

CITY OF ROCKWALL

RESOLUTION NO. 10-40

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ADOPTING DESIGN GUIDELINES FOR THE PLANNED DEVELOPMENT NO. 32 DISTRICT (PD-32), ALSO KNOWN AS THE HARBOR DISTRICT.

WHEREAS, the City Council of the City of Rockwall has previously authorized a study to adopt a concept plan and development standards for the Harbor District, and

WHEREAS, the Harbor District Design Guidelines shall serve as a guide for the Architectural Review Board, Planning and Zoning Commission and City Council in the review of all future development in the PD-32 district, and

WHEREAS, the Harbor District Design Guidelines are also intended to be used as a guide for developers of individual parcels, and their consultants, for use in the design, construction, and maintenance of all developments and properties within the PD-32 District, and

WHEREAS, the Harbor District Design Guidelines address planning and character related to the public realm in such a way to ensure quality and compatibility without creating overly prescriptive or onerous requirements that severely limit design flexibility and it is not the intention of these guidelines to establish inflexible design requirements that rule out unique design solutions.

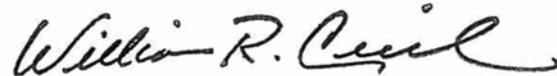
NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, that:

Section 1. That the Harbor District Design Guidelines attached hereto as Exhibit "A" are hereby approved and shall be an Appendix to the approved ordinance for (PD-32) Planned Development No. 32 District, as heretofore amended and as may be amended in the future.

Section 2. That the Harbor District Design Guidelines shall be used by the City as a guide in the review of all future development within the Planned Development No. 32 district.

Section 3. That this resolution shall take effect immediately from and after its adoption and it is so resolved.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 7th day of September, 2010.



William R. Cecil, Mayor

ATTEST


Kristy Ashberry, City Secretary





HARBOR DISTRICT

R O C K W A L L ★ T E X A S

PD-32 DESIGN GUIDELINES
Resolution No. 10-40 - Exhibit "A"

H A R B O R D I S T R I C T F O R M B A S E D C O D E

1 INTRODUCTION

OVERVIEW

This Form Based Code has been created to establish development controls that will ensure the desired quality and vitality of PD 32 known herein as the "Harbor District". The Harbor District is comprised of approximately 62 acres at the southwest corner of Horizon Road and Interstate 30 in the City of Rockwall. A master plan has been prepared for the Harbor District establishing a pedestrian oriented mixed-use development to compliment the existing Harbor development. The master plan provides horizontal and limited vertical mixing of retail, restaurant, residential, and office land uses as well as public open space. The master plan is strongly influenced by the existing topography and natural features of the site.

KEY COMPONENTS OF THE PLAN

- Strong focal and physical linkage to existing Harbor development
- Convenient connection to adjusted Interstate 30 eastbound off ramp
- Excellent views of Lake Ray Hubbard from hillside
- Horizontal and limited vertical mixing of land uses
- Urban public plazas and naturalistic open spaces

PURPOSE

This Form Based Code provides a set of standards to guide the development of individual parcels within the Harbor District. Compliance with the requirements of this code does not constitute fulfillment of any other requirements imposed by ordinances, codes, or statutes of the City of Rockwall or any other regulatory agency having jurisdiction within the Harbor District.

This code is intended to be used as a guide by the City of Rockwall, developers of individual parcels, and their consultants for use in the design, construction, and maintenance of all developments and properties within the Harbor District. This code applies to all individual parcels and building sites describing requirements for site planning, site design, and architectural design. Existing buildings and land uses are exempt from the requirements of this code.

This code addresses planning and design character related to the public realm in such a way as to ensure quality and compatibility without creating overly prescriptive or onerous requirements that severely limit design flexibility. It is not the intention of this code to establish inflexible design requirements that rule out unique design solutions; rather it is these creative design features that collectively add richness and variety to the overall development.

STREETSCAPES

The streets within the Harbor District will be one of the key components that establish a basic framework for development and establish connections among different uses. To ensure that a unifying streetscape is developed, a consistent streetscape program is proposed.

GREEN INITIATIVES

Water Conservation

The Harbor District should make significant efforts to reduce water use through the replacement of water-hogging toilets, appliances, and landscape with lower consumptive models that will result in a significant reduction of household water consumption.

Green Building Code

- Encourage investments in solar equipment and design.
- Encourage use of gray water for landscape watering and other uses such as toilet flushing
- Encourage use of cisterns and other water harvesting techniques that use rainwater to reduce use of tap water for landscape watering
- Encourage natural vegetation shading of buildings and hardscape surfaces as vegetation both absorbs CO2 and provides shading from unwanted solar gain in the summer, reducing the need for mechanical cooling
- Encourage buildings to be laid out to enable maximum feasible use of solar design, solar equipment, and the ability to use stormwater to reduce water demand
- Encourage Passive Solar Building Design
- Encourage Development of Affordable Energy Efficient Housing
- Encourage the use of drought resistance plantings and trees within the landscaping requirements

2 DESIGN REVIEW PROCESS

A R C H I T E C T U R A L R E V I E W B O A R D

The City of Rockwall Architectural Review Board shall provide professional recommendations to the Planning and Zoning Commission and the Director of Planning regarding site plans and building elevations submitted within the Harbor District. The Board shall review and evaluate compatibility with the goals and objectives established in this Form Based Code for the Harbor District. Refer to Article II 'Authority and Administrative Procedures', Section 13 'Architectural Review Board' of the City of Rockwall Unified Development Code (Zoning Ordinance) for regulations related to the Board.

REQUIRED SUBMISSIONS:

- Floor plans
- Colored exterior elevations of all sides of buildings
- Physical sample board of all exterior materials
- Architectural wall sections showing building edge conditions and relationship of building to streetscape
- Site plan showing locations of all buildings, building overhangs, parking garages, utilities, mechanical equipment, meters, building setbacks, build to lines, property lines, drives, walks, site walls, and parking
- Site and landscape materials plan
- Grading plan
- Planting plan

4 STREETS

STREETSCAPE CHARACTER



Retail Streetscape Treatment



Retail Streetscape Treatment



Retail Streetscape Edge



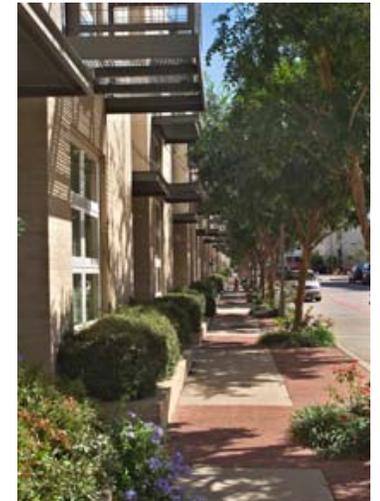
Outdoor Dining With Streetscape Edge



Retail Streetscape Treatment



Residential Streetscape Edge

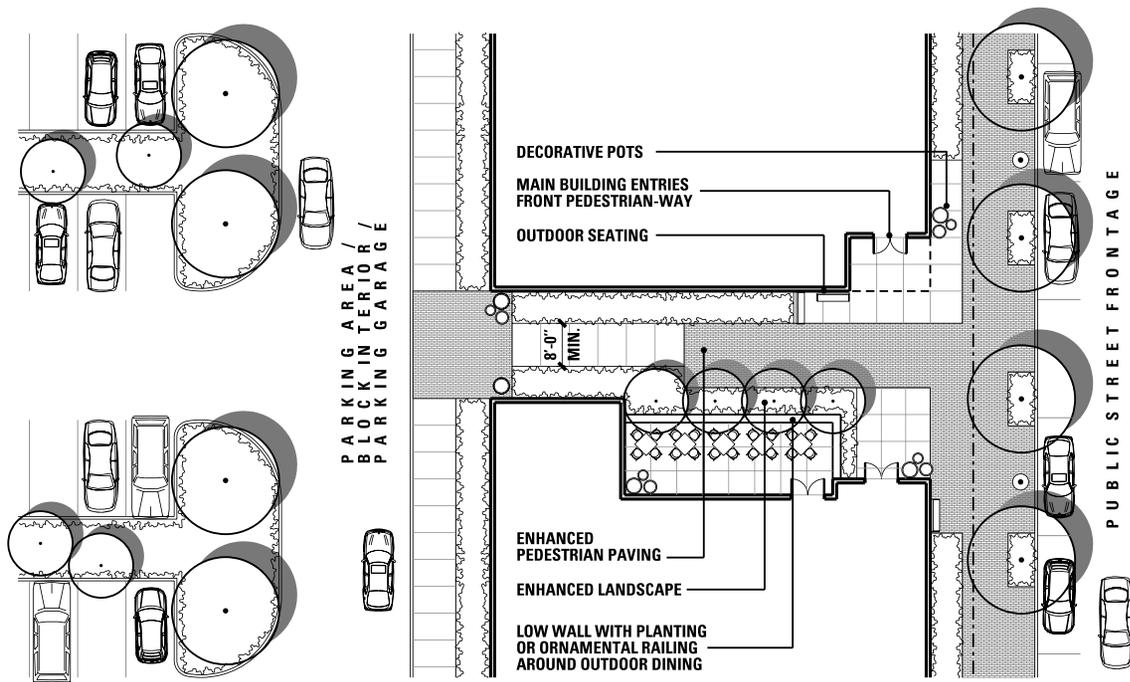
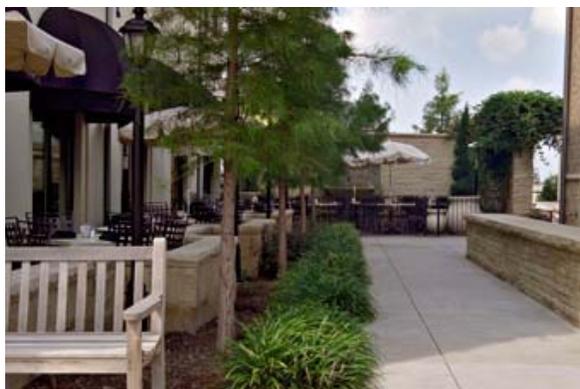


Residential Streetscape Edge

4 STREETS

PEDESTRIAN WAYS

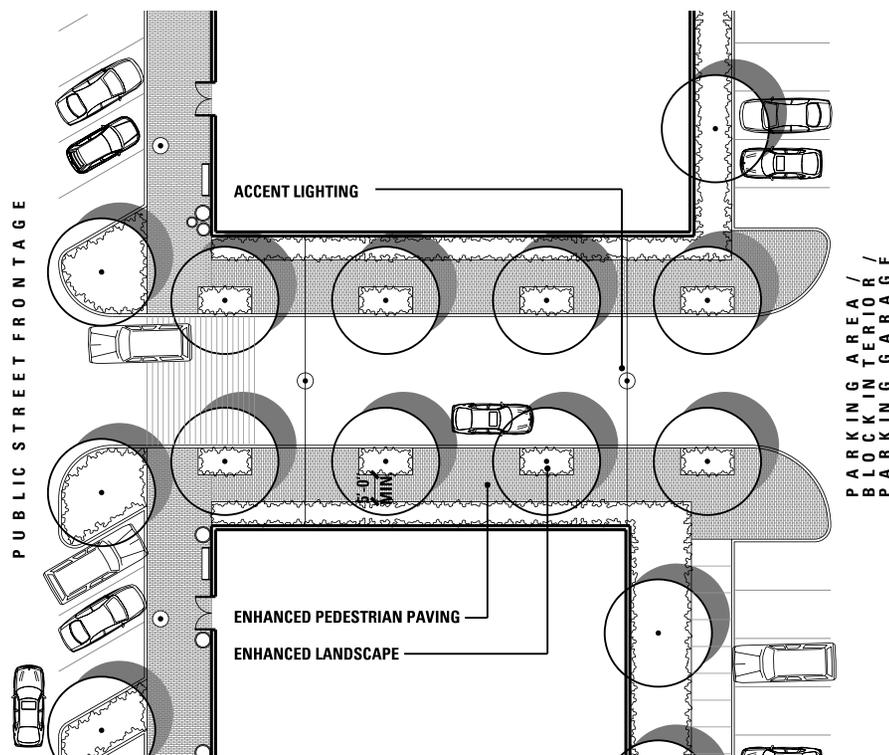
Although it is technically not a streetscape element, pedestrian-ways link freeway frontage parking areas and block interiors with the public street frontage. The pedestrian-way environment may include enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and special features such as fountains or sculpture pieces. Outdoor seating and dining may occur within the pedestrian-way. Building entry access should be provided within pedestrian-ways. The maximum cross slope within a pedestrian-way is 2%.



4 STREETS

M E W S

Although it is technically not a streetscape element, a mews can also link freeway frontage parking areas and block interiors with the public street frontage. A mews combines a vehicular drive and pedestrian walkway within a narrow cross section. The mews environment includes enhanced pedestrian paving, enhanced landscape planting, special accent lighting, and may also include enhanced vehicular pavement. Bollards may be used in lieu of a typical street curb. Building entry access may be provided within a mews. A carriage-way may also serve the purpose of a mews. The maximum cross slope within a mews is 2%.



5 SUBDISTRICTS

GENERAL GUIDELINES

Site Access Controls

1. The number of site access points is dependent upon the size of the site, its use, and the size of the building(s) and parking facilities. In no case shall driveways be located closer than 100 ft. apart, measured from centerline to centerline, along the same street frontage.
2. Driveways providing automobile access and circulation shall be 24 ft to 30 ft in width and curb radii shall be 20 ft minimum, or as otherwise required by the City of Rockwall.
3. Access points and driveways designated as fire lanes shall be designed and constructed in accordance with City of Rockwall standards.

Orientation of Buildings

1. The primary building entry shall be visible from the street on which the building is addressed.
2. Any secondary or support buildings, such as maintenance buildings or parking garages, shall be sited in an internal location on the site in order to minimize their visibility from the public ROW and from adjacent building sites.

Landscaping

1. Non-residential ground floor frontages shall not be required to provide additional landscaping beyond that provided in the right-of-way.
2. Residential ground floor frontages shall be required to provide a minimum of 3' of landscape area between the edge of the sidewalk and the primary building facade. This area may be landscaped with ground cover, low shrubs, ornamental trees, and canopy trees.
3. Use native or well adapted plant materials.
4. All landscape areas (except natural areas) must be irrigated with an automatic, underground irrigation system having rain and freeze sensors.

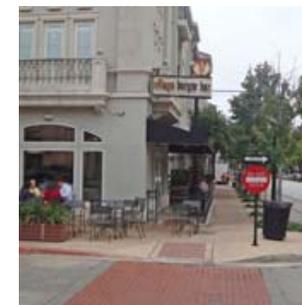
Outdoor Dining

1. Non-residential ground floor frontages may provide outdoor seating and dining beyond the sidewalk. Building facades may be set back to accommodate outdoor seating and dining areas. Outdoor dining edge conditions shall be enhanced beyond the standard metal railing as required by TABC. Special features such as fountains, decorative pots, and an enhanced landscape planting edge with railing shall be utilized to delineate outdoor dining areas to meet TABC standards.

Residential Landscape Edge



Outdoor Dining



5 SUBDISTRICTS

S E R V I C E A R E A S

1. Service areas must be located in either a niche / recess in the building facade or in a parking / service court interior to a block and screened by buildings.
2. All refuse handling and mechanical and electrical equipment must be completely screening from public areas and any adjacent site with masonry screen walls and metal screen gates compatible with building architecture.
3. Outdoor storage areas are not permitted.
4. Retail building facades visible from the right of way shall not be a "back side".
5. Provide adequate loading and maneuvering space for trucks on site. Streets are not to be used for loading, deliveries or other service functions. Locate maneuvering spaces in internal, side or rear locations on the site.
6. Provide service area lighting which does not produce unwanted glare onto adjacent properties or streets.



