

ORDINANCE NO. 85-25

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND MORE FULLY DESCRIBED HEREIN FROM "A" AGRICULTURAL DISTRICT CLASSIFICATION TO "GR" GENERAL RETAIL DISTRICT CLASSIFICATION; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (1,000) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended, be and the same is hereby amended by amending the Zoning map of the City of Rockwall so as to grant a zoning change from "A" Agricultural District Classification to "GR" General Retail District Classification on the property specifically described in Exhibit "A".

SECTION 2. The above described tract of land shall be used only in the manner and for the purposes provided for in the

Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future.


SECTION 3. If any section, subsection, sentence, phrase, paragraph, provision of this ordinance or the application of that section, subsection, sentence, phrase, paragraph, or provision to any person, firm, corporation, situation, circumstance is for any reason judged invalid, the adjudication shall not affect any other section, sentence, phrase, word, paragraph, or provision of this ordinance or the application of any other section, subsection, sentence, phrase, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 5. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 8th day of April, 1985.

ATTEST:

  
City Secretary

ATTEST:

  
Mayor

First reading 4/1/85

Second reading 4/8/85



EXHIBIT "A"

Tracts 2, 3, and 6 of that certain lot, tract or parcel of land lying in the County of Rockwall, State of Texas, Edward Teal Survey and being 23.52 acres of land conveyed to Isaac Brown out of a 87.5 acre tract by John Martin et ux, and G. W. Moton the 7th day of January 1905 of record in Vol. 31, page 235 Deed Records of Rockwall County, Texas, described as follows:

BEGINNING at a stake in the Northeast line of said E. Teal Survey at the intersection of F. M. Road No. 740 West right-of-way line:

THENCE: South  $13^{\circ} 08'$  West 15 ft. to a stake;

THENCE; South  $45^{\circ} 00'$  West 1139 ft. with old fence line to a stake in fence line at the Northeast corner of a cemetery;

THENCE: North  $42^{\circ} 43'$  West 228 ft. to an angle in line, continuing North  $49^{\circ} 15'$  West 132.5 ft. to an iron pin for a corner;

THENCE: South  $23^{\circ} 00'$  West 24.8 ft. to an iron pin for a corner;

THENCE: with the meanders of a small creek average distances and courses, North  $45^{\circ} 00'$  W. 74 ft.; South  $70^{\circ} 00'$  West 100 ft.; South  $66^{\circ} 30'$  West 246.5 ft.; South  $73^{\circ} 30'$  West 133.5 ft.; North  $71^{\circ} 15'$  W. 46.5 ft.; North  $58^{\circ} 10'$  West 63.5 ft. to an iron pin in the Southwest corner of said tract, said point being also the southeast corner of the Moton land;

THENCE: North  $45^{\circ} 00'$  East 1440 ft. to a stake in public road and survey line;

THENCE: South  $45^{\circ} 00'$  East 855.5 ft. with road and survey line to the place of beginning containing 23.52 acres to be divided into 16 tracts.

ORDINANCE NO. 85-26

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO CHANGE THE ZONING ON A TRACT OF LAND MORE FULLY DESCRIBED HEREIN FROM "A" AGRICULTURAL DISTRICT CLASSIFICATION TO "GR" GENERAL RETAIL DISTRICT CLASSIFICATION; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF ONE THOUSAND DOLLARS (\$1,000) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwal, as heretofore amended, be and the same is hereby amended by amending the Zoning map of the City of Rockwall so as to grant a zoning change from "A" Agricultural District Classification to "GR" General Retail District Classification on the property specifically described in Exhibit "A".

SECTION 2. The above described tract of land shall be used only in the manner and for the purposes provided for in the

Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future.

SECTION 3. If any section, subsection, sentence, phrase, paragraph, provision of this ordinance or the application of that section, subsection, sentence, phrase, paragraph, or provision to any person, firm, corporation, situation, circumstance is for any reason judged invalid, the adjudication shall not affect any other section, sentence, phrase, word, paragraph, or provision of this ordinance or the application of any other section, subsection, sentence, phrase, paragraph, or provision of the Comprehensive Zoning Ordinance No. 83-23 of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.


SECTION 5. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

DULY PASSED AND APPROVED this 8th day of April, 1985.

ATTEST:

  
City Secretary

APPROVED:

  
Mayor

First Reading 4/1/85

Second Reading 4/8/85

EXHIBIT "A"

Tracts 7 and 8 of that certain lot, tract or parcel of land lying in the County of Rockwall, State of Texas, Edward Teal Survey and being 23.52 acres of land conveyed to Isaac Brown out of a 87.5 acre tract by John Martin et ux, and G. W. Moton the 7th day of January 1905 of record in Vol. 31, page 235 Deed Records of Rockwall County Texas described as follows:

BEGINNING at a stake in the Northeast line of said E. Teal Survey at the intersection of F. M. Road No. 740 West right-of-way line:

THENCE: South  $13^{\circ} 08'$  West 15 ft. to a stake;

THENCE; South  $45^{\circ} 00'$  West 1139 ft. with old fence line to a stake in fence line at the Northeast corner of a cemetery;

THENCE: North  $42^{\circ} 43'$  West 228 ft. to an angle in line, continuing North  $49^{\circ} 15'$  West 132.5 ft. to an iron pin for a corner;

THENCE: South  $23^{\circ} 00'$  West 24.8 ft. to an iron pin for a corner;

THENCE: with the meanders of a small creek average distances and courses, North  $45^{\circ} 00'W.$  74 ft.; South  $70^{\circ} 00'$  West 100 ft.; South  $66^{\circ} 30'$  West 246.5 ft.; South  $73^{\circ} 30'$  West 133.5 ft.; North  $71^{\circ} 15'W.$  46.5 ft.; North  $58^{\circ} 10'$  West 63.5 ft. to an iron pin in the Southwest corner of said tract, said point being also the southeast corner of the Moton land;

THENCE: North  $45^{\circ} 00'$  East 1440 ft. to a stake in public road and survey line;

THENCE: South  $45^{\circ} 00'$  East 855.5 ft. with road and survey line to the place of beginning containing 23.52 acres to be divided into 16 tracts.

ORDINANCE NO. 89-20

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS HERETOFORE AMENDED SO AS TO GRANT A ZONING CHANGE ON A TRACT OF LAND MORE FULLY DESCRIBED HEREIN; ORDERING A CHANGE IN THE USE OF SAID PROPERTY FROM "AG" AGRICULTURAL TO "PD-32" PLANNED DEVELOPMENT NUMBER 32; PROVIDING SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a change in zoning from "A" Agricultural to "PD-32" Planned Development 32 on the property described on Exhibit "A" has been requested by Phillip Williams; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinance of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows,

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

SECTION 1. That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas as heretofore amended, be and the same is hereby amended by amending the Zoning Map of the City of Rockwall so as to grant a zoning change from Agricultural to "PD" Planned Development District No. 32 on the property specifically described in Exhibit "A".

SECTION 2. That Planned Development District Number 32 shall be used only in the manner and for the purposes authorized by the Comprehensive Zoning Ordinance of the City of Rockwall, as heretofore amended and as amended hereby provided that the granting of Planned Development District No.32 to the above described tract of land is subject to the following special conditions:

A. Prior to the issuance of any building permit for any buildings in Planned Development District No. 32 a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "B" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to the Thoroughfare Plan of the City of Rockwall, sidewalks, utilities,

drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.

B. All development of property covered by Planned Development District No 32 shall be in accordance with the provisions of this ordinance and the finally approved comprehensive site plan and list of approved uses, and no substantial change in the development shall be permitted, except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the comprehensive Zoning Ordinance.

C. Development of Planned Development District No. 3<sup>2</sup> shall be regulated by the following requirements:

1. PD-32 shall have the uses, area requirements, and development standards of the Commercial zoning category of the Comprehensive Zoning Ordinance as currently adopted except as otherwise provided in this ordinance
2. Gasoline service stations, retail outlets where gasoline products are sold, automotive repair as an accessory to a permitted retail use, car washes, drive-in businesses, and rail and motor vehicle transportation passenger terminals shall require a Conditional Use Permit
3. Prior to the development of any property within the PD a circulation plan for the area identified as Exhibit "C" and attached to this ordinance will be submitted and approved.
4. Prior to the development of any property within the PD adequate access necessary to serve that development in conformance with the approved circulation plan will be constructed.
5. Any development within the PD will be reviewed to insure that views and the unique characteristics of the area are maintained and enhanced where possible.
6. All buildings within the PD are subject to height and elevation approval at the time of development plan submission

SECTION 3. Any person, firm or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000) for each offense and each and every day such offense continues shall be deemed to constitute a separate offense.

SECTION 4. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or

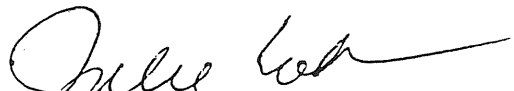
provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 5. That all ordinance of the City of Rockwall in conflict with the provisions of this be and the same area hereby repealed to the extent of that conflict.

SECTION 6. That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such as the law in such case provides.

DULY PASSED AND APPROVED this 19th day of June, 1989.

  
\_\_\_\_\_  
APPROVED

  
\_\_\_\_\_  
ATTEST

1ST READING 6/5/89

2ND READING 6/19/89

1

EXHIBIT "A"  
PLANNED DEVELOPMENT NUMBER 32

Lots 2A, 5A, 6A, 7A, 8A, James Brown Partition

Lot 1, Block 7, George Moton Subdivision

Lot 2, Block 13, George Moton Subdivision

and the following tract of land:

DESCRIPTION

BEING a tract of land situated in the M.L. Barksdale Survey, Abstract No. 11 and the E. Tea Survey, Abstract No. 207, Rockwall County, Texas and being part of that 13 acre tract as recorded in Volume 18, Page 565, Deed Records, Rockwall County, Texas, and being more particularly described as follows;

BEGINNING, at the South Corner of Cedar Grove Christian Church, a  $\frac{1}{2}$ " iron stake found for corner.

THENCE, N.  $45^{\circ} 32' 13''$  E., a distance of 70.00 feet to a point on the Southerly line of Hilltop Drive, said point being the beginning of a curve to the left having a central angle of  $9^{\circ} 09' 52''$  and a radius of 120.00 feet a  $\frac{1}{2}$ " iron stake set for corner.

THENCE, around said curve and along the Southerly line of Hilltop Drive, a distance of 40.11 feet to the end of said curve a  $\frac{1}{2}$ " iron stake set for corner.

THENCE, N.  $43^{\circ} 28' 13''$  E., along the Southerly line of Hilltop Drive a distance of 19.49 feet to a  $\frac{1}{2}$ " iron stake set for corner.

THENCE, S.  $44^{\circ} 08' 24''$  E., leaving the Southerly line of Hilltop Drive a distance of 150.74 feet to a  $\frac{1}{2}$ " iron stake found for corner.

THENCE, S.  $45^{\circ} 03' 45''$  W., a distance of 325.09 feet to a  $\frac{1}{2}$ " iron stake found for corner.

THENCE, N.  $44^{\circ} 56' 15''$  W., a distance of 104.40 feet to a  $\frac{1}{2}$ " iron stake found for corner.

THENCE, S.  $45^{\circ} 03' 45''$  W., a distance of 104.40 feet to a  $\frac{1}{2}$ " iron stake found for corner.

THENCE, S.  $44^{\circ} 56' 15''$  E., a distance of 104.40 feet to a  $\frac{1}{2}$ " iron stake found for corner.

THENCE, S.  $45^{\circ} 03' 45''$  W., a distance of 357.73 feet to a  $\frac{1}{2}$ " iron stake set for corner.

THENCE, N.  $44^{\circ} 02' 30''$  W., a distance of 361.11 feet to a  $\frac{1}{2}$ " iron stake set for corner.

THENCE, N.  $45^{\circ} 55' 42''$  E., a distance of 242.45 feet to a  $\frac{1}{2}$ " iron stake set for corner.

THENCE, S.  $43^{\circ} 52' 12''$  E., a distance of 126.85 feet to the South Corner of Hilltop Drive, a  $\frac{1}{2}$ " iron stake set for corner.

THENCE, N.  $45^{\circ} 00'$  E., along the Southerly line of Hilltop Drive, a distance of 112.53 feet to a point for corner;

THENCE, S.  $43^{\circ} 40' 35''$  E., leaving the said Southerly line of Hilltop Drive, a distance of 4.63 feet to a point for corner;

THENCE, N.  $44^{\circ} 59' 13''$  E., a distance of 303.70 feet to the PLACE OF BEGINNING and containing 3.88 acres of land. This description is based on the Land Title Survey and Plat made by Bob O. Brown, Registered Public Surveyor on July 24, 1984 and Revised on February 3, 1989.





# CITY OF ROCKWALL

## ORDINANCE NO. 02-55

AN ORDINANCE OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROCKWALL AS PREVIOUSLY AMENDED AND AMENDING ORDINANCE NO. 89-20 SO AS TO CHANGE THE ZONING ON PROPERTY DESCRIBED HEREIN AS EXHIBIT "A", FROM "A" AGRICULTURAL, "GR"; GENERAL RETAIL AND "C", COMMERCIAL, TO PLANNED DEVELOPMENT DISTRICT NO. 32; CORRECTING THE OFFICIAL ZONING MAP; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Comprehensive Zoning Ordinance of the City of Rockwall should be amended as follows:

**NOW, THEREFORE**, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:

**Section 1.** That the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as amend "PD-32", Planned Development No. 32, and change the zoning on a tract of land which is more fully described herein as Exhibit "A" from "A", Agricultural, "GR", General Retail and "C", Commercial, to "PD-32", Planned Development District No. 32, and;

**Section 2.** That the property described herein shall be used only in the manner and for the purposes provided for in **"PD-32", Planned Development District No. 32** of the Comprehensive Zoning Ordinance of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future and subject to the following additional conditions.

- A. Prior to the issuance of any building permit for any buildings in Planned Development District No. 32 a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after hearing, the City Council

shall approve a final development plan, which shall be filed and included as Exhibit "B" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the property, public or private streets or drives, with adequate right-of-way to the Thoroughfare Plan of the City of Rockwall, sidewalks, utilities, drainage, parking space, height of buildings, maximum lot coverage, yards and open spaces, screening walls or fences and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.

- B. All development of property covered by the Planned Development District No. 32 shall be in accordance with the provisions of this ordinance and the finally approved comprehensive site plan and list of approved uses, and no substantial change in the development shall be permitted, except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the comprehensive Zoning Ordinance.
- C. Development of Planned Development District No. 32 shall be regulated by the following requirements:
  - 1. PD-32 shall have the uses, area requirements, and development standards of **Section 2.11 (GR) General Retail District** of the Comprehensive Zoning Ordinance as currently adopted except as otherwise provided in this ordinance.
  - 2. No retail outlets where gasoline products are sold and automotive repair as an accessory to a permitted retail use shall be allowed.
  - 3. Prior to the development of any property within the PD a circulation plan for the area identified as Exhibit "C" and attached to this ordinance will be submitted and approved.
  - 4. Prior to the development of any property within the PD adequate access necessary to serve that development in conformance with the approved circulation plan will be constructed.
  - 5. Any development within the PD will be reviewed to insure that views and the unique characteristics of the area are maintained and enhanced where possible.
  - 6. All buildings within the PD are subject to height and elevation approval at the time of development plan submission.
  - 7. All properties within PD-32 shall be subject to architectural review as prescribed to by Section 3.1 of the Comprehensive Zoning Code of the City of Rockwall for any proposed development.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

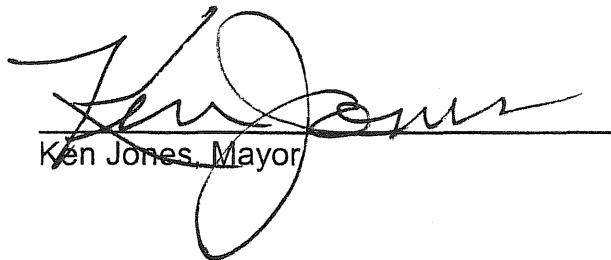
**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation, or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation, or circumstance, nor shall adjudication affect any other section or provision of the Comprehensive Zoning Ordinance of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

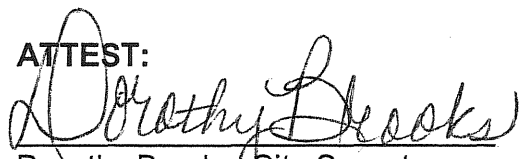
**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

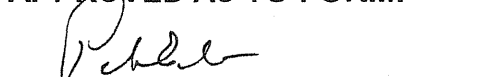
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 2nd day of December, 2002.**

  
Ken Jones, Mayor

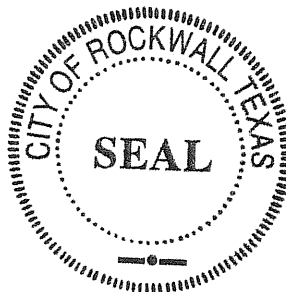
**ATTEST:**

  
Dorothy Brooks (City Secretary)

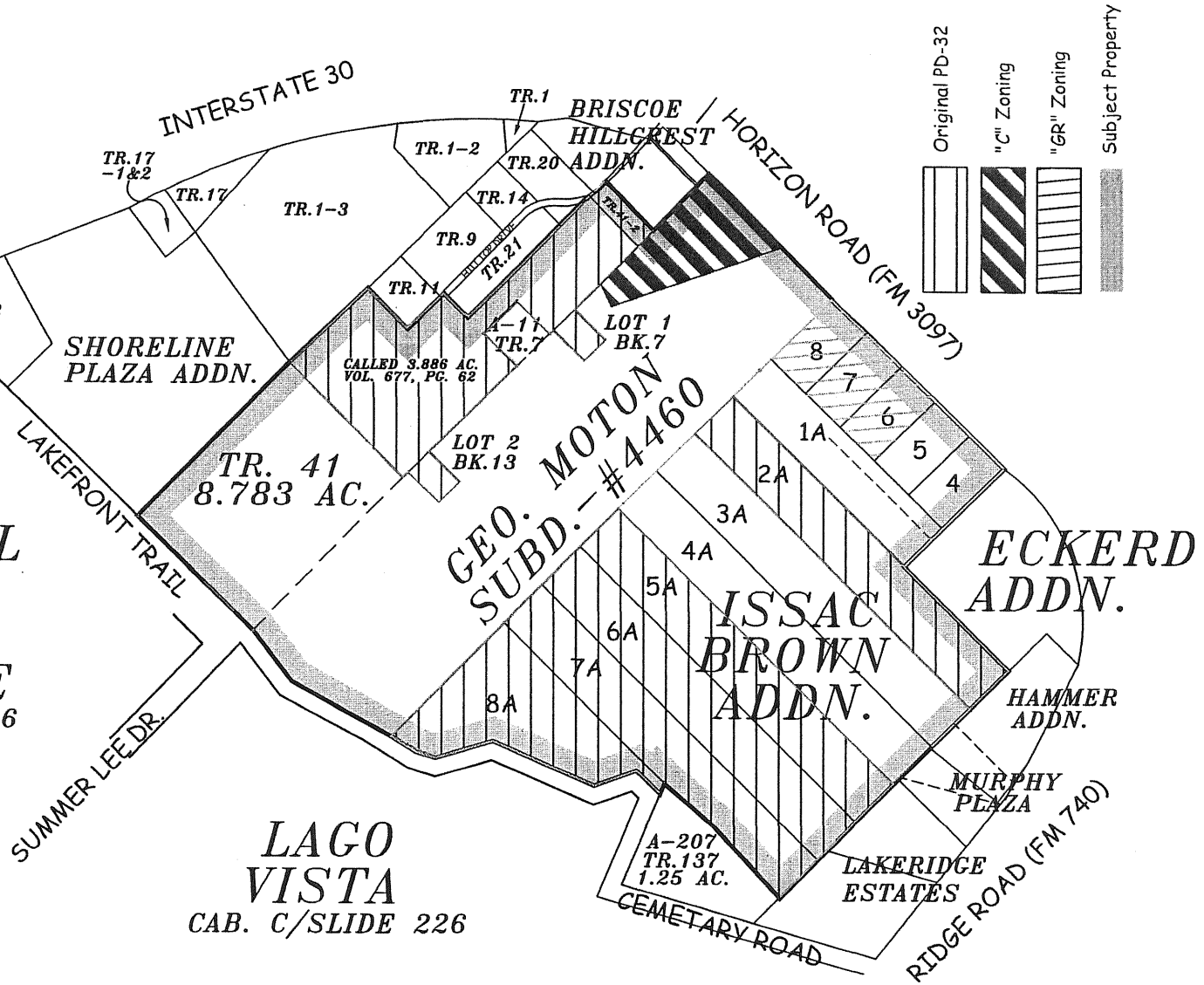
**APPROVED AS TO FORM:**

  
Pete Eckert, City Attorney

1st Reading: 11-18-02  
2nd Reading: 12-02-02



ROCKWALL  
HARBOR  
JOINT  
VENTURE  
VOL. 617/Pg. 106



CITY OF ROCKWALL

ORDINANCE NO. 08-11

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO APPROVE AN AMENDMENT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT (ORD. NO. 02-55), INCLUDING AN EXPANSION OF THE DISTRICT TO REZONE APPROXIMATELY 18.6-ACRES FROM (C) COMMERCIAL DISTRICT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT, BEING APPROXIMATELY 62.62-ACRES OVERALL AND MORE SPECIFICALLY DESCRIBED HEREIN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City of Rockwall has initiated an amendment to (PD-32) Planned Development No. 32 District (Ord. No 02-55) to expand the district by rezoning approximately 18.6-acres from (C) Commercial district to (PD-32) Planned Development No. 32 District, being approximately 62.62-acres overall and more specifically described herein as Exhibit "A"; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code of the City of Rockwall and Ordinance No. 02-55, as heretofore amended, be and the same are hereby amended by the approval of an amendment to (PD-32) Planned Development No. 32 District.

