



# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** October 17, 2019  
**APPLICANT:** Michael Cheatham; *WillowCreek Custom Homes*  
**CASE NUMBER:** H2019-012; *Building Permit Fee Waiver*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Building Permit Fee Waiver for exterior modifications to a High Contributing Property identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

### **BACKGROUND**

The applicant is requesting approval of a building permit fee waiver in conjunction with a Certificate of Appropriateness [Case No. H2019-011] and a small neighborhood matching grant [Case No. H2019-013] to allow the expansion of a single-family home in order to add a garage and a breezeway. The subject property was annexed prior to 1959, zoned Single-Family 7 (SF-7) District, is situated within the Historic Overlay (HOV) District, and is addressed as 401 N. Fannin Street. The subject property is recognized as a *High Contributing Property*, which indicates the property retains a high degree of architectural and physical integrity and possesses strong associations concerning the structure's historic context. The home is approximately 2,447 SF, and -- based on the 2017 Historic Resources Survey -- the main area was considered to have been constructed in the Folk Victorian style in 1905. On June 16, 2016, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2018-004] to allow renovations and expansion of the existing home on the subject property. On September 21, 2017, staff initiated a *Reconsideration of Contributing Status* request after reviewing the progress of the renovation and recognizing that the high contributing designation may no longer be appropriate for the property. Following a review, the Historic Preservation Advisory Board (HPAB) passed a motion to allow the subject property to maintain its high contributing designation by a vote of 7-0. On December 20, 2018, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2018-022] in conjunction with a small neighborhood matching grant and a building permit fee waiver [Case No.'s H2018-023 and H2018-024] for the replacement of a fence.

### **CONFORMANCE TO THE BUILDING PERMIT FEE WAIVER REQUIREMENTS**

According to Section 7, *Building Permit Fee Waiver*, of Article XI, *Development and Review Procedures*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) has the ability to reduce or waive building permit fees for projects involving a minimum investment of \$5,000.00 and that are associated with exterior improvements for the rehabilitation or restoration of a property. The property must be located within the Old Town Rockwall (OTR) Historic or the Southside Residential Overlay (SRO) District. Properties classified as *non-contributing* are eligible for a 50% reduction of the required building permit fees and properties identified as *contributing* are eligible for a full waiver of building permit fees. In this case, the proposed exterior improvements are considered to be substantial in nature, and the subject property is located within the Old Town Rockwall (OTR) Overlay District and is classified as a *High Contributing* property. Based on this, the applicant is eligible

for a full waiver of the required building permit fees. Should the Historic Preservation Advisory Board (HPAB) approve this request, a total of \$690.25 of required permit fees would be waived.

**CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Building Permit Fee Waiver, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Historic Preservation Advisory Board  
**DATE:** October 17, 2019  
**APPLICANT:** Michael Cheatham; *WillowCreek Custom Homes*  
**CASE NUMBER:** H2019-012; *Building Permit Fee Waiver*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request Michael Cheatham of WillowCreek Custom Homes on behalf of the owners Jim and Peggy Ricketts for a Building Permit Fee Waiver for exterior modifications to a High Contributing Property identified as Lot C, Block 122, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 401 N. Fannin Street, and take any action necessary.

### **BACKGROUND**

The applicant is requesting approval of a building permit fee waiver in conjunction with a Certificate of Appropriateness [Case No. H2019-011] and a small neighborhood matching grant [Case No. H2019-013] to allow the expansion of a single-family home in order to add a garage and a breezeway. The subject property was annexed prior to 1959, zoned Single-Family 7 (SF-7) District, is situated within the Historic Overlay (HOV) District, and is addressed as 401 N. Fannin Street. The subject property is recognized as a *High Contributing Property*, which indicates the property retains a high degree of architectural and physical integrity and possesses strong associations concerning the structure's historic context. The home is approximately 2,447 SF, and -- based on the 2017 Historic Resources Survey -- the main area was considered to have been constructed in the Folk Victorian style in 1905. On June 16, 2016, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2018-004] to allow renovations and expansion of the existing home on the subject property. On September 21, 2017, staff initiated a *Reconsideration of Contributing Status* request after reviewing the progress of the renovation and recognizing that the high contributing designation may no longer be appropriate for the property. Following a review, the Historic Preservation Advisory Board (HPAB) passed a motion to allow the subject property to maintain its high contributing designation by a vote of 7-0. On December 20, 2018, the Historic Preservation Advisory Board (HPAB) approved a Certificate of Appropriateness (COA) [Case No. H2018-022] in conjunction with a small neighborhood matching grant and a building permit fee waiver [Case No.'s H2018-023 and H2018-024] for the replacement of a fence.