DUMPSTER SCREEN

SERVICE AREA



PARKING LOT / SECONDARY ENTRY TO RETAIL

SERVICE AREA



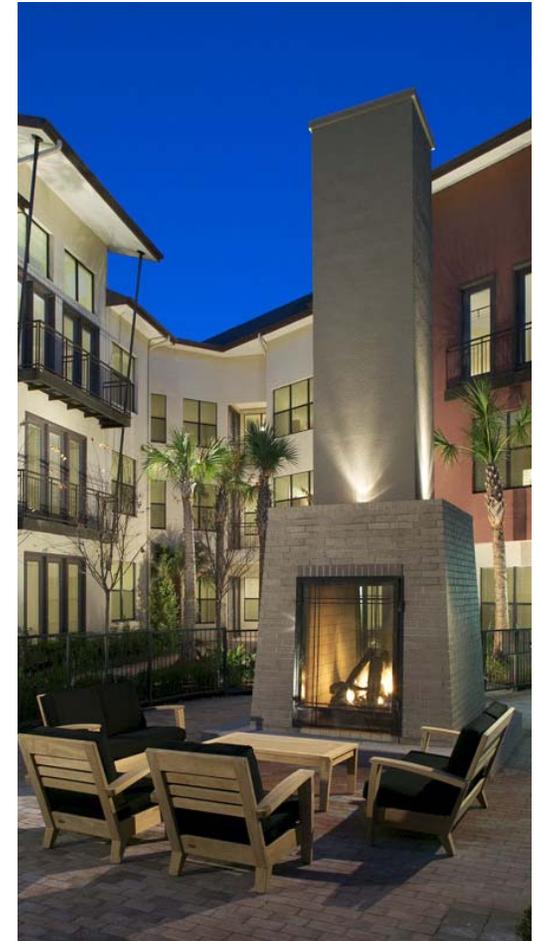
SERVICE AREA



MINI DUMPSTER - SERVICE AREA

5 SUBDISTRICTS

I N T E R I O R C O U R T Y A R D O P P O R T U N I T I E S



O P E N S P A C E

Two areas within the Harbor District have been designated as public Open Space. The first area provides public open space adjacent to Lake Ray Hubbard. The second area provides public open space within a natural drainage corridor heavily vegetated with existing trees. The lakefront open space area is to be enhanced with pedestrian scale lighting, wide walkable trails, massing of trees, retaining walls, and site furnishings. The interior open space area is to be enhanced with pedestrian scale lighting, wide walkable trails, massing of trees, retaining walls, ponds with fountain features, and site furnishings.

Lakefront Open Space



Interior Open Space



6 ARCHITECTURAL GUIDELINES

P A R K I N G G A R A G E S

1. Garages must have guard rail height precast spandrel panels with enhanced detailing on exposed facades to screen parked cars.
2. A minimum of 25% of an exposed garage facade must be screened with vines on a greenscreen or cable type system.
3. Exposed slab and cable guard rails are not permitted on exposed garage facades.
4. Parking garages may contain other uses above the parking levels provided the maximum building height of the subdistrict is not exceeded.



Exposed Slab and Cable Guard Rails Are Not Permitted



Precast Spandrel Panels With No Detailing Are Not Permitted



Greenscreen on Garage



Greenscreen on Garage



Precast Spandrel Panels With Enhanced Detailing Required



Precast Spandrel Panels With Enhanced Detailing Required

6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE: TUSCAN

USE TYPE: RESIDENTIAL OR RETAIL

Tuscan style is a warm, unpretentious style. It is inspired by the Tuscany region of Italy characterized by simple warm toned plaster and masonry buildings with pitched clay tile roofs that form "hilltop compounds" punctuated with tower elements. Although the individual building masses are simple rectangles, richness is created in the collection of these buildings into a complex whole. The building massing is organized typically in a tripartite order, with a "base", "middle" and "top". Each building mass has symmetrically arranged windows that align vertically. As the openings stack they reinforce the massing articulation by varying as they move from base, middle to the top of the building. The "base" typically has larger windows or doors; the "middle" has windows or balconies of similar size and style; and the "top" floor is capped with a different size or style of openings. The clay tiled overhangs often have wood beam tails. Cantilevered balconies with solid bracket supports and iron balcony rails provide relief to an otherwise flat elevation.

BUILDING MASSING

Overall Massing

Building facades 3 to 5 stories in height shall have tripartite organization (base, middle & top) or bipartite organization (base & top) on 75% of building elevation length. Adjacent massing shall not align tripartite organization by slightly offsetting or changing 'base' belt course. (Example: Tower massing or secondary massing may be a uniform material without tripartite organization.)

Primary Façade Massing

Maximum length for primary façade lengths shall be in the range of 60 to 90 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet on lower retail level and 2 to 6 feet for other uses. A minimum difference of 10-50% in length must be maintained to any adjacent facade.

Secondary Façade Massing

Lengths for all other façade lengths shall be in the range of 25 to 60 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet on lower retail level and 2 to 6 feet for other uses. A minimum difference of 10-50% in length must be maintained to any adjacent facade.

Tower Massing

Tower widths shall be within a range of 12 to 26 feet and shall make up a minimum of 15% of façades over 250 in length. Towers may enclose interior space or open air balcony space.

Gable End Massing

A minimum of one gable end secondary façade shall be incorporated into building elevations over 250 feet in length.

BUILDING WALL MATERIALS

Primary Materials (60% of façade or greater)

Standard brick masonry units or non standard sizes shall be used as veneer to simulate traditional load bearing application. Native natural stone masonry may also be used. Equivalent synthetic stone (example: Arriscraft) may be used as approved by ARB and so long as special shapes are used to turn corners so that edge conditions are not exposed.

Secondary Materials (35% of façade or greater)

Plaster shall be used in traditional three coat application with integral color.

Accent Materials (5% of façade or greater)

Precast stone may be used in different, but not limited to, applications such as trim, sill, coping, headers, columns, and railings.

Other Materials

Natural solid stock wood may be used in column and beam or lintel applications. Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns or beam details. EIFS – Exterior insulated finish system shall not be permitted in any application.

BUILDING MATERIAL COLORS

Primary Material Colors

Masonry and natural stone colors (or synthetic stone) shall be selected within earth tone ranges and shall complement each other.

Secondary Material Colors

Plaster integral color shall be non-white within earth tone ranges. Multiple plaster colors shall be used within building elevations over 250 feet in length. Color changes shall occur at inside corners of distinct building masses.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE : TUSCAN

BUILDING MATERIAL COLORS, CONTINUED

Accent Material Colors

Precast stone shall be of light neutral colors.

Other Material Colors

Natural solid stock wood shall be stained or oiled and protected against discoloration.

Fiber reinforced cement products shall be painted to match the color of the material it is simulating. For example: If intended to match wood then fiber reinforced cement product shall be painted to match natural wood stain.

DOORS AND WINDOWS

Doors

Entry doors shall be solid single panel doors.

Balcony doors shall be a pair of doors or sliding doors.

Windows

Windows shall be double-hung, single-hung, awning or casement. The horizontal dimension of a window opening shall not exceed the vertical dimension. Glazing shall be a mix of divided and non-divided lights.

Materials

Door and window materials shall be wood, clad wood, vinyl, commercial grade anodized or prefinished aluminum. Doors may include glass panes. Glazing shall be non-reflective Low-E, with minimum 75% light transmission on upper floors. Lower floor glazing shall be non-reflective Low-E, with minimum 90% light transmission.

Details

Door and window surrounds shall not be permitted. Doors and windows should be inset a minimum of 1 inch from exterior face finish. Door and window frame sections shall be 2 inches in width to simulate traditional wood window section.

Color

Door and window frame color shall complement exterior wall finishes. Opaque and dark colored windows shall not be permitted. Window tint will be limited to light green, blue, gray or brown. Screen frames shall match window color. Screens shall be gray or black.

Configurations

Door and window openings shall align vertically along their centerline and the size or configuration shall vary on the top floor. Doors or windows may be ganged together horizontally up to a maximum of 3 per group. Exterior shutters may be operable or inoperable and shall be sized and mounted appropriately for the window (one-half the width).

BALCONIES

Balcony Organization

Balcony types shall vary per floor to complement door and window arrangements in overall facade.

Juliet Balconies

Balcony projections (at door locations only) shall be a maximum of 18 inches in depth. Width of balcony shall be limited to maximum of 12 inches on each side of door rough opening. Decorative iron railing shall be used for this balcony application.

Cantilevered Balconies

Balcony projection shall be a minimum of 5 feet in depth. Width of balcony shall be limited to maximum of 2 feet on each side of rough opening. Decorative iron railing shall be used for this balcony application.

Cantilevered Boxed Balconies

Balconies may be partially enclosed with walls, these projected cantilevered spaces may be within primary or secondary facades maintaining a vertical proportion. These type balcony projections shall be a minimum of 6 feet in depth. Railing material may vary.

Railings

Railing materials may be of, but not limited to, cast stone, natural solid stock wood, aluminum and/or iron.

Details

Masonry details may be simulated to be consistent with traditional load bearing applications. Brick details include, but are not limited to, lintels, segmented arches, half round arches, sills and headers.

Cast stone details may include, but are not limited to, applications such as trim, sill, coping, headers, columns, and railings.

Natural solid stock wood may be used as, but not limited to, column, beam and header applications.

Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns or beam details.

EIFS – Exterior insulated finish system shall not be permitted in any application.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE: TUSCAN

ROOF AND PARAPETS

Roof Massing

Roof massing shall be pitched hip or gable end roofs. Uninterrupted roof lines shall not be greater than 60 feet in length. Roof lines may be interrupted by towers, roof extension over balconies and/or wall height difference.

Roof Overhang

Roof overhang for hip roof shall be within range of 2 to 4 feet. Roof overhang at gable end can be rolled within range of 4 to 8 inches or extended a maximum 18 inches.

Roof Materials

Concrete or clay tiles shall be used in a flat or barrel style application. The material and or style may be intermixed within a building elevation over 250 feet in length. Flat roofs shall be a bituminous application.

Roof Color

Earth tone ranges or blended concrete or clay colors shall be used. All predominantly orange or red tile roofs shall not be permitted. Bituminous roofs shall be black in color.

Soffit and Fascia Materials

Natural solid stock wood, cement board and/or plaster may be used at soffit and fascia conditions. These conditions shall be painted to complement exterior wall finishes or integral color for plaster.

Roof Pitch

Roof pitch shall be minimum 4:12 slope and maximum 6:12 slope for hip or gable end roofs.

Roof Parapets

Parapet roof walls shall not be permitted.

Roof Systems

Roof systems must provide positive drainage. Roof drains are required to tie into underground storm drainage systems.

Roof Equipment

All roof mounted equipment, including mechanical equipment and vents, antennae, satellite dishes, etc. must be screened from view from an elevation of 5 feet from natural grade from the public ROW and all adjacent building sites. Set roof mounted equipment back from the perimeter of the building. Screening shall be achieved through the use of mansard roof wells, penthouses or other screening devices compatible with the forms, colors, and materials of the building's exterior and as approved by ARB.

Attachments

Chimneys shall be of primary or secondary building material with gable clay or concrete cap. Metal chimney caps shall not be allowed.

See signage guidelines.

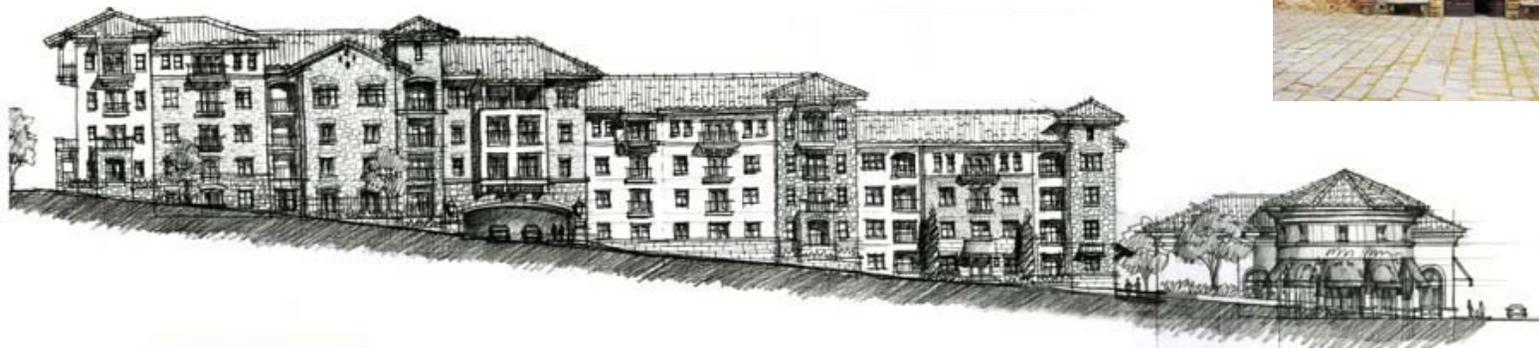
Gutter and downspouts shall be half-round or ogee shape and may be copper, galvanized steel or prefinished aluminum.

AWNINGS/CANOPIES

Door and window awnings are permitted in the form of tile or metal shed awnings. Metal shed awning shall be a minimum of 2:12 slope. Materials for awnings, canopies or shading devices at retail level may include, but are not limited to, fabric, steel, plaster and natural solid stock wood.

ARCADES AND GALLERIES

Arcades are permitted with a minimum depth of 8 feet and a maximum depth of 12 feet. Materials for arcades or galleries may be, but are not limited to, masonry, cast stone, plaster and natural solid stock wood. Where arcades or galleries are used the face of arcade may be permitted to be within 2 feet of curb line. Arcades and galleries shall be limited to 33% of the block length.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE : TRADITIONAL

USE TYPE: RESIDENTIAL, RETAIL, OR OFFICE

The Traditional Style is inspired by the masonry urban forms of the early 20th century. Distinct building masses are created by composing separate buildings to form a unified block. The tripartite organization clearly delineates between 'base, middle and top.' Deeply recessed storefront at the base creates a sense of solidity and permanence. This style is characterized by an emphasis on verticality in multistory buildings. 'Colossal order' pilasters flank stacked windows with recessed spandrel panels, topped with projecting lintels or arches. The 'top' may be implied with arches or an 'attic' level marked by belt course change in window style or size.

BUILDING MASSING

Overall Massing

Building facades 3 to 5 stories in height shall have tripartite organization (base, middle & top) or bipartite organization (base & top) on 75% of building elevation length. Adjacent massing shall not align tripartite organization by slightly offsetting or changing 'base/belt course. (Example: Tower massing or secondary massing may be a uniform material without tripartite organization.)

Primary Façade Massing

Maximum length for primary façade lengths shall be in the range of 60 to 90 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet on lower retail level and 2 to 6 feet for other uses. A minimum difference of 10-50% in length must be maintained to any adjacent facade. Façade offsets may be up to 10 feet in depth on upper floors creating a terrace level directly above where retail occurs below.

Secondary Façade Massing

Lengths for all other façade lengths shall be in the range of 25 to 60 feet. Adjacent facades shall have a minimum offset in the range of 2 to 6 feet. Façade offsets may be up to 10 feet in depth on upper floors creating a terrace level directly above where retail occurs below.

Tower Massing

Tower widths shall be within a range of 15 to 40 feet and shall make up a minimum of 15% of façades over 250 in length. Towers may enclose interior space or open air balcony space.

BUILDING WALL MATERIALS

Primary Materials(55% of façade or greater)

Standard brick masonry units shall be used as a veneer to simulate traditional load bearing application. Native natural stone masonry may also be used. Equivalent synthetic stone (example: Arriscraft) may be used as approved by the ARB and so long as special shapes are used to turn corners so that edge conditions are not exposed.

Secondary Materials (40% of façade or greater)

Plaster shall be used in traditional three coat application with integral color.

Accent Materials (5% of façade or greater)

Precast stone may be used in different, but not limited to, applications such as trim, sill, coping, headers, belt courses, pilaster, capital and base and door/window surrounds.

Other Materials

Natural solid stock wood may be used as, but not limited to, column and beam applications, brackets, rafter tails and shading devices.

Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns, beams, pilasters, capital, base and cornice details.

EIFS – Exterior insulated finish system shall not be permitted in any application.

BUILDING MATERIAL COLORS

Primary Material Colors

Masonry and natural stone colors (or synthetic stone) shall be selected within earth tone ranges and shall complement each other.