**Section 2.** That the property described herein shall be used only in the manner and for the purposes provided for in **Article V, Section 4.4, General Retail District** of the Unified Development Code of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as may be amended in the future, subject to the following additional conditions:

- A. Prior to the issuance of any building permit for any buildings in Planned Development District No. 32, a comprehensive development plan shall be filed with the Planning and Zoning Commission, and after hearing, the City Council shall approve a final development plan, which shall be filed and included as Exhibit "C" and made a part of this ordinance for all purposes. Such development plan shall set forth in detail the requirements for ingress and egress to the

property, public or private streets or drives, sidewalks, utilities, drainage, parking, building height, maximum lot coverage, yards and open spaces, screening walls or fences, and other development and protective requirements considered necessary by the City Council so as to create a reasonable transition to and protection of the adjacent property.

- B. All development of property covered by the Planned Development District No. 32 shall be in accordance with the provisions of this ordinance and the finally approved comprehensive site plan, and no substantial change in the development shall be permitted, except after obtaining approval of the change of such site plan in the manner required for changes and amendments to the Unified Development Code.
- C. Development of Planned Development District No. 32 shall be regulated by the following requirements:
  - 1. All development within Areas 1, 2 and 3 (see Exhibit "A") shall adhere to the list of permitted uses for each Area as identified in the attached Exhibit "B."
  - 2. Retail outlets where gasoline products are sold shall NOT be allowed, except as provided for in "Area 3."
  - 3. Prior to the development of any property within the PD, a circulation plan for the area identified in Exhibit "A" shall be submitted and approved.
  - 4. Prior to the development of any property within the PD, adequate access necessary to serve that development in conformance with the approved circulation plan will be constructed.
  - 5. Any development within the PD will be reviewed to insure that views and the unique characteristics of the area are maintained and enhanced where possible.
  - 6. All buildings within the PD are subject to height and elevation approval at the time of development plan submission.
  - 7. All development within PD-32 shall be subject to Architectural Review as prescribed by the Unified Development Code of the City of Rockwall.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this


ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (Ord No. 04-38) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

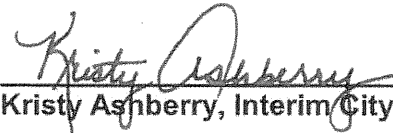
**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 4<sup>th</sup> day of February, 2008.**

ATTEST:

  
William R. Cecil, Mayor

  
Kristy Ashberry, Interim City Secretary

APPROVED AS TO FORM:

  
Pete Eckert, City Attorney

1<sup>st</sup> Reading: 01-22-08

2<sup>nd</sup> Reading: 02-04-08



Exhibit "A"

**EXHIBIT "A" - Amended PD-32 Boundary Description**

~ 12/10/2007~

**BEING** approximately 62.62 acres of land located in the M.J. Barksdale (Abstract 11) and E. Teal (Abstract 207) Surveys of the City of Rockwall, Rockwall County, Texas to be known as the Amended PD-32 Zoning Boundary and being more particularly described as follows:

**BEGINNING** at a point in the southern most corner of Block A, Lot 1 of the Eckerd Addition (CVS Pharmacy, 1220 Horizon Rd);

**THENCE** southwesterly along the boundary line the Isaac Brown Addition approximately 733.77 feet for a corner;

**THENCE** northwesterly along the property line of Abstract 207 E Teal Survey, Tract 137, 1.25 AC, Glen Hills Cemetery approximately 361.27 feet for a corner;

**THENCE** southwesterly along the property line of said Glen Hills Cemetery Tract approximately 21.61 feet to a point;

**THENCE** northwesterly following the centerline of a Cemetery Road right of way (said right of way separating the Isaac Brown and Lago Vista Additions) approximately 1125.05 feet to a point lying in the north right of way of Summer Lee Drive;

**THENCE** northwesterly along the property and Lakefront Trail right of way lines of approximately 1022.40 feet for a corner;

**THENCE** northeasterly following the centerline of the Interstate Highway 30 South Frontage Road approximately 1738.64 feet for a corner intersecting the centerline of Horizon Road;

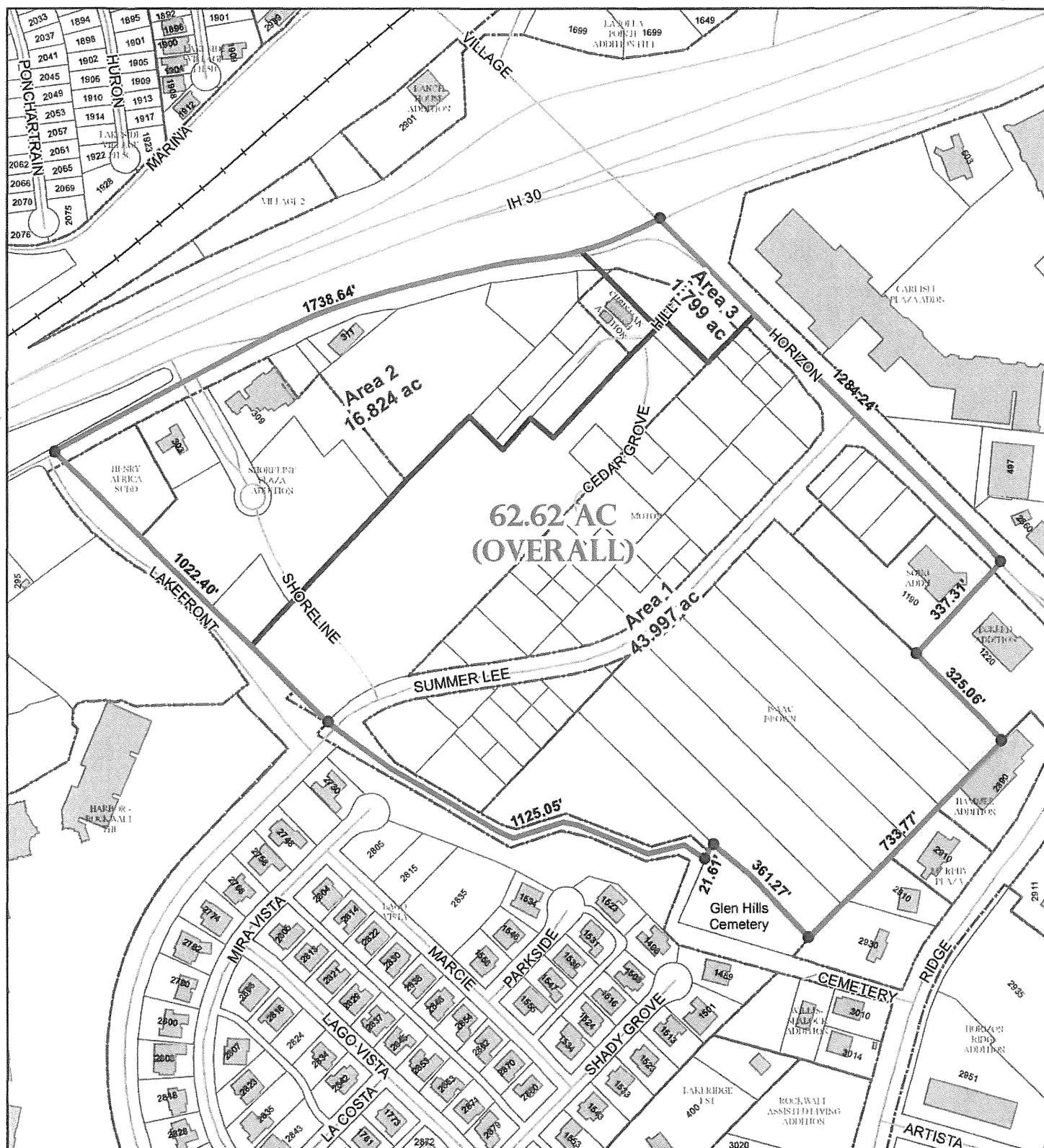
**THENCE** southeasterly along the centerline of Horizon Road approximately 1284.24 feet for a corner;

**THENCE** southwesterly along the property line of the Eckerd Addition, 337.31 feet for a corner;

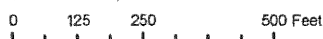
**THENCE** southeasterly along the property line of the Eckerd Addition, 325.06 feet to the **Point of Beginning**, Containing approximately **62.62** acres (2727720.86 square feet) of land, more or less.



**City of  
Rockwall**  
www.rockwall.com



December 13, 2007



The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

## **Exhibit "B"**

List of Permitted Uses for PD-32  
Case # Z2007-037

### **PD-32 "Area 1"**

#### **Proposed Permitted Uses (existing PD-32)**

- Animal Clinic for small animals, no outdoor pens - SUP
- Accessory Building +
- Garage – Accessory Use
- Hotel or Motel – SUP
- Hotel, Residence – SUP
- Church/House of Worship
- Day Care (7 or more children)
- Government Facility
- Library, Art Gallery or Museum (Public)
- Post Office, Local Service
- Financial Institution, without drive-through
- Office, General
- Office Building, less than 5,000 s.f.
- Office Building, 5,000 s.f. or more
- Billiard Parlor or Pool Hall – SUP
- Commercial Amusement/Recreation (Inside) – SUP
- Community or Recreation Club, Public or Private (Accessory)
- Fund Raising Events by Non-Profit, indoor or outdoor, temporary
- Health Club
- Private Club, Lodge or Fraternal Organization
- Public Park or Playground
- Tennis Courts (not accessory to a public or private club) – SUP
- Theater – SUP
- Antique/Collectible Store
- Banquet Facility
- Business School
- Catering Service
- Copy Center
- Display, Incidental +
- Garden Supply/Plant Nursery – SUP
- General Personal Service
- General Retail Store
- Hair Salon, Manicurist
- Laundry, Drop-off/Pickup
- Massage Therapist
- Museum or Art Gallery (Private)
- Night Club, Discothèque, or Dance Hall – SUP
- Pet Shop
- Private Club +
- Real Estate Sales Office, On-Site, Temporary +

## **Exhibit “B”**

List of Permitted Uses for PD-32

Case # Z2007-037

- Restaurant, Less than 2,000 Sq. Ft., w/o Drive-Thru or Drive-in
  - Restaurant, 2,000 Sq. Ft. or more, w/o Drive-Thru or Drive-in
  - Restaurant with accessory Private Club or Brew Pub +
  - Studio – Art, Photography or Music
  - Tailor, Clothing or Apparel Shop
  - Electrical, Watch, Clock, Jewelry & Similar Repair
  - Locksmith
  - Research & Technology/ Light Assembly – SUP
  - Shoe and Boot Repair and Sales
  - Trade School – SUP
  - Temporary On-Site Construction Office +
  - Automobile Rental -SUP
  - Parking Commercial
  - Parking Lot, non-commercial
  - Asphalt or Concrete Batch Plant, Temporary +
  - Wholesale Showroom Facility – SUP
  - Antenna, Accessory +
  - Antenna, Commercial + - SUP
  - Antenna, Dish +
  - Antenna, Commercial, Free-Standing + - SUP
  - Antenna, Commercial, Mounted + - SUP
  - Helipad – SUP
  - Municipally Owned or Controlled Facilities, Utilities and Uses
  - Private Streets – SUP
  - Radio Broadcasting
  - Recording Studio
  - Satellite Dish +
  - Transit Passenger Facility – SUP
  - TV Broadcasting & Other Communication Service – SUP
  - Utilities Holding a Franchise from City of Rockwall – SUP
  - Utility Installation, Other than listed – SUP
  - Utility/Transmission Lines – SUP
  - Wireless Communication Tower – SUP
- 
- ***Urban Residential + ( Condominium units only)***

## **Exhibit "B"**

List of Permitted Uses for PD-32  
Case # Z2007-037

### **PD-32 "Area 2"**

#### **Proposed Permitted Uses (existing Commercial Zoning)**

- Animal Clinic for small animals, no outdoor pens - SUP
- Accessory Building +
- Garage – Accessory Use
- Hotel or Motel – SUP
- Hotel, Residence – SUP
- Church/House of Worship
- Day Care (7 or more children)
- Government Facility
- Library, Art Gallery or Museum (Public)
- Post Office, Local Service
- Financial Institution, without drive-through
- Office, General
- Office Building, less than 5,000 s.f.
- Office Building, 5,000 s.f. or more
- Billiard Parlor or Pool Hall – SUP
- Commercial Amusement/Recreation (Inside) – SUP
- Community or Recreation Club, Public or Private (Accessory)
- Fund Raising Events by Non-Profit, indoor or outdoor, temporary
- Health Club
- Private Club, Lodge or Fraternal Organization
- Public Park or Playground
- Tennis Courts (not accessory to a public or private club) – SUP
- Theater
- Antique/Collectible Store
- Banquet Facility
- Business School
- Catering Service
- Copy Center
- Display, Incidental +
- Garden Supply/Plant Nursery – SUP
- General Personal Service
- General Retail Store
- Hair Salon, Manicurist
- Laundry, Drop-off/Pickup
- Massage Therapist
- Museum or Art Gallery (Private)
- Night Club, Discothèque, or Dance Hall – SUP
- Pet Shop
- Private Club +
- Real Estate Sales Office, On-Site, Temporary +

## **Exhibit “B”**

List of Permitted Uses for PD-32

Case # Z2007-037

- Restaurant, Less than 2,000 Sq. Ft., w/o Drive-Thru or Drive-in
- Restaurant, 2,000 Sq. Ft. or more, w/o Drive-Thru or Drive-in
- Restaurant with accessory Private Club or Brew Pub +
- Studio – Art, Photography or Music
- Tailor, Clothing or Apparel Shop
- Electrical, Watch, Clock, Jewelry & Similar Repair
- Locksmith
- Research & Technology/ Light Assembly – SUP
- Shoe and Boot Repair and Sales
- Trade School – SUP
- Temporary On-Site Construction Office +
- Automobile Rental - SUP
- Parking Commercial
- Parking Lot, non-commercial
- Asphalt or Concrete Batch Plant, Temporary +
- Wholesale Showroom Facility – SUP
- Antenna, Accessory +
- Antenna, Commercial + - SUP
- Antenna, Dish +
- Antenna, Commercial, Free-Standing + - SUP
- Antenna, Commercial, Mounted + - SUP
- Helipad – SUP
- Municipally Owned or Controlled Facilities, Utilities and Uses
- Private Streets – SUP
- Radio Broadcasting
- Recording Studio
- Satellite Dish +
- Transit Passenger Facility – SUP
- TV Broadcasting & Other Communication Service – SUP
- Utilities Holding a Franchise from City of Rockwall – SUP
- Utility Installation, Other than listed – SUP
- Utility/Transmission Lines – SUP
- Wireless Communication Tower – SUP
  
- ***Urban Residential + ( Condominium units only)***

## **Exhibit "B"**

List of Permitted Uses for PD-32

Case # Z2007-037

### **PD-32 "Area 3"**

#### **Proposed Permitted Uses (existing Commercial Zoning)**

- Animal Clinic for small animals, no outdoor pens - SUP
- Accessory Building +
- Garage – Accessory Use
- Hotel or Motel – SUP
- Hotel, Residence – SUP
- Church/House of Worship
- Day Care (7 or more children)
- Government Facility
- Library, Art Gallery or Museum (Public)
- Post Office, Local Service
- Financial Institution, without drive-through
- Office, General
- Office Building, less than 5,000 s.f.
- Office Building, 5,000 s.f. or more
- Billiard Parlor or Pool Hall – SUP
- Commercial Amusement/Recreation (Inside) – SUP
- Community or Recreation Club, Public or Private (Accessory)
- Fund Raising Events by Non-Profit, indoor or outdoor, temporary
- Health Club
- Private Club, Lodge or Fraternal Organization
- Public Park or Playground
- Tennis Courts (not accessory to a public or private club) – SUP
- Theater
- Antique/Collectible Store
- Banquet Facility
- Business School
- Catering Service
- Copy Center
- Display, Incidental +
- Garden Supply/Plant Nursery – SUP
- General Personal Service
- General Retail Store
- Hair Salon, Manicurist
- Laundry, Drop-off/Pickup
- Massage Therapist
- Museum or Art Gallery (Private)
- Night Club, Discothèque, or Dance Hall – SUP
- Pet Shop
- Private Club +
- Real Estate Sales Office, On-Site, Temporary +

## **Exhibit "B"**

List of Permitted Uses for PD-32

Case # Z2007-037

- Restaurant, Less than 2,000 Sq. Ft., w/o Drive-Thru or Drive-in
  - Restaurant, 2,000 Sq. Ft. or more, w/o Drive-Thru or Drive-in
  - Restaurant with accessory Private Club or Brew Pub +
  - Studio – Art, Photography or Music
  - Tailor, Clothing or Apparel Shop
  - Electrical, Watch, Clock, Jewelry & Similar Repair
  - Locksmith
  - Research & Technology/ Light Assembly – SUP
  - Shoe and Boot Repair and Sales
  - Trade School – SUP
  - Temporary On-Site Construction Office +
  - Automobile Rental - SUP
  - Parking Commercial
  - Parking Lot, non-commercial
  - Asphalt or Concrete Batch Plant, Temporary +
  - Wholesale Showroom Facility – SUP
  - Antenna, Accessory +
  - Antenna, Commercial + - SUP
  - Antenna, Dish +
  - Antenna, Commercial, Free-Standing + - SUP
  - Antenna, Commercial, Mounted + - SUP
  - Helipad – SUP
  - Municipally Owned or Controlled Facilities, Utilities and Uses
  - Private Streets – SUP
  - Radio Broadcasting
  - Recording Studio
  - Satellite Dish +
  - Transit Passenger Facility – SUP
  - TV Broadcasting & Other Communication Service – SUP
  - Utilities Holding a Franchise from City of Rockwall – SUP
  - Utility Installation, Other than listed – SUP
  - Utility/Transmission Lines – SUP
  - Wireless Communication Tower – SUP
  - Retail store with gasoline products sales with more than 2 dispensers
- 
- ***Urban Residential + ( Condominium units only)***



# PUBLISHER'S AFFIDAVIT

THE STATE OF TEXAS  
COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared William Jordan, who being by me duly sworn deposes and says that he is the Publisher of *The Rockwall County News* and the said newspaper meets the requirements of section 2051.044 of the Texas Government Code to wit:

1. it devotes not less than twenty-five percent (25%) of its total column lineage to general interest items;
2. it is published at least once each week;
3. it is entered as second-class postal matter in the county where it is published;
4. it has been published regularly and continuously since 1985; and
5. it is generally circulated within Kaufman County.

Publisher further deposes and says that the attached notice was published in said news paper on the following date (s) to wit:

February 14th A.D. 2008

William Jordan  
Editor and Publisher

## SUSCRIBED AND SWORN BEFORE ME

By William Jordan who

- ☒ a) is personally known to me, or  
☐ b) provided the following evidence to establish his/her identity.

on the 18th day of February A.D. 2008  
to certify which witness my hand and seal of office.

Patricia A. Shaw  
Notary Public, State of Texas

## CITY OF ROCKWALL ORDINANCE NO. 08-11

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO APPROVE AN AMENDMENT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT (ORD. NO. 02-55), INCLUDING AN EXPANSION OF THE DISTRICT TO REZONE APPROXIMATELY 18.6-ACRES FROM (C) COMMERCIAL DISTRICT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT, BEING APPROXIMATELY 62.62-ACRES OVERALL AND MORE SPECIFICALLY DESCRIBED HEREIN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

/s/ William R. Cecil, Mayor  
/s/ Kristy Ashberry, Interim City Secretary  
1st Reading: 01-22-08  
2nd Reading: 02-04-08



**CITY OF ROCKWALL, TEXAS**

**ORDINANCE NO. 10-21**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL, AS PREVIOUSLY AMENDED, SO AS TO APPROVE AN AMENDMENT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT (ORD. NO. 08-11), SPECIFICALLY BY REZONING THE LAND DESCRIBED BELOW TO EXPAND THE DISTRICT BOUNDARIES; BY INCORPORATING A CONCEPT PLAN THAT APPLIES TO LAND NOW ZONED PD-32 AND THE ADDED LAND, AND THAT DIVIDES THE DISTRICT INTO SUB-DISTRICTS; BY ESTABLISHING LAND USES FOR EACH SUB-DISTRICT; BY PRESCRIBING DEVELOPMENT STANDARDS FOR EACH SUB-DISTRICT; BY DEFINING PROCEDURES FOR APPROVING DEVELOPMENT WITHIN THE DISTRICT; AND BY DEFINING TYPES AND LOCATIONS FOR STREETS WITHIN THE DISTRICT, AND ESTABLISHING STANDARDS FOR THE CONSTRUCTION, DESIGN AND STREETScape FOR SUCH STREETS; INCLUDING AN EXPANSION OF THE DISTRICT TO REZONE APPROXIMATELY 1.15-ACRES FROM (GR) GENERAL RETAIL DISTRICT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT, REZONING APPROXIMATELY 3.08-ACRES FROM (C) COMMERCIAL DISTRICT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT, AND REZONING APPROXIMATELY 11.21-ACRES FROM (PD-7) PLANNED DEVELOPMENT NO. 7 DISTRICT TO (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT, BEING APPROXIMATELY 78.89-ACRES OVERALL AND MORE SPECIFICALLY DESCRIBED HEREIN AS EXHIBITS "A" AND "A-1", AND THE ADOPTION OF A CONCEPT DEVELOPMENT PLAN AS DESCRIBED HEREIN AS EXHIBIT "B" INCLUDING COMPREHENSIVE DEVELOPMENT STANDARDS AS DESCRIBED HEREIN; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City of Rockwall has initiated an amendment to (PD-32) Planned Development No. 32 District (Ord. No. 08-11), specifically by rezoning the land described below to expand the district boundaries; by incorporating a concept plan that applies to land now zoned PD-32 and the added land, and that divides the district into sub-districts; by establishing land uses for each sub-district; by prescribing development standards for each sub-district; by defining procedures for approving development within the district; and by defining types and locations for streets within the district, and establishing standards for the construction, design and streetscape for such streets; including an expansion of the district to rezone by approximately 1.15-acres from (GR) General Retail district to (PD-32) Planned Development No. 32 District, rezoning approximately 3.08-acres from (C) Commercial District to (PD-32) Planned Development No. 32 District, and rezoning approximately 11.21-acres from (PD-7) Planned Development No. 7 District to (PD) Planned Development No. 32 District, and being approximately 78.89-acres overall and more specifically described herein as Exhibits "A" and "A-1", and the adoption of a concept development plan as described herein as Exhibit "B" including development standards as described herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code of the City of Rockwall should be amended as follows.

**NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas:**

**Section 1. Zoning Ordinance Amendments.** That the Unified Development Code of the City of Rockwall and Ordinance No. 08-11, as amended, shall be and the same are hereby amended by amending the official Zoning Map to expand the boundaries of Planned Development No. 32 District ("PD-32"), by approving a new Concept Plan for the District that delineates sub-district boundaries, and by incorporating revised District standards that apply to each sub-district.

**Section 2. District Boundary Amendment.** That the boundaries of PD-32 hereby are amended to encompass all the land described in Exhibit A attached hereto and incorporated by reference herein, and the official zoning map of the City shall be amended to reflect the changes in the boundaries of PD-32 described herein.

**Section 3. Concept Plan.** That the Concept Plan for PD-32, as herein expanded, shall be amended to divide the District into the following sub-districts, as depicted on Exhibit B (consisting of a General Land Use Plan for the District and a Sub-District Plan) attached hereto and incorporated herein by reference as Exhibits B-1 and B-2, and shall replace all prior Concept Plans for the District in their entirety:

1. Harbor Residential Sub-District
2. Freeway Frontage Sub-District
3. Harbor Link Mixed Use Sub-District
4. Hillside Sub-District
5. Hillside Mixed Use Sub-District
6. Summit Office Sub-District
7. Horizon/Summer Lee Sub-District
8. Interior Sub-District
9. Residential Sub-District
10. Ridge Road Retail Sub-District

**Section 4. Master Plans.** That all development within PD-32, as herein expanded, shall conform to the following generally applicable plans:

- A. Utility Master Plans for Water, Wastewater and Drainage, as set forth in Exhibits C-1 through C-3, which are attached hereto and incorporated herein by reference;
- B. Streetscape Plan, as set forth in Exhibit C-4, which is attached hereto and incorporated herein by reference, and as may be more particularly described in individual Sub-District plans;
- C. Master Grading Plan, as set forth in Exhibit C-5, which is attached hereto and incorporated herein by reference, and as may be more particularly described in individual Sub-District plans;
- D. Master Tree Planting Plan, as set forth in Exhibit C-6, which is attached hereto and

incorporated herein by reference;

**Section 5. Land Use.** That use of the property in PD-32, as herein expanded, shall be limited to those uses set forth by Sub-District in the Land Use Chart attached hereto as Exhibit D and incorporated herein by reference. Uses listed as "S" in Exhibit D shall require approval of a specific use permit by the City Council, following a public hearing, and upon the report of the Planning and Zoning Commission. A PD site plan shall be required to accompany such use. Unless expressly provided to the contrary, a use granted by specific use permit shall be subject to all standards with the Sub-District in which the use is to be located.

**Section 6. Residential Density.** That no more than 1,161 urban residential units shall be allowed in PD-32, which may include condominium and/or townhouse units, in addition to a maximum of 49 single-family zero lot line units (patio homes).

**Section 7. Sub-District Development Standards.** That all development within each Sub-District shall conform to the standards depicted and set forth in each Sub-District plan for building placement, use of ground and upper floors, height, encroachments and parking standards, as more particularly described in Exhibits E-1 through E-10 attached hereto and incorporated herein by reference.

**Section 8. District-wide Development Standards.** That the following additional standards and requirements shall apply to development in PD-32:

- A. Parking standards, as set forth in Exhibit F-1, which is attached hereto and incorporated herein by reference, shall apply;
- B. Retaining wall standards, as set forth in Exhibit F-2, which is attached hereto and incorporated herein by reference, shall apply;
- C. Prior to the development of any property within PD-32, adequate access necessary to serve that development in conformance with the streetscape plan for the Sub-District or with Exhibit C-4 shall be constructed.
- D. All development within PD-32 shall be subject to Architectural Review as prescribed by the Unified Development Code of the City of Rockwall.
- E. Pedestrian ways or mews shall be utilized to link freeway frontage parking areas and block-interiors to the public street frontage. The maximum cross slope within a pedestrian-way or mews shall be 2%.
- F. Parking garages must meet the following standards:
  - (1) Garages must have guard rail height precast spandrel panels with enhanced detailing on exposed facades to screen parked cars.
  - (2) A minimum of 25% of an exposed garage façade must be screened with vines on a greenscreen or cable type system.
  - (3) Exposed slab and cable guard rails are not permitted on exposed garage facades.
  - (4) Parking garages may contain other permitted uses above the parking level provided the maximum building height of the Sub-district is not exceeded.
- G. Unless otherwise provided for by this PD ordinance, all development within PD-32 shall be subject to the procedures and standards in Article X, Planned Development, of the City of Rockwall Unified Development Code, unless such standards or

procedures are clearly in conflict with the provisions of this ordinance, in which case the provisions of this ordinance shall prevail.

- H. Open space shall be provided in accordance with Article X, Planned Development, and the subdivision regulations of the City of Rockwall. The open space configuration shown on the PD Concept Plan or Sub-district Plans may be reconfigured for a proposed development that otherwise meets the intent of the PD District or Sub-district and the open space standards for the District.

## **Section 9. Procedures.**

- A. Development Plans. A development plan shall be required if a proposed development within any Sub-district does not meet the intent of the PD Concept Plan or the Sub-district Plan, or requires waivers not provided for in Section 9.C. of this ordinance. The Commission, upon the recommendation of the Planning Director, may deny a proposed PD site plan if it determines that a development plan is required under this section. If a development plan is required it shall be submitted and approved in accordance with Article X, Planned Development, of the City of Rockwall Unified Development Code.
- B. Site Plans. A PD site plan is mandatory for all uses permitted under Exhibit D, and shall be submitted and approved in accordance with Article X, Planned Development, of the City of Rockwall Unified Development Code, unless the proposed use requires approval by specific use permit, in which case the PD site plan shall be decided with the application for the specific use permit.
- C. Waivers of Design Standards. In order to provide flexibility and create high quality projects, an applicant for development within the PD District may request a waiver of the following District or Sub-district standards:
  - (1) Building Placement Requirements
  - (2) Landscape Standards
  - (3) Parking requirements
  - (4) Parking Garage Design Standards
  - (5) Increased Building Height in any Sub-District

All other proposed changes must be processed as an amendment to the PD District ordinance. Requests for waivers shall not be subject to review or decision by the Zoning Board of Adjustment. A waiver request may only be made in conjunction with an application for a PD Development Plan or a PD Site Plan. Waivers may only be approved by the City Council following a recommendation by the Planning and Zoning Commission. In order to approve a waiver, the City Council must find that the waiver:

- a. Meets the general intent of PD District or Sub-district in which the property is located, and
- b. Will result in an improved project which will be an attractive contribution to the PD District or Sub-district; and
- c. Will not prevent the implementation of the intent of this PD District.

The City Council may impose conditions on granting any waiver to mitigate negative impacts to neighboring properties or public streets or open space, or to implement the intent of the District or Sub-district.

**Section 10. Design Guidelines.** That in conjunction with the adoption of this amendatory ordinance, the City shall promulgate a set of design guidelines to be known as the Harbor District Design Guidelines, which are intended to be used as a guide by the City of Rockwall, developers of individual parcels, and their consultants for use in the design, construction, and maintenance of all developments and properties within the Harbor District. These guidelines, which may be adopted and amended from time to time by resolution, may include but are not limited to the following development features: green initiatives, pedestrian ways and mews, site access controls, orientation of buildings, landscaping, outdoor dining, service areas, interior courtyards, pocket parks and open space, parking garages, architectural styles, landmark building locations, signage, construction activities and maintenance.


**Section 11. Penalty.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense. Alternatively, the City may impose a civil fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each violation of this ordinance, and for each day that such violation continues.

**Section 12. Severability.** That if any section paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (Ord No. 04-38) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.


**Section 13. Conflicts.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**Section 14. Effective Date.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

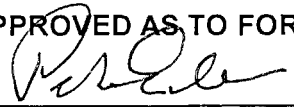
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL TEXAS, THIS 20<sup>th</sup> DAY OF September, 2010.**

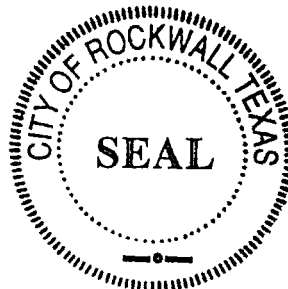
  
William R. Cecil, Mayor

ATTEST:

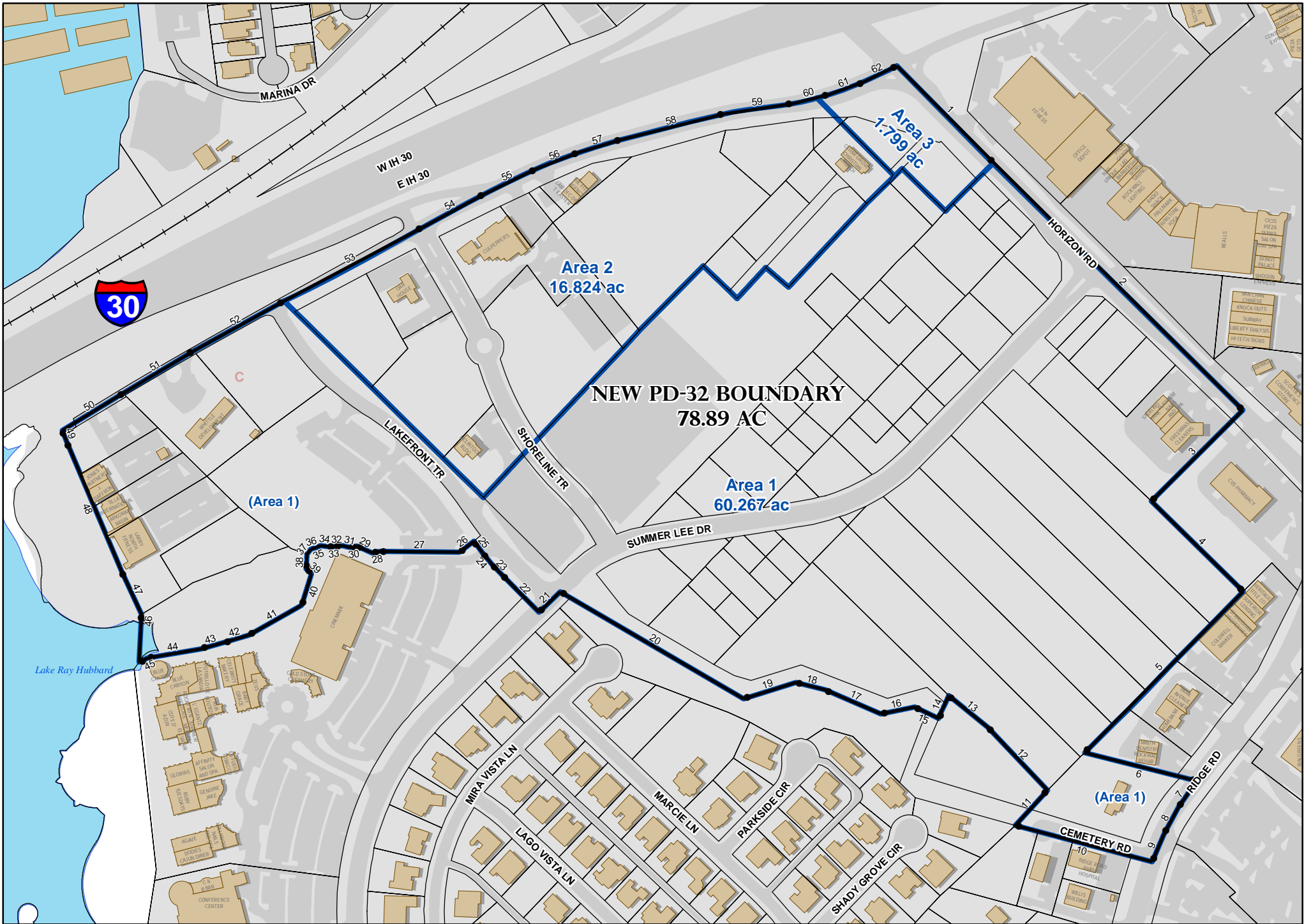
  
Kristy Ashberry, City Secretary

APPROVED AS TO FORM AND CONTENT:

  
Pete Eckert, City Attorney



1<sup>st</sup> Reading: 09-07-10  
2<sup>nd</sup> Reading: 09-20-10



**City of  
Rockwall**

0 75 150 225 300 Feet  
CITY OF ROCKWALL GEOGRAPHIC INFORMATION SYSTEMS  
JUNE 30, 2010



The data represented on this map was obtained with the best methods available. Data is supplied from various sources and accuracy may be out of the City of Rockwall's control. The verification of accuracy and / or content lies entirely with the end user. The City of Rockwall does not guarantee the accuracy of contained information. All information is provided 'As Is' with no warranty being made, either expressed or implied.

—●— New PD32 Boundary  
□ Areas

**PD-32 BOUNDARY  
EXHIBIT A**



**Exhibit “A-1”**  
**Amended PD-32 Boundary Description**  
**Project No. Z2010-012**

**BEING** approximately 78.89 acres of land located in the M.J. Barksdale (Abstract 11) and E. Teal (Abstract 207) Surveys of the City of Rockwall, Rockwall County, Texas to be known as the Amended PD-32 Zoning Boundary and being more particularly described as follows:

**BEGINNING** at a point in intersection of Horizon Rd and the south service road of Interstate Highway 30 (GPS Coordinates N2589965.033 E7014570.874);

- 1     **THENCE** S45-3-43E along the centerline of Horizon Rd for a distance of 359.75 feet to a point;
- 2     **THENCE** S45-9-15E continuing along said centerline for a distance of 922.798 feet to a point;
- 3     **THENCE** S45-7-2W along the western boundary of the Eckerd Addition for a distance of 338.85 feet to a point;
- 4     **THENCE** S45-31-32E along the southern boundary of the Eckerd Addition for a distance of 339.158 feet to a point;
- 5     **THENCE** S44-34-41W along the southeastern boundary of the Isaac Brown Addition for a distance of 594.34 feet to a point;
- 6     **THENCE** S75-48-35E along the northern boundary of Lakeridge Estates, Lot 26 for a distance of 304.035 feet to a point;
- 7     **THENCE** S34-45-14W for a distance of 85.563 feet to a point;
- 8     **THENCE** S28-45-41W for a distance of 78.959 feet to a point;
- 9     **THENCE** S23-0-35W for a distance of 78.959 feet to a point;
- 10    **THENCE** N75-6-11W along the north boundary of the Willis-Sealock Addition for a distance of 371.56 feet to a point;
- 11    **THENCE** N42-41-6E for a distance of 124.594 feet to a point;
- 12    **THENCE** N43-28-45W along the southwestern boundary of the Isaac Brown Addition for a distance of 228.343 feet to a point;
- 13    **THENCE** N50-43-21W for a distance of 132.929 feet to a point;
- 14    **THENCE** S23-32-21W for a distance of 65.722 feet to a point;
- 15    **THENCE** N64-32-23W for a distance of 69.271 feet to a point;
- 16    **THENCE** S78-40-26W following along the northern boundary of the Lago Vista Addition for a distance of 90.8 feet to a point;
- 17    **THENCE** N66-47-33W continuing along said boundary for a distance of 159.22 feet to a point;
- 18    **THENCE** N75-45-16W for a distance of 80.21 feet to a point;
- 19    **THENCE** S72-39-11W for a distance of 143.44 feet to a point;
- 20    **THENCE** N59-46-23W for a distance of 557.634 feet to a point;
- 21    **THENCE** S45-59-1W for a distance of 77.538 feet to a point;
- 22    **THENCE** N44-47-20W for a distance of 138.413 feet to a point;
- 23    **THENCE** N42-57-48W for a distance of 38.504 feet to a point;
- 24    **THENCE** N39-43-7W for a distance of 38.504 feet to a point;
- 25    **THENCE** N36-28-26W for a distance of 38.504 feet to a point;
- 26    **THENCE** S53-20-53W following along the northern boundary of the Harbor-Rockwall Addition for a distance of 47.636 feet to a point;
- 27    **THENCE** N89-33-5W continuing along said boundary for a distance of 208.66 feet to a point;
- 28    **THENCE** S79-6-40W for a distance of 20.72 feet to a point;
- 29    **THENCE** N66-23-19W for a distance of 45 feet to a point;
- 30    **THENCE** S80-59-47W for a distance of 19.85 feet to a point;
- 31    **THENCE** N77-4-50W for a distance of 17.5 feet to a point;
- 32    **THENCE** S86-11-31W for a distance of 22.15 feet to a point;
- 33    **THENCE** S87-31-10W for a distance of 18.75 feet to a point;
- 34    **THENCE** N82-39-16W for a distance of 17.59 feet to a point;



Exhibit "A-1"  
Amended PD-32 Boundary Description  
Project No. Z2010-012

35 **THENCE** S68-51-13W for a distance of 13.2 feet to a point;  
36 **THENCE** S75-7-26W for a distance of 12.97 feet to a point;  
37 **THENCE** S36-31-5W for a distance of 17.64 feet to a point;  
38 **THENCE** S2-59-22W for a distance of 38.81 feet to a point;  
39 **THENCE** S48-52-49E for a distance of 18.61 feet to a point;  
40 **THENCE** S17-8-14W for a distance of 87.301 feet to a point;  
41 **THENCE** S60-34-34W for a distance of 160.015 feet to a point;  
42 **THENCE** S73-43-56W for a distance of 67.56 feet to a point;  
43 **THENCE** S74-42-54W for a distance of 63.28 feet to a point;  
44 **THENCE** S80-10-12W for a distance of 142.24 feet to a point;  
45 **THENCE** S64-3-37W for a distance of 24.61 feet to a point;  
46 **THENCE** N2-50-21E for a distance of 126.02 feet to a point;  
47 **THENCE** N24-40-2W along the western boundary of the Rockwall Harbor Phase 1 Addition for a distance  
of 125.683 feet to a point;  
48 **THENCE** N22-55-59W continuing along said boundary for a distance of 368.32 feet to a point;  
49 **THENCE** N22-55-59W for a distance of 32.765 feet to a point;  
50 **THENCE** N58-47-23E following along the centerline of the south service road of Interstate Highway 30 for  
a distance of 190.81 feet to a point;  
51 **THENCE** N58-58-59E continuing along said centerline for a distance of 212.916 feet to a point;  
52 **THENCE** N61-2-53E for a distance of 271.157 feet to a point;  
53 **THENCE** N62-2-17E for a distance of 412.293 feet to a point;  
54 **THENCE** N61-44-10E for a distance of 183.797 feet to a point;  
55 **THENCE** N64-7-43E for a distance of 151.311 feet to a point;  
56 **THENCE** N68-43-57E for a distance of 118.858 feet to a point;  
57 **THENCE** N72-59-9E for a distance of 118.858 feet to a point;  
58 **THENCE** N76-2-6E for a distance of 279.139 feet to a point;  
59 **THENCE** N81-22-36E for a distance of 181.597 feet to a point;  
60 **THENCE** N76-12-48E for a distance of 97.497 feet to a point;  
61 **THENCE** N70-6-13E for a distance of 97.497 feet to a point;  
62 **THENCE** N63-59-38E for a distance of 97.497 feet to the **Point of Beginning**, Containing approximately  
78.89 acres (3436420.51186 square feet) of land, more or less.

