICANTS:** Mike Frasier

**AGENDA ITEM:** **H2017-010** *510 Williams Street-Small Matching Grant*

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**SUMMARY:**

Hold a public hearing to discuss and consider a request by Mike Frazier for the approval of a small matching grant associated with the renovation and expansion for an existing single-family home on a *Medium-Contributing* property being a 0.388-acre parcel of land identified as W/2 of 121 A, Block 121, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 510 Williams Street, and take any action necessary.

**PURPOSE AND BACKGROUND:**

The applicant has submitted an application requesting the Historic Preservation Advisory Board (HPAB) approve a Certificate of Appropriateness (COA) for the purpose of allowing the renovation and expansion of a single-family home on a *medium-contributing* property that is located in the Old Town Rockwall (OTR) Historic District. In addition, the applicant has submitted separate applications for a Building Permit Fee Waiver/Reduction [*H2017-009*] and a Certificate of Appropriateness (COA) [*H2017-006*].

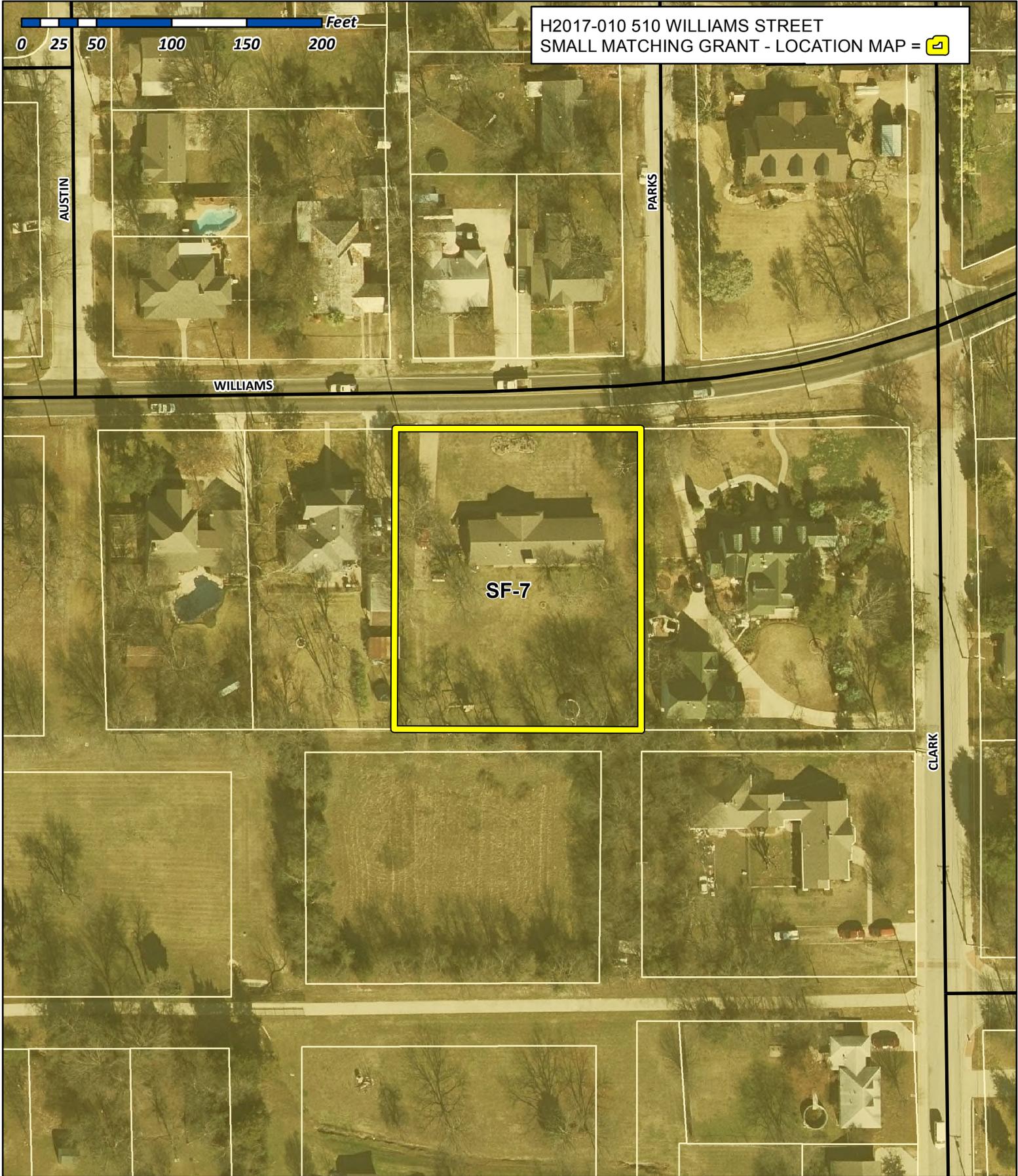
**CHARACTERISTICS OF THE PROJECT:**

The subject property is addressed as 510 Williams Street and is recognized as a *medium-contributing* property, which indicates that the property has significant architectural and/or historic characteristics. The existing home is approximately 1,445 SF and according to the 2017 Historic Resource Survey, the home is considered to be a ranch-style home and constructed in 1965. The property is zoned Single-Family 7 (SF-7) District and is located southwest of the intersection of Williams Street and Parks Avenue.

The Small Neighborhood Matching Grants Program is an incentive to encourage small improvements or beautification projects for residential properties within the City's historic districts. This program provides matching funds of up to 50% of the total cost. For a residential property to be eligible for the Small Matching Grant Program, the property must be located within the Old Town Rockwall (OTR) Historic District or the Southside Residential Neighborhood Overlay (SRO) District and must involve improvements to the outside of the property that are visible to the street (i.e. landscaping, painting, replacement of windows, etc). Based upon the applicant's scope of work, the following exterior renovations would be eligible for the Small Neighborhood Matching Grant: landscaping, painting the exterior of the house, replacing windows, and replacing the old brick with new brick. Properties classified as *Non-Contributing* shall be eligible for a total grant amount of up to \$500.00 and properties that are *Contributing* or *Landmarked Properties* are eligible for a grant amount of up to \$1,000. Based on the estimated valuation of \$175,000 for the remodel/rehabilitation associated with the applicant's COA request [*H2017-006*], the applicant is eligible for a total grant amount of \$1,000.00.