Secondary Material Colors

Plaster integral color shall be non-white within earth tone ranges. Multiple plaster colors shall be used within building elevations over 250 feet in length. Color changes shall occur at inside corners of distinct building masses. Architectural metal panels shall be prefinished.

Accent Material Colors

Precast stone shall be of light neutral colors.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE: TRADITIONAL

BUILDING MATERIAL COLORS, CONTINUED

Other Material Colors

Natural solid stock wood shall be stained or oiled and protected against discoloration.

Fiber reinforced cement products shall be painted to match the color of the material it is simulating. For example: If intended to match wood then fiber reinforced cement product shall be painted to match natural wood stain.

Steel shall be galvanized or primed and painted to protect and complement exterior wall finishes.

DOORS AND WINDOWS

Doors

Entry doors shall be solid single panel doors.

Balcony doors shall be double doors or sliding doors.

Windows

Windows shall be double-hung, single-hung or casement. The horizontal dimension of a window opening shall not exceed the vertical dimension. Glazing may be of divided or non-divided lights.

Materials

Door and window materials shall be wood, clad wood, vinyl, painted steel, commercial grade anodized or prefinished aluminum. Doors may include glass panes. Glazing shall be non-reflective Low-E, with minimum 90% light transmission on lower floors. Upper floor glazing shall be non-reflective Low-E, with minimum 75% light transmission.

Details

Door and window surrounds shall be of, but not limited to, plaster, cast stone or masonry. Doors and windows should be inset a minimum of 1 inch from exterior face finish. Door and window frame sections shall be 2 inches in width to simulate traditional wood window section.

Color

Door and window frame color shall complement exterior wall finishes. Opaque and dark colored windows shall not be permitted. Window tint will be limited to light green, blue, gray or brown. Screen frames shall match window color. Screens shall be gray or black.

Configurations

Door and window openings shall align vertically along their centerline and the size or configuration may vary on the top floor. Doors or windows may be ganged together horizontally up to a maximum of 3 per group. Exterior shutters are not permitted.

BALCONIES

Balcony Organization

Balcony types may vary per floor to complement door and window arrangements in overall facade.

Juliet Balconies

Balcony projections (at door locations only) shall be a maximum of 18 inches in depth. Width of balcony shall be limited to maximum of 12 inches on each side of door rough opening. Railing material may vary.

Cantilevered Balconies

Balcony projection shall be a minimum of 5 feet in depth. Width of balcony shall be limited to a maximum of 2 feet on each side of rough opening. Railing material may vary.

Railings

Railing materials may be of, but not limited to, painted steel, aluminum, carved or precast stone.

Details

Masonry details may be simulated to be consistent with traditional load bearing applications. Brick details include, but are not limited to, lintels, half-round arches, segmented arches, rusticated base, sills and headers.

Cast stone details may include, but are not limited to, applications such as trim, sill, coping, headers, columns, pilasters, capital and base details.

Natural solid stock wood may be used as, but is not limited to, column, beam and trellis applications.

Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns, beams, pilasters, capital, base and cornice details.

Steel details may include, but are not limited to, column and beam applications, brackets, headers, door/window frames and shading devices.

EIFS – Exterior insulated finish system shall not be permitted in any application.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE : TRADITIONAL

ROOF AND PARAPETS

Roof Massing

Roof massing shall be hip or flat roofs with parapet walls.

Uninterrupted roof lines shall not be greater than 60 feet in length. Roof/cornice lines may be interrupted by towers and/or parapet wall height difference.

Cornice profiles shall vary in profile and style to complement and vary the top building line.

Roof Overhang

Roof overhang for shed roofs shall be within range of 2 to 4 feet.

Cornice profile shall be minimum of 4 inches and overall maximum depth of 4 feet.

Roof Materials

Roofs shall be a metal roof system, concrete or clay tile application. Flat roofs shall be a bituminous application.

Roof Color

Metal roof color shall complement exterior wall finishes. Bituminous roofs shall be black in color.

Soffit and Fascia Materials

Cement board and/or plaster may be used at soffit and fascia conditions. These conditions shall be painted to complement exterior wall finishes and integral color for plaster.

Roof Pitch

Roofs may be a minimum of 4:12 slope and maximum of 6:12 slope.

Roof Parapets

Parapet roof wall heights shall be a minimum of 2 feet and a maximum of 5 feet. Metal coping shall not be allowed.

Roof Systems

Roof systems must provide positive drainage at all times. Roof drains are required to tie into underground storm drainage systems.

Roof Equipment

All roof mounted equipment, including mechanical equipment and vents, antennae, satellite dishes, etc. must be screened from view from an elevation of 5 feet from natural grade from the public ROW and all adjacent building sites. Set roof mounted equipment back from the perimeter of the building. Screening shall be achieved through the use of parapet walls, penthouses or other screening devices compatible with the forms, colors, and materials of the building's exterior and as approved by ARB.

Attachments

See signage guidelines.

Gutter and downspouts shall be half-round or ogee shape and may be copper, galvanized steel or prefinished aluminum.

AWNINGS/CANOPIES

Materials for awnings, canopies or shading devices at retail or office ground level may include, but are not limited to, fabric, steel, natural solid stock wood and architectural metal panels.

ARCADES AND GALLERIES

Arcades or galleries are permitted with a minimum depth of 8 feet and a maximum depth of 12 feet. Materials for arcades or galleries may be, but are not limited to, masonry, steel, natural solid stock wood, and cast stone. Where arcades or galleries are used the face of arcade may be permitted to be within 2 feet of curb line. Arcades and galleries shall be limited to 33% of the block length.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE : TRANSITIONAL

USE TYPE: RESIDENTIAL, RETAIL, OR OFFICE

The Transitional Style is a tailored adaptation of traditional architecture. In this style traditional forms and styles may be created in a more contemporary perspective. Forms follow the traditional style but the detailing is simplified or 'streamlined' to follow a more contemporary style. Traditional and/or alternative materials may be used but quality of materials shall be consistent with the overall development and enhance the overall experience.

BUILDING MASSING

Overall Massing

Building facades 3 to 5 stories in height shall have tripartite organization (base, middle & top) or bipartite organization (base & top) on 75% of building elevation length. Adjacent massing shall not align tripartite organization by slightly offsetting or changing 'base/belt' course. (Example: Tower massing or secondary massing may be a uniform material without tripartite organization.)

Primary Façade Massing

Maximum length for primary façade lengths shall be in the range of 90 to 130 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet on lower retail level and 2 to 6 feet for other uses. A minimum difference of 10-50% in length must be maintained to any adjacent facade. Façade offsets may be up to 10 feet in depth on upper floors creating a terrace level directly above where retail occurs below.

Secondary Façade Massing

Lengths for all other façade lengths shall be in the range of 40 to 90 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet on lower retail level and 2 to 6 feet for other uses. A minimum difference of 10-50% in length must be maintained to any adjacent facade. Façade offsets may be up to 10 feet in depth on upper floors creating a terrace level directly above where retail occurs below.

Tower Massing

Tower widths shall be within a range of 15 to 40 feet and shall make up a minimum of 15% of façades over 250 in length. Towers may enclose interior space or open air balcony space.

BUILDING WALL MATERIALS

Primary Materials(55% of façade or greater)

Standard masonry units or non standard sizes shall be used as a veneer to simulate traditional load bearing application. Native natural stone masonry may also be used. Equivalent synthetic stone (example: Arriscraft) may be used as approved by the ARB and so long as special shapes are used to turn corners so that edge conditions are not exposed.

Secondary Materials (40% of façade or greater)

Plaster shall be used in traditional three coat application with integral color. Architectural metal panels shall be allowed up to 20% of secondary material and shall be of non-corrugated and non ribbed panels.

Accent Materials (5% of façade or greater)

Precast stone may be used in different, but not limited to, applications such as trim, sill, coping and headers.

Other Materials

Natural solid stock wood may be used as, but not limited to, column and beam applications, brackets, rafter tails and shading devices.

Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns or beam details.

Steel may be used as, but not limited to, column and beam applications, brackets, headers and shading devices.

EIFS – Exterior insulated finish system shall not be permitted in any application.

BUILDING MATERIAL COLORS

Primary Material Colors

Masonry and natural stone colors (or synthetic stone) shall be selected within earth tone ranges and shall complement each other.

Secondary Material Colors

Plaster integral color shall be non-white within earth tone ranges. Multiple plaster colors shall be used within building elevations over 250 feet in length. Color changes shall occur at inside corners of distinct building masses. Architectural metal panels shall be prefinished.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE: TRANSITIONAL

BUILDING MATERIAL COLORS, CONTINUED

Accent Material Colors

Precast stone shall be of light neutral colors.

Other Material Colors

Natural solid stock wood shall be stained or oiled and protected against discoloration.

Fiber reinforced cement products shall be painted to match the color of the material it is simulating. For example: If intended to match wood then fiber reinforced cement product shall be painted to match natural wood stain.

Steel shall be galvanized or primed and painted to protect and complement exterior wall finishes.

DOORS AND WINDOWS

Doors

Entry doors shall be solid single panel doors.

Balcony doors shall be double doors or sliding doors.

Windows

Windows shall be double-hung, single-hung, awning or casement. The horizontal dimension of a window opening shall not exceed the vertical dimension. Glazing may be of divided or non-divided lights.

Materials

Door and window materials shall be wood, clad wood, vinyl, painted steel, commercial grade anodized or prefinished aluminum. Doors may include glass panes. Glazing shall be non-reflective Low-E, with minimum 90% light transmission on lower floors. Upper floor glazing shall be non-reflective Low-E, with minimum 75% light transmission.

Details

Door and window surrounds shall be of, but not limited to, plaster, cast stone, masonry or steel. Doors and windows should be inset a minimum of 1 inch from exterior face finish. Door and window frame sections shall be 2 inches in width to simulate traditional wood window section.

Color

Door and window frame color shall complement exterior wall finishes. Opaque and dark colored windows shall not be permitted. Window tint will be limited to light green, blue, gray or brown. Screen frames shall match window color. Screens shall be gray or black.

Configurations

Door and window openings shall align vertically along their centerline and the size or configuration may vary on the top floor. Doors or windows may be ganged together horizontally up to a maximum of 3 per group. Exterior shutters are not permitted.

BALCONIES

Balcony Organization

Balcony types may vary per floor to complement door and window arrangements in overall facade.

Juliet Balconies

Balcony projections (at door locations only) shall be a maximum of 18 inches in depth. Width of balcony shall be limited to maximum of 12 inches on each side of door rough opening. Railing material may vary.

Cantilevered Balconies

Balcony projection shall be a minimum of 5 feet in depth. Width of balcony shall be limited to a maximum of 2 feet on each side of rough opening. Railing material may vary.

Cantilevered Boxed Balconies

Balconies may be partially enclosed with walls, these projected cantilevered spaces may be within primary or secondary facades maintaining a vertical proportion. These type balcony projections shall be a minimum of 6 feet in depth. Railing material may vary.

Railings

Railing materials may be of, but not limited to, natural solid stock wood, painted metal or steel and/or aluminum.



6 ARCHITECTURAL GUIDELINES

ARCHITECTURAL STYLE : TRANSITIONAL

BALCONIES, CONTINUED

Details

Masonry details may be simulated to be consistent with traditional load bearing applications. Brick details include, but are not limited to, lintels, segmented arches, sills and headers.

Cast stone details may include, but are not limited to, applications such as trim, sill, coping, header, and columns.

Natural solid stock wood may be used as, but is not limited to, column, beam and header applications.

Fiber reinforced cement products may be used in lieu of natural wood or stone for, but not limited to, brackets, rafter tails, columns or beam details.

Steel details may include, but are not limited to, column and beam applications, brackets, headers, door/window frames and shading devices.

Architectural metal panel details may include, but are not limited to, column and beam applications, headers, and door/window frames.

EIFS – Exterior insulated finish system shall not be permitted in any application.

ROOF AND PARAPETS

Roof Massing

Roof massing shall be hip or flat roofs with parapet walls.

Uninterrupted roof lines shall not be greater than 60 feet in length. Roof/cornice lines may be interrupted by towers and/or parapet wall height difference.

Cornice profiles shall vary in profile and style to complement and vary the top building line.

Roof Overhang

Roof overhang for shed roofs shall be within range of 2 to 4 feet.

Cornice profile shall be minimum of 4 inches and overall maximum depth of 4 feet.

Roof Materials

Shed roofs shall be a metal roof system application. Flat roofs shall be a bituminous application.

Roof Color

Metal roof color shall complement exterior wall finishes. Bituminous roofs shall be black in color.

Soffit and Fascia Materials

Natural solid stock wood, cement board and/or plaster may be used at soffit and fascia conditions. These conditions shall be painted to complement exterior wall finishes and integral color for plaster.

Roof Pitch

Shed roofs may be a minimum of 2:12 slope and maximum of 6:12 slope.

Roof Parapets

Parapet roof wall heights shall be a minimum of 2 feet and a maximum of 5 feet. Metal coping shall not be allowed.

Roof Systems

Roof systems must provide positive drainage at all times. Roof drains are required to tie into underground storm drainage systems.

Roof Equipment

All roof mounted equipment, including mechanical equipment and vents, antennae, satellite dishes, etc. must be screened from view from an elevation of 5 feet from natural grade from the public ROW and all adjacent building sites. Set roof mounted equipment back from the perimeter of the building. Screening shall be achieved through the use of parapet walls, penthouses or other screening devices compatible with the forms, colors, and materials of the building's exterior and as approved by ARB.

Attachments

See signage guidelines.

Gutter and downspouts shall be half-round or ogee shape and may be copper, galvanized steel or prefinished aluminum.

AWNINGS/CANOPIES

Materials for awnings, canopies or shading devices at retail or office ground level may include, but are not limited to, fabric, steel, natural solid stock wood and architectural metal panels.

ARCADES AND GALLERIES

Arcades or galleries are permitted with a minimum depth of 8 feet and a maximum depth of 12 feet. Materials for arcades or galleries may be, but are not limited to, masonry, steel, natural solid stock wood, and cast stone. Where arcades or galleries are used the face of arcade may be permitted to be within 2 feet of curb line. Arcades and galleries shall be limited to 33% of the block length.



6 ARCHITECTURAL GUIDELINES

U S E T Y P E : R E T A I L

The Tuscan, Traditional or Transitional style will be acceptable for Retail uses. For architectural guidelines, reference "Type of Use: Retail" for sketch and photographic examples. Also reference "Style: Tuscan", "Style: Traditional" and "Style Transitional" per selected style for sketch and photographic examples. Also permitted, as approved by the Architectural Review Board (ARB), would be Corporate Store Identity design (example: Apple Store).

BUILDING MASSING

Overall Massing

Building facades 1 to 2 stories in height shall have tripartite organization (base, middle & top), or bipartite organization (base & top) on a minimum 60% of building elevation length, for Tuscan, and Traditional styles. Adjacent massing shall not align tripartite/bipartite organization to delineate each retail space as a separate building mass. (Example: Tower massing or secondary massing may be a uniform material without tripartite organization.)

Primary Façade Massing

Maximum length for primary façade length shall be in the range of 60 to 90 feet. Adjacent facade massings shall have a minimum offset in the range of 1 to 3 feet at retail level.

Secondary Façade Massing

Lengths for all other façade lengths shall be in the range of 30 to 60 feet. Adjacent facades shall have a minimum offset in the range of 1 to 3 feet.

Tower Massing

Tower widths shall be within a range of 12 to 30 feet and shall make up a minimum of 15% of façades over 250 in length. Towers shall enclose interior space, unless integrated into an open-air colonnade gallery.

BUILDING WALL MATERIALS

Primary Materials(55% of façade or greater)

Standard synthetic stone masonry units (example: Arriscraft as approved by the ARB), standard brick sizes, or local natural stone shall be installed to simulate traditional load bearing masonry application. These primary materials may be applied as a veneer over tilt-wall concrete walls. (Equivalent synthetic stone may be used as approved by the ARB and so long as special shapes are used to turn corners so that edge conditions are not exposed.)