**Exhibit B-1**  
**Planned Development Concept Plan**



Subdistricts Plan  
Exhibit “B-2”

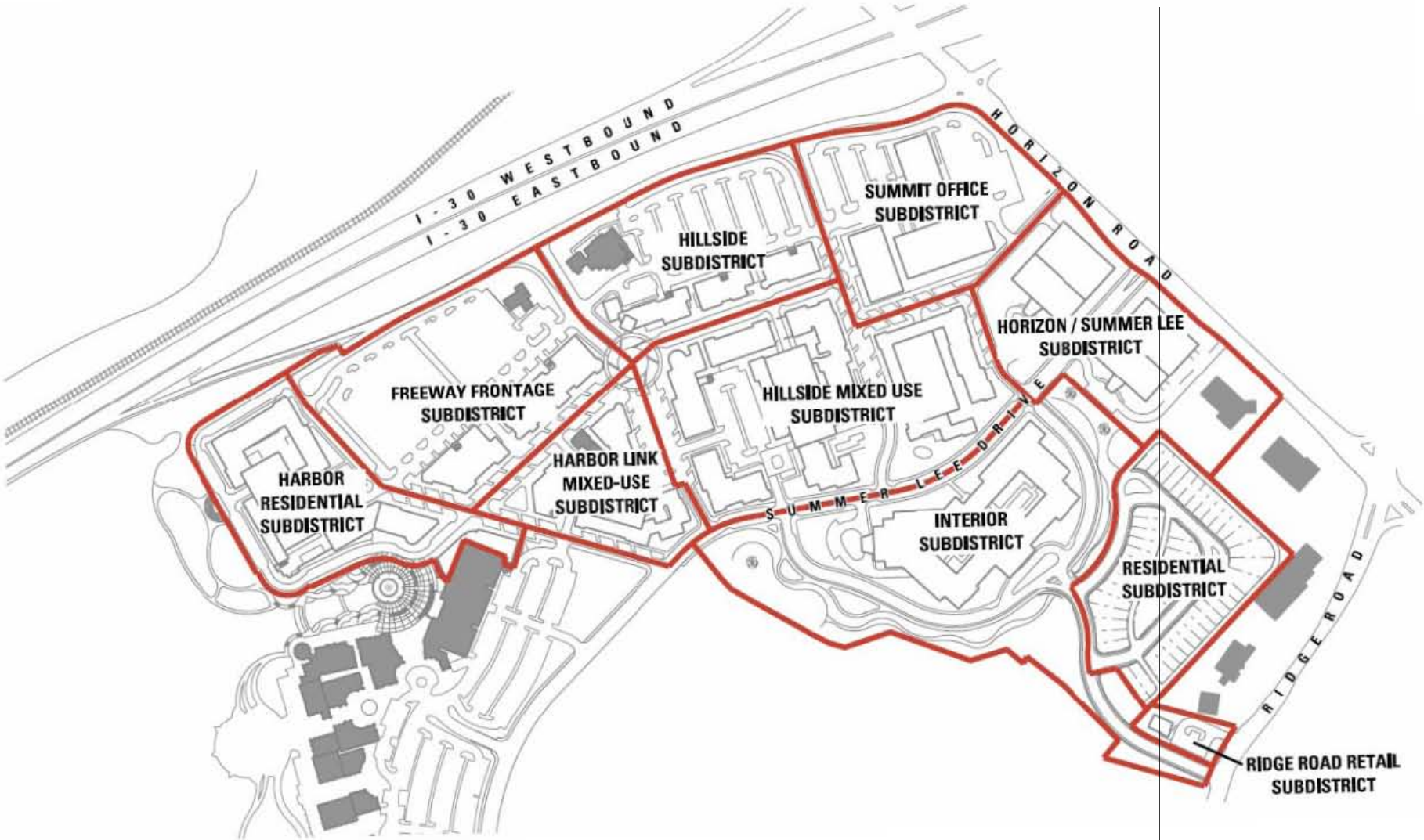




Exhibit C-1  
Water Improvements Plan

PROPOSED WATER IMPROVEMENTS





Exhibit C-2  
Wastewater Improvements Plan

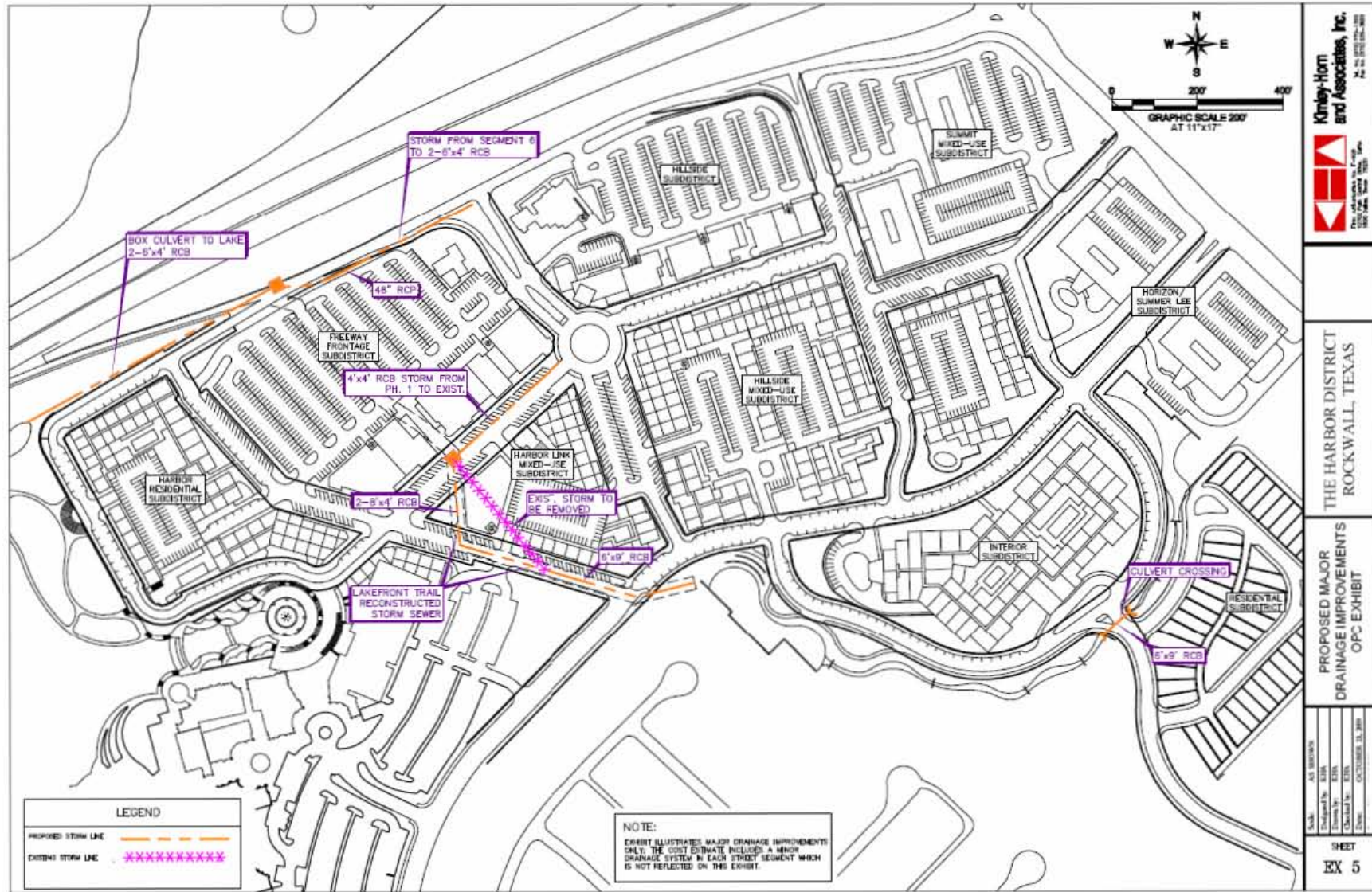
PROPOSED SEWER IMPROVEMENTS





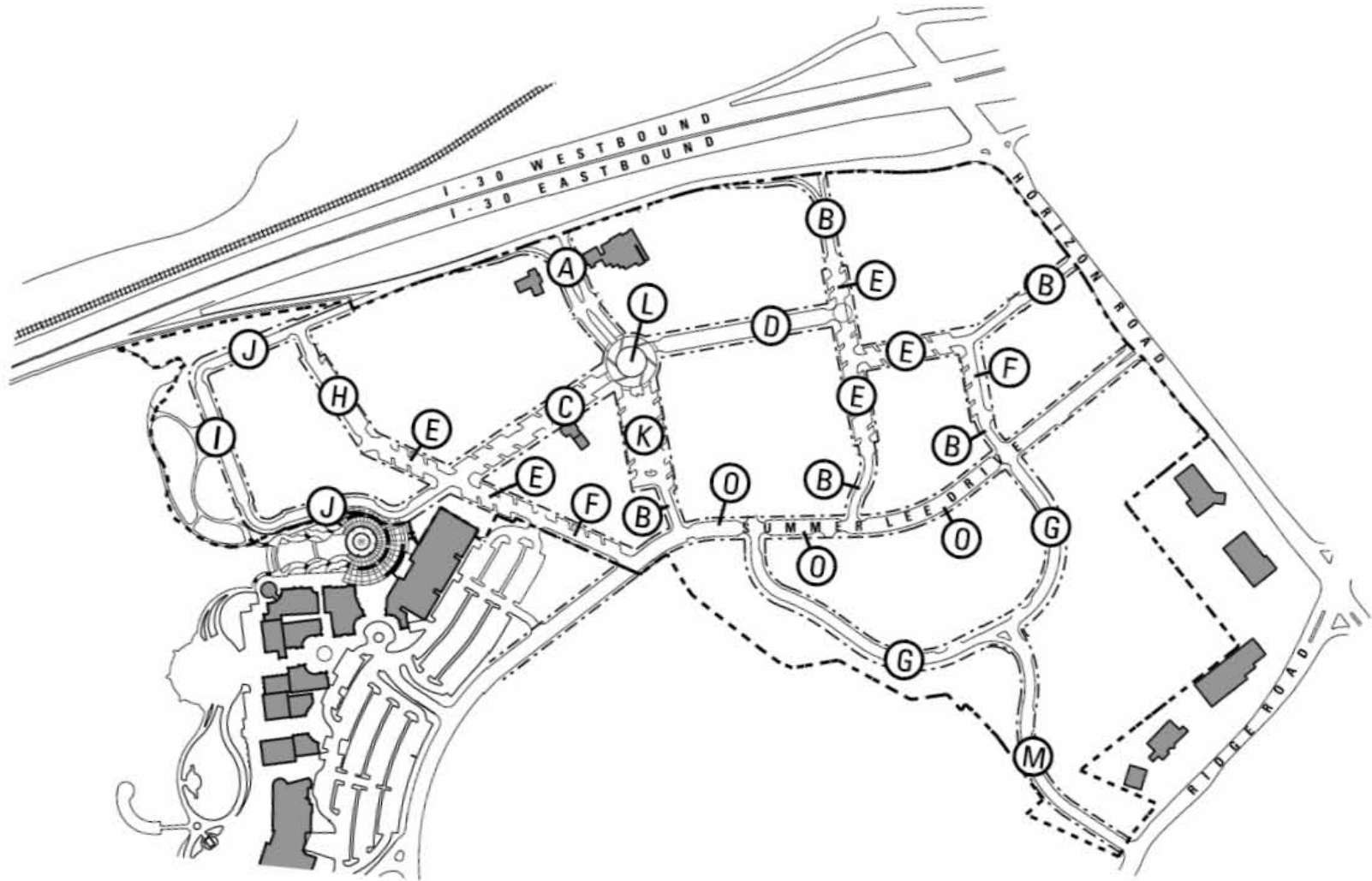
Exhibit C-3  
Drainage Improvements Plan

PROPOSED DRAINAGE IMPROVEMENTS



**Exhibit C-4** (Page 1 of 18)  
**Streetscape Plan**

**STREET TYPES PLAN**

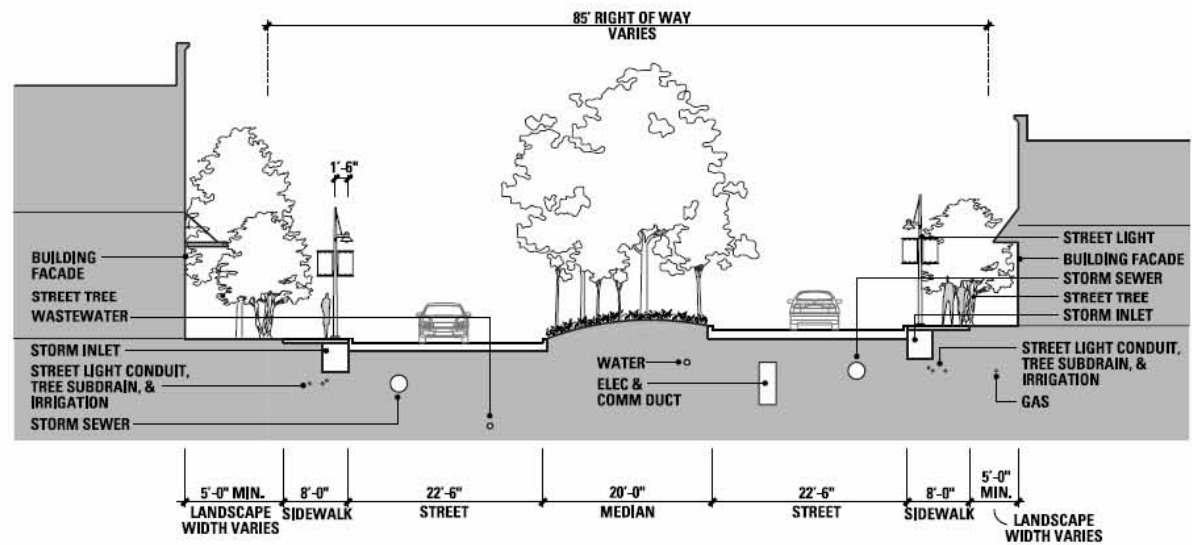
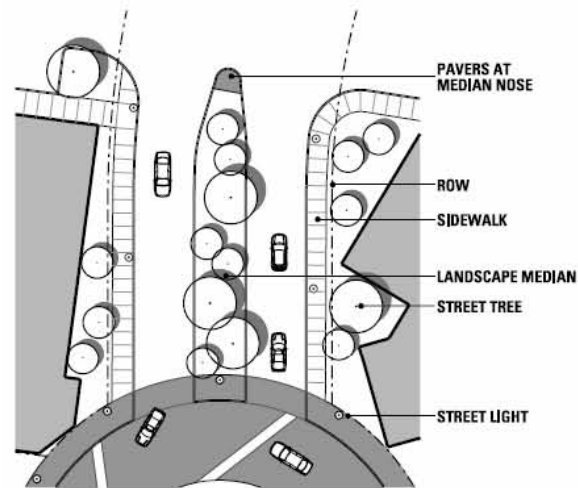


## Exhibit C-4 (Page 2 of 18)

### Streetscape Plan

#### STREET TYPE A

Street type 'A' serves as a primary entry in to the Harbor District from the Eastbound Interstate 30 off ramp. This street type consists of two 22' wide one-way streets divided by a 20' landscape median within a variable width right of way. A mix of canopy and ornamental trees are provided in natural groupings within the right of way. Sidewalks may be provided on some portions of the street. Pedestrian scale street lights are provided at 60' O.C. Longitudinal slopes on this street type range from 1% to 10%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.

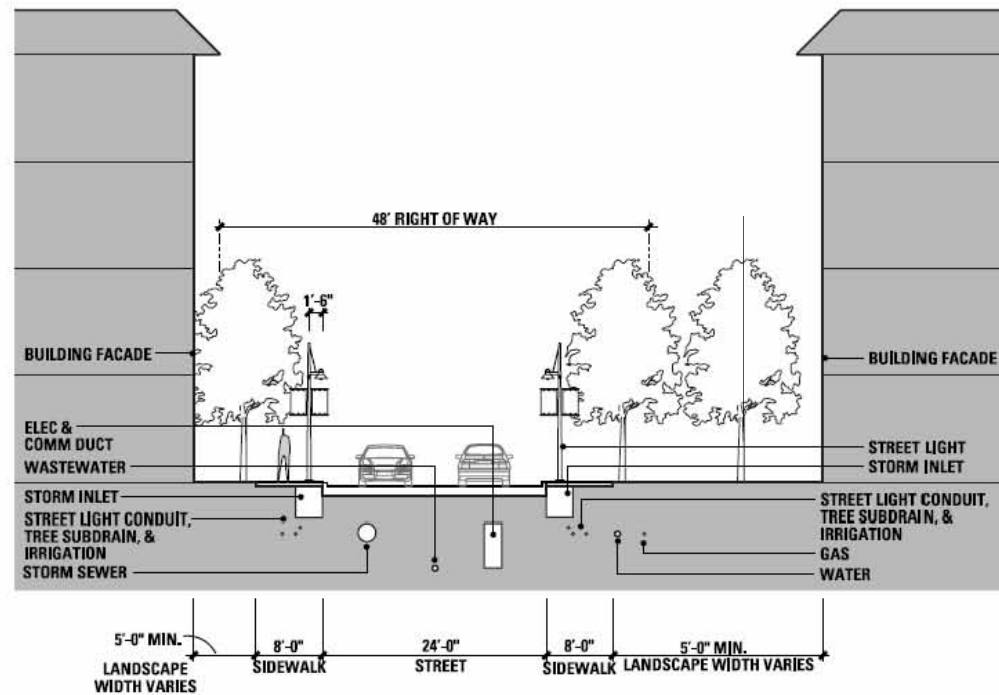
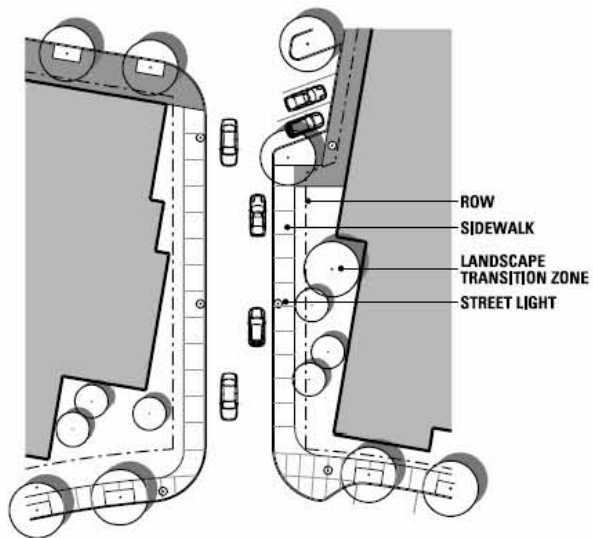




**Exhibit C-4 (Page 3 of 18)**  
**Streetscape Plan**

**STREET TYPE B**

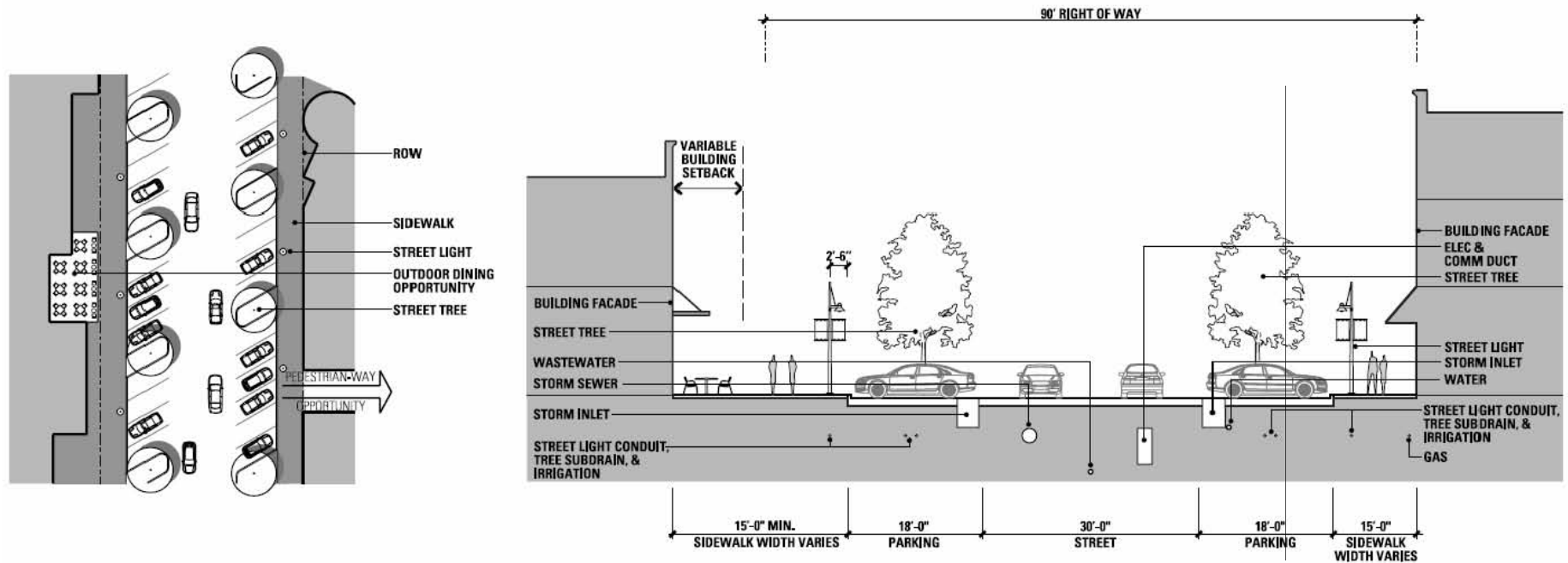
Street type 'B' consists of a 24' wide street within a 48' right of way. An 8' wide sidewalk may be provided on portions of the street. Street trees may be provided in either 5' x 10' leave outs spaced at 30' O.C., or in natural groupings within the right of way. Pedestrian scale street lights are provided at 60' O.C. Longitudinal slopes on this street type range from 1% to 10%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.



## Exhibit C-4 (Page 4 of 18) Streetscape Plan

### STREET TYPE C

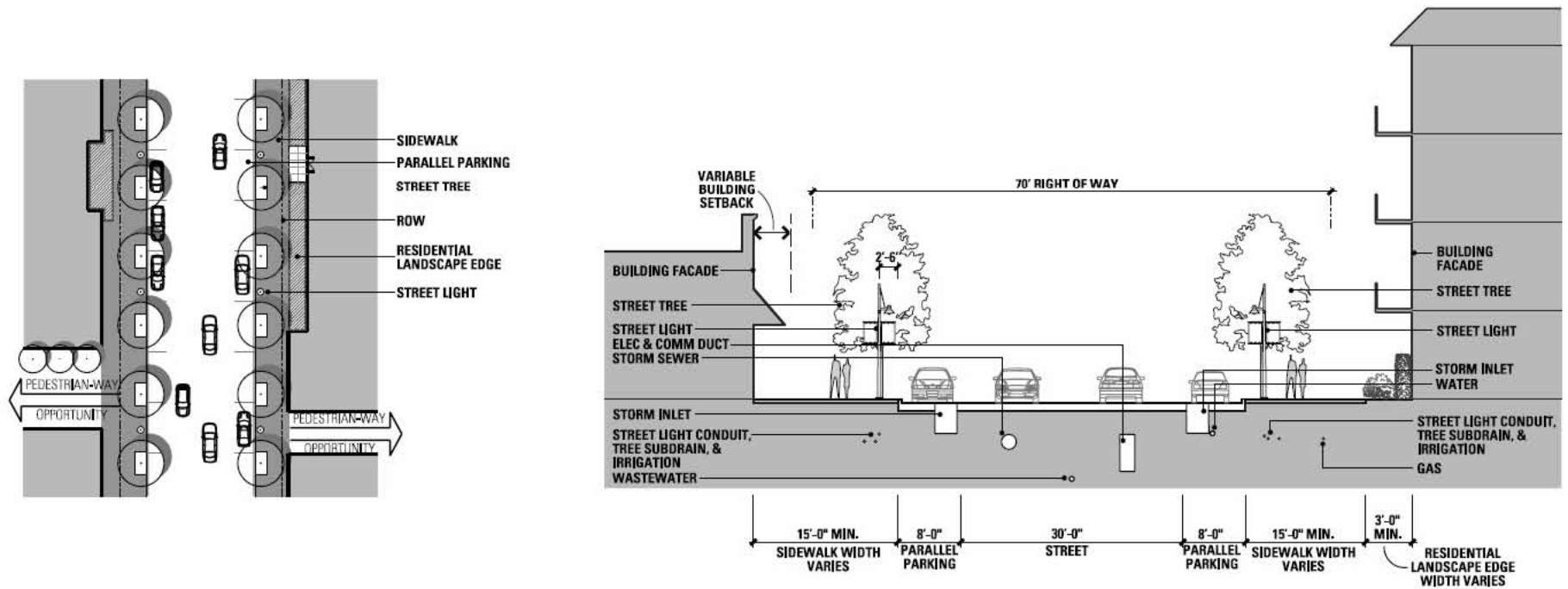
Street Type 'C' serves as a primary connector to the existing Harbor development and is a primary street frontage for retail and mixed-use development within adjacent districts. This street type consists of angled head-in parking on both sides of a 30' wide street within a 90' right of way. An 11'-6" wide sidewalk is provided on both sides of the street with street trees located in parking islands at approximately 52' O.C. and pedestrian scale light fixtures spaced at 52' O.C. The pedestrian paving material is concrete pavers. Longitudinal slopes on this street type are between 1% and 5%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.