## **RECOMMENDATIONS:**

Based on the applicant's scope of work, the following improvements qualify for the Small Neighborhood Matching Grants Program: landscaping, painting the exterior of the house, replacing the old brick with new brick, and replacing the windows. There is currently \$4,000 remaining in the Small Neighborhood Matching Grants Program. Should the HPAB approve the applicant's request, the remaining balance until the new budget year (*i.e. October 2017*) would be \$3,000.



H2017-010 510 WILLIAMS STREET  
 SMALL MATCHING GRANT - LOCATION MAP = [icon]

0 25 50 100 150 200 Feet

AUSTIN

PARKS

WILLIAMS

SF-7

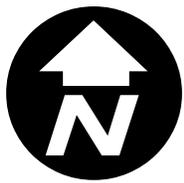
CLARK



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75032  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



# *FRASIER CONTRACTING INC.*

April 20, 2017.

VIA HAND DELEVERED:

Re: **Frasier Addition**  
**510 Williams St.**  
**Rockwall, Texas 75087**

To the Historic Preservation Advisory Board of the City of Rockwall,

The reason for application for certificate of appropriateness (COA) is due to my clients need to add to and remodel the interior of the home.

The addition to the property for the most part is in the rear of the home and also a detached garage on the back right of the property. Highly visible from Williams St., we will be adding a Porte cochere to the right side of the home where the driveway is at the present.

The majority of the work will be done in the interior of the home. The roof line should be changed to a steeper pitch as to accommodate the new depth of the home from front to the rear. I would expect the pitch to change from a 6/12 to perhaps a 8-9/12 pitch would suffice.

The finishes we plan on using on the exterior will be the same as the existing. The only exception **may** be brick and will definitely be the windows. We are entertaining removing the existing brick and replacing with a new brick which would be "slurred" to give an older look, depending on the availability and appearance of "Old Chicago" brick, provided we find any. We will be replacing the original single pane windows using new low-E windows made of vinyl. These window will have the same mull pattern that is on the home at the present.

Also, we ask for a waiver of the permit fee and a matching grant of \$1,000.00 due to the residence being located in the OTR and our improvement in the front elevation of the home and property.

Thank you for your time and consideration in this matter!

Mike Frasier



Frasier Contracting Inc.