Secondary Materials (40% of façade or less)

Plaster shall be used in traditional three coat application with integral color, in the Tuscan and Traditional Styles.

Natural wood as a wall panel may be used in the Transitional Style.

Architectural metal panels shall be allowed up to 20% of secondary material and shall be of non-corrugated and non ribbed panels, in the Transitional Style.

Accent Materials (5% of façade or greater)

Precast stone may be used in different, but not limited to, applications such as trim, sill, coping and headers.

Other Materials

Natural solid stock wood may be used as, but not limited to, wall paneling, column and beam applications, brackets, rafter tails and shading devices.

Fiber reinforced cement products may be used in lieu of natural wood, cast stone, or stone detailing such as brackets, rafter tails, columns or beam details.

Steel may be used as, but not limited to, column and beam applications, brackets, headers and shading devices.

EIFS – Exterior insulated finish system shall not be permitted in any application.

Storefront Materials

The building materials within a selected architectural style will define a rough opening for the retail storefront and store entry. Within the architectural style surround, the storefront design may be developed by the developer or retailer using any materials they feel appropriate to market their merchandise. Final design and material selection shall be submitted for review and approval by ARB.

BUILDING MATERIAL COLORS

Primary Material Colors

Masonry and natural stone colors (or synthetic stone) shall be selected within earth tone ranges and shall complement each other.

Secondary Material Colors

Plaster integral color shall be non-white within earth tone ranges. Multiple plaster colors shall be used within building elevations over 250 feet in length. Color changes shall occur at inside corners of distinct building masses. Architectural metal panels shall be prefinished.



6 ARCHITECTURAL GUIDELINES

U S E T Y P E : R E T A I L

BUILDING MATERIAL COLORS, CONTINUED

Accent Material Colors

Precast stone shall be of light neutral colors.

Other Material Colors

Natural solid stock wood shall be stained or oiled and protected against discoloration. Fiber reinforced cement products shall be painted to match the color of the material it is simulating. (For example: If intended to match wood then fiber reinforced cement product shall be painted to match natural wood stain.)

Steel shall be galvanized or primed and painted to protect and complement exterior wall finishes.

Steel within storefront assemblies may remain a natural finish, subject to the review and approval of the ARB.

DOORS AND WINDOWS

Doors

Doors may be all glass with or without frame. Sliding doors shall not be permitted. Doors may be custom or predefined manufactured system.

Windows

Windows may be all glass with or without frame. Single planes of glass shall not be larger than 6 feet high by 5 feet wide. Glazing may be of divided or non-divided lights. Retail frontage shall allow 60% of surface view into building.

Materials

Door and window materials shall be wood, clad wood, vinyl, painted steel, commercial grade anodized or prefinished aluminum. Doors may include glass panes. Glazing shall be non-reflective Low-E, with minimum 90% light transmission at retail level. Upper floors shall be non-reflective Low-E, with minimum 75% light transmission.

Details

Door and window surrounds may be of, but not limited to, plaster, cast stone, masonry, steel, aluminum or architectural aluminum metal panels. Doors and windows should be inset a minimum of 1 inch from exterior face finish.

Color

Door and window frame color shall complement exterior wall finishes. Opaque and dark colored windows shall not be permitted. Window tint will be limited to light green, blue, gray or brown.

Configurations

In the Tuscan and Traditional styles, door and window openings shall align vertically along their centerline and the size or configuration may vary on the second floor. Doors or windows may be ganged together horizontally up to a maximum of 3 per group.

BALCONIES

Balcony Organization

Juliet balconies (non-operable) may be provided to complement door and window arrangements in overall façade in the Tuscan and Traditional Style.

Railings

Railing materials appropriate to the architectural style may be of, but not limited to, "iron", painted metal, stainless steel, aluminum, or glass.

Details

Masonry details shall be consistent with traditional load bearing masonry applications. Brick details include, but are not limited to, lintels, segmented arches, half round arches, sills and headers.

Cast stone details may include, but are not limited to, applications such as trim, sill, coping, header, string coursing, and columns.

Natural solid stock wood may be used as, but is not limited to, column, beam and header applications.

Fiber reinforced cement products may be used in lieu of natural wood or stone or precast stone as sills, columns, cornices, brackets and rafter tail details, etc.

Steel details may include, but are not limited to, column and beam applications, brackets, headers, door/window frames and shading devices.

Architectural metal panel details may include, but are not limited to, wall panels, mechanical screens, columns, beams, headers, and door/window frames.

EIFS – Exterior insulated finish system shall not be permitted in any application.



6 ARCHITECTURAL GUIDELINES

U S E T Y P E : R E T A I L

ROOF AND PARAPETS

Roof Massing

Hipped and/or shed roofs may be used in the Tuscan and Traditional Styles. Roof lines may be continuous between retail lease demising walls. If a block of retail is developed in a uniform style with surrounds that define different retailer's storefronts, then uninterrupted roof lines shall not be greater than 120 feet in length. Roof lines may be interrupted by towers, shed roofs and/or parapet wall height difference.

Cornice profiles shall vary in profile and style to complement and vary the top building line.

Roof Overhang

Roof overhang for shed and hipped roofs shall be within range of 2 to 6 feet. Cornice profile shall be limited to overall depth of 4 feet.

Roof Materials

Pitched and/or shed roofs may be of concrete or clay tiles and shall be used in a flat or barrel style application; a metal roof system application may also be used. Flat roofs shall be of a bituminous application.

Roof Color

Earth tone ranges or blended concrete or clay colors shall be used. All predominantly orange or red tile roofs shall not be permitted. Metal roof color shall complement exterior wall finishes. Bituminous roofs shall be black in color.

Soffit and Fascia Materials

Natural solid stock wood, cement board and/or plaster may be used at soffit and fascia conditions. These conditions shall be painted to complement exterior wall finishes and integral color for plaster.

Roof Pitch

Pitched and/or shed roofs may be a minimum of 2:12 slope and maximum of 6:12 slope.

Roof Parapets

Parapet roof wall height shall be a minimum of 2 feet and a maximum of 5 feet. Metal coping shall not be allowed.

Roof Systems

Roof systems must provide positive drainage at all times. Roof drains are required to tie into underground storm drainage systems.

Roof Equipment

All roof mounted equipment, including mechanical equipment and vents, antennae, satellite dishes, etc. must be screened from view from an elevation of 5 feet from natural grade from the public ROW and all adjacent building sites. Set roof mounted equipment back from the perimeter of the building. Screening shall be achieved through the use of parapet walls, penthouses or other screening devices compatible with the forms, colors, and materials of the building's exterior and as approved by ARB.

If set back a minimum of 8 feet from the perimeter, a mechanical screen may extend a maximum 20 feet high. If a louver system, or perforated metal is incorporated in the mechanical screen, it must be selected/designed to block sight lines from below, and from adjacent buildings.

Attachments

See signage guidelines.

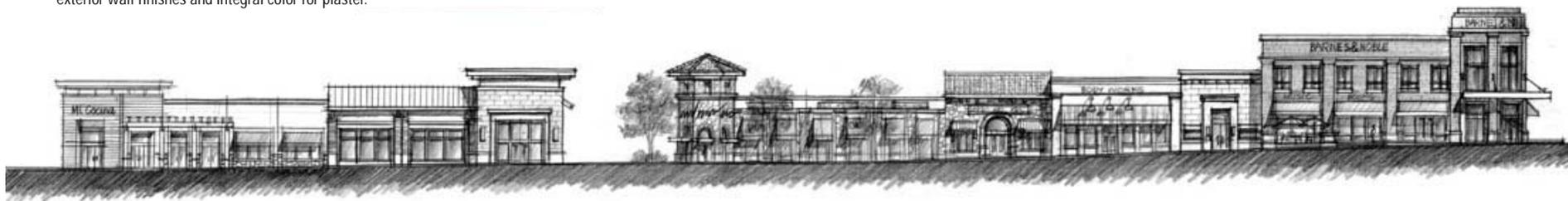
Gutter and downspouts shall be half-round or ogee shape and may be copper, galvanized steel or prefinished aluminum.

AWNINGS/CANOPIES

Materials for awnings, canopies or shading devices at retail level may include, but are not limited to, fabric, steel, natural solid stock wood and architectural metal panels.

ARCADES AND GALLERIES

Arcades or galleries are permitted with a minimum depth of 8 feet and a maximum depth of 12 feet. Materials for arcades or galleries may be, but are not limited to, masonry, steel, natural solid stock wood, and cast stone. Where arcades or galleries are used the face of arcade may be permitted to be within 2 feet of curb line. Arcades and galleries shall be limited to 33% of the block length.



6 ARCHITECTURAL GUIDELINES

U S E T Y P E : O F F I C E

The Traditional or Transitional style will be acceptable for Office uses. For architectural guidelines, reference "Type of Use: Office" for sketch and photographic examples. Also reference "Style: Traditional" and "Style Transitional" per selected style for sketch and photographic examples.

BUILDING MASSING

Overall Massing

Building facades 6 to 8 stories in height shall have tripartite organization (base, middle & top) or bipartite organization (base & top).

Entrance or Landmark Element

See Development Mast Plan for the locations of landmark elements. Building massing at these locations may exceed the maximum permitted building height by 20 feet, for no more than 25% of the building elevation length.

BUILDING WALL MATERIALS

Primary Materials (60% of façade or greater)

Standard synthetic stone masonry units (example: Arriscraft as approved by the ARB), standard brick sizes, or local natural stone shall be installed to simulate traditional load bearing masonry application.

Precast concrete panels may be used but may not be painted. The panels shall use pigmented cement and natural stone matrix (selected for color or effect) to be exposed through various finishing processes (acid washing and/or sandblasting at fabrication plant, etc.)

Window glazing systems may be used, described further in section below (Solid vs Glazing, and Doors and Windows).

Secondary Materials (40% of façade or less)

Plaster shall be used in traditional three coat application with integral color, for Traditional Style. Architectural metal panels shall be allowed up to 20% of secondary material in the Transitional Style and shall be of non-corrugated and non ribbed panels.

Accent Materials (5% of façade)

Precast stone may be used in different, but not limited to, applications such as trim, sill, coping and headers.

Other Materials

Natural solid stock wood may be used as, but not limited to, column and beam applications, brackets, rafter tails and shading devices.

Fiber reinforced cement products may be used in lieu of natural wood, cast stone, or stone detailing such as brackets, rafter tails, columns or beam details.

Steel may be used as, but not limited to, column and beam applications, brackets, headers and shading devices.

EIFS – Exterior insulated finish system shall not be permitted in any application.

Solid Materials vs Glazing

The building envelop shall have a minimum of 35% solid building materials and a maximum of 65% window glazing system.

BUILDING MATERIAL COLORS

Primary Material Colors

Masonry and natural stone colors (or synthetic stone as approved by the ARB) shall be selected within earth tone ranges and shall complement each other.

Secondary Material Colors

Plaster integral color shall be non-white within earth tone ranges.

Architectural metal panels shall be prefinished paint or enamel in grays, earth tone, and neutral colors. Highly reflective finishes or primary colors, or bright pastels shall not be permitted.

Accent Material Colors

Precast stone shall be of light neutral colors.

Other Material Colors

Natural solid stock wood shall be stained or oiled and protected against discoloration.

Fiber reinforced cement products shall be painted to match the color of the material it is simulating. For example: If intended to match wood then fiber reinforced cement product shall be painted to match natural wood stain.

Steel shall be galvanized or primed and painted to protect the steel from rust and select color to complement exterior wall finishes.



6 ARCHITECTURAL GUIDELINES

U S E T Y P E : O F F I C E

DOORS AND WINDOWS

Doors

Doors may be all glass with or without frame. Sliding doors shall not be permitted. Doors may be custom or predefined manufactured system.

Windows

Windows may be all glass with or without frame. Single planes of glass shall not be larger than 6 feet high by 5 feet wide. Glazing may be of divided or non-divided lights. Retail frontage shall allow 60% of surface view into building.

Materials

Door and window materials shall be wood, clad wood, vinyl, painted steel, commercial grade anodized or prefinished aluminum. Doors may include glass panes. Glazing shall be non-reflective Low-E, with minimum 90% light transmission at retail level. Upper floors shall be non-reflective Low-E, with minimum 75% light transmission.

Details

Door and window surrounds may be of, but not limited to, plaster, cast stone, masonry, steel, aluminum or architectural aluminum metal panels. Doors and windows should be inset a minimum of 1 inch from exterior face finish.

Color

Door and window frame color shall complement exterior wall finishes. Opaque and dark colored windows shall not be permitted. Window tint will be limited to light green, blue, gray or brown.

Configurations

Door and window openings shall align vertically along their centerline and the size or configuration may vary on the top floor. Doors or windows may be ganged together horizontally up to a maximum of 3 per group. Exterior shutters are not permitted.

BALCONIES

Balcony Organization

Juliet balconies (non-operable) may be provided to complement door and window arrangements in overall façade in the Traditional Style.

Railings

Railing materials appropriate to the architectural style may be of, but not limited to, "iron", painted metal, steel, aluminum, or glass.

Details

Masonry details shall be consistent with traditional load bearing masonry applications. Brick details include, but are not limited to, lintels, segmented arches, half round arches, sills and headers.

Cast stone details may include, but are not limited to, applications such as trim, sill, coping, header, string coursing, and columns.

Natural solid stock wood may be used as, but is not limited to, column, beam and header applications.

Fiber reinforced cement products may be used in lieu of natural wood or stone or precast stone as sills, columns, cornices, brackets and rafter tail details, etc.

Steel details may include, but are not limited to, column and beam applications, brackets, headers, door/window frames and shading devices.

Architectural metal panel details may include, but are not limited to, wall panels, mechanical screens, columns, beams, headers, and door/window frames.

EIFS – Exterior insulated finish system shall not be permitted in any application.

ROOF AND PARAPETS

Roof Massing

Pitched and/or shed roofs may be used. Roof lines may be interrupted by towers, shed roofs and/or parapet wall height difference.

Cornice profiles shall complement the top building line as appropriate to the architectural style.

Roof Overhang

Roof overhang for shed roofs shall be within range of 2 to 6 feet.

Cornice profile shall be limited to overall depth of 4 feet.

Roof Materials

Pitched and/or shed roofs may be of concrete or clay tiles and shall be used in a flat or barrel style application; a metal roof system application may also be used. Flat roofs shall be of a bituminous application.

Roof Color

Earth tone ranges or blended concrete or clay colors shall be used. All predominantly red tile roofs shall not be permitted. Metal roof color shall complement exterior wall finishes. Bituminous roofs shall be black in color.



6 ARCHITECTURAL GUIDELINES

U S E T Y P E : O F F I C E

ROOF AND PARAPETS, CONTINUED

Soffit and Fascia Materials

Natural solid stock wood, cement board and/or plaster may be used at soffit and fascia conditions. These conditions shall be painted to complement exterior wall finishes and integral color for plaster.

Roof Pitch

Pitched and/or shed roofs may be a minimum of 2:12 slope and maximum of 6:12 slope.

Roof Parapets

Parapet roof wall height shall be a minimum of 2 feet and a maximum of 5 feet. Metal coping shall not be allowed.

Roof Systems

Roof systems must provide positive drainage at all times. Roof drains are required to tie into underground storm drainage systems.

Roof Equipment

All roof mounted equipment, including mechanical equipment and vents, antennae, satellite dishes, etc. must be screened from view from an elevation of 5 feet from natural grade from the public ROW and all adjacent building sites. Set roof mounted equipment back from the perimeter of the building. Screening shall be achieved through the use of parapet walls, penthouses or other screening devices compatible with the forms, colors, and materials of the building's exterior and as approved by ARB. If set back a minimum of 8 feet from the perimeter, a mechanical screen may extend a maximum 20 feet high. If a louver system, or perforated metal is incorporated in the mechanical screen, it must be selected/selected to block sight lines from below.

Attachments

See signage guidelines.