## Exhibit C-4 (Page 5 of 18) Streetscape Plan

### STREET TYPE D

Street Type 'D' serves as a primary connector to the existing Harbor development and is a primary street frontage for retail, residential, and mixed-use development within adjacent subdistricts. This street type consists of parallel parking on both sides of a 30' wide street within a 70' right of way. An 11'-6" wide sidewalk is provided on both sides of the street with street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street light fixtures spaced at 60' O.C. The pedestrian paving material is concrete pavers. Longitudinal slopes on this street type are generally 10%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for

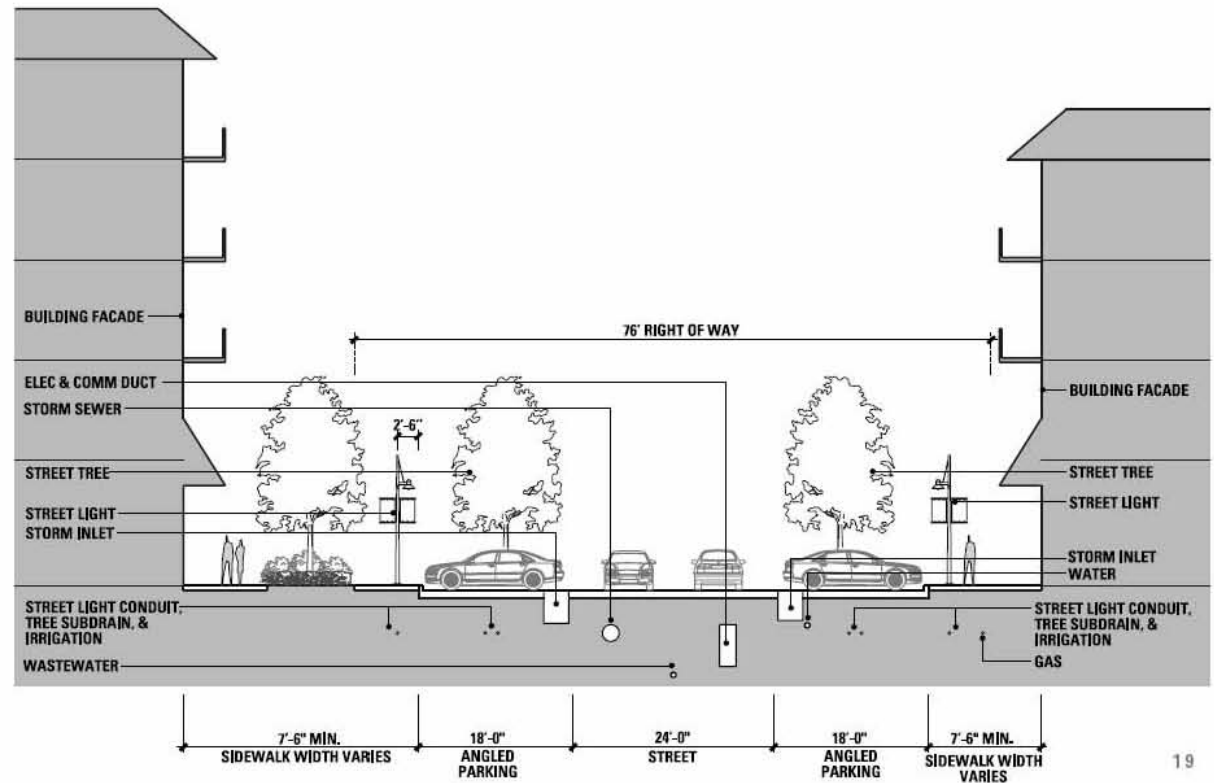
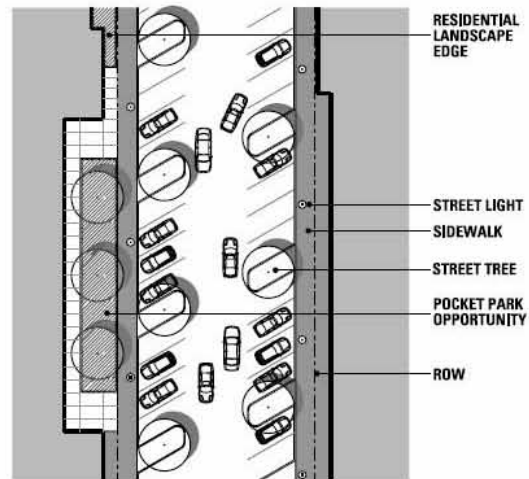


## Exhibit C-4 (Page 6 of 18)

### Streetscape Plan

#### STREET TYPE E

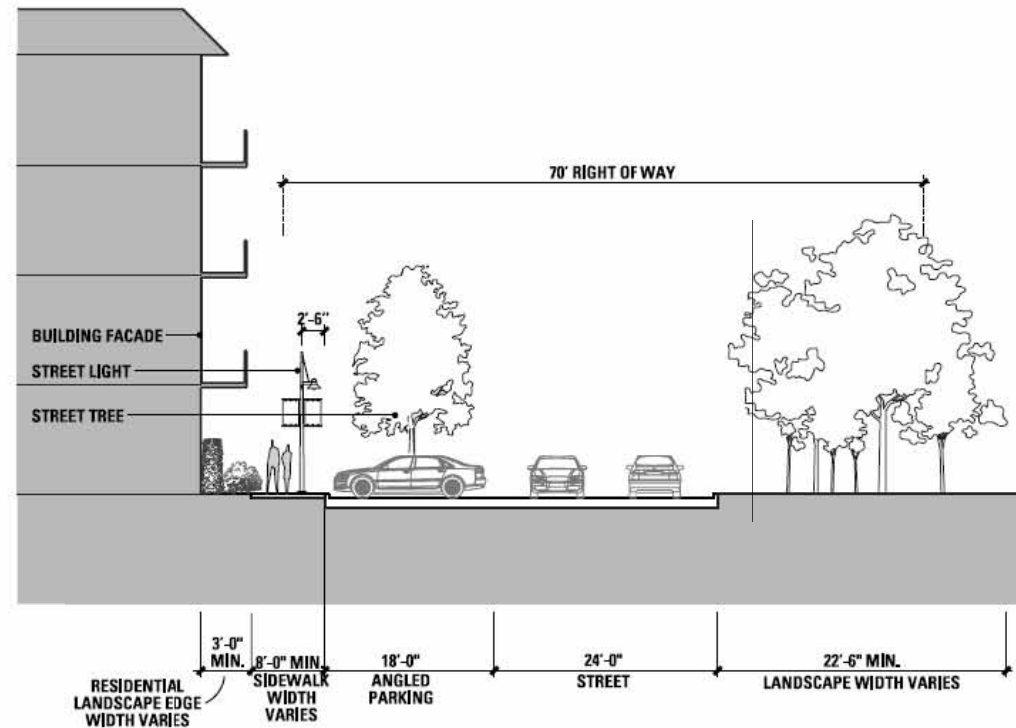
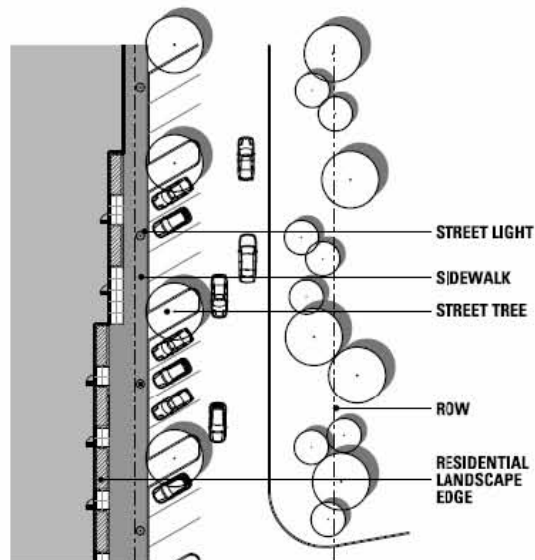
Street type 'E' serves as a primary street frontage for retail, residential, and mixed-use development within adjacent districts. This street type consists of angled head-in parking on both sides of a 24' wide street within a 76' right of way. A 7'-6" wide sidewalk is provided on both sides of the street with street trees located in parking islands at approximately 52' O.C. and pedestrian scale light fixtures spaced at 52' O.C. Pedestrian paving materials may be a mix of concrete pavers and concrete. Longitudinal slopes on this street type are limited to 5% maximum. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.



## Exhibit C-4 (Page 7 of 18) Streetscape Plan

### STREET TYPE F

Street type 'F' serves as a primary street frontage for mixed-use development within adjacent districts. This street type consists of angled head-in parking on one side of a 24' wide street within a 70' right of way. A 4'-6" wide sidewalk is provided on one side of the street with street trees located in parking islands at approximately 52' O.C. and pedestrian scale light fixtures spaced at 52' O.C. Pedestrian paving materials may be a mix of concrete pavers and concrete. Longitudinal slopes on this street type are limited to 5% maximum. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.

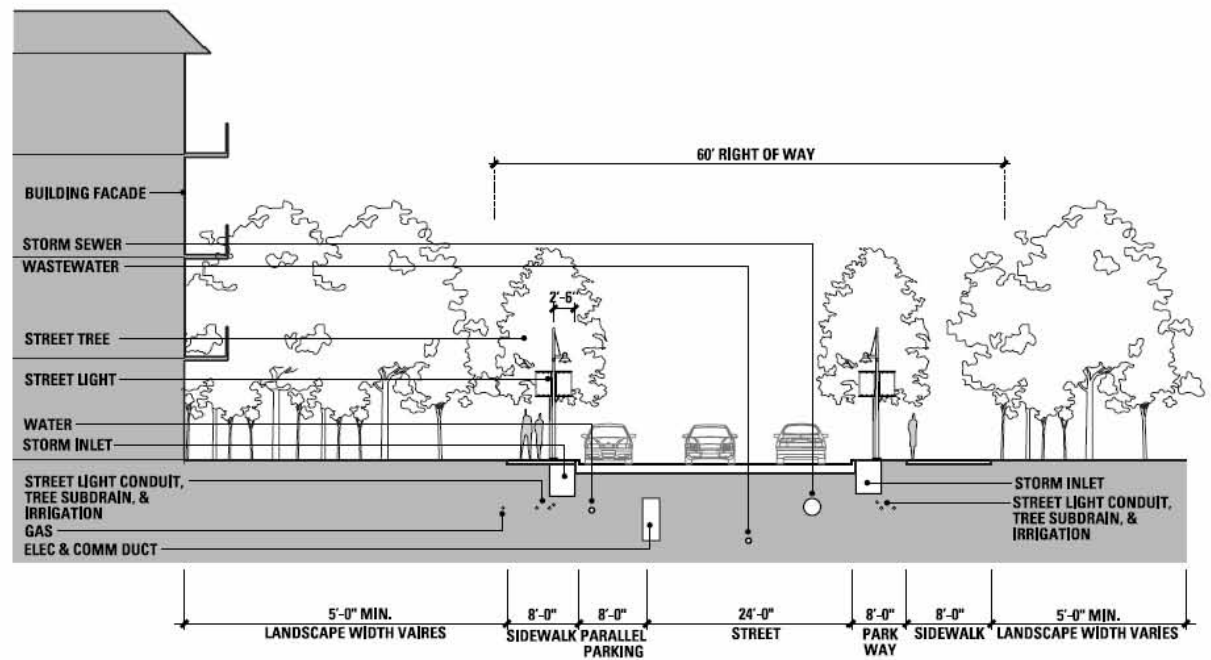
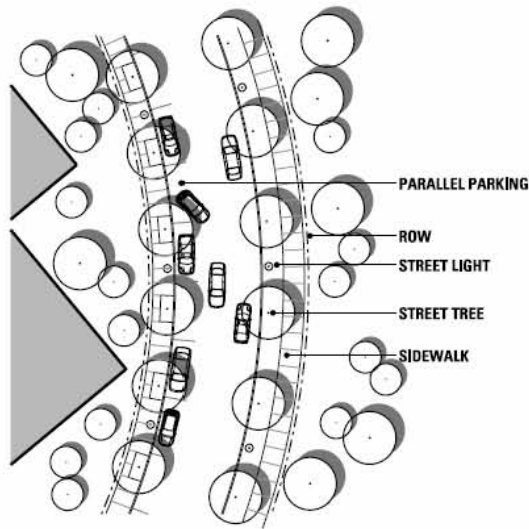


## Exhibit C-4 (Page 8 of 18)

### Streetscape Plan

#### STREET TYPE G

Street type 'G' serves as an edge to the open space subdistrict. This street type consists of parallel parking designated on one side of a 24' wide street within a 60' right of way. An 8' wide concrete sidewalk with street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street lights spaced at 60' O.C. is provided on the parallel parking side of the street. An 8' wide concrete sidewalk is provided on the open space side of the street with street trees spaced at 30' O.C. and pedestrian scale light fixtures spaced at 60' O.C. within an 8' wide parkway. Existing trees may be preserved within the right of way when possible. Longitudinal slopes on this street type are between 1% and 10%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.

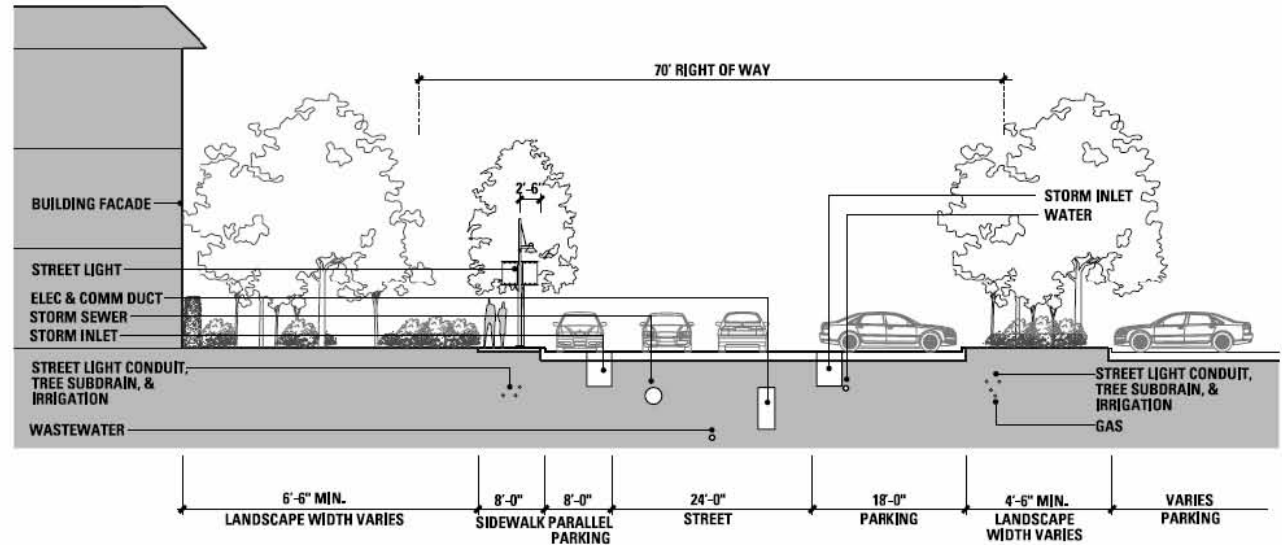
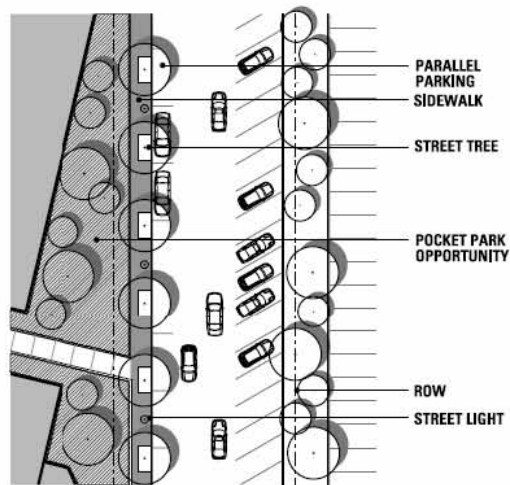


## Exhibit C-4 (Page 9 of 18)

### Streetscape Plan

#### STREET TYPE H

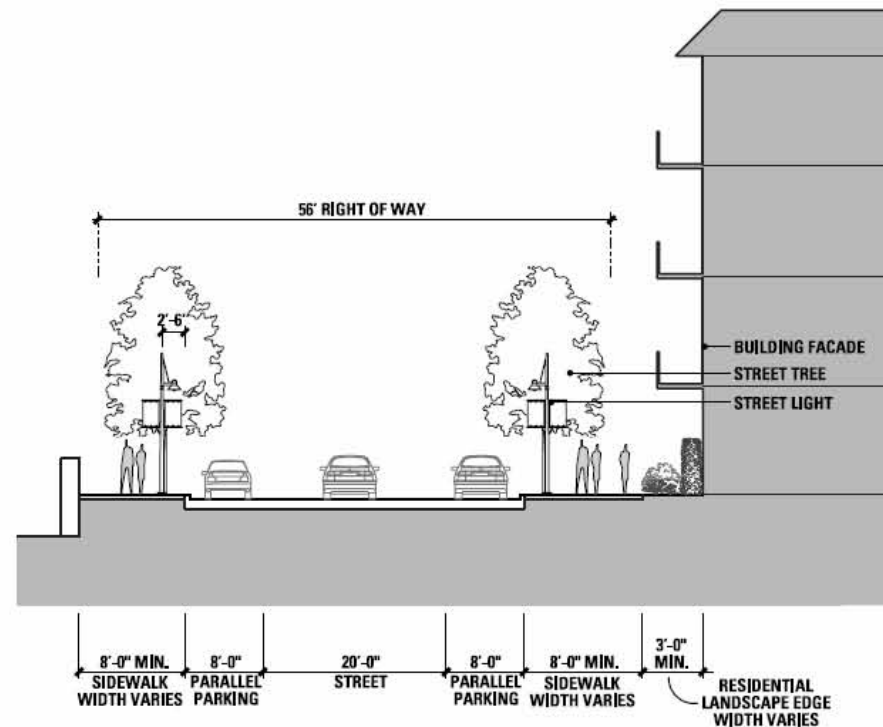
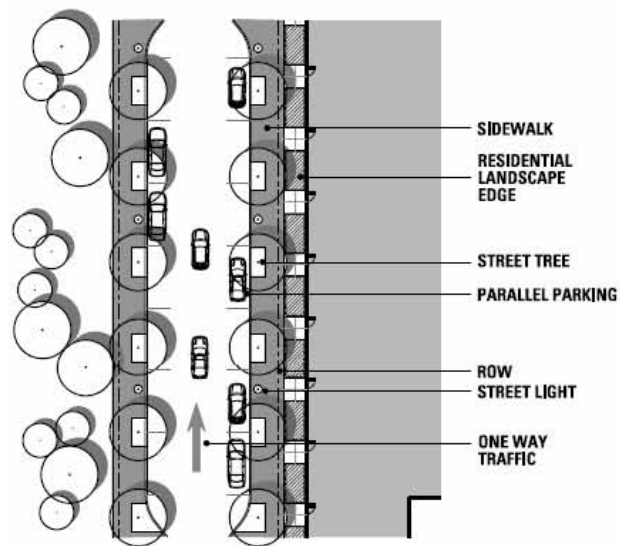
Street type 'H' serves as a transition between the Harbor Residential subdistrict and the Freeway Frontage subdistrict. This street type consists of a 24' wide street within a 70' right of way. Parallel parking serves the Harbor Residential side with an 8' wide concrete sidewalk and street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street lights spaced at 60' O.C. Angled head-in parking serves the Freeway Frontage subdistrict side with canopy and understory trees provided in natural groupings.