### **CONFORMANCE TO THE BUILDING PERMIT FEE WAIVER REQUIREMENTS**

According to Section 7, *Building Permit Fee Waiver*, of Article XI, *Development and Review Procedures*, of the Unified Development Code (UDC), the Historic Preservation Advisory Board (HPAB) has the ability to reduce or waive building permit fees for projects involving a minimum investment of \$5,000.00 and that are associated with exterior improvements for the rehabilitation or restoration of a property. The property must be located within the Old Town Rockwall (OTR) Historic or the Southside Residential Overlay (SRO) District. Properties classified as *non-contributing* are eligible for a 50% reduction of the required building permit fees and properties identified as *contributing* are eligible for a full waiver of building permit fees. In this case, the proposed exterior improvements are considered to be substantial in nature, and the subject property is located within the Old Town Rockwall (OTR) Overlay District and is classified as a *High Contributing* property. Based on this, the applicant is eligible

for a full waiver of the required building permit fees. Should the Historic Preservation Advisory Board (HPAB) approve this request, a total of \$690.25 of required permit fees would be waived.

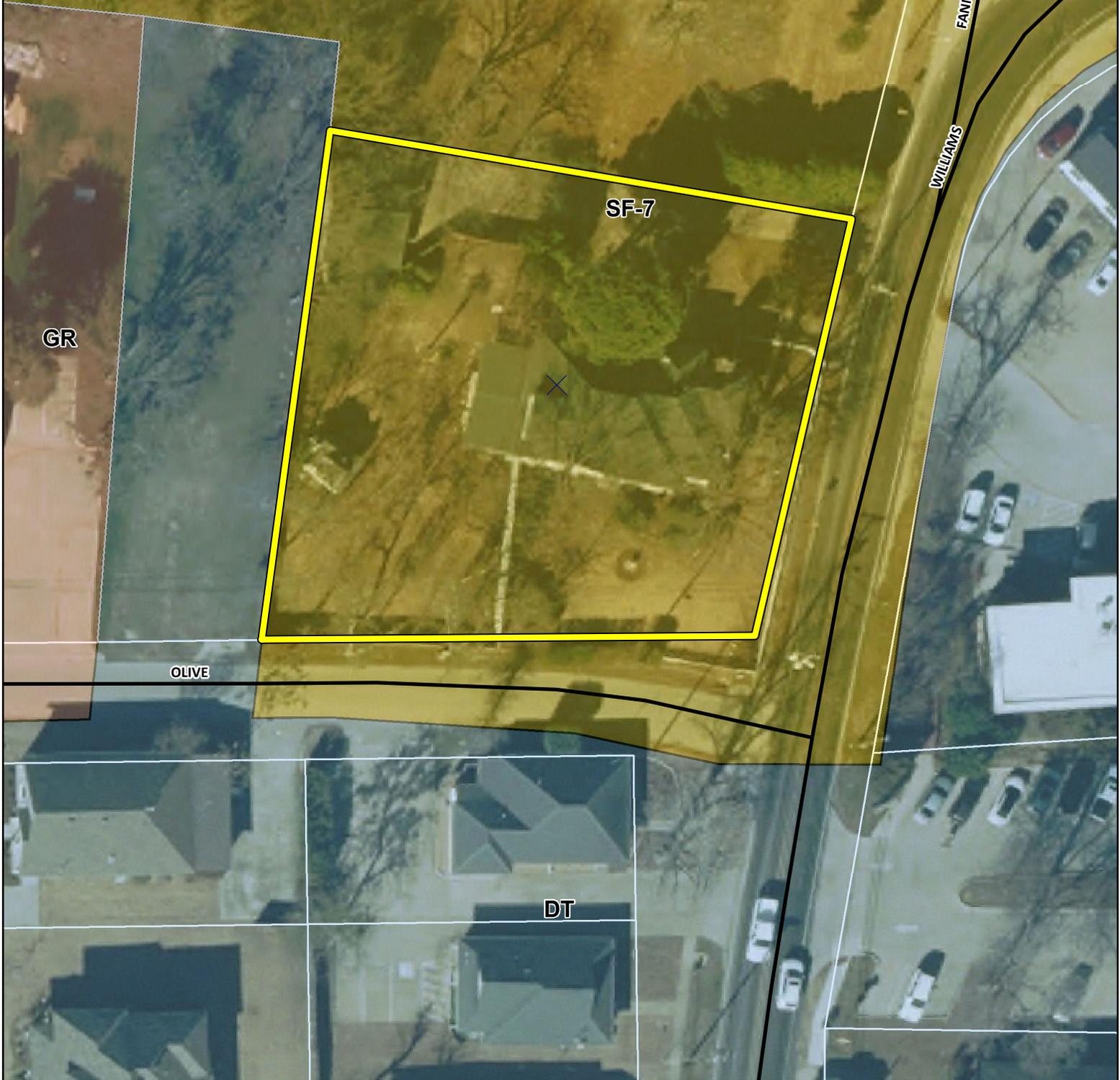
**CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a Building Permit Fee Waiver, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