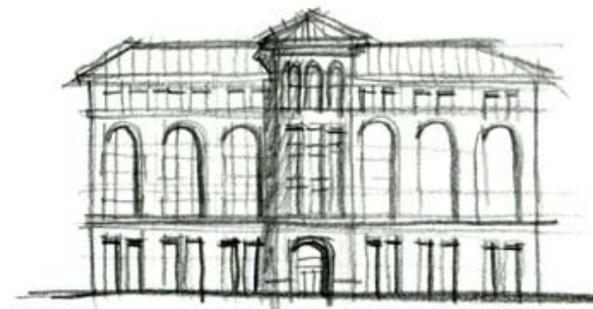
Gutter and downspouts shall be half-round or ogee shape and may be copper, galvanized steel or prefinished aluminum.

AWNINGS/CANOPIES

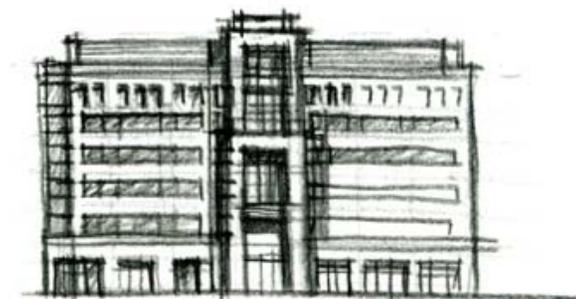
Materials for awnings, canopies or shading devices at building entry may include, but are not limited to fabric, steel or aluminum fabrication, and architectural metal panels.

ARCADES AND GALLERIES

Arcades or galleries are permitted with a minimum depth of 8 feet and a maximum depth of 12 feet. Materials for arcades or galleries may be, but are not limited to, masonry, steel, natural solid stock wood, and cast stone. Where arcades or galleries are used the face of arcade may be permitted to be within 2 feet of curb line. Arcades and galleries shall be limited to 33% of the block length.



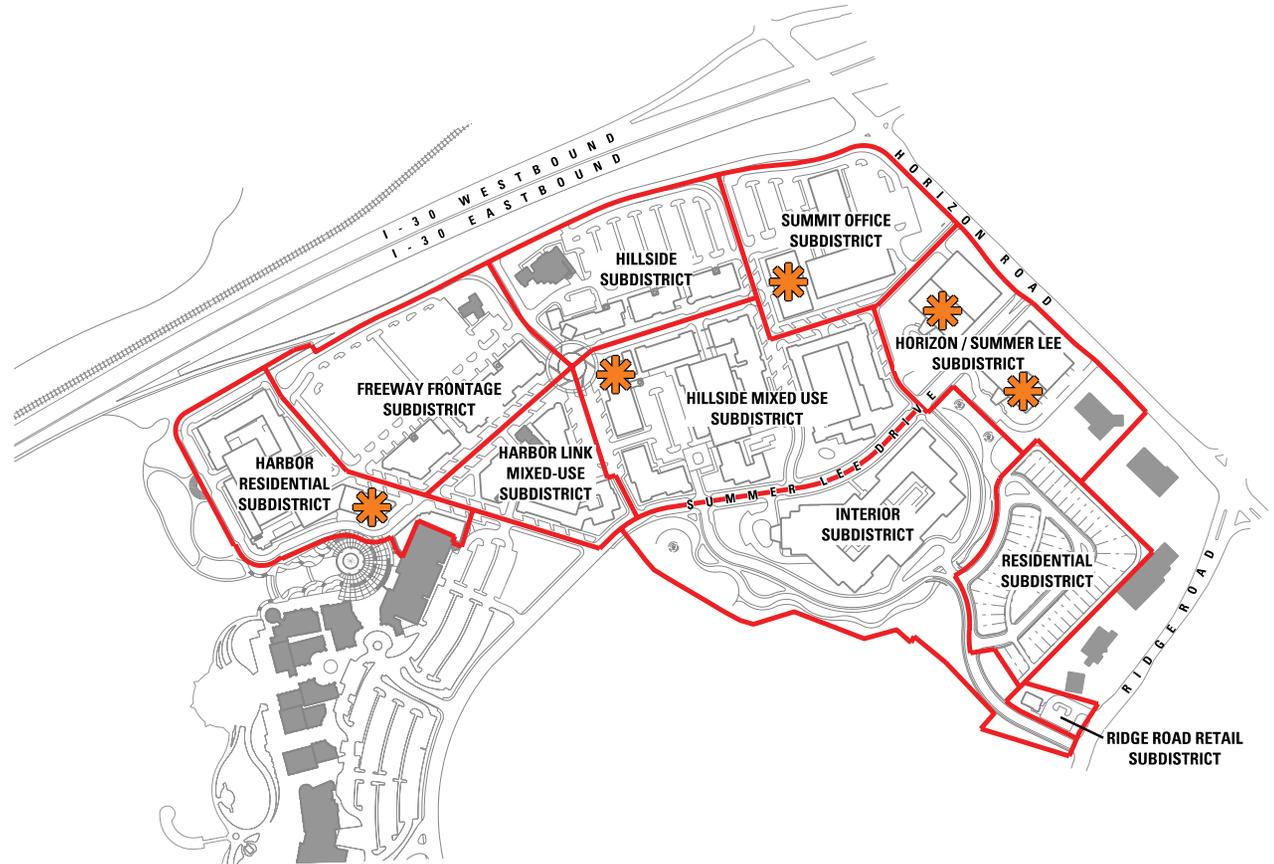
Traditional



** transitional*

LANDMARK BUILDING OPPORTUNITIES PLAN

Landmark building locations identified on this plan may have special forms, roof forms, materials, colors, accent lighting, and additional height allowances as approved by the Architectural Review Board. Tower elements on one to three-story buildings may exceed the maximum building height of the subdistrict by 10 feet. Tower elements on four-story or taller buildings may exceed the maximum building height of the subdistrict by 20 feet.

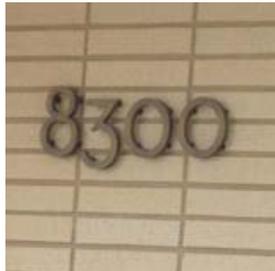


8 POCKET PARKS AND OPEN SPACE



9 SIGNAGE

ADDRESS SIGNAGE



AWNING / CANOPY SIGNAGE

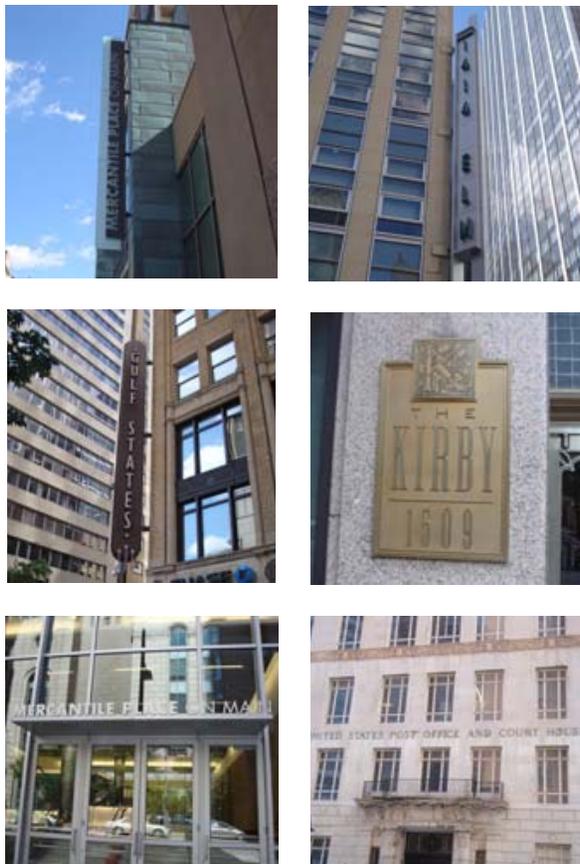


BLADE SIGNAGE

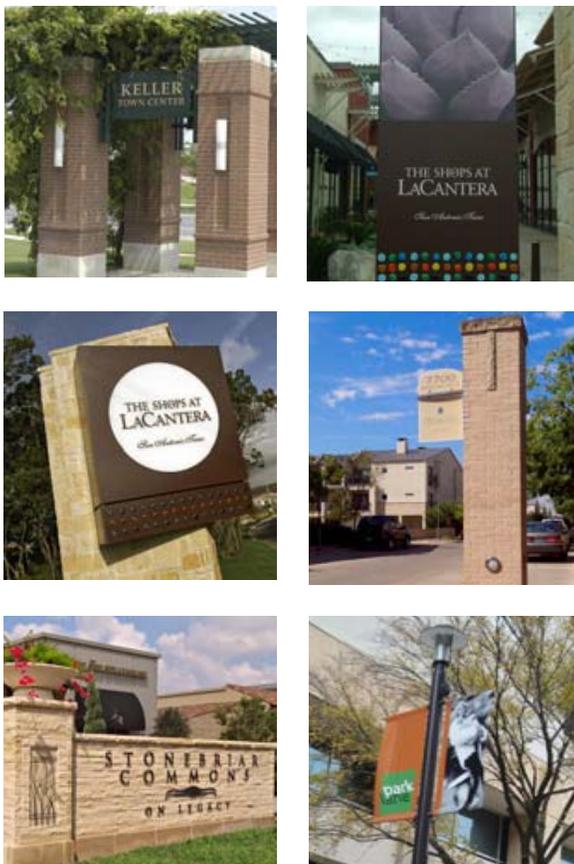


9 SIGNAGE

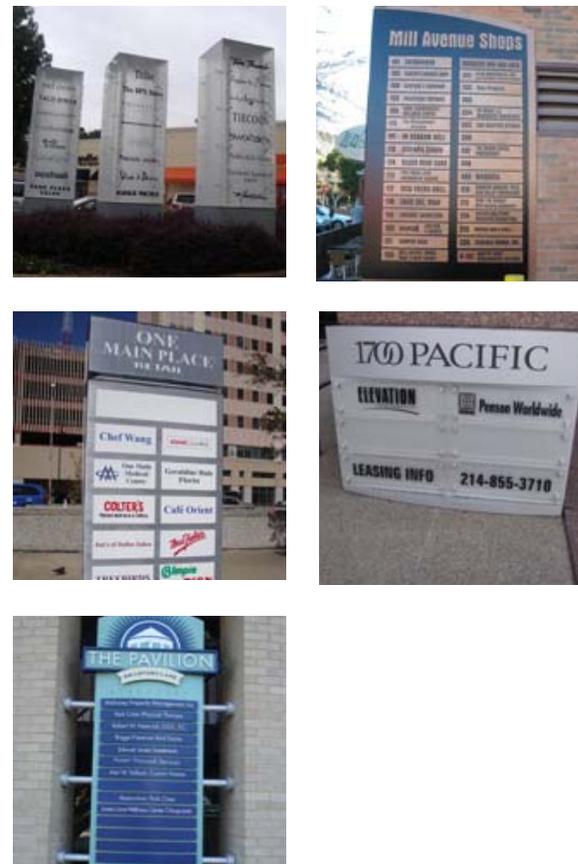
BUILDING NAME SIGNAGE



DISTRICT IDENTITY SIGNAGE

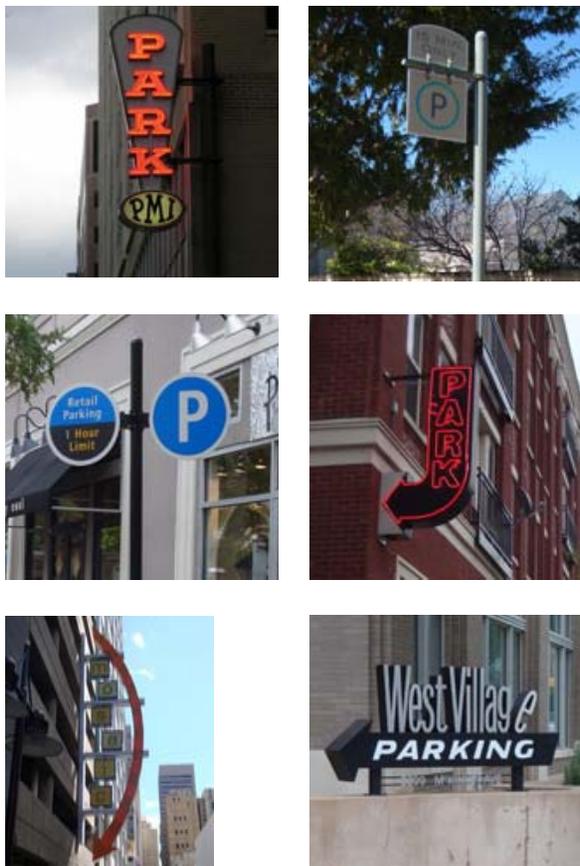


MULTI-TENANT SIGNAGE

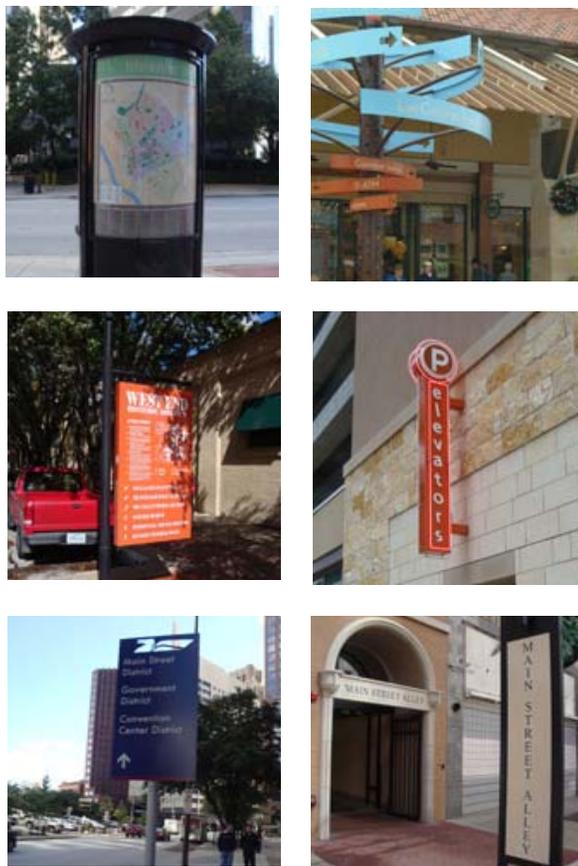


9 SIGNAGE

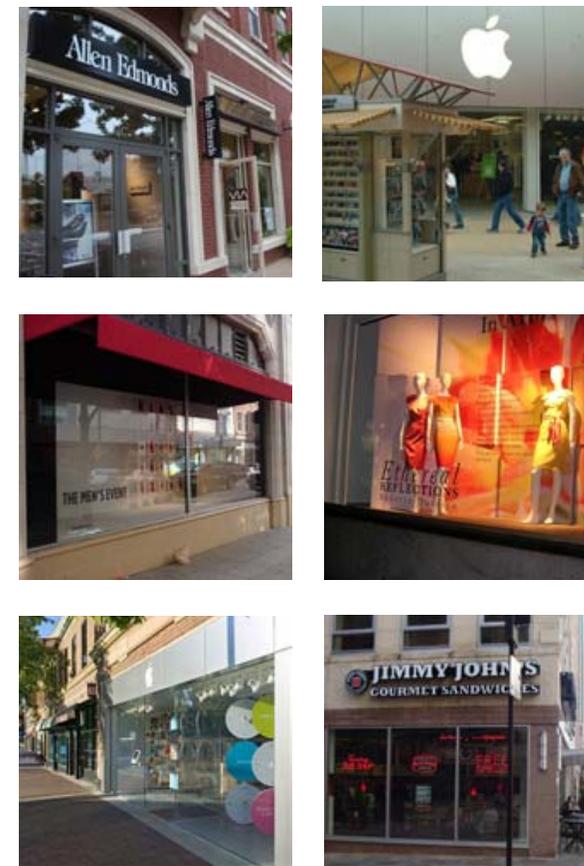
PARKING VEHICULAR DIRECTIONAL SIGNAGE



PEDESTRIAN DIRECTIONAL SIGNAGE



RETAIL ENTRY SIGNAGE



9 SIGNAGE

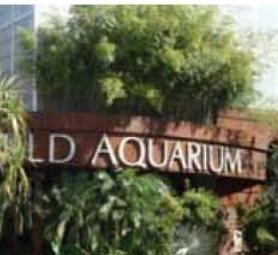
STREET SIGNAGE



TENANT WALL SIGNAGE



SPECIALTY SIGNAGE



10 CONSTRUCTION ACTIVITY GUIDELINES

Overview

Construction activities must be performed in such a manner as to minimize any impacts on surrounding properties and the district's street and infrastructure systems. During the construction process, keep the building site and its surroundings as visually attractive as possible.