**Exhibit C-4 (Page 10 of 18)**  
**Streetscape Plan**

**S T R E E T   T Y P E   I**

Street type "I" serves as the primary frontage for the Harbor Residential subdistrict. This street type consists of parallel parking provided on both sides of a 20' wide one-way street within a 56' right of way. A 9'-6" wide sidewalk with street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street lights spaced at 60' O.C. is provided on both sides of the street. Pedestrian paving materials may be a mix of concrete pavers and concrete. Longitudinal slopes on this street type are limited to 5% maximum. At street intersections and key pedestrian crossing areas slopes are limited to 2% for

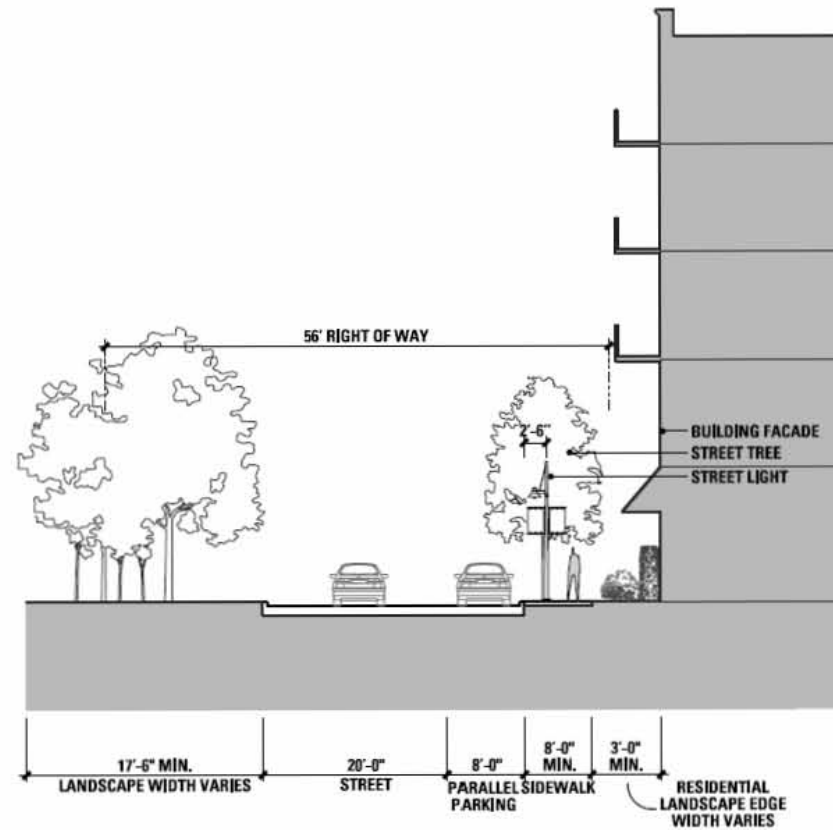
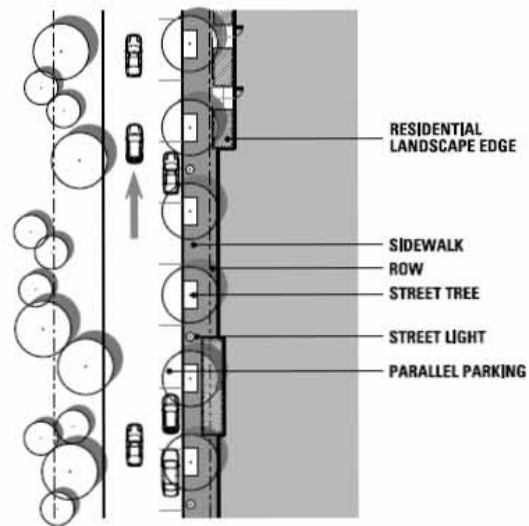




## Exhibit C-4 (Page 11 of 18) Streetscape Plan

### STREET TYPE J

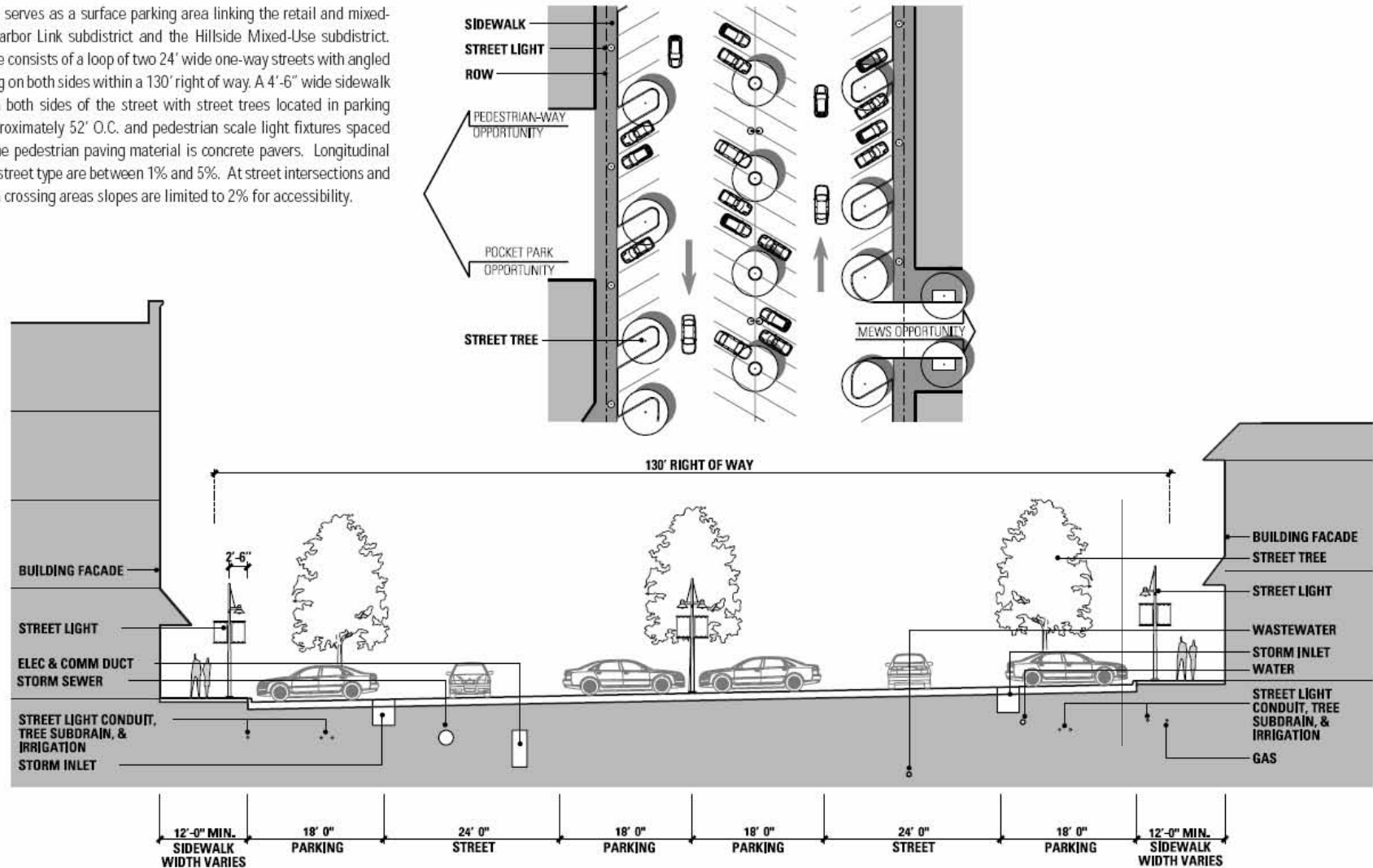
Street type 'J' serves as the primary frontage for the Harbor Residential subdistrict. This street type consists of parallel parking provided on one side of a 20' wide one-way street within a 56' right of way. An 8' wide sidewalk with street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street lights spaced at 60' O.C. is provided on both sides of the street. Pedestrian paving materials may be a mix of concrete pavers and concrete. Longitudinal slopes on this street type are limited to 5% maximum. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.



# Exhibit C-4 (Page 12 of 18) Streetscape Plan

## STREET TYPE K

Street type 'K' serves as a surface parking area linking the retail and mixed-uses of the Harbor Link subdistrict and the Hillside Mixed-Use subdistrict. This street type consists of a loop of two 24' wide one-way streets with angled head-in parking on both sides within a 130' right of way. A 4'-6" wide sidewalk is provided on both sides of the street with street trees located in parking islands at approximately 52' O.C. and pedestrian scale light fixtures spaced at 52' O.C. The pedestrian paving material is concrete pavers. Longitudinal slopes on this street type are between 1% and 5%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.

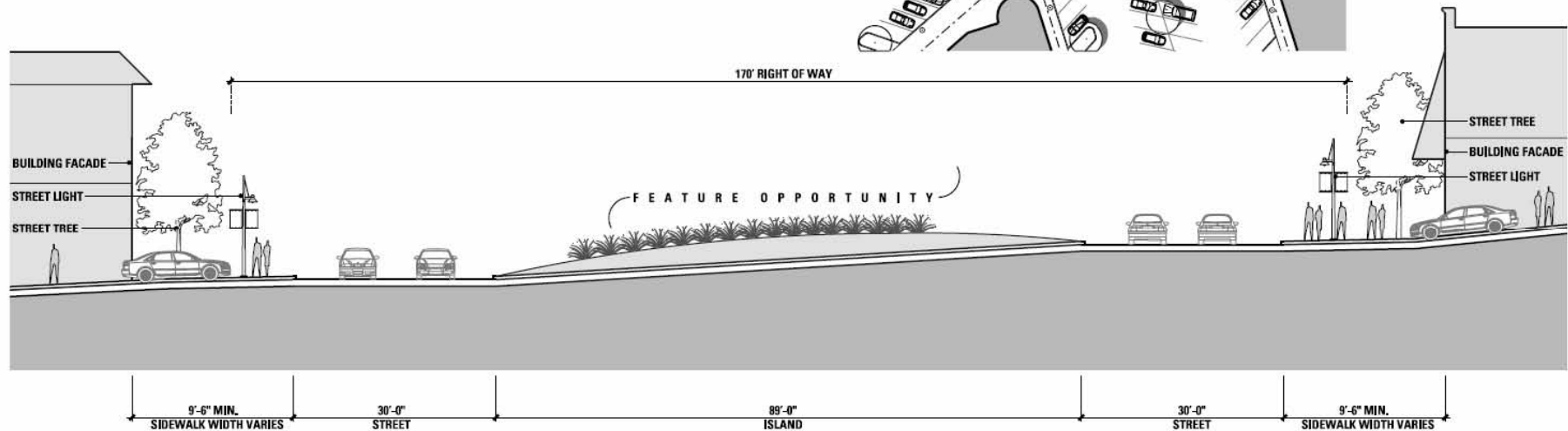
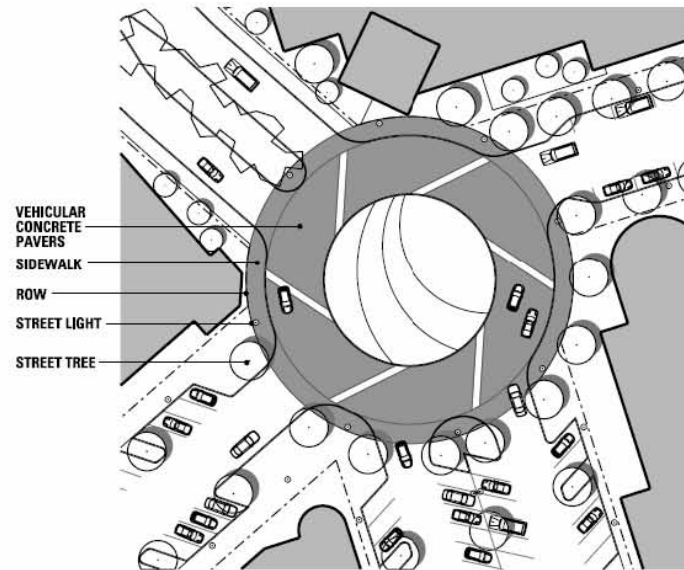


# Exhibit C-4 (Page 13 of 18)

## Streetscape Plan

### STREET TYPE L

Street type 'L' is a traffic circle which serves as a central point of the district. This circle is a mid point in the link to the existing Harbor development. This street type consists of a 30' wide one-way lane around a central landscaped island within a 170' diameter right of way. A 9'-6" wide sidewalk is provided around the entire circle with pedestrian scale street lights spaced at approximately 40' O.C. The vehicular paving material is concrete pavers accented with concrete bands. The pedestrian paving material is concrete pavers. Slopes across the traffic circle are between 4% and 5%. At street intersections and key pedestrian crossing areas slopes are limited to 2% for accessibility.

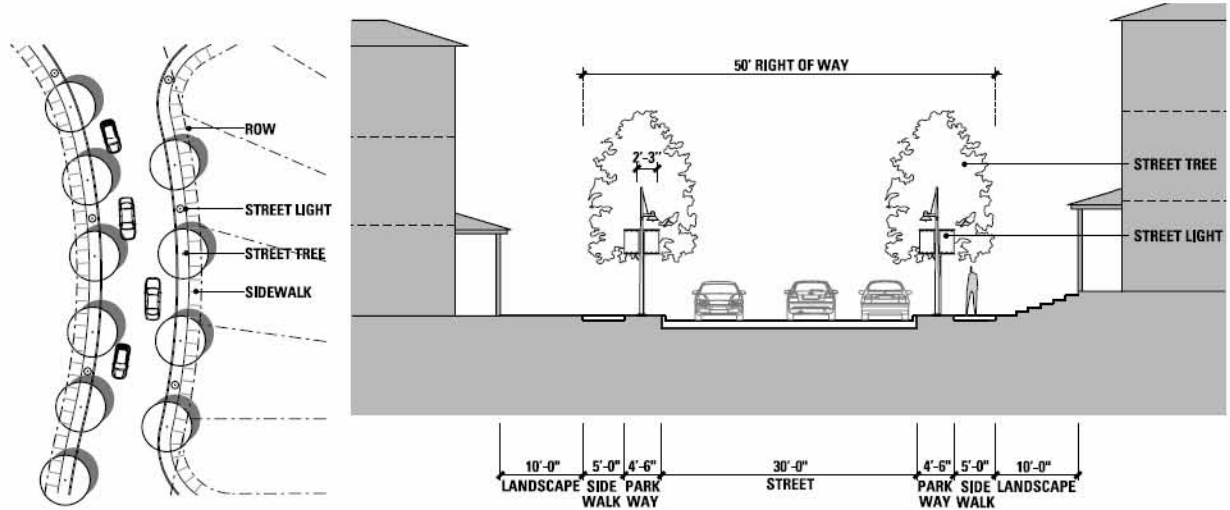


## Exhibit C-4 (Page 14 of 18)

### Streetscape Plan

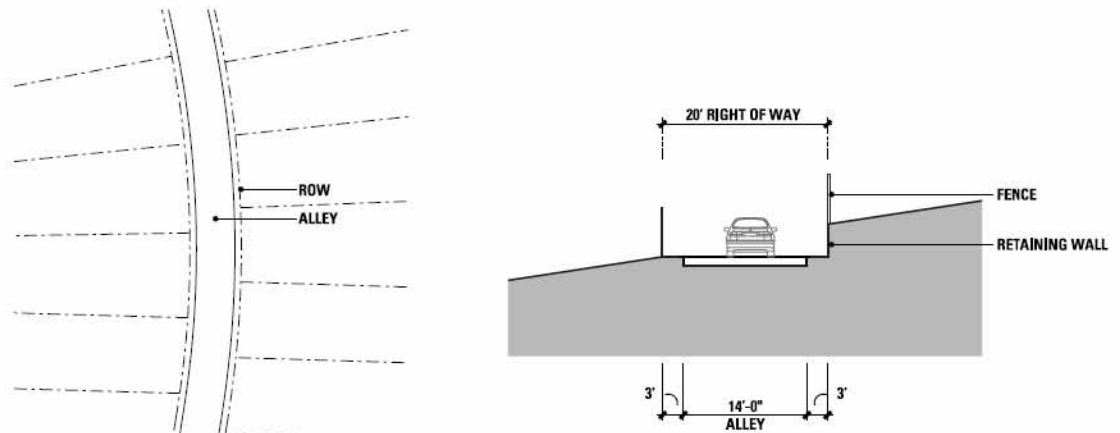
#### STREET TYPE M

Street type 'M' serves as the primary single family residential neighborhood street. This street type consists of a 30' wide street within a 50' right of way. On street parking is permitted on this street type. Street trees are spaced at 30' O.C. within a 4'-6" wide parkway with pedestrian scale street lights spaced at 60' O.C. A 5' wide concrete sidewalk is provided on both sides of the street. This street type may include features such as eyebrows or landscape islands and medians.



#### STREET TYPE N

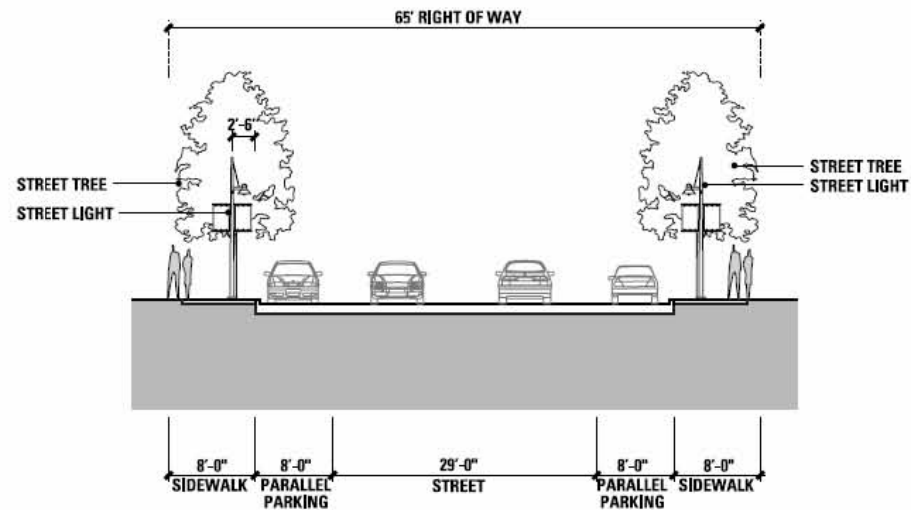
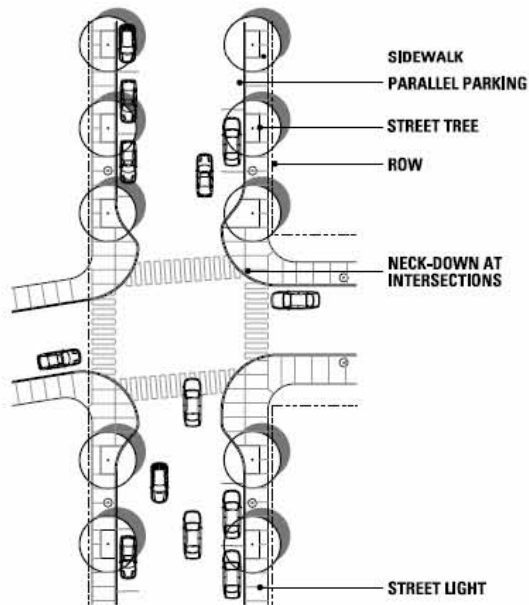
Street type 'N' serves as an alley within the single family residential neighborhood. This street type consists of a 15' wide alley within a 20' right of way. No street trees, light fixtures, or sidewalks are provided in this street type.



**Exhibit C-4** (Page 15 of 18)  
**Streetscape Plan**

**STREET TYPE 0 (SUMMER LEE DRIVE IMPROVEMENTS)**

The type '0' street consists of streetscape improvements and parallel parking dedication on both sides of an existing 29' wide street within the existing 65' Summer Lee Drive right of way. An 8' wide sidewalk is provided on both sides of the street with street trees in 5' x 10' leave outs spaced at 30' O.C. and pedestrian scale street light fixtures spaced at 60' O.C. Neckdowns are provided at intersections to provide a clearly defined pedestrian space. The pedestrian paving material is concrete sidewalk. Longitudinal slopes on this street type are range from 1.5% - 7%. At street intersections pedestrian walkway slopes are limited to 2% for accessibility.



## Exhibit C-4 (Page 16 of 18) Streetscape Plan

### STREETSCAPE ELEMENTS

#### PEDESTRIAN PAVING MATERIALS

##### Concrete Paving

All concrete pedestrian walkways shall be an upgraded pedestrian concrete paving with integral color (Scofield Chromix C-24 Charcoal or C-15 Coachella Sand), light sandblast finish, and sawcut control joints.

##### Concrete Pavers

Concrete pavers shall be Pavestone concrete pavers, Holland 98 Parkway Provincial, Antique Terra Cotta color, 6 cm thickness. Pavers shall be placed in a running bond pattern perpendicular to the street curb.

#### VEHICULAR PAVING MATERIALS

##### Concrete Paving

The standard vehicular paving material shall be concrete in accordance with City of Rockwall standards.

##### Concrete Pavers

Upgraded vehicular paving shall be concrete pavers. Concrete pavers shall be Pavestone concrete pavers, Holland 98 Parkway Provincial, Antique Terra Cotta color, 8 cm thickness. Pavers shall be placed in a herringbone bond pattern.



#### STREET FURNISHINGS

##### Bench

Landscape Forms - Scarborough backed horizontal strap bench, powdercoat color RAL #7003 Moss Grey

##### Trash Receptacle

Landscape Forms - Scarborough side opening with vertical straps, powdercoat color RAL #7003 Moss Grey



##### Bike Rack

Forms + Surfaces - Trio Bike Rack, powdercoat color RAL #7003 Moss Grey



##### Bollard

Hess - Paris 1100 Type 'A' fixed bollard, powdercoat color RAL #7003 Moss Grey



##### Seatwall

Cast-in-place concrete seatwall with architectural finish





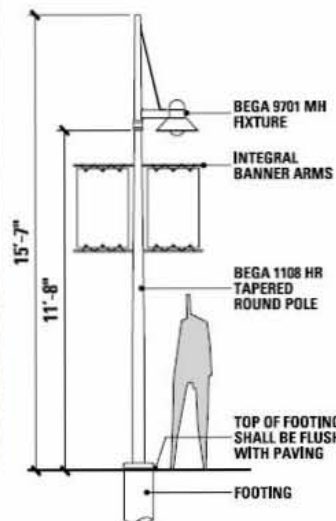
## Exhibit C-4 (Page 17 of 18) Streetscape Plan

### STREETSCAPE ELEMENTS

#### LIGHTING

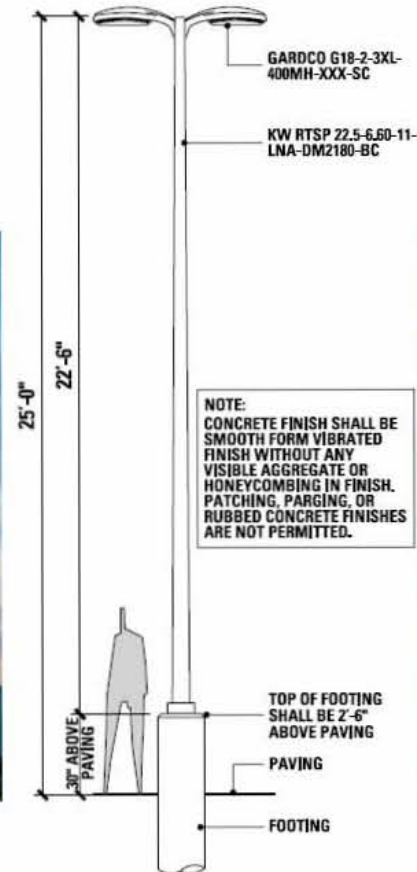
##### Pedestrian Scale Street Light

Bega 9701 MH 100W Metal Halide fixture on Bega 1108 HR 11'-8" tapered round pole with integral banner arms.  
powder coat color RAL #7003 Moss Grey.