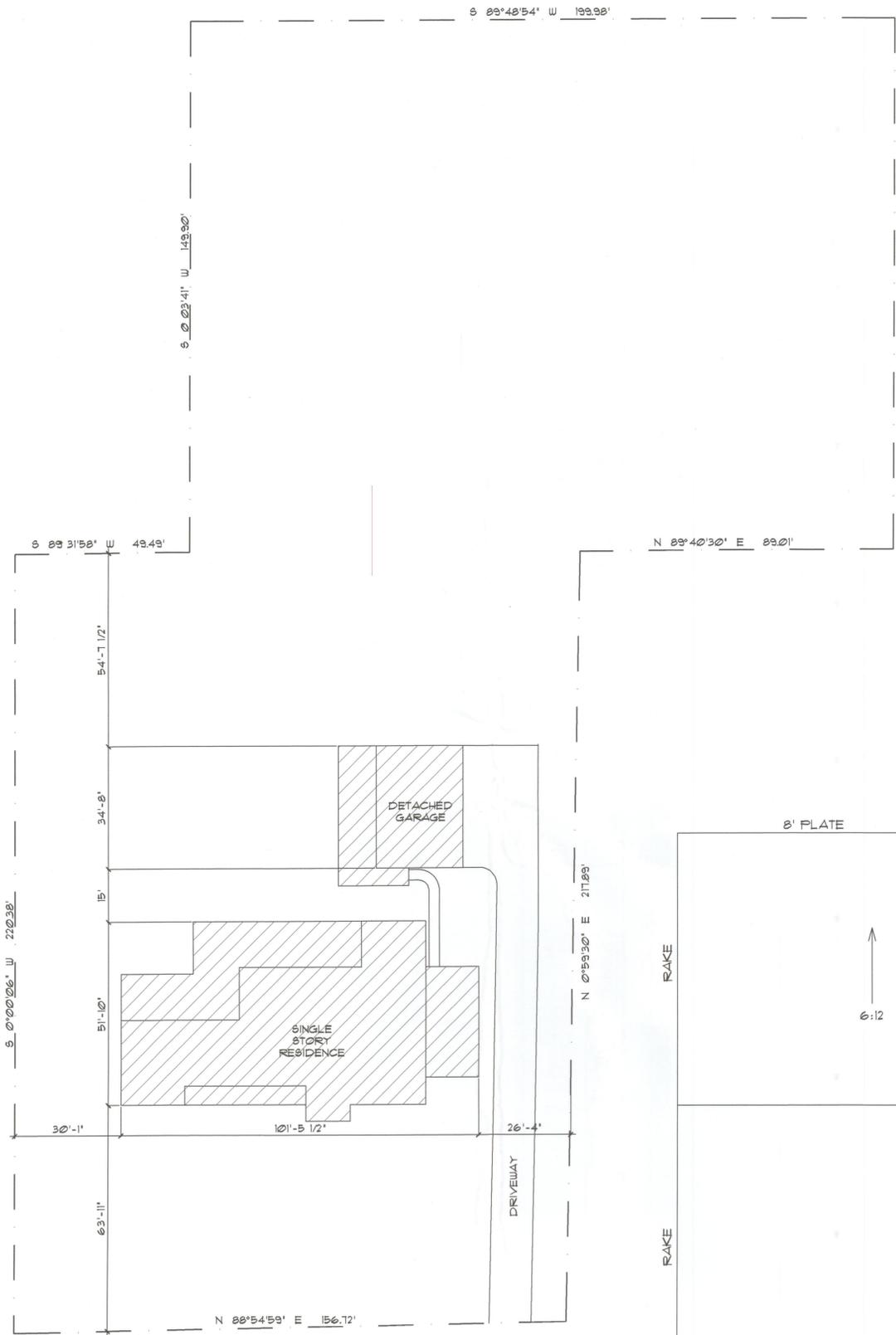
CITY OF ROCKWALL HISTORIC RESOURCES SURVEY – INVENTORY

	<b>510 WILLIAMS ST</b> <span style="float: right;">HHMID 21688</span>								
Parcel ID 14476	Type Single-Family House - Ranch	Year built Ca. 1965	Stylistic influences Ranch	Alterations Doors replaced	Additions None	Recommended NRHP designations Recommended contributing to a NRHP district	Recommended local designations Recommended contributing to a local historic district	Priority ranking Medium	
	<b>601 WILLIAMS ST</b> <span style="float: right;">HHMID 21711</span>								
Parcel ID 16605	Type Outbuilding - Shed	Year built Ca. 1995	Stylistic influences None	Alterations None	Additions None	Recommended NRHP designations Recommended non-contributing to a NRHP district	Recommended local designations Recommended non-contributing to a local historic district	Priority ranking None	
	<b>601 WILLIAMS ST</b> <span style="float: right;">HHMID 21707</span>								
Parcel ID 16605	Type Single-Family House - Bungalow	Year built 1918	Stylistic influences Craftsman	Alterations Windows replaced, Doors replaced	Additions None	Recommended NRHP designations Recommended contributing to a NRHP district, Recommended individually eligible for the NRHP	Recommended local designations Recommended contributing to a local historic district, Recommended eligible as a local landmark	Priority ranking High	
	<b>602 WILLIAMS ST</b> <span style="float: right;">HHMID 21691</span>								
Parcel ID 14396	Type Single-Family House - Massed Plan	Year built Ca. 1915	Stylistic influences Colonial Revival	Alterations None	Additions None	Recommended NRHP designations Recommended individually eligible for the NRHP, Recommended contributing to a NRHP district	Recommended local designations Recommended eligible as a local landmark, Recommended contributing to a local historic district	Priority ranking High	
	<b>602 WILLIAMS ST</b> <span style="float: right;">HHMID 21689</span>								
Parcel ID 14396	Type Outbuilding - Back House	Year built Ca. 1990	Stylistic influences None	Alterations None	Additions None	Recommended NRHP designations Recommended non-contributing to a NRHP district	Recommended local designations Recommended non-contributing to a local historic district	Priority ranking None	
	<b>704 WILLIAMS ST</b> <span style="float: right;">HHMID 21706</span>								
Parcel ID 14474	Type Single-Family House - Bungalow	Year built Ca. 1925	Stylistic influences Craftsman	Alterations Doors replaced	Additions Side addition, Rear addition, Multiple additions	Recommended NRHP designations Recommended non-contributing to a NRHP district	Recommended local designations Recommended non-contributing to a local historic district	Priority ranking Low	
	<b>No address</b> <span style="float: right;">HHMID 21732</span>								
Parcel ID 16567	Type Park - Municipal park	Year built Ca. 1990	Stylistic influences None	Alterations None	Additions None	Recommended NRHP designations Recommended non-contributing to a NRHP district	Recommended local designations Recommended non-contributing to a local historic district	Priority ranking None	
	<b>No address</b> <span style="float: right;">HHMID 21731</span>								
Parcel ID 16568	Type Site - Vacant	Year built None	Stylistic influences None	Alterations None	Additions None	Recommended NRHP designations Recommended non-contributing to a NRHP district	Recommended local designations Recommended non-contributing to a local historic district	Priority ranking None	