No construction activities, including the removal of any trees, clearing, grading, or excavation may commence without written approval of the Architectural Review Board.

Comply with all construction requirements set forth by the local jurisdictions and any other governmental agency having jurisdiction over the work.

Construction Access and Erosion Controls

Limit construction access to one location, preferably from the smallest street which will provide access and minimize construction traffic through the Property's streets. The use of a stabilized construction access is required and must be installed prior to commencement of construction. Install a pipe culvert at the access point as necessary.

Provide properly installed silt fencing prior to the commencement of any construction activities. Adhere to all governmental regulations regarding erosion and sedimentation control. Prevent the deposit of silt and soil into the storm drainage and street systems.

If required due to limitations caused by site size or configuration, obtain written permission and/or construction easements from adjacent site owners to obtain access.

Provide adequate and acceptable areas for construction worker parking, construction vehicles, deliveries, and materials storage.

Materials Storage

Construction materials are to be stored in an orderly manner that will not interfere with street traffic, or create an unreasonable view to surrounding building sites.

Temporary Facilities

All temporary facilities, including construction offices, temporary sanitary facilities, and temporary utilities shall be installed and maintained in an attractive, professional manner.

Trash and Waste Disposal/Cleanup

Maintain streets in a clean condition. Do not permit the tracking of dirt and mud onto surrounding streets and sites. Clean streets at the end of each work day, or more frequently if required.

Provide on-site trash dumpsters on each construction site. Keep the construction site free from piles of waste materials and windblown debris and trash. Remove waste materials as often as possible to prevent the accumulation of trash and waste materials. Burning of trash is prohibited.

Dust Control

Employ dust control measures, such as site watering, in order to minimize the amount of dust generated during excavation and grading operations. The seeding of a cover crop of low maintenance grasses is encouraged as a way to minimize dust.

Noise Control/Work Hours

Work hours must not exceed those hours permitted by local jurisdictions. Use consideration when scheduling and performing construction activities which are noisy.

Vacated Construction Sites

No site may be stripped of soil and vacated during construction.

Completion of Construction

Pursue the completion of construction diligently. Work may not be left in an unfinished condition longer than reasonably necessary. Complete the work in accordance with the approved construction schedule, including obtaining a certificate of substantial completion and a certificate of occupancy.

All work must comply with the requirements of the Design Guidelines and all applicable ordinances and building codes.

11 MAINTENANCE GUIDELINES

Overview

Responsible maintenance of both undeveloped and developed building sites and occupied and unoccupied buildings within the district will contribute to its overall visual quality.

Developed Parcels

Maintain the entire premises of each developed building site in a clean, safe, orderly and attractive condition at all times. Comply with all government zoning, health, safety, fire and maintenance requirements.

Required maintenance includes repairing any damage to structures or landscape elements, exterior building maintenance, painting and cleaning.

Parking lots and driveways must be kept in good repair. All pavement repairs must be carried out with paving materials matching or exceeding the quality and durability of the original construction. Restripe parking lot striping and fire lane markings at the earliest reasonable indications of wear, fading or deterioration.

Clean, maintain and relamp all building mounted and site lighting.

Keep all landscape features, trees, lawns, ground covers and shrubs in an excellent, well maintained condition. Maintain irrigation systems in optimal condition, including adjustment and replacement of nozzles and heads, performance testing of rain sensors, freeze sensors, backflow prevention devices and controllers. Repair leaks in irrigation lines immediately. Promptly repair any damage caused by irrigation leaks.

Maintain all site signage in good repair, replace any damaged signs as soon as reasonably possible.

Undeveloped Parcels

Keep undeveloped parcels free from rubbish and weeds. Mow parcels at regular intervals in order to keep grass and other vegetation from growing taller than 12 to 24 inches in height.

Control the direction and intensity of the flow of storm water, in order to minimize runoff onto streets and adjacent properties, and to minimize erosion. Keep the soil of undeveloped sites covered with grasses and other plant materials.

Native and well adapted grasses and wildflowers may be used on undeveloped parcels in order to create an attractive appearance without incurring a demanding irrigation and maintenance regimen.

CITY OF ROCKWALL

RESOLUTION NO. 11-25

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, ADOPTING OUTSIDE DINING GUIDELINES FOR THE PLANNED DEVELOPMENT NO. 7 DISTRICT (PD-7), ALSO KNOWN AS THE HARBOR RETAIL AREA.

WHEREAS, the City of Rockwall authorized a study to develop guidelines for outdoor dining areas for the Harbor Retail Area within Planned Development No. 7 (PD-7), and

WHEREAS, the Harbor Outdoor Dining Guidelines shall serve as a guide for the City of Rockwall and business owners to allow outdoor dining areas in the Harbor Retail Area, and

WHEREAS, the Harbor Outdoor Dining Guidelines have been created to establish allowable areas for outdoor dining spaces located within the Harbor Retail Area, and

WHEREAS, the Harbor Outdoor Dining Guidelines are not intended to establish inflexible requirements that rule out unique solutions but rather it is the intent to define the areas for outside dining and continue to provide sufficient walkways for pedestrians.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

Section 1. That the Harbor Outdoor Dining Guidelines attached hereto as Exhibit "A" are hereby approved and shall be an Appendix to the approved ordinance for (PD-7) Planned Development No. 7 District, as heretofore amended and as may be amended in the future.

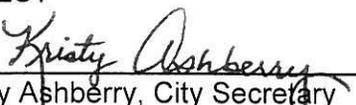
Section 2. That the Harbor Outdoor Dining Guidelines shall be used by the City as a guide in the review of all future development in the Harbor Retail Area within the Planned Development No. 7 District.

Section 3. That this resolution shall take effect immediately from and after its adoption and it is so resolved.

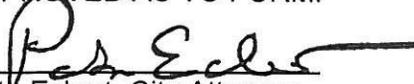
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 6th day of September, 2011.


David Sweet, Mayor

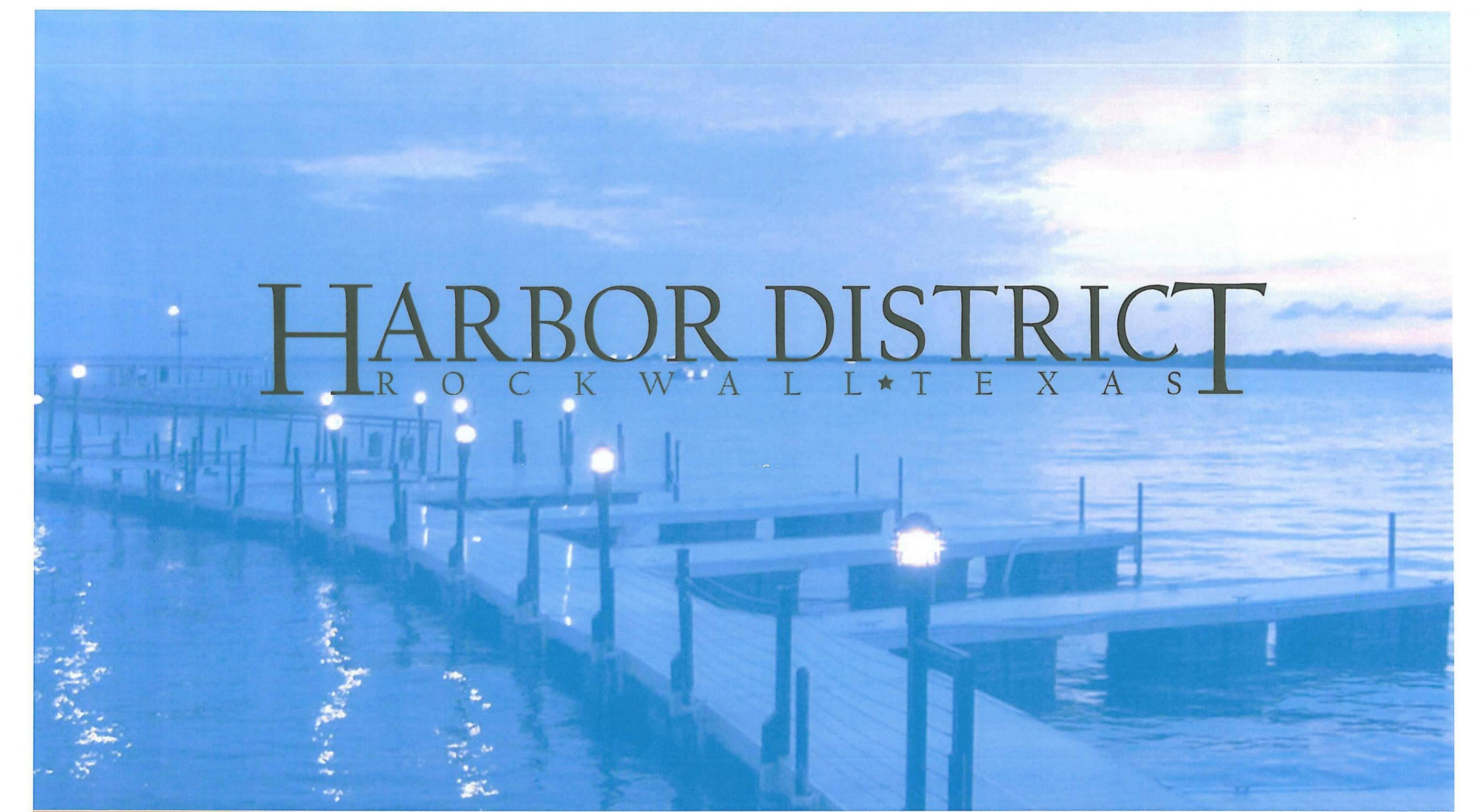
ATTEST


Kristy Ashberry, City Secretary

APPROVED AS TO FORM:


Pete Eckert, City Attorney





HARBOR DISTRICT

R O C K W A L L ★ T E X A S

THE HARBOR | OUTDOOR DINING GUIDELINES

TABLE OF CONTENTS

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- 2 OVERALL PLAN4
- 3 SECTIONS & PLAN ENLARGEMENTS.....5

INTRODUCTION

Our goal is to enhance the overall environment of the Harbor and allow its outdoor dining opportunities to serve as a destination. The Harbor Outdoor Dining Guidelines have thus been created to establish an allowable area of outdoor dining spaces located within the Harbor. Standards aim at enhancing the overall Harbor experience and aiding in the success of individual businesses.

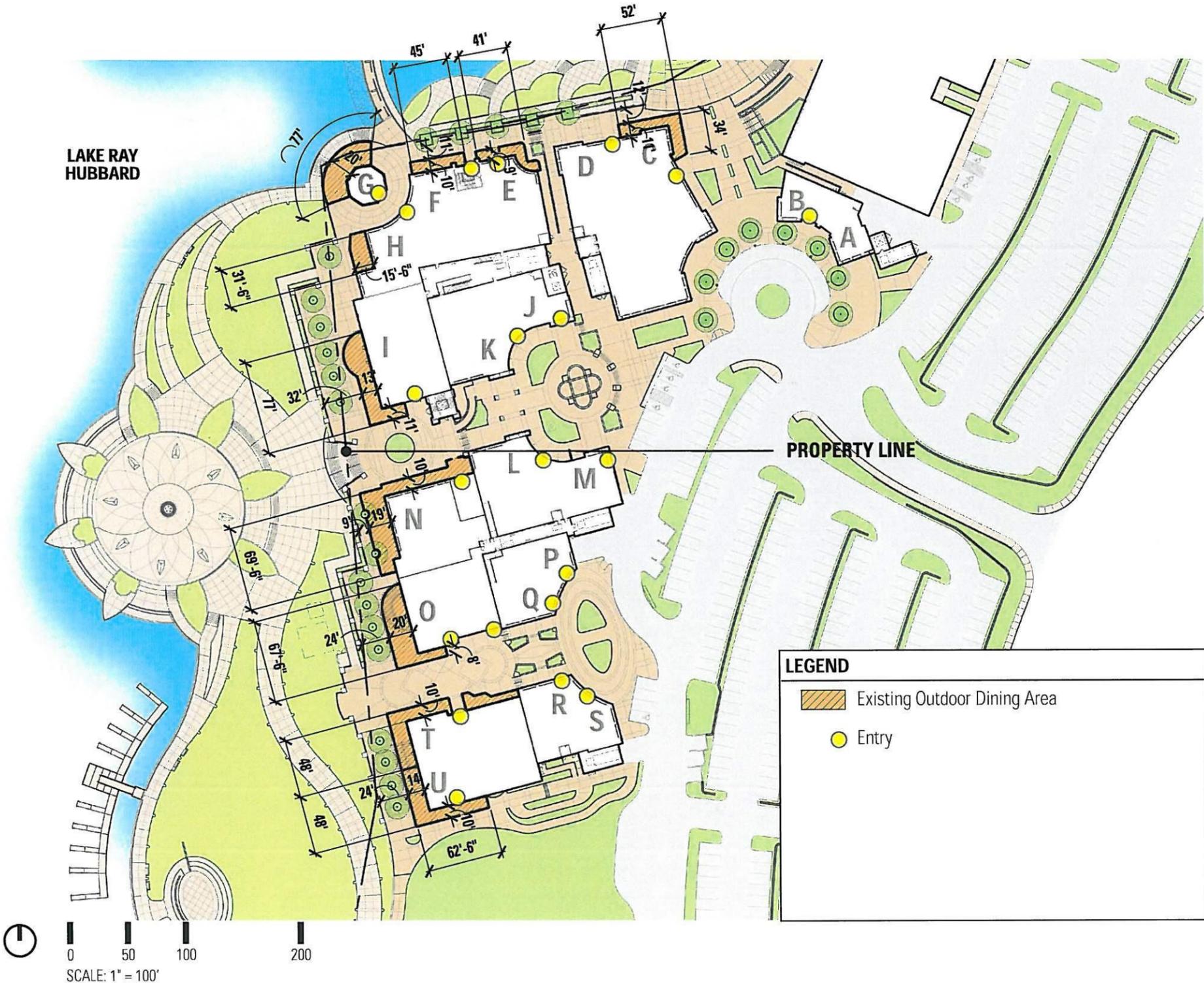
KEY COMPONENTS

- Establishes outdoor dining limits
- Locates outdoor seating opportunities

This document is intended to be used as a guide by the City of Rockwall, business owners, and their consultants for use in the design, construction, and maintenance of all properties located within the Harbor.

This document addresses planning and design character related to the public realm in such a way as to ensure quality and compatibility without creating overly prescriptive or onerous requirements that severely limit design flexibility. It is not the intention to establish inflexible design requirements that rule out unique design solutions; rather it is these creative design features that collectively add richness and variety to the overall development.