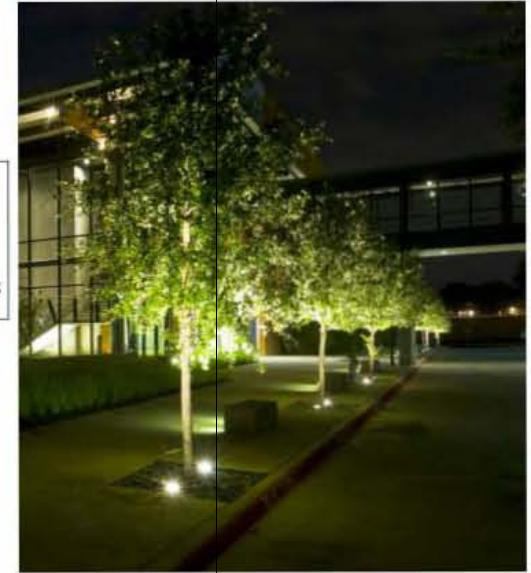
##### Parking Lot Light Fixture

Gardco Gullwing G18-2-3XL-400MH-XXX-SC on KW RTSP 22.5-6.60-11-LNA-DM2180-BC  
powder coat color RAL #7003 Moss Grey  
Parking lots shall be illuminated to an average sustained level of 1.5 - 2 footcandles.



##### Tree Uplight

All street trees within the right of way shall be uplight with B-K HP2-PAR2020-TR-59-SAP-11-xxx-AH/CPC.



## Exhibit C-4 (Page 18 of 18) Streetscape Plan

### S T R E E T S C A P E   E L E M E N T S

#### LANDSCAPE

##### Tree leave-outs

Paving leave-outs for street trees shall be 5' x 10' adjacent to the back of the street curb. All street trees in tree leave-outs or in head-in parking islands, shall have tree subdrainage tied to the storm drain system. In addition to the street tree, all leave outs shall contain one of the following:

Option A: A mix of shrub, perennial, ornamental grass, and groundcover planting. Plant materials shall provide a mix of height, color, texture, and evergreen structure.

Option B: Mexican Beach Stone pebbles.

A consistent treatment must be provided for a continuous block length.



Tree Leave-out Option A



Tree Leave-out Option B

##### Decorative Pots

Use decorative pots to accent the streetscape environment. Decorative pots must be compatible with the surrounding architectural styles. Decorative pots must be an appropriate pedestrian scale. All decorative pots shall be irrigated and have drainage tied to the storm drain system.

Recommended decorative pots:

Stonewear Zena series, SB 32 finish

Stonewear Grecian series, SB 32 finish

Rectangular metal planters



##### Grading

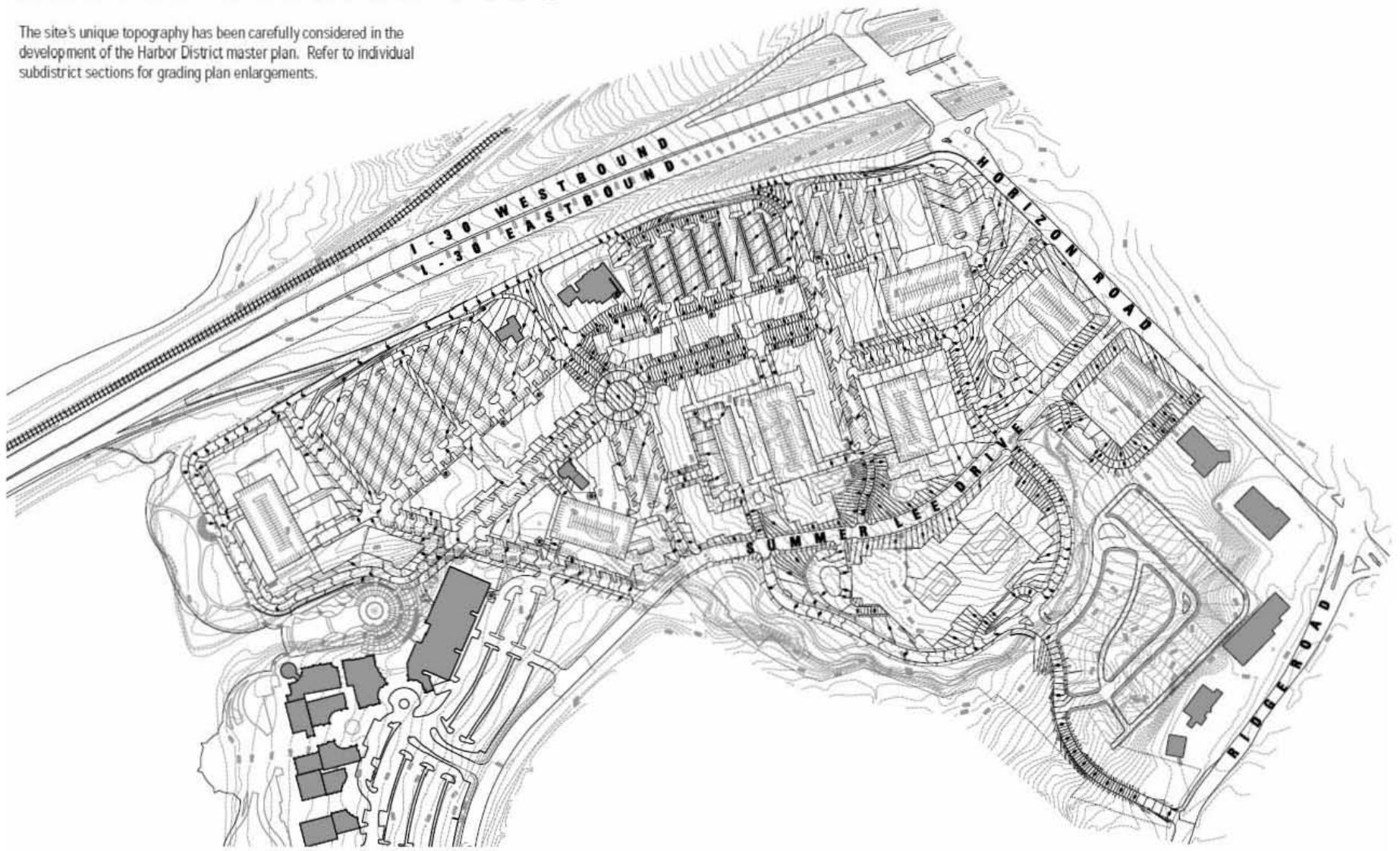
The maximum cross slope on all pedestrian walkways shall be 2%. The maximum longitudinal slope on all pedestrian walkways shall be 5%, except where the longitudinal slope of the street exceeds 5%.



**Exhibit C-5**  
**Master Grading Plan**

**M A S T E R   G R A D I N G   P L A N**

The site's unique topography has been carefully considered in the development of the Harbor District master plan. Refer to individual subdistrict sections for grading plan enlargements.



**Exhibit C-6**  
**Master Tree Planting Plan**

A master tree planting plan has been established for the Harbor District to ensure unifying street tree planting within the right of way and unifying tree planting within private development parcels. The following species of trees must be planted as the dominant street or parking lot tree according to the master tree planting plan. Additional landscaping and accent trees may also be used within each subdistrict. All street trees in tree leave-outs or in head-in parking islands, shall have tree subdrainage tied to the storm drain system.

Street trees within the right of way shall be the following sizes:  
Street trees in tree wells at 30' O.C. shall be 4" caliper, 100 gal.  
Street trees in parking islands at 52' O.C. shall be 8" caliper

**LEGEND**

-  Cedar Elm
-  Bald Cypress
-  A mix of any of the following canopy and ornamental trees in natural groupings.  
Live Oak, Cedar Elm, Red Oak, Burr Oak, Chinquapin Oak, Bald Cypress,  
Pond Cypress, Mexican Plum, Desert Willow, Chinese Pistache, Yaupon Holly,  
Red Bud, Crape Myrtle, Vitex, Eve's Necklace
-  Live Oak
-  Red Oak



## Exhibit D (Subdistrict Land Use Chart)

**P** = Permitted

**A** = Accessory Use

**S** = SUP

**"+"** = Permitted with Conditions. See **Article IV, Permissible Uses**, of the City of Rockwall *Unified Development Code*, as amended, for conditions of each use.

Note: All listed uses below shall be further regulated and/or limited within the specific Subdistrict standards included in Exhibits C-2 through C-11, with the exception of the "Other Uses" category which shall be permitted by right or allowed with an SUP as outlined, regardless of Subdistrict.

Land Uses	Subdistricts									
RESIDENTIAL USES	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon / Summer Lee	Interior	Residential	Ridge Road Retail
Accessory Building +									P	
Home Occupation +	P	P	P	P	P	P	P	P	P	P
Hotel	S	S	S	S	S	S	S	S	S	S
Hotel, Full Service	S	S	S	S	S	S	S	S	S	S
Hotel, Residence	S	S	S	S	S	S	S	S	S	S
Motel	S	S	S	S	S	S	S	S	S	S
Single Family, Zero Lot Line									P	
Townhouse	P	P	P	P	P	S	S	P	S	S
Urban Residential + (Condominium Units Only)	P	P	P	P	P	S	S	P	S	S
OFFICE USES	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon / Summer Lee	Interior	Residential	Ridge Road Retail
Animal Clinic for small animals, no outdoor pens +	S	S	S	S	S	S	S	S	S	S
Church/House of Worship +	P	P	P	P	P	P	P	P	S	P
Day Care (7 or More Children)+	P	P	P	P	P	P	P	P	S	P
Financial Institution without Drive-Through	P	P	P	P	P	P	P	P	S	P
Government Facility	P	P	P	P	P	P	P	P	S	P
Library, Art Gallery or Museum (Public)	P	P	P	P	P	P	P	P	S	P
Office, General	P	P	P	P	P	P	P	P	S	P
Office Building, less than 5,000 s.f.	P	P	P	P	P	P	P	P	S	P
Office Building, 5,000 s.f. or more	P	P	P	P	P	P	P	P	S	P
Post Office, Local Service	P	P	P	P	P	P	P	P	S	P
Research & Technology / Light Assembly	S	S	S	S	S	S	S	S	S	S
Trade School	S	S	S	S	S	S	S	S	S	S

Land Uses	Subdistricts									
RETAIL / RESTAURANT USES	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon / Summer Lee	Interior	Residential	Ridge Road Retail
Antique/Collectible Store	P	P	P	P	P	P	P	S	S	P
Automobile Rental	S	S	S	S	S	S	S	S	S	S
Banquet Facility	P	P	P	P	P	P	P	S	S	P
Business School	P	P	P	P	P	P	P	S	S	P
Catering Service	P	P	P	P	P	P	P	S	S	P
Commercial Amusement/ Recreation (Inside) +	S	S	S	S	S	S	S	S	S	S
Community or Recreation Club, Public or Private (Accessory)	P	P	P	P	P	P	P	S	S	P
Copy Center	P	P	P	P	P	P	P	S	S	P
Display, Incidental +	P	P	P	P	P	P	P	S	S	P
Electrical, Watch, Clock, Jewelry & Similar Repair	P	P	P	P	P	P	P	S	S	P
Garden Supply/Plant Nursery	S	S	S	S	S	S	S	S	S	S
General Personal Service	P	P	P	P	P	P	P	S	S	P
General Retail Store	P	P	P	P	P	P	P	S	S	P
Hair Salon, Manicurist	P	P	P	P	P	P	P	S	S	P
Health Club	P	P	P	P	P	P	P	S	S	P
Laundry, Drop-off/Pickup	P	P	P	P	P	P	P	S	S	P
Locksmith	P	P	P	P	P	P	P	S	S	P
Massage Therapist	P	P	P	P	P	P	P	S	S	P
Museum or Art Gallery (Private)	P	P	P	P	P	P	P	S	S	P
Night Club, Discoteque, or Dance Hall	S	S	S	S	S	S	S	S	S	S
Pet Shop	P	P	P	P	P	P	P	S	S	P
Private Club +	P	P	P	P	P	P	P	S	S	P
Private Club, Lodge or Fraternal Organization	P	P	P	P	P	P	P	S	S	P
Restaurant, Less than 2000 Sq. Ft., w/o Drive-Thru or Drive-in	P	P	P	P	P	P	P	S	S	P
Restaurant, 2000 Sq. Ft. or more, w/o Drive-Thru or Drive-in	P	P	P	P	P	P	P	S	S	P
Restaurant with accessory Private Club or Brew Pub +	P	P	P	P	P	P	P	S	S	P
Retail store with gasoline product sales (Limited to "Area 3" only as shown on Exhibit A)						P				
Shoe and Boot Repair and Sales	P	P	P	P	P	P	P	S	S	P
Studio - Art, Photography or Music	P	P	P	P	P	P	P	S	S	P
Tailor, Clothing or Apparel Shop	P	P	P	P	P	P	P	S	S	P
Theater	S	P	S	P	S	P	S	S	S	S
Wholesale Showroom Facility	S	S	S	S	S	S	S	S	S	S

**OTHER USES**

**The following shall be permitted by right in all subdistricts**

Antenna, Accessory +  
Antenna, Amateur Radio +  
Antenna, Dish +  
Asphalt or Concrete Batch Plant, Temporary +  
Fund Raising Events by Non-Profit, Indoor or Outdoor, Temporary +  
Garage (Accessory Use)  
Municipally Owned or Controlled Facilities, Utilities and Uses  
Parking, Commercial  
Parking Lot, non-commercial  
Public Park or Playground  
Radio Broadcasting  
Real Estate Sales Office, On-site, Temporary +  
Recording Studio  
Satellite Dish +  
Swimming Pool, Private (Accessory Use)  
Temporary On-site Construction Office +

**The following shall be allowed with an SUP in all subdistricts**

Antenna, Commercial +  
Antenna, Commercial, Free-Standing +  
Antenna, Commercial, Mounted +  
Helipad  
Private Streets  
Tennis Courts (Not accessory to a public or private club)  
Transit Passenger Facility  
TV Broadcasting & Other Communication Service  
Utilities Holding a Franchise from City of Rockwall  
Utility Installation, Other than Listed  
Utility/ Transmission Lines  
Wireless Communication Tower

## Exhibit E-1 (Page 1 of 2)

### Harbor Residential Subdistrict

#### HARBOR RESIDENTIAL SUBDISTRICT

The primary intent of the Harbor Residential subdistrict is to provide a counter part to the existing Harbor development which will create a vibrant atmosphere surrounding the existing central fountain feature. Ground floor retail spaces are intended to link the Harbor District with the existing Harbor development. The addition of residential units will capitalize on the views and adjacencies to Lake Ray Hubbard. Existing slopes within this subdistrict are in the 3% - 8% range.

##### Building Placement

###### Build-to-line (Distance from R.O.W. line)

Street Type I	10'
Street Type E	7'
Street Type J	5'
Street Type H	0'

##### Building Form

Each block face must have a minimum of 80% of its length defined by a building façade.

Street Type I façade built to BTL	45%	min.
Street Type E façade built to BTL	45%	min.
Street Type J façade built to BTL	45%	min.
Street Type H façade built to BTL	45%	min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage	80%
----------------------	-----

##### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

##### Use

Ground Floor	Retail Restaurant Residential
Upper Floors	Residential Office

##### Height

	stories / height
Maximum Building Height	5 / 75'
Maximum Building Height (adjacent to existing cinema)	2 / 35'
Minimum 1st floor commercial Height (with other uses above)	15'

##### Encroachments

###### Location

Street Type I	5'
Street Type E	5'
Street Type J	5'
Street Type H	5'

##### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

##### Parking

###### Surface Parking Setback (Distance from R.O.W. line)

Street Type I	10'
Street Type E	10'
Street Type J	10'
Street Type H	10'

###### Surface Parking Lots

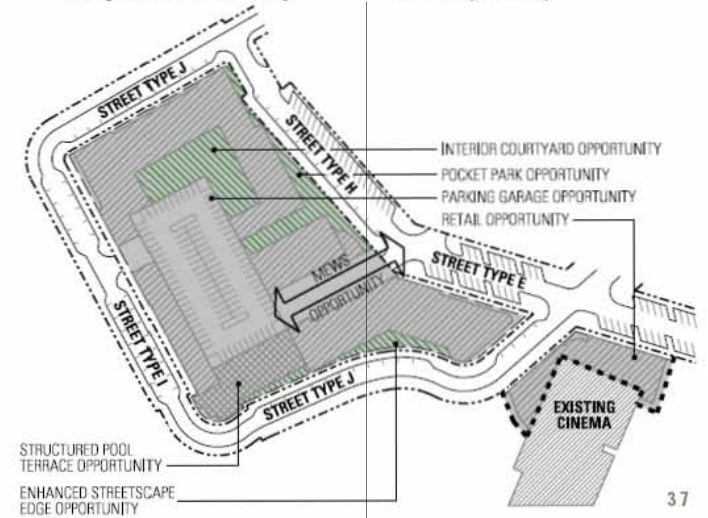
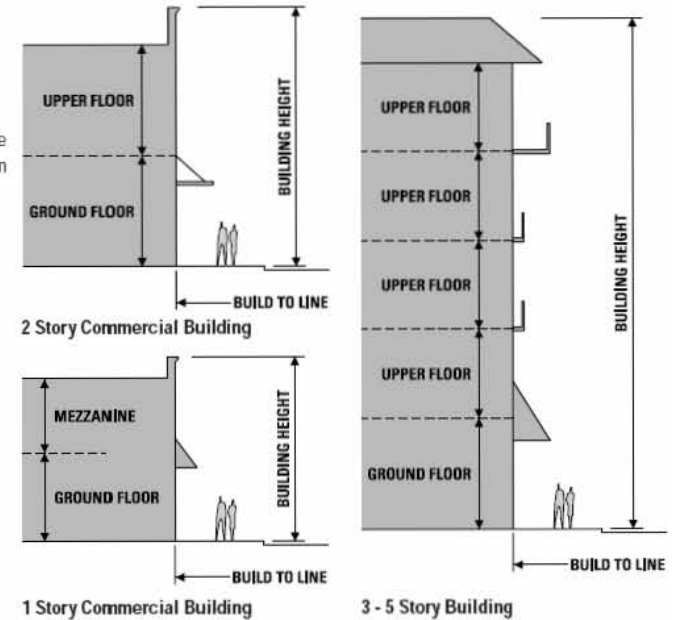
A maximum of 10% of the total parking for this subdistrict may be surface parking.

###### Driveways (Maximum number per block face)

Street Type I	1
Street Type E, H	2
Street Type J	2

###### Pedestrianways / Mews (Minimum number per block face)

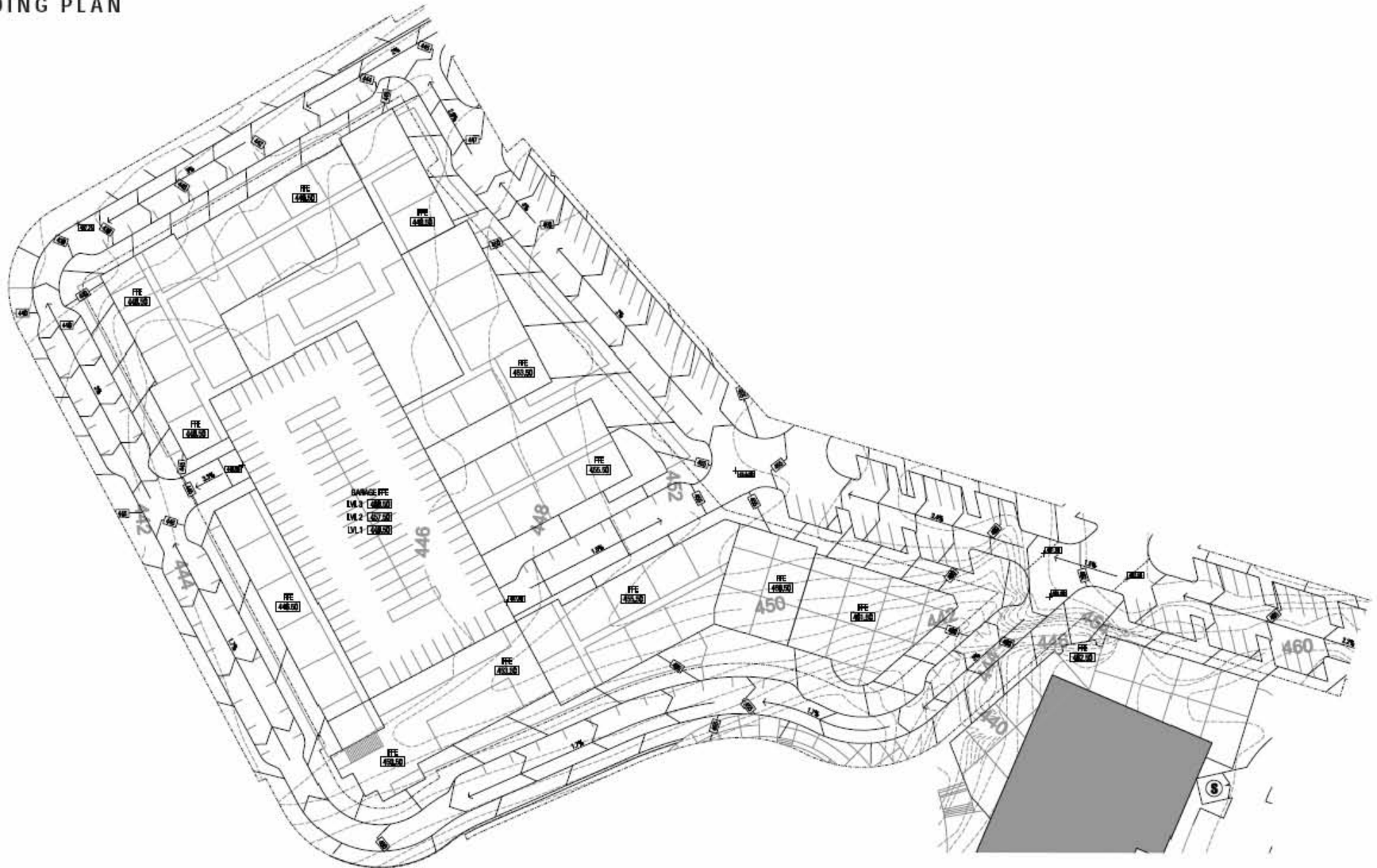
Street Type I	1
Street Type E, H	1
Street Type J	0





**Exhibit E-1 (Page 2 of 2)**  
**Harbor Residential Subdistrict**

**H A R B O R   R E S I D E N T I A L   S U B D I S T R I C T**  
**GRADING PLAN**



## Exhibit E-2 (Page 1 of 2)

### Freeway Frontage Subdistrict

#### F R E E W A Y   F R O N T A G E   S U B D I S T R I C T

The intent of the Freeway Frontage subdistrict is to provide mid-size retail anchors with high visibility that can contribute to the creation of a vibrant, pedestrian oriented character within the Harbor District and the existing Harbor development. Prime views and access from Interstate 30 combined with storefront presence along the main pedestrian and vehicular corridor within the district make this subdistrict an ideal location for retail anchors. Existing slopes within this subdistrict are in the 3% - 6% range.