0 12.5 25 50 75 100 Feet

H2019-012 - 401 N. FANNIN STREET  
HISTORICAL - LOCATION MAP = 

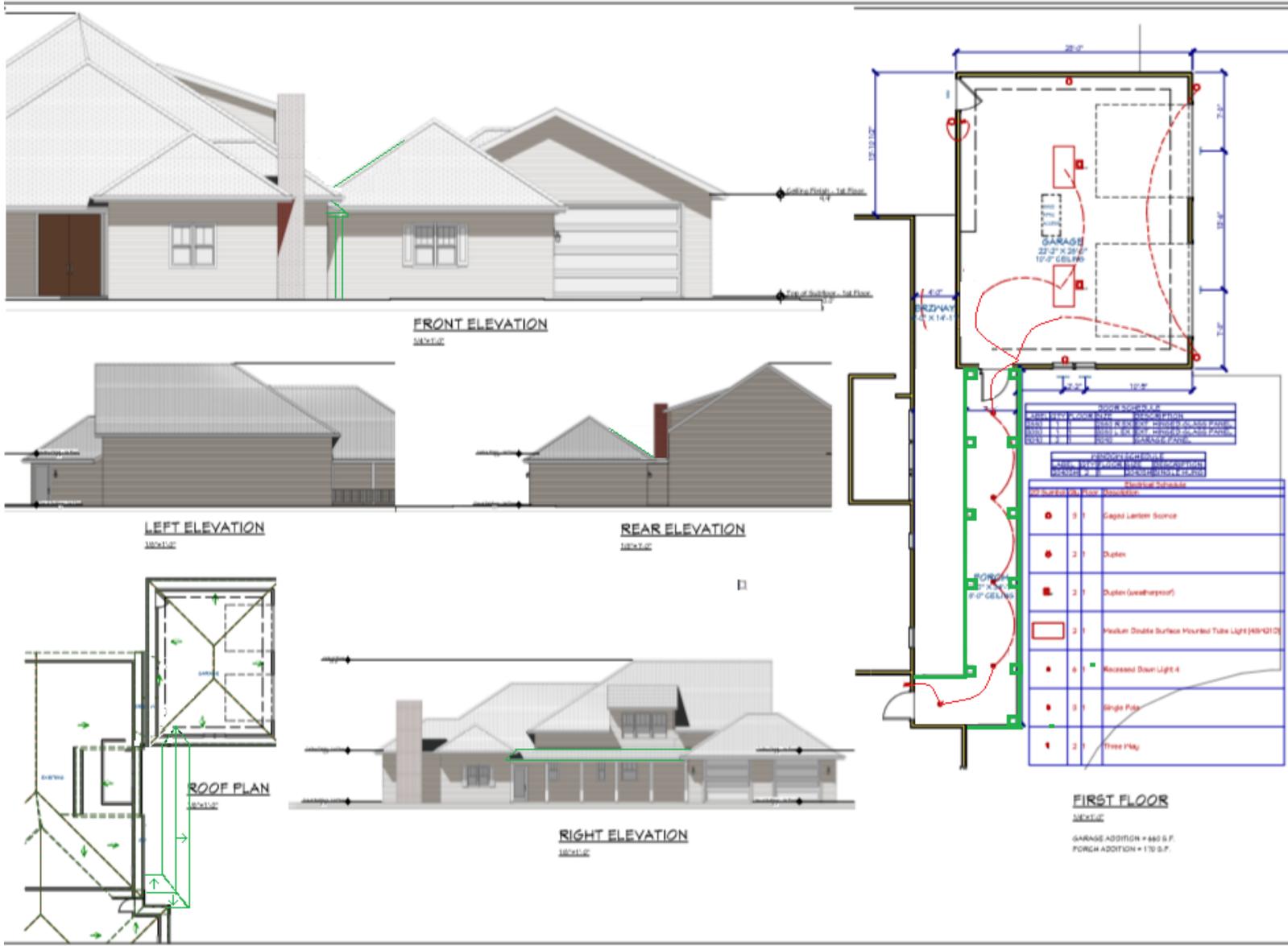


## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





LOT: 102  
 SUBDIVISION:  
 LAKE HAVEN  
 ADDRESS:  
 COUNTY:

RESIDENCE FOR:  
 MR. & MRS. RICKETTS