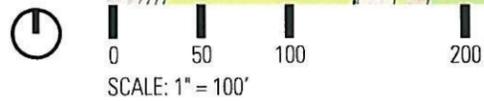
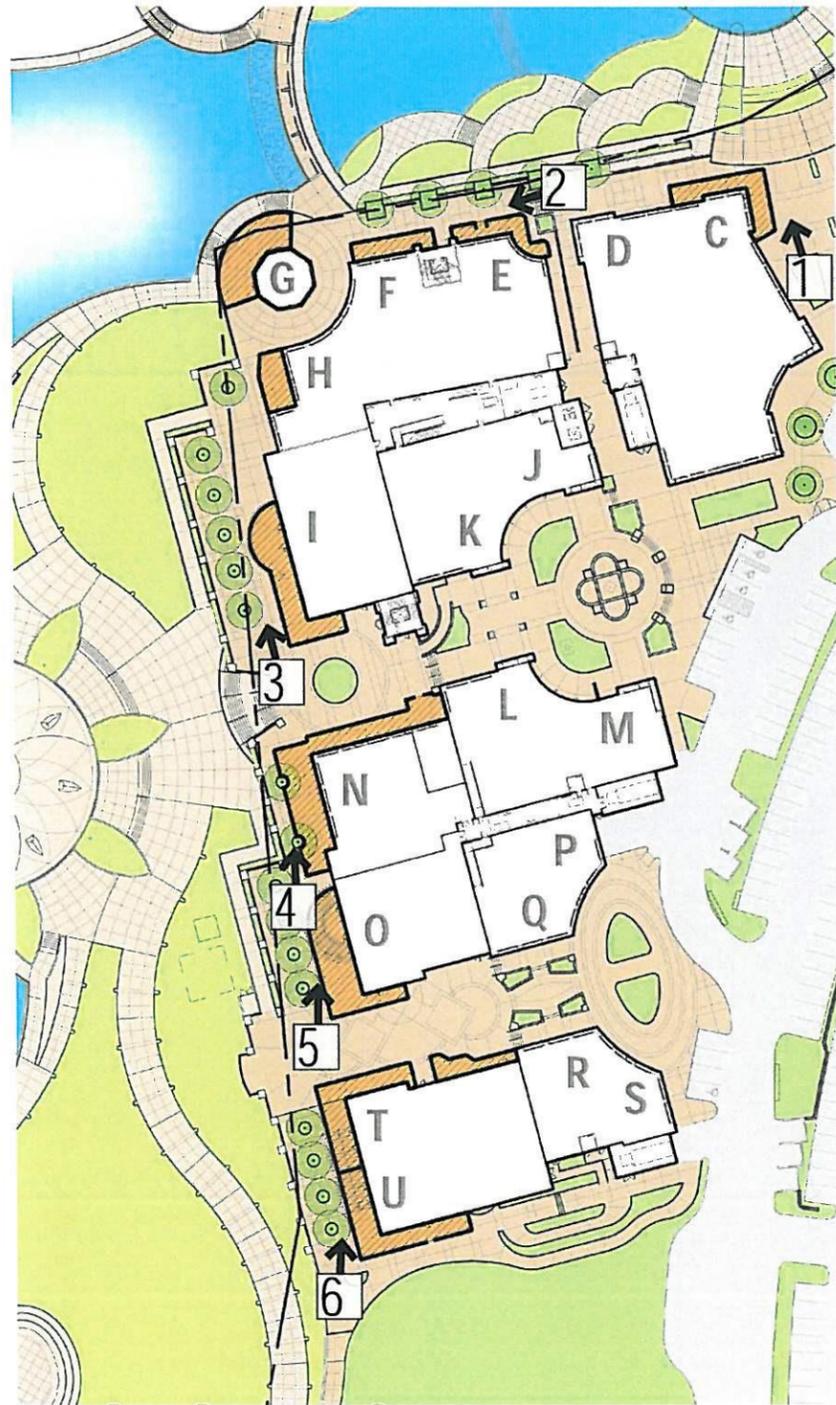
1 EXISTING CONDITIONS



EXISTING OUTDOOR DINING AREA

		OUTDOOR DINING AREA (SF)
A	Urban Slice	--
B	Coldstone	--
C	Paradise	790 sf
D	--	--
E	El Potrillo de la Sandia	535 sf
F	--	445 sf
G	--	1,145 sf
H	--	475 sf
I	Luna de Noche	1,340 sf
J	Willis Estates & Keepsakes	--
K	Fashion Depot	--
L	KE Cellars Winery	--
M	En Fuego	--
N	Gloria's	1,800 sf
O	Ruby Tuesday	1,450 sf
P	--	--
Q	--	--
R	Twisty Treats	--
S	--	--
T	Agave	1,470 sf
U	Dodie's Cajun Diner	1,160 sf

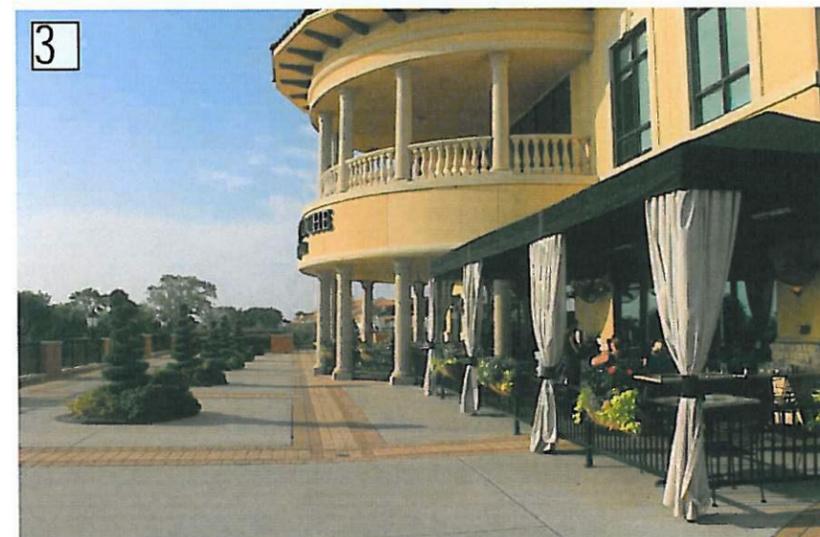
1 EXISTING CONDITIONS



C Paradise



E El Potrillo de la Sandia



I Luna de Noche



N Gloria's



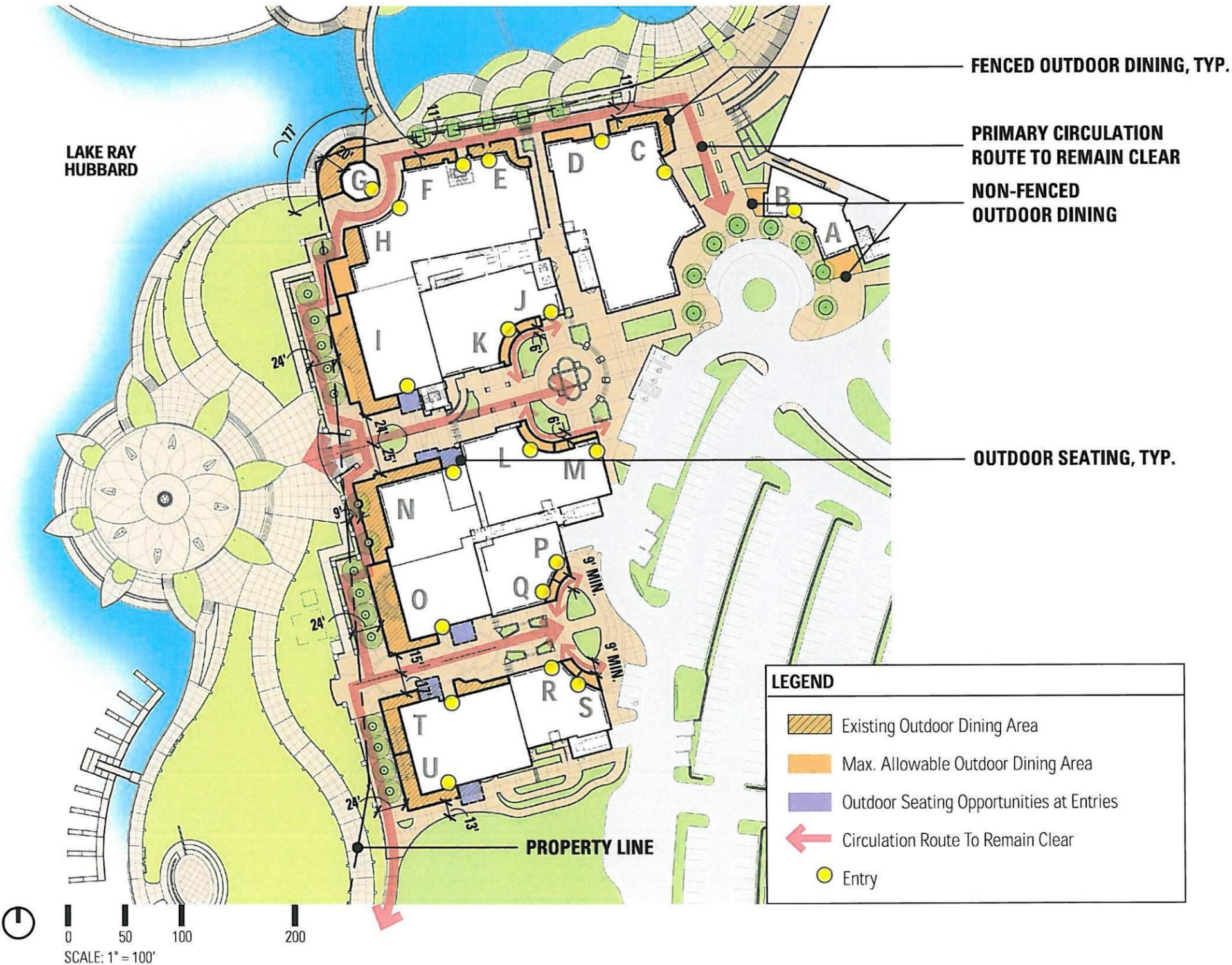
O Ruby Tuesday



U Dodie's

2 OVERALL PLAN

OUTDOOR DINING LIMITS



MAX. ALLOWABLE OUTDOOR DINING AREA

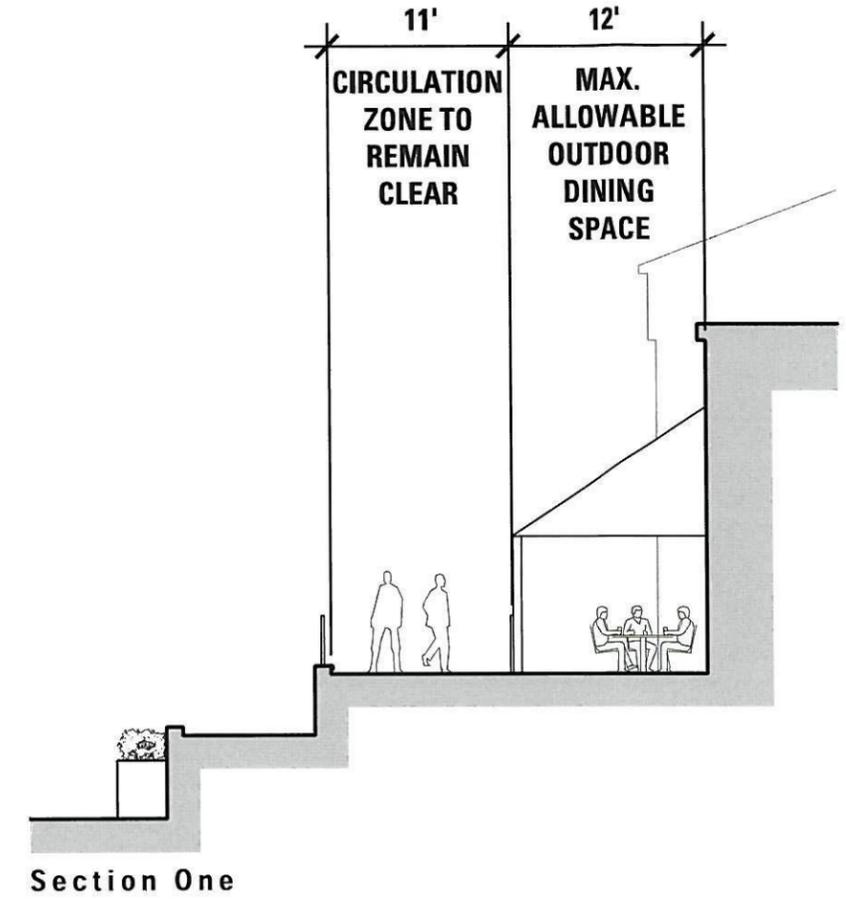
	APPROX. BLDG AREA (SF)	EXISTING OUTDOOR DINING AREA (SF)	MAX. OUTDOOR DINING AREA (SF)
A	0 - 2,200 sf	540 sf	540 sf
B	0 - 2,200 sf	--	280 sf
C	2,200 - 3,600 sf	790 sf	790 sf
D	3,600 - 4,000 sf	--	430 sf
E	3,600 - 4,000 sf	535 sf	535 sf
F	3,600 - 4,000 sf	445 sf	445 sf
G	0 - 2,200 sf	1,145 sf	1,145 sf
H	2,200 - 3,600 sf	475 sf	1,000 sf
I	4,000 - 5,500 sf	1,340 sf	1,950 sf
J	0 - 2,200 sf	--	270 sf
K	0 - 2,200 sf	--	270 sf
L	0 - 2,200 sf	--	270 sf
M	0 - 2,200 sf	--	270 sf
N	4,000 - 5,500 sf	1,800 sf	1,800 sf
O	4,000 - 5,500 sf	1,450 sf	1,800 sf
P	0 - 2,200 sf	--	180 sf
Q	0 - 2,200 sf	--	180 sf
R	0 - 2,200 sf	--	180 sf
S	0 - 2,200 sf	--	180 sf
T	2,200 - 3,600 sf	1,470 sf	1,470 sf
U	2,200 - 3,600 sf	1,160 sf	1,160 sf

3 SECTION & PLAN ENLARGEMENTS



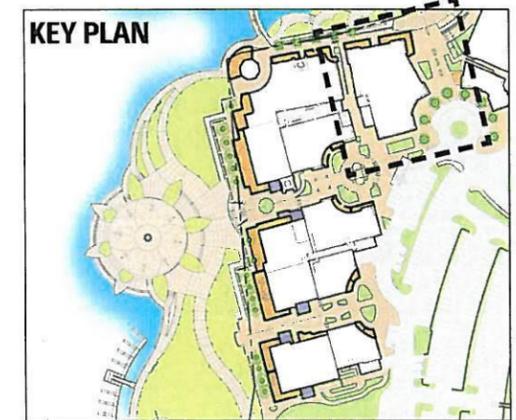
FENCED OUTDOOR DINING, TYP.

NON-FENCED OUTDOOR DINING, TYP.