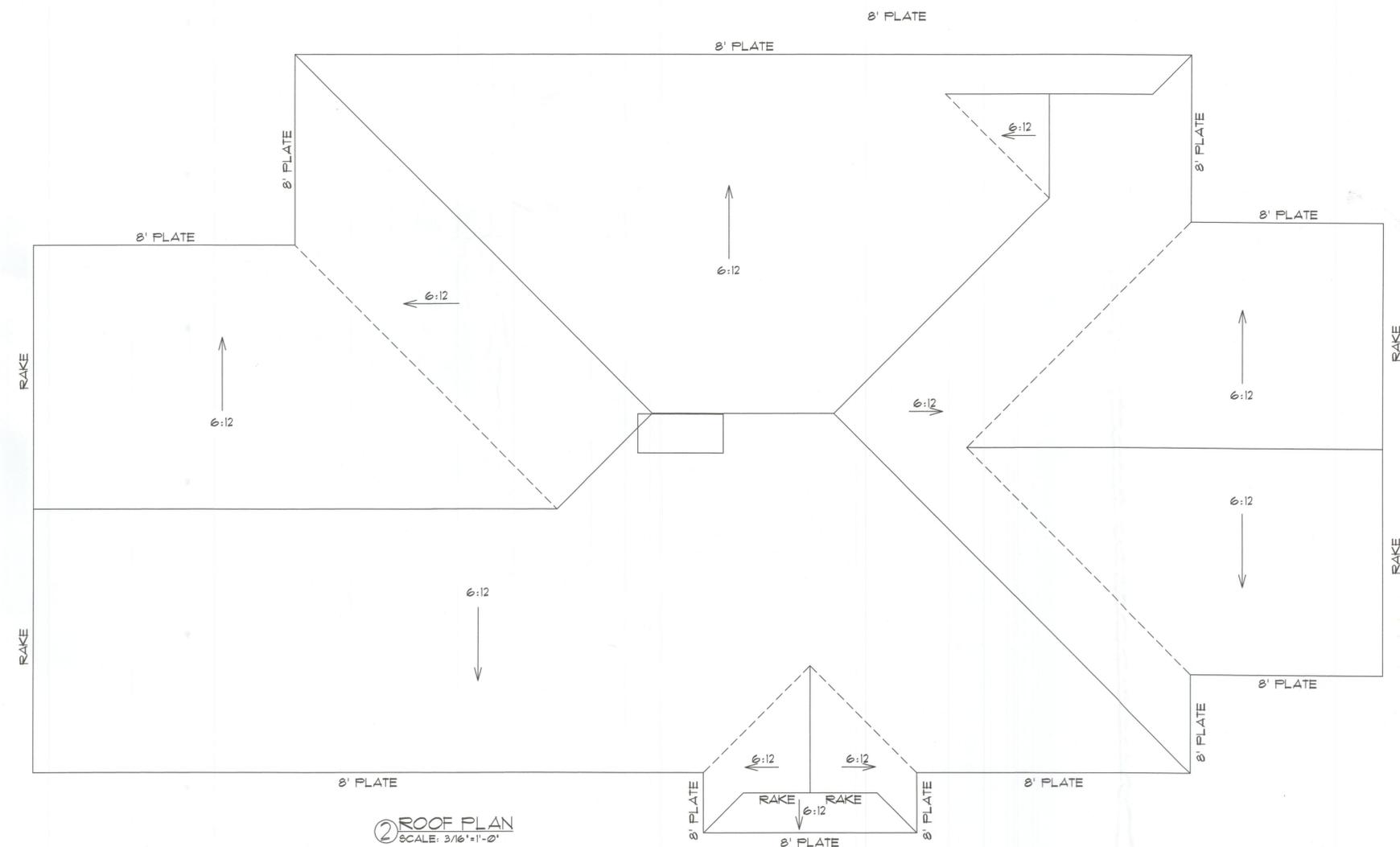




510



1 SITE PLAN  
SCALE: 1"=20'-0"



2 ROOF PLAN  
SCALE: 3/16"=1'-0"

FRASIER RESIDENCE  
 REMODEL / ADDITION  
 510 WILLIAMS STREET / HWY 66  
 ROCKWALL, TEXAS 75087

TITLE:  
 SITE PLAN / ROOF PLAN

SCALE:  
 AS SHOWN

SHANNON NEUSOM  
 MARK NEUSOM  
**CADAZIGN**  
 3709 C.R. 2522  
 ROYSE CITY, TEXAS 75189  
 469-338-9863

DATE  
 12/09/16

REVISION DATE:

SHEET  
 A1

JOB NO.  
 19316CAD



① FRONT ELEVATION  
SCALE: 1/4"=1'-0"



② REAR ELEVATION  
SCALE: 1/4"=1'-0"



③ RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



④ LEFT ELEVATION  
SCALE: 1/4"=1'-0"

FRASIER RESIDENCE  
REMODEL / ADDITION  
510 WILLIAMS STREET / HWY 66  
ROCKWALL, TEXAS 75087

TITLE:  
ELEVATION - RESIDENCE  
SCALE:  
AS SHOWN

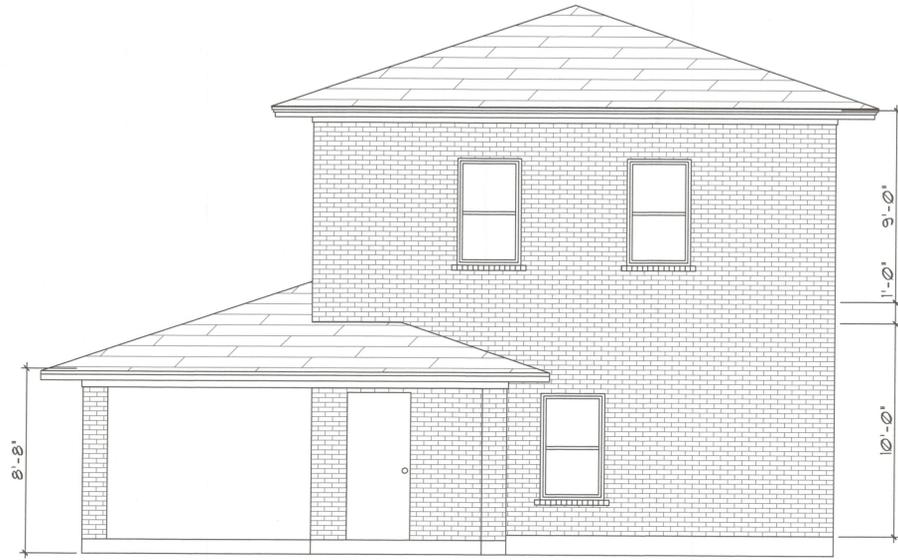
SHANNON NEWBOM  
MARK NEWBOM  
CADAZIGN  
3709 C.R. 2522  
ROYSE CITY, TEXAS 75189  
469-338-9863

DATE  
12/09/16

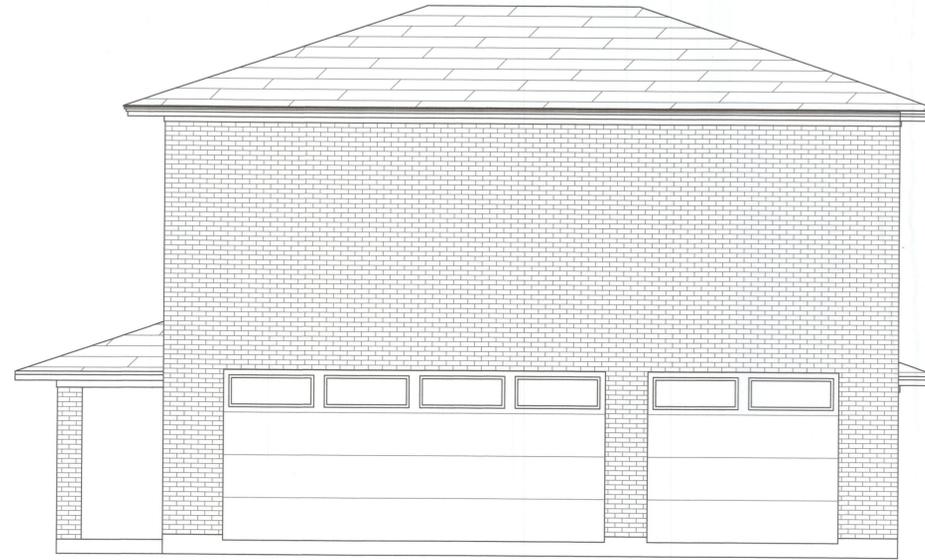
REVISION DATE:

SHEET  
A2

JOB NO.  
19316CAD



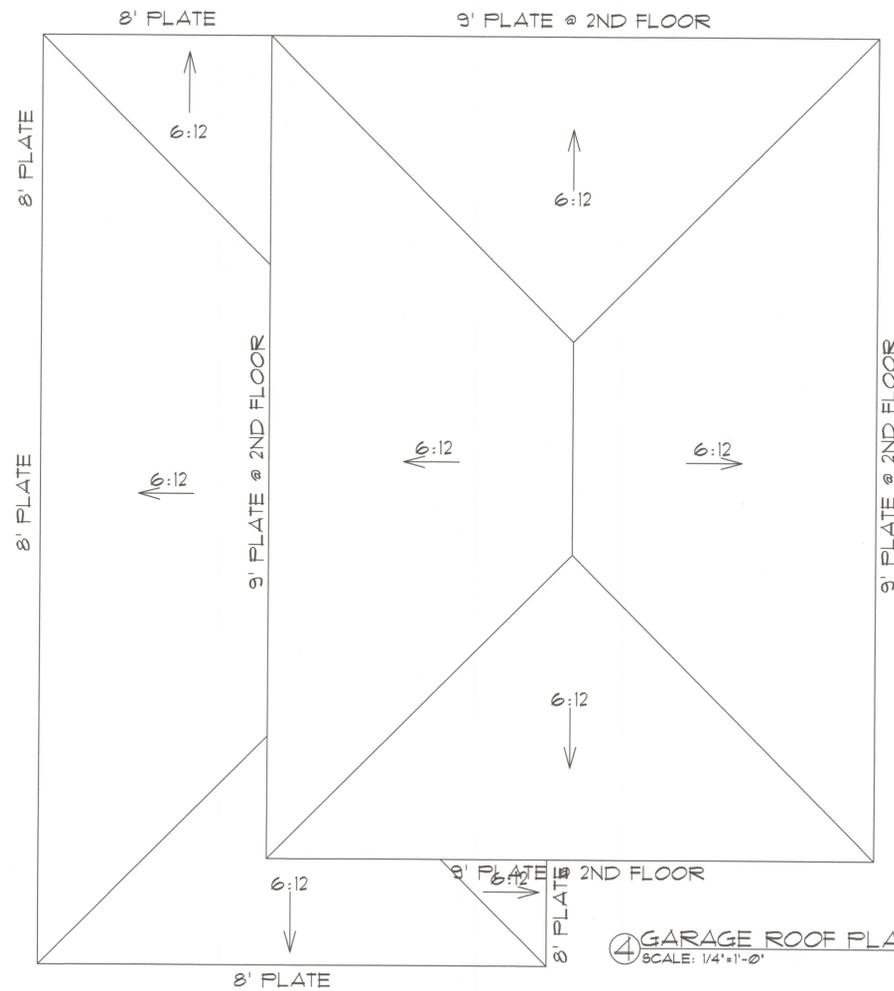
① GARAGE FRONT ELEVATION  
SCALE: 1/4"=1'-0"  
REAR SIMILAR



② GARAGE RIGHT ELEVATION  
SCALE: 1/4"=1'-0"



③ GARAGE LEFT ELEVATION  
SCALE: 1/4"=1'-0"



④ GARAGE ROOF PLAN  
SCALE: 1/4"=1'-0"

FRASIER RESIDENCE  
REMODEL / ADDITION  
510 WILLIAMS STREET / HWY 66  
ROCKWALL, TEXAS 75087

TITLE:  
ELEVATIONS / ROOF - GARAGE

SCALE:  
AS SHOWN

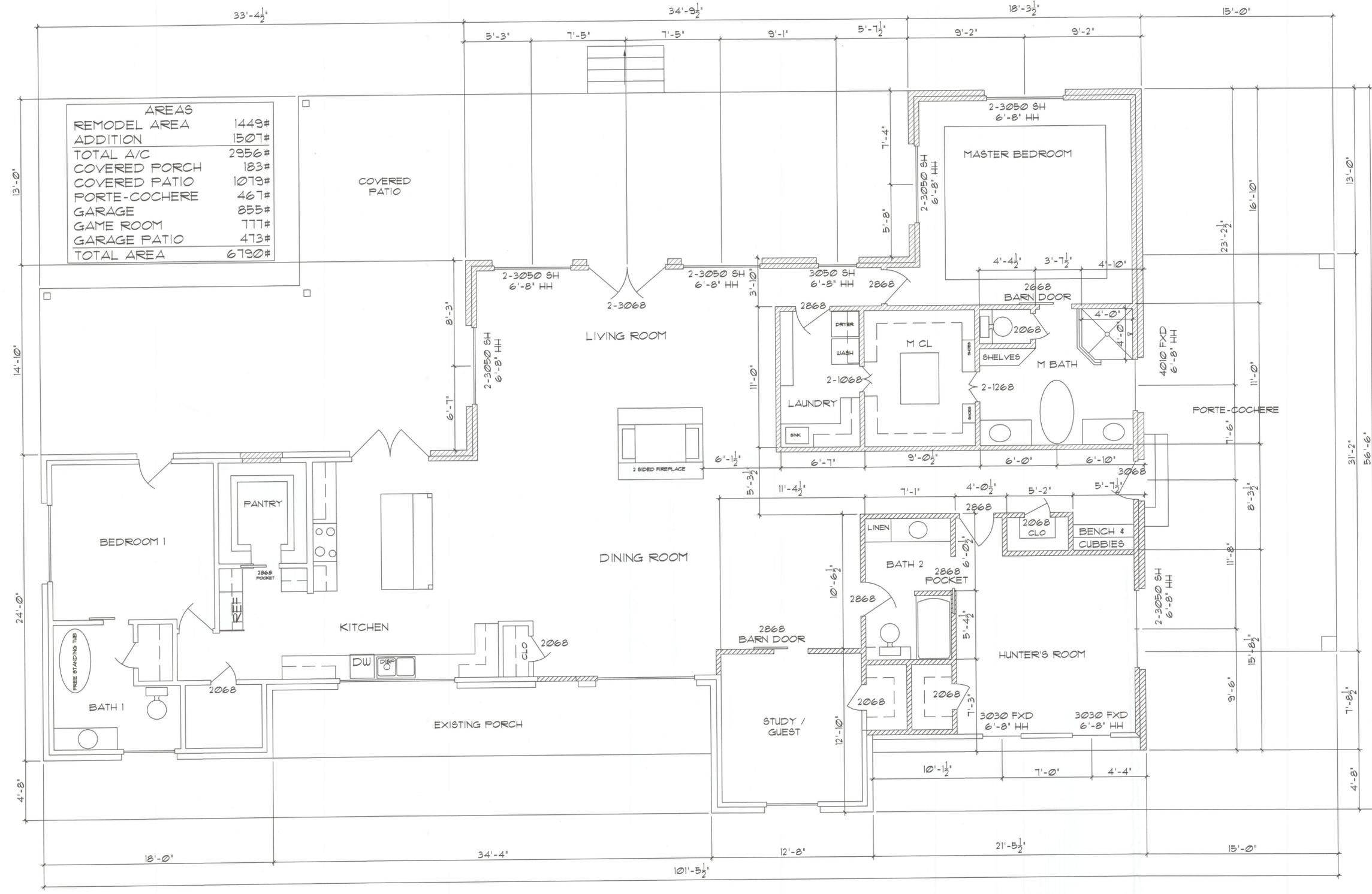
SHANNON NEUSOM  
MARK NEUSOM  
**CADAZIGN**  
3709 C.R. 2522  
ROYSE CITY, TEXAS 75189  
469-338-9863