MIKE REGAN  
 CUSTOM HOMES

DATE:  
 5/5/15

SCALE:

SHEET:  
 2P-1

214-851-0211  
 ARCH@MTRK.COM

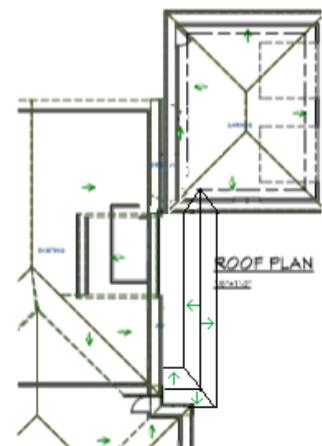


**FRONT ELEVATION**  
1/8"=1'-0"



**LEFT ELEVATION**  
1/8"=1'-0"

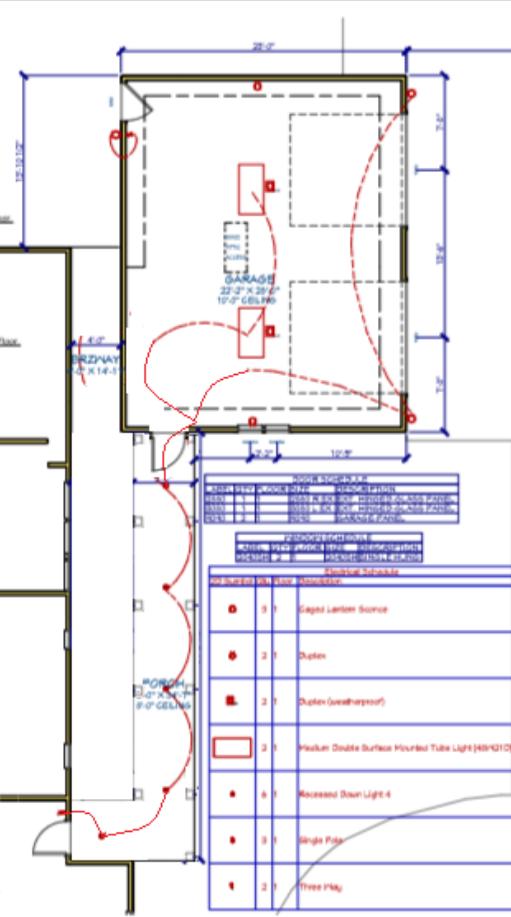
**REAR ELEVATION**  
1/8"=1'-0"