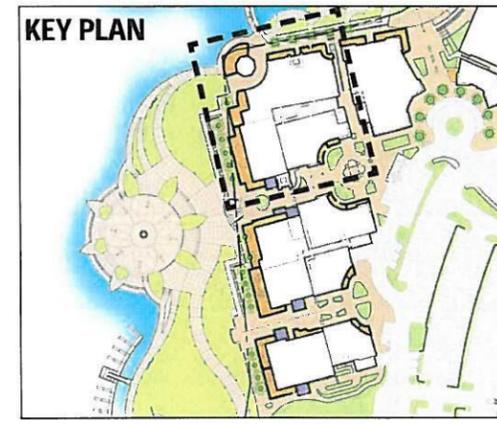
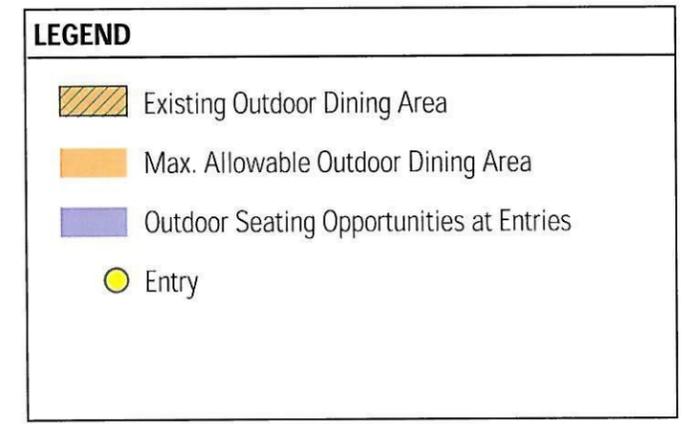
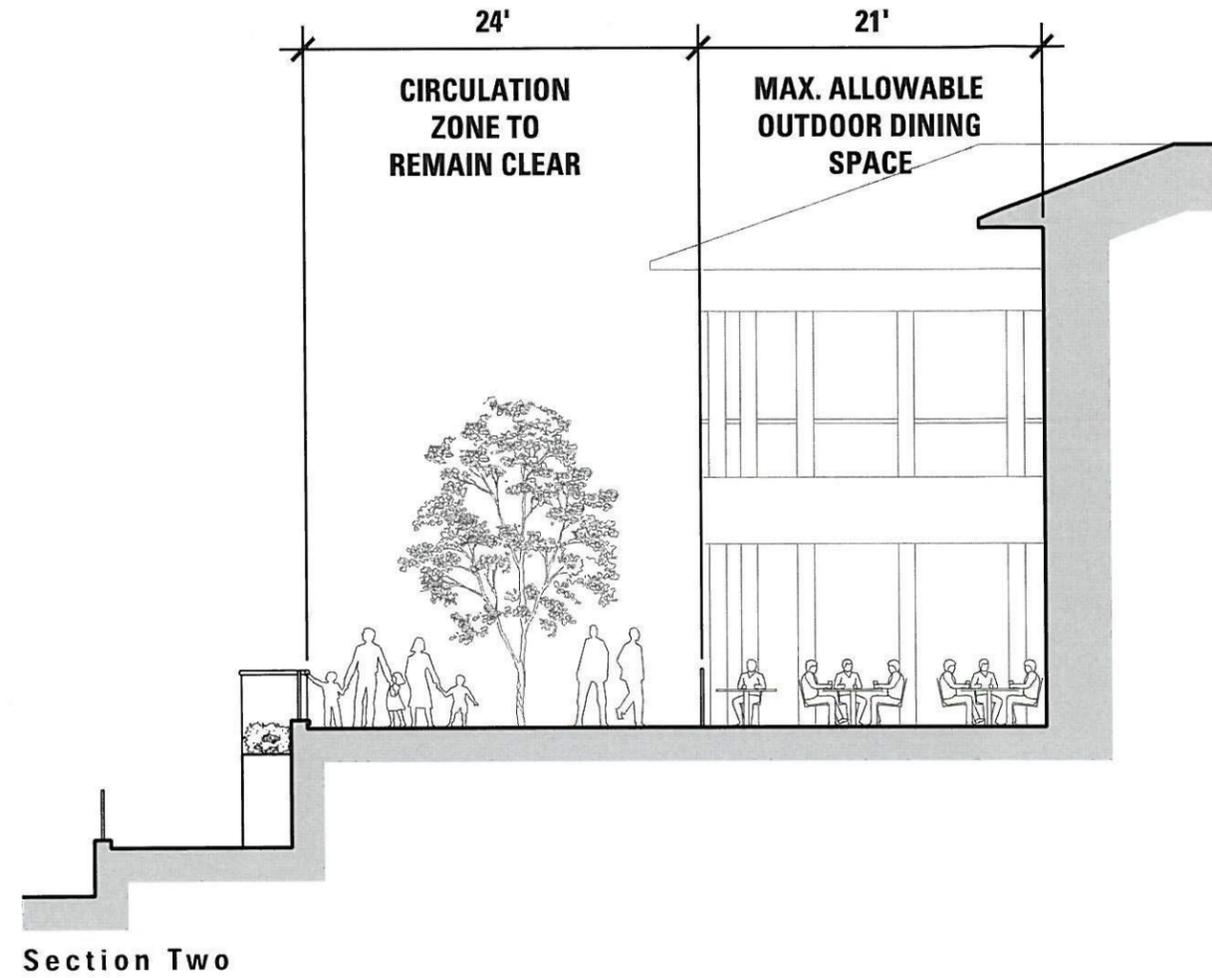
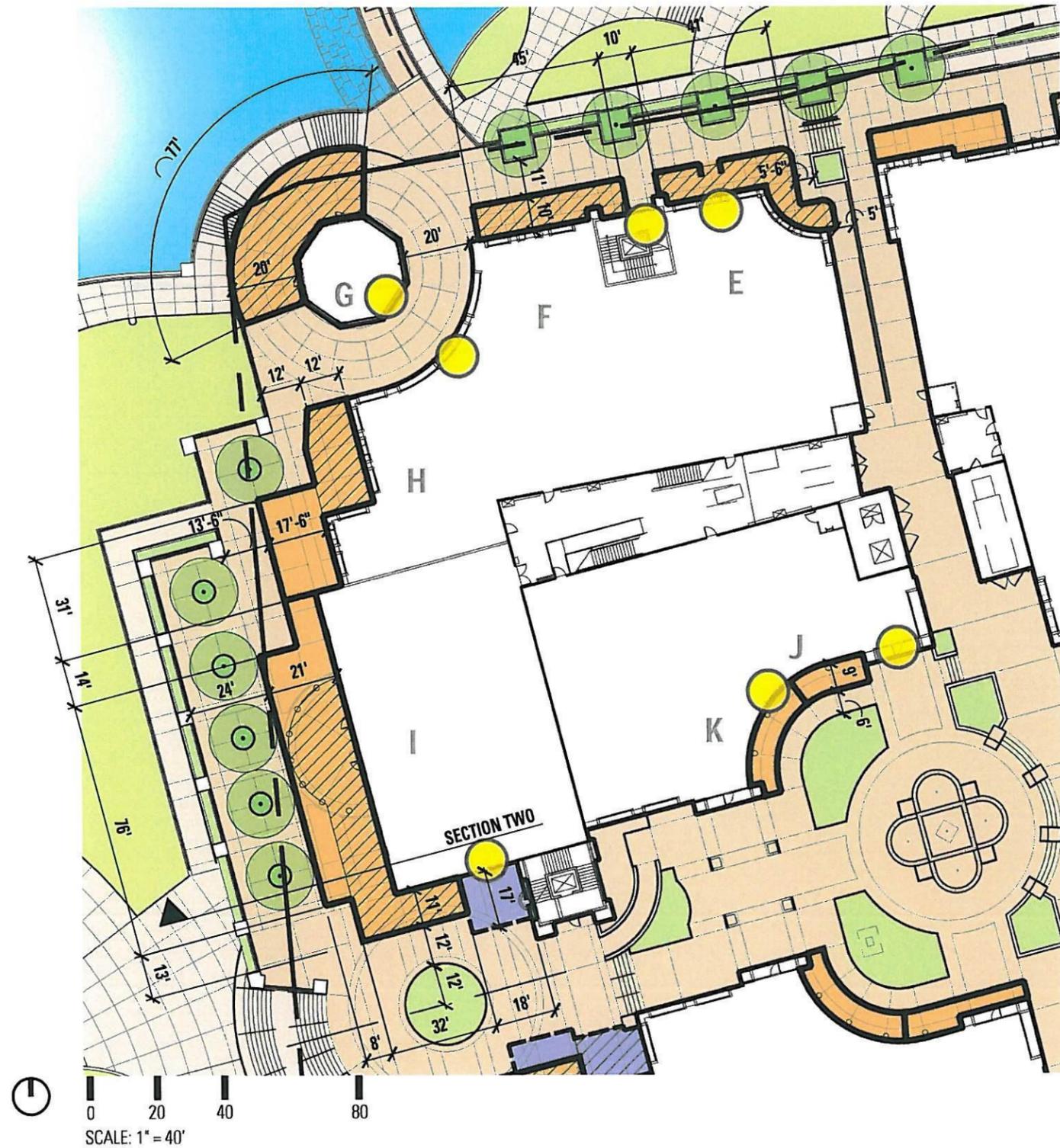


LEGEND

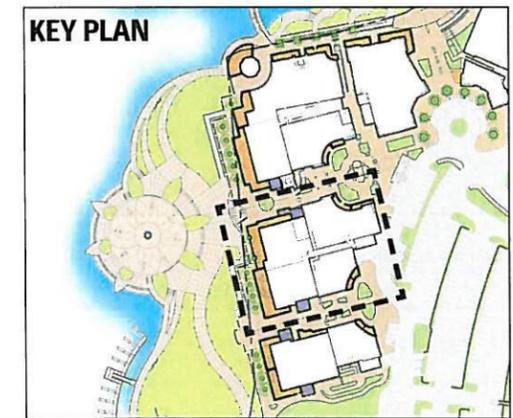
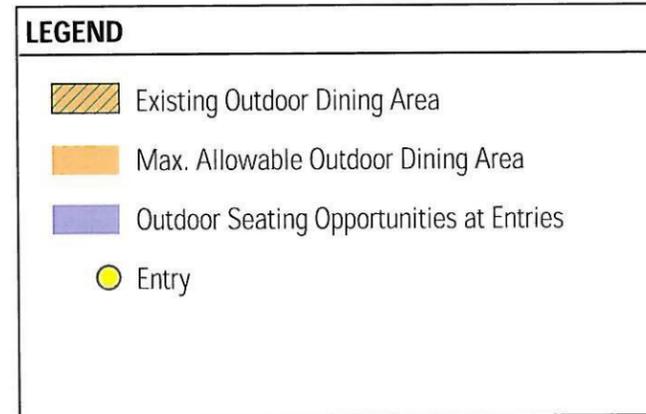
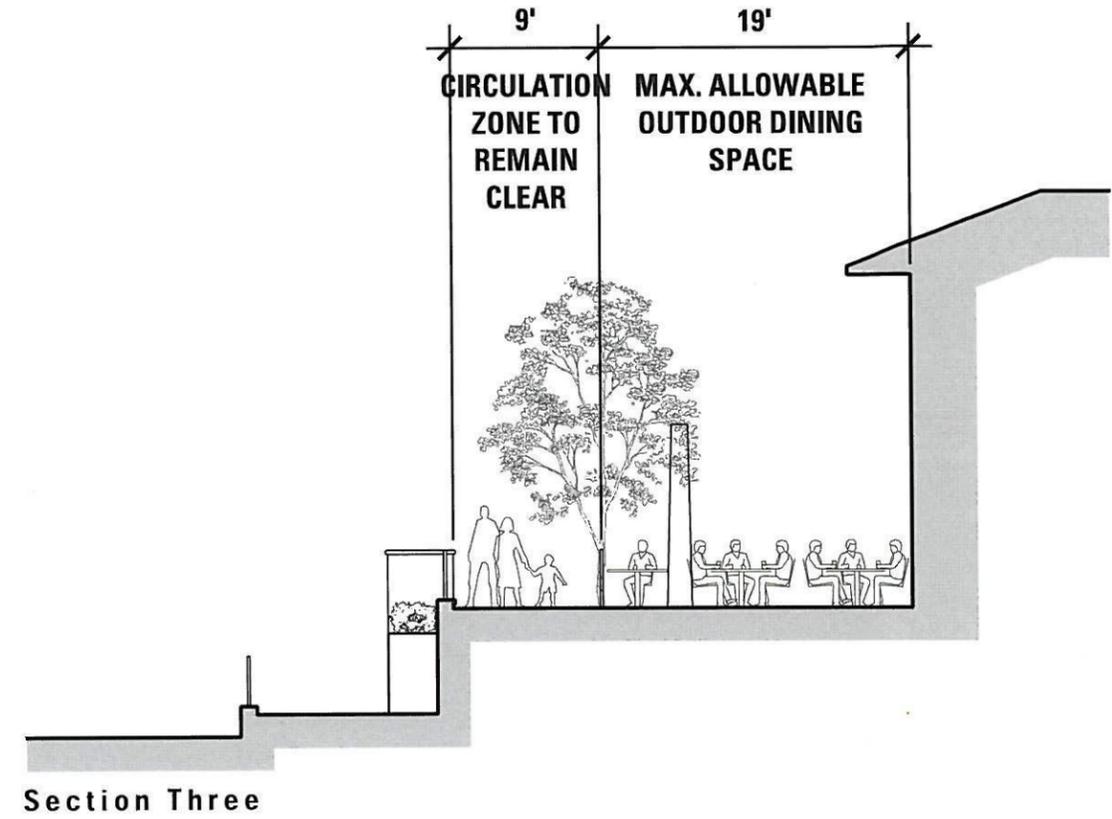
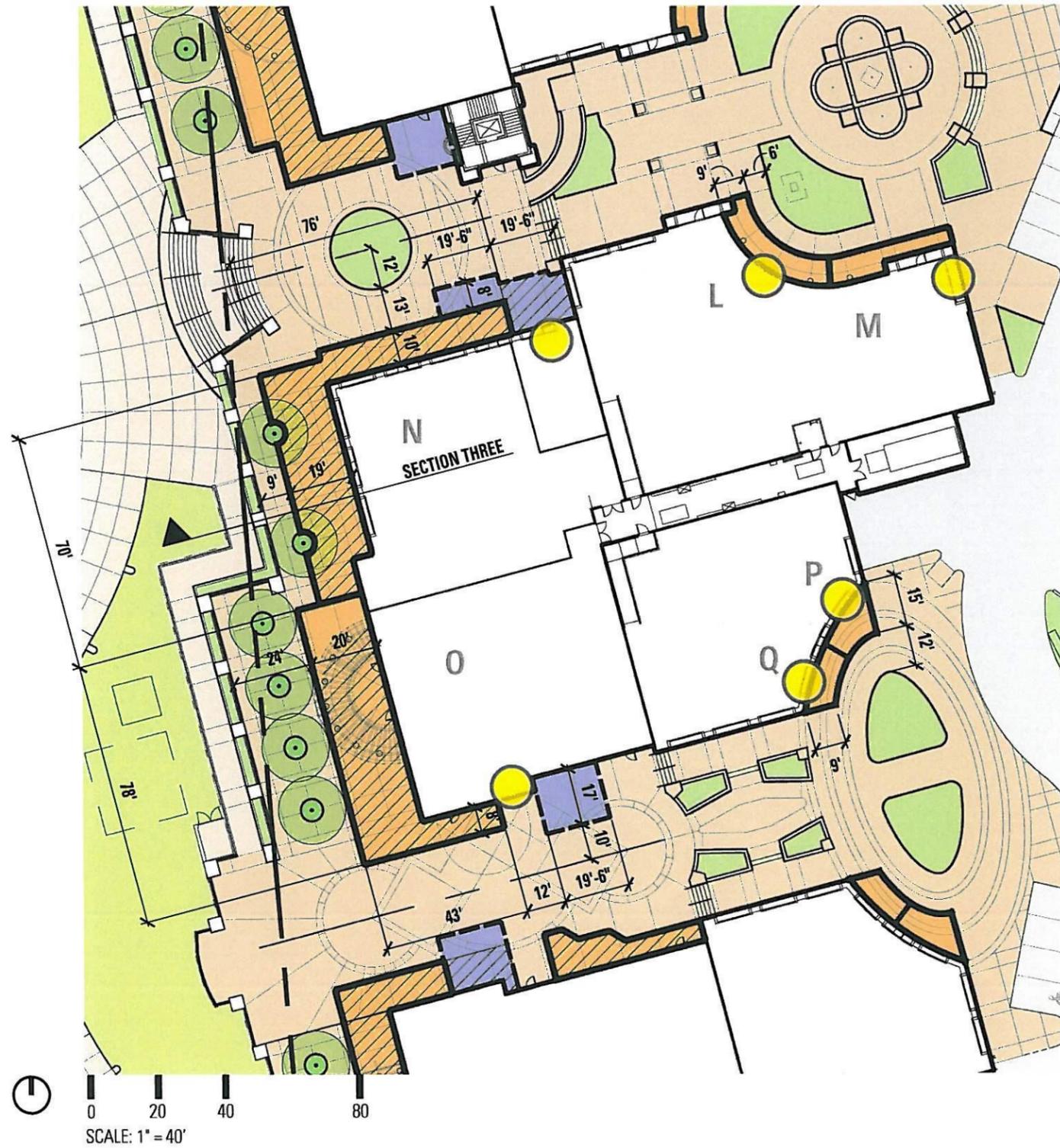
-  Existing Outdoor Dining Area
-  Max. Allowable Outdoor Dining Area
-  Outdoor Seating Opportunities at Entries
-  Entry



3 SECTION & PLAN ENLARGEMENTS



3 SECTION & PLAN ENLARGEMENTS



3 SECTION & PLAN ENLARGEMENTS