DATE  
12/09/16

REVISION DATE:

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A6

JOB NO.  
19316CAD



AREAS	
REMODEL AREA	1449#
ADDITION	1507#
TOTAL A/C	2956#
COVERED PORCH	183#
COVERED PATIO	1079#
FORTE-COCHERE	467#
GARAGE	855#
GAME ROOM	777#
GARAGE PATIO	473#
<b>TOTAL AREA</b>	<b>6790#</b>

**FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**FRASIER RESIDENCE**  
REMODEL / ADDITION  
510 WILLIAMS STREET / HWY 66  
ROCKWALL, TEXAS 75087

TITLE:  
**FLOOR PLAN W/ DIMENSIONS**  
SCALE:  
AS SHOWN

SHANNON NEUSOM  
**CADAZIGN**  
3709 C.R. 2522  
ROYSE CITY, TEXAS 75189  
469-338-9863

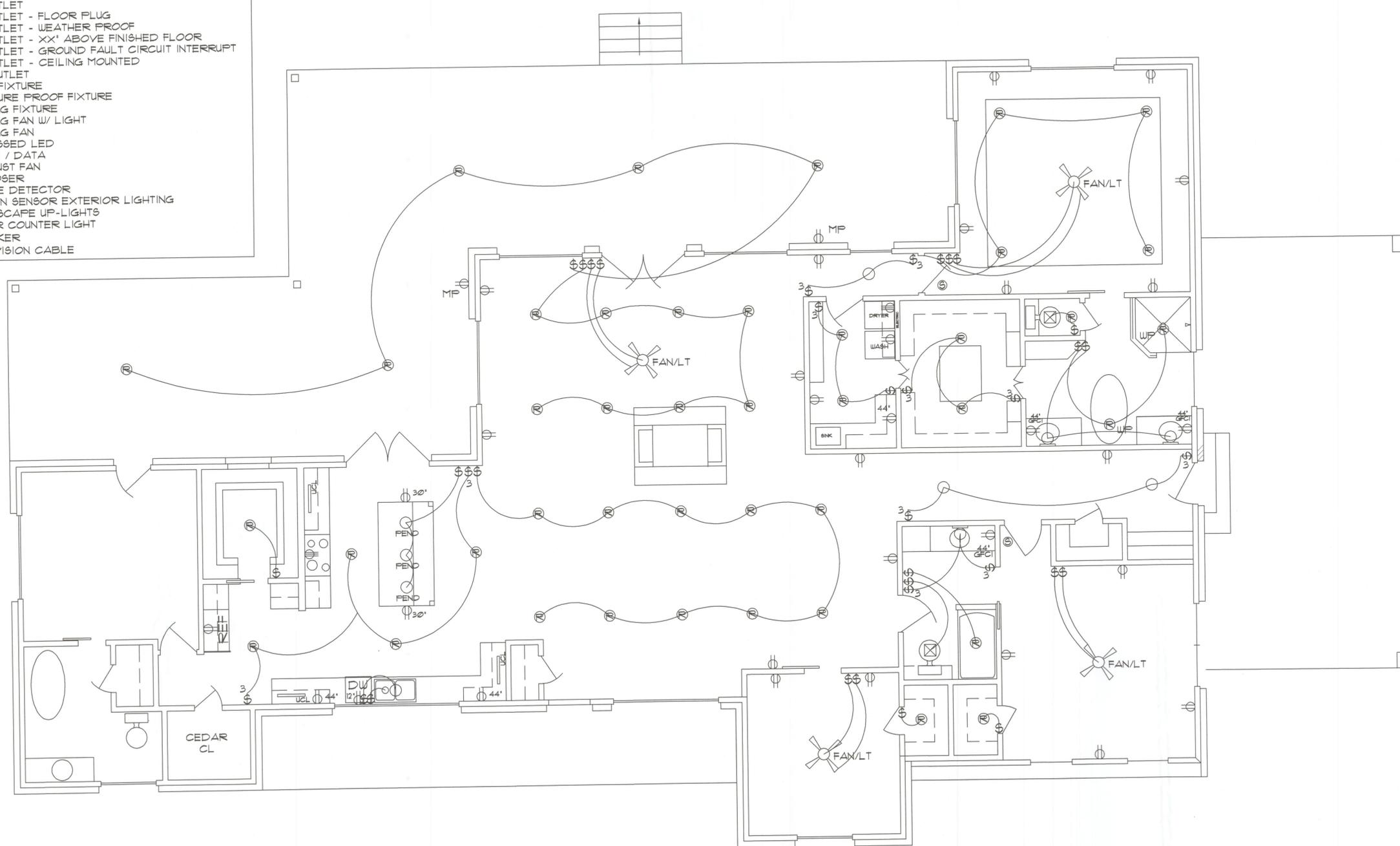
DATE  
12/09/16

REVISION DATE:

SHEET  
**A3**

JOB NO.  
19316CAD

ELECTRICAL LEGEND	
	SWITCH
	SWITCH W/ DIMMER
	SWITCH - 3 WAY
	110 OUTLET
	110 OUTLET - FLOOR PLUG
	110 OUTLET - WEATHER PROOF
	110 OUTLET - XX' ABOVE FINISHED FLOOR
	110 OUTLET - GROUND FAULT CIRCUIT INTERRUPT
	110 OUTLET - CEILING MOUNTED
	220 OUTLET
	WALL FIXTURE
	MOISTURE PROOF FIXTURE
	CEILING FIXTURE
	CEILING FAN W/ LIGHT
	CEILING FAN
	RECESSED LED
	VOICE / DATA
	EXHAUST FAN
	DISPOSER
	SMOKE DETECTOR
	MOTION SENSOR EXTERIOR LIGHTING
	LANDSCAPE UP-LIGHTS
	UNDER COUNTER LIGHT
	SPEAKER
	TELEVISION CABLE



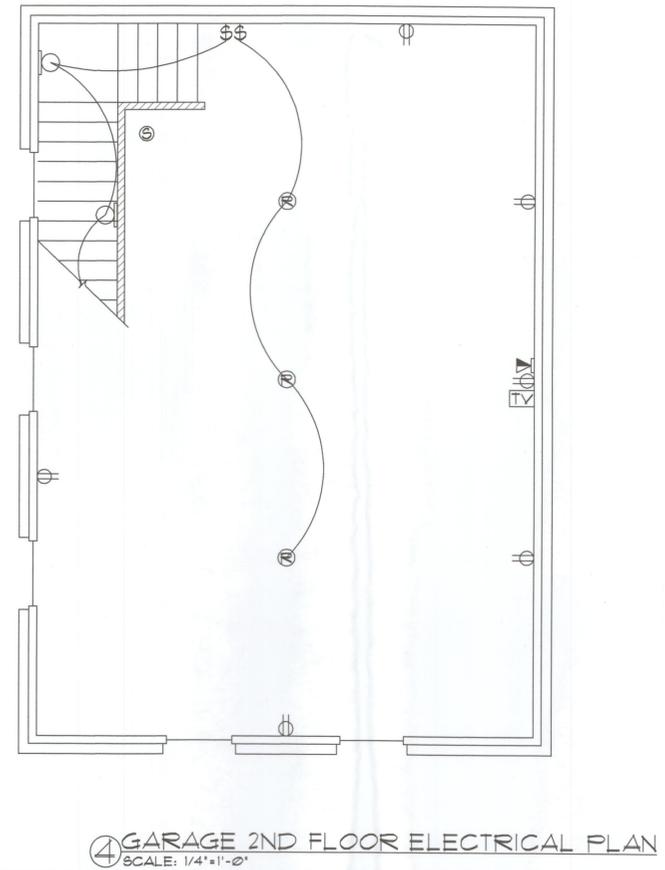
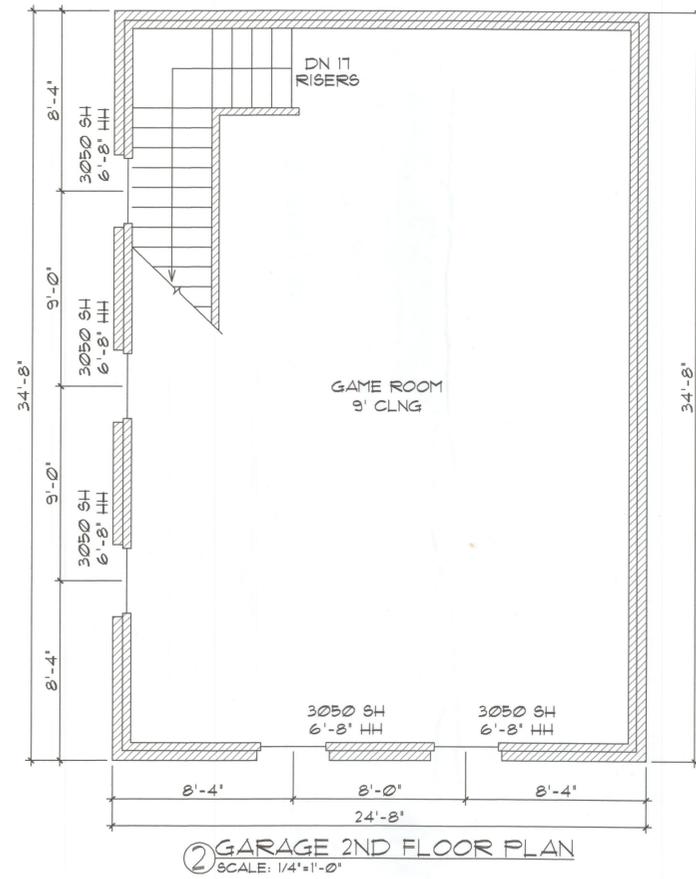
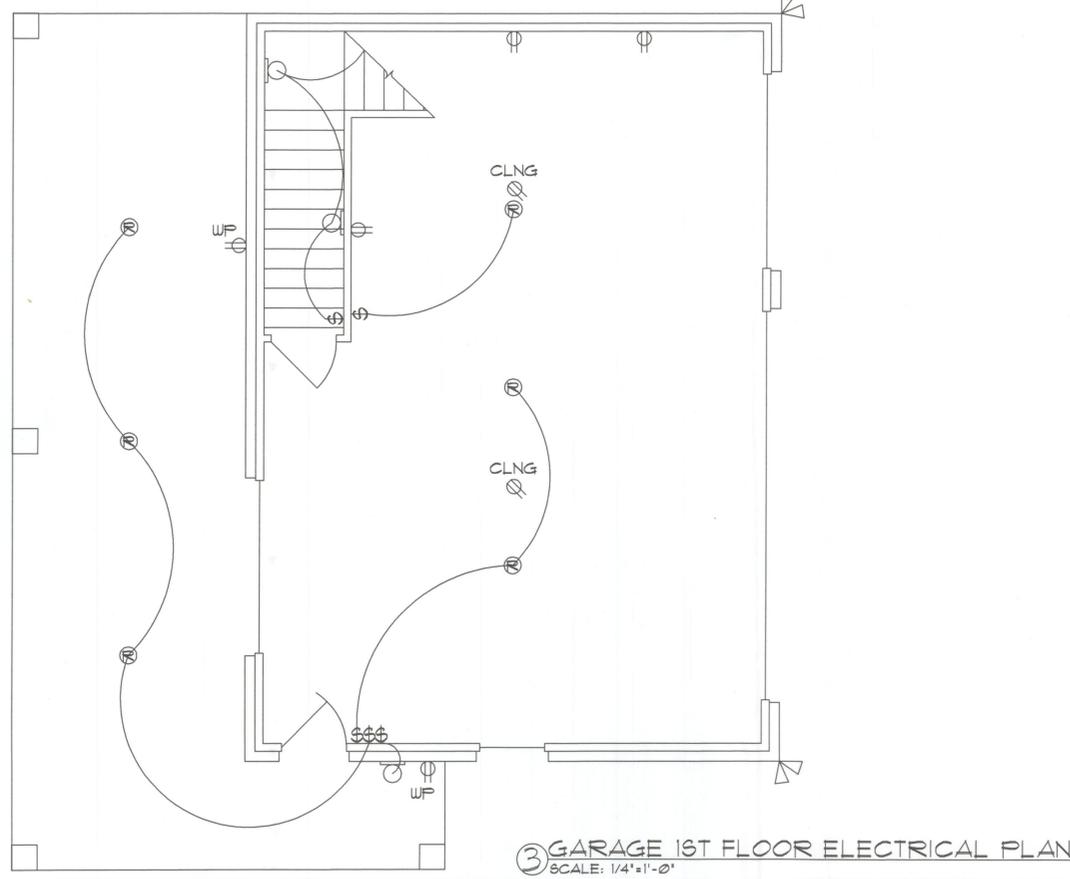
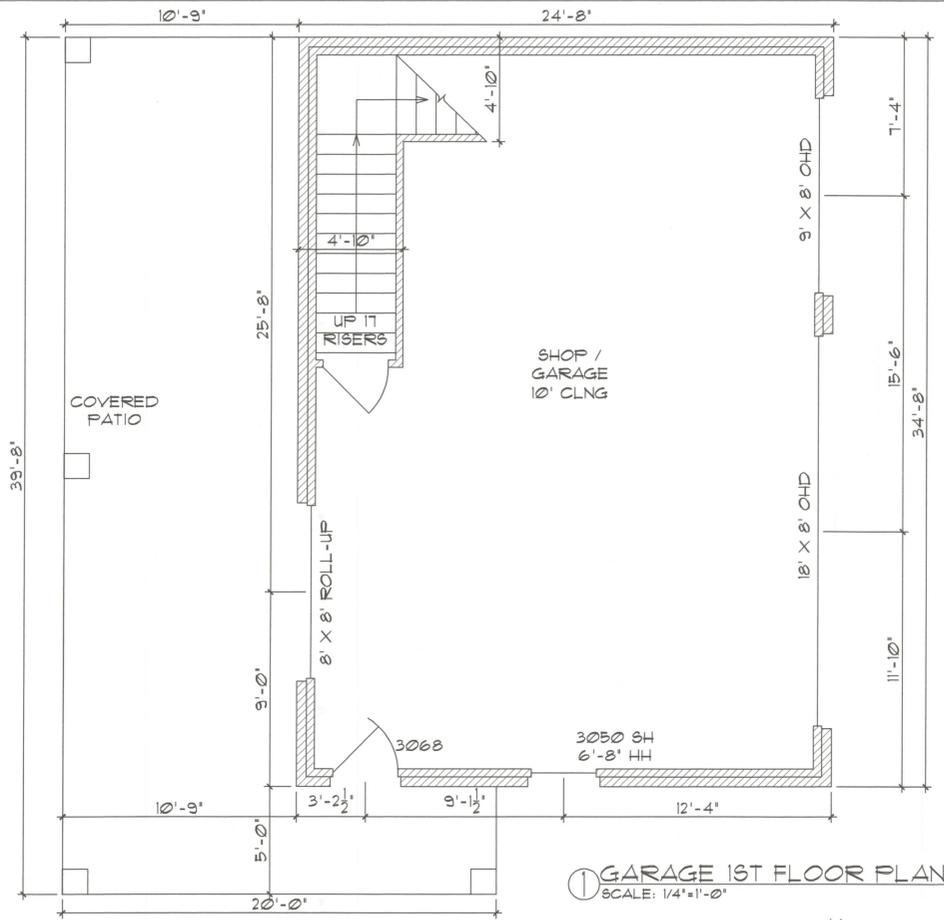
FRASIER RESIDENCE  
 REMODEL / ADDITION  
 510 WILLIAMS STREET / HWY 66  
 ROCKWALL, TEXAS 75087