**ROOF PLAN**  
1/8"=1'-0"



**RIGHT ELEVATION**  
1/8"=1'-0"



ROOF & CEILING		
ROOFING	ASPH/FLT	
CEILING	9" POP	
WALLS	1/2" GYPSUM BOARD	
FLOORS	3/4" OSB	
EXTERIOR	1" POLYSTYRENE INSULATION	
EXTERIOR	1" POLYSTYRENE INSULATION	
ELECTRICAL SYMBOLS		
QTY	SYMBOL	DESCRIPTION
3	●	Ceiling Lantern Source
2	○	Duplex
2	■	Duplex (weatherproof)
2	□	Medium Double Surface Fluorescent Tube Light (MR16/120)
6	●	Recessed Down Light 4
3	●	Single Pole
2	●	Three Way

**FIRST FLOOR**  
1/8"=1'-0"

GARAGE ADDITION = 440 S.F.  
PORCH ADDITION = 170 S.F.

LOT 112  
HIGHLAND  
ADDRESS  
CITY, STATE  
ZIP CODE

RESIDENCE FOR:  
MR. & MRS. RICKETTS

MIKE REGAN  
CUSTOM HOMES

DATE:

5/3/18

SCALE:

SHEET:

2P-1



214.891.0241  
ARCHITREX.COM

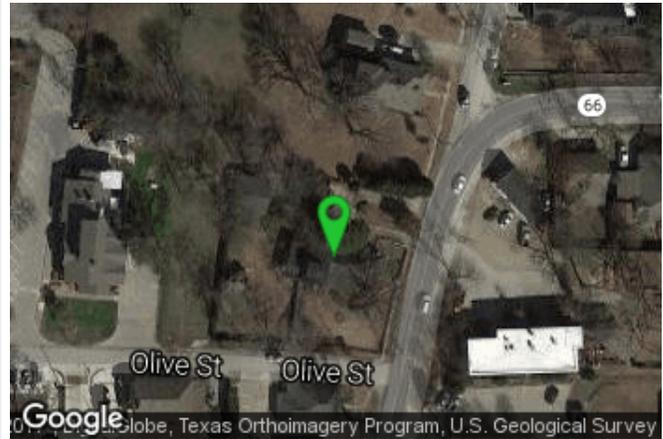
HMM ID 21613

401 FANNIN ST



Oct 2016

Image ID 21628



Coordinates: 32.9331818, -96.4587486

**IDENTIFICATION**

Parcel ID 14401

Street name FANNIN

Street number 401

Street type ST

**DESCRIPTION**

Type Building - Residential - Single-Family House - Modified L-Plan

Exterior wall materials Horizontal wood board

Stylistic influences Folk Victorian

Stories 1

**ROOF**

Roof shape Cross-gabled, Hipped

Chimney locations Side, External

Roof materials Asphalt composition shingles

Chimney materials Brick

Number of chimneys 1

Chimney features Chimney cap

**DOORS AND WINDOWS**

Door types Double door primary entrance

Window materials Vinyl

Window types Double-hung

**PORCH**

Porch type One story, Partial width, Wrap-around

Porch support type Classical columns

Porch roof type Inset

Other porch features Jig-sawn brackets, Turned wood balusters

**LANDSCAPE**

Landscape features Concrete curb

**HISTORY**

Year built Ca. 1910

Historic name

Source for year built Sanborn map

**INTEGRITY**

Alterations Windows replaced, Doors replaced

Integrity notes Compatible replacements

**RECOMMENDATIONS**

Recommended NRHP designations Recommended individually eligible for the NRHP, Recommended contributing to a NRHP district

Priority ranking High

Recommended local designations Recommended eligible as a local landmark, Recommended contributing to a local historic district

**PRIOR DESIGNATIONS**

Prior local designations High Contributing

HHM ID 21613

401 FANNIN ST

IMAGES



Oct 2016

Image ID 21628



Oct 2016

Image ID 21626

HHM ID 21613

401 FANNIN ST

IMAGES



Oct 2016

Image ID 21625



Oct 2016

Image ID 21627





1411  
406  
1977



1101 N. Farnham St.