TITLE:  
 ELECTRICAL PLAN - RESIDENCE  
 SCALE:  
 AS SHOWN

SHANNON NEUSOM  
 MARK NEUSOM  
**CADAZIGN**  
 3109 C.R. 2522  
 ROYSE CITY, TEXAS 75189  
 469-338-9863

DATE  
 12/09/16  
 REVISION DATE:  
 SHEET  
 A4  
 JOB NO.  
 19316CAD

ELECTRICAL LEGEND	
	SWITCH
	SWITCH W/ DIMMER
	SWITCH - 3 WAY
	110 OUTLET
	110 OUTLET - FLOOR PLUG
	110 OUTLET - WEATHER PROOF
	110 OUTLET - XX' ABOVE FINISHED FLOOR
	110 OUTLET - GROUND FAULT CIRCUIT INTERRUPT
	110 OUTLET - CEILING MOUNTED
	220 OUTLET
	WALL FIXTURE
	MOISTURE PROOF FIXTURE
	CEILING FIXTURE
	CEILING FAN W/ LIGHT
	CEILING FAN
	RECESSED LED
	VOICE / DATA
	EXHAUST FAN
	DISPOSER
	SMOKE DETECTOR
	MOTION SENSOR EXTERIOR LIGHTING
	LANDSCAPE UP-LIGHTS
	UNDER COUNTER LIGHT
	SPEAKER
	TELEVISION CABLE



FRASIER RESIDENCE  
REMODEL / ADDITION  
510 WILLIAMS STREET / HWY 66  
ROCKWALL, TEXAS 75087

TITLE:  
FLOOR PLAN / ELECTRICAL - GARAGE

SCALE:  
AS SHOWN

SHANNON NEUSOM  
MARK NEUSOM  
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A5

JOB NO.  
19316CAD