##### Building Placement

###### Build-to-line (Distance from R.O.W. line)

Street Type C	3'
Street Type E	7'

###### Setback (Distance from R.O.W. line)

Street Type A	5'
Street Type H	10'
Interstate 30 Frontage	250'

##### Building Form

Street Type C block face must have a minimum of 90% of its length defined by a building façade.  
Street Type E block face must have a minimum of 80% of its length defined by a building façade.

Street Type C façade built to BTL	45%	min.
Street Type E façade built to BTL	45%	min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage	30%
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##### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

##### Use

###### Ground Floor

Retail  
Restaurant

###### Upper Floors

Retail  
Restaurant  
Office

##### Height

	stories / height
Maximum Building Height *	2 / 45'
Minimum 1st floor commercial Height (with other uses above)	15'
Minimum 1 story commercial Height	25'

##### Notes

\* One additional story may be added for upper floor office use only.

##### Encroachments

###### Location

Street Type C	5'
Street Type E	5'
Street Type A	5'
Street Type H	5'
Interstate 30 Frontage	5'

##### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

##### Parking

###### Surface Parking Setback (Distance from R.O.W. line)

Street Type C	10'
Street Type E	10'
Street Type A	10'
Street Type H	10'
Interstate 30 Frontage	20'

###### Surface Parking Lots

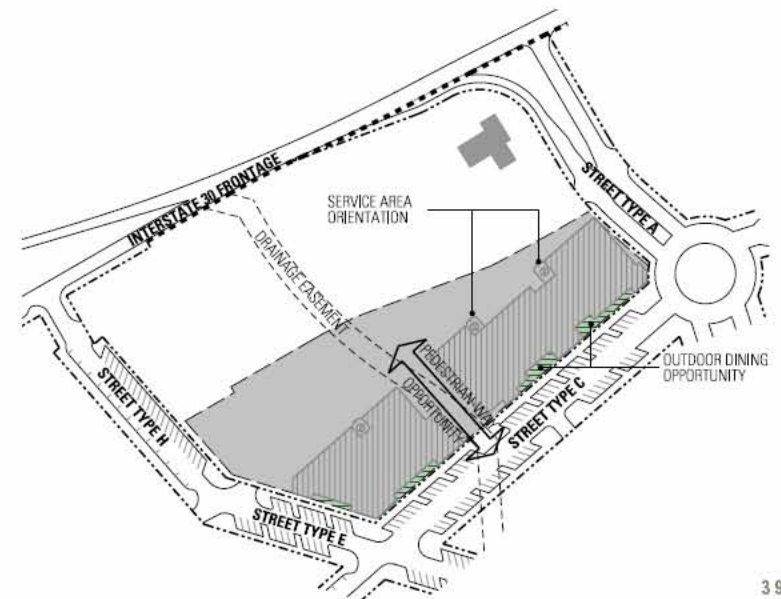
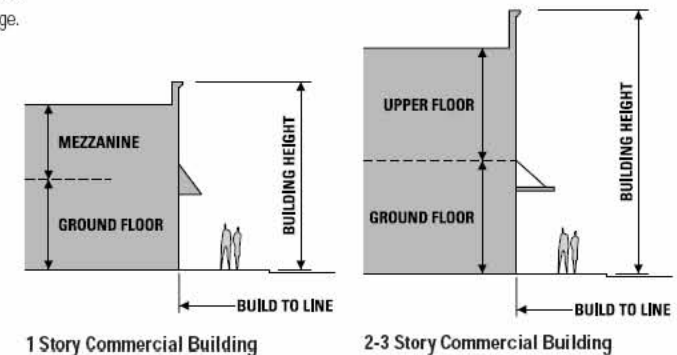
A maximum of 100% of the total parking for this subdistrict may be surface parking.

###### Driveways (Maximum number per block face)

Street Type C	0
Street Type E, H	2
Street Type A	2
Interstate 30 Frontage	0

###### Pedestrianways (Minimum number per block face)

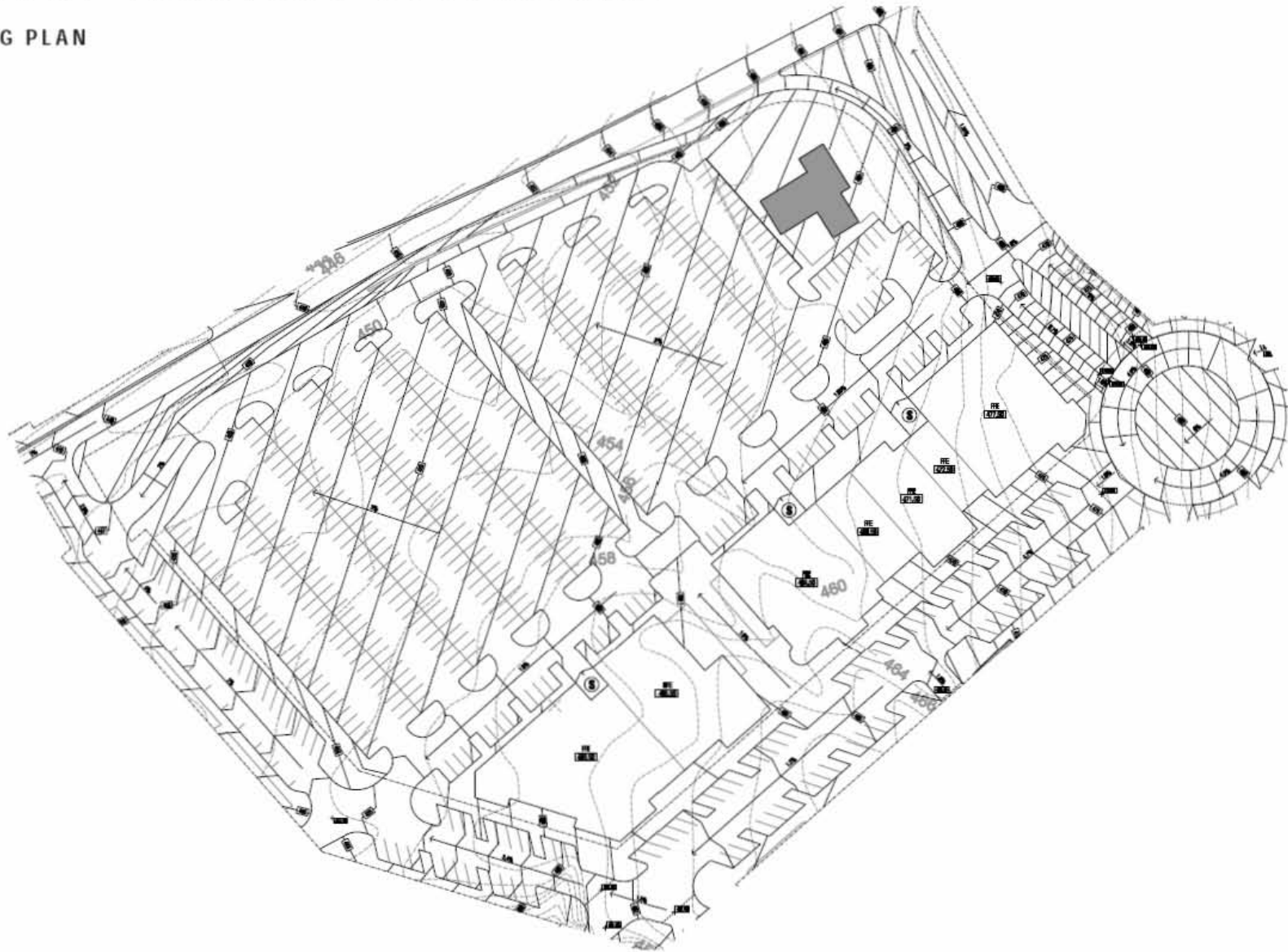
Street Type C	1
---------------	---





**Exhibit E-2 (Page 2 of 2)**  
**Freeway Frontage Subdistrict**

**F R E E W A Y   F R O N T A G E   S U B D I S T R I C T**  
**G R A D I N G   P L A N**



## Exhibit E-3 (Page 1 of 2)

### Harbor Link Mixed-Use Subdistrict

#### HARBOR LINK MIXED-USE SUBDISTRICT

The primary intent of the Harbor Link Mixed-Use subdistrict is to provide a mix of retail and residential uses in close proximity to the existing Harbor development that can contribute to the creation of a vibrant, pedestrian oriented character within the Harbor District and the existing Harbor development. Existing slopes within this subdistrict are in the 3.5% - 6% range.

##### Building Placement

###### Build-to-line (Distance from R.O.W. line)

Street Type C	10'
Street Type K	7.5'
Street Type E	0'
Street Type F	0'

###### Setback (Distance from R.O.W. line)

Summer Lee Drive	5'
Street Type B	3'

##### Building Form

Each block face must have a minimum of 75% of its length defined by a building façade.

Street Type C façade built to BTL	45%	min.
Street Type K façade built to BTL	45%	min.
Street Type E façade built to BTL	45%	min.
Street Type F façade built to BTL	45%	min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage	80%
----------------------	-----

##### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

##### Use

###### Ground Floor

Retail  
Restaurant  
Residential

###### Upper Floors

Residential  
Office

##### Height

	stories / height
Maximum Building Height	5 / 75'
Minimum 1st floor commercial Height (with other uses above)	15'
Minimum 1 story commercial Height	25'

##### Encroachments

###### Location

Street Type C	5'
Street Type K	5'
Street Type E	5'
Street Type F	5'
Summer Lee Drive	5'
Street Type B	5'

##### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

##### Parking

###### Surface Parking Setback (Distance from R.O.W. line)

Street Type C	10'
Street Type K	10'
Street Type E	10'
Street Type F	10'
Street Type B	10'
Summer Lee Drive	15'

###### Surface Parking Lots

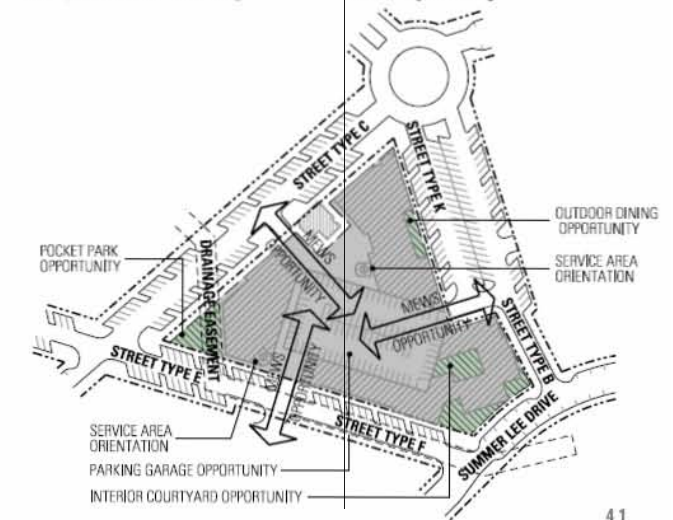
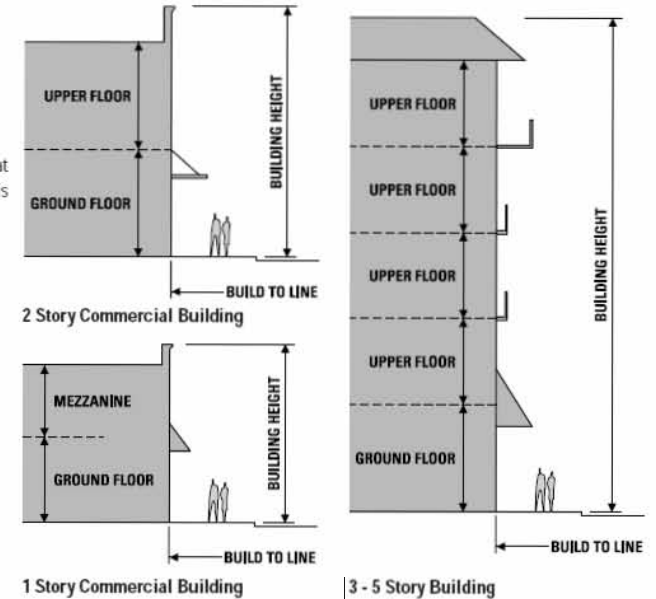
A maximum of 5% of the total parking for this subdistrict may be surface parking.

###### Driveways (Maximum number per block face)

Street Type C	1
Street Type K, B	1
Street Type E, F	1
Summer Lee Drive	0

###### Pedestrianways / Mews (Minimum number per block face)

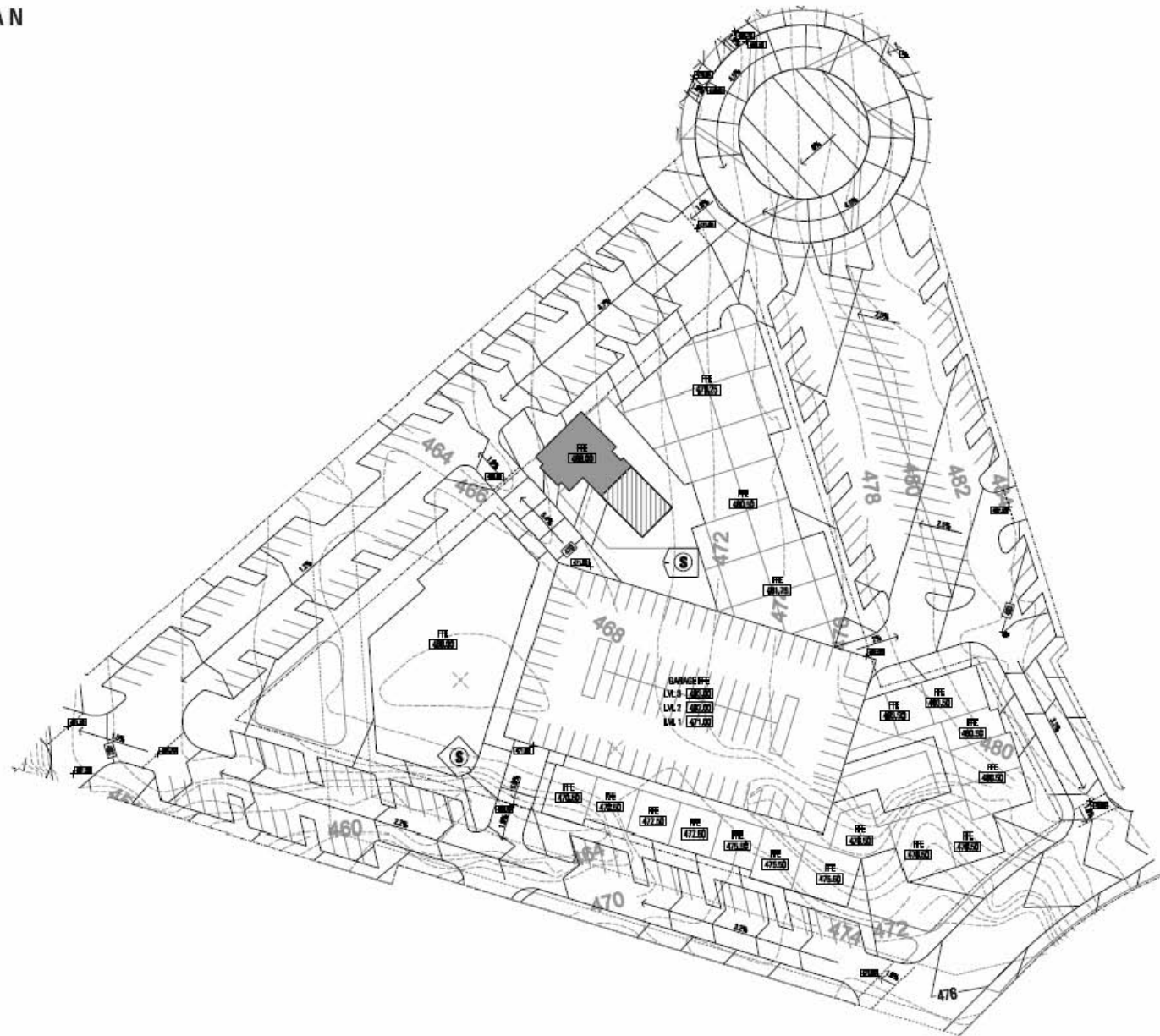
Street Type C	1
Street Type K, B	1
Street Type E, F	1



Harbor Link Mixed-Use Subdistrict

HARBOR LINK MIXED-USE SUBDISTRICT

GRADING PLAN



## Exhibit E-4 (Page 1 of 2) Hillside Subdistrict

### HILLSIDE SUBDISTRICT

The intent of the Hillside subdistrict is to provide a cluster of restaurant anchors that can contribute to the creation of a vibrant, pedestrian oriented character within the Harbor District. Existing slopes within this subdistrict are in the 8% - 12% range.

#### Building Placement

##### Build-to-line (Distance from R.O.W. line)

Street Type D	8'
Street Type E	4'

##### Setback (Distance from R.O.W. line)

Street Type A	5'
Street Type B	5'
Interstate 30 Frontage	250'

#### Building Form

Street Type D block face must have a minimum of 85% of its length defined by a building façade.

Street Type E block face must have a minimum of 100% of its length defined by a building façade.

Street Type D façade built to BTL	45%	min.
Street Type E façade built to BTL	45%	min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage	30%
----------------------	-----

#### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

#### Use

##### Ground Floor

Retail  
Restaurant

##### Upper Floors

Retail  
Restaurant  
Office

#### Height

	stories / height
Maximum Building Height *	2 / 35'
Minimum 1st floor commercial Height (with other uses above)	15'
Minimum 1 story commercial Height	25'

#### Notes

\* One additional story may be added for upper floor office use only.

#### Encroachments

##### Location

Street Type D	5'
Street Type E	5'
Street Type A	5'
Street Type B	5'
Interstate 30 Frontage	5'

#### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

#### Parking

##### Surface Parking Setback (Distance from R.O.W. line)

Street Type D	10'
Street Type E	10'
Street Type A	10'
Street Type B	10'
Interstate 30 Frontage	20'

##### Surface Parking Lots

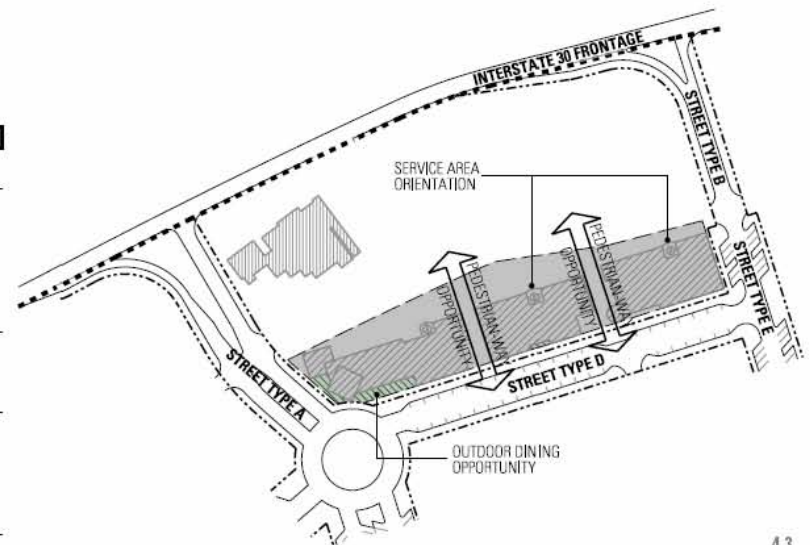
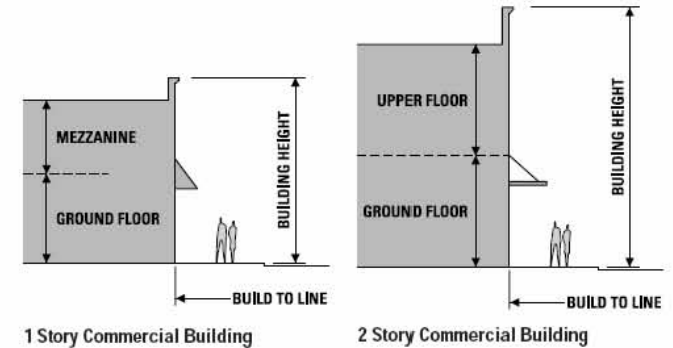
A maximum of 100% of the total parking for this subdistrict may be surface parking.

##### Driveways (Maximum number per block face)

Street Type D	0
Street Type E, B	1
Street Type A	1
Interstate 30 Frontage	0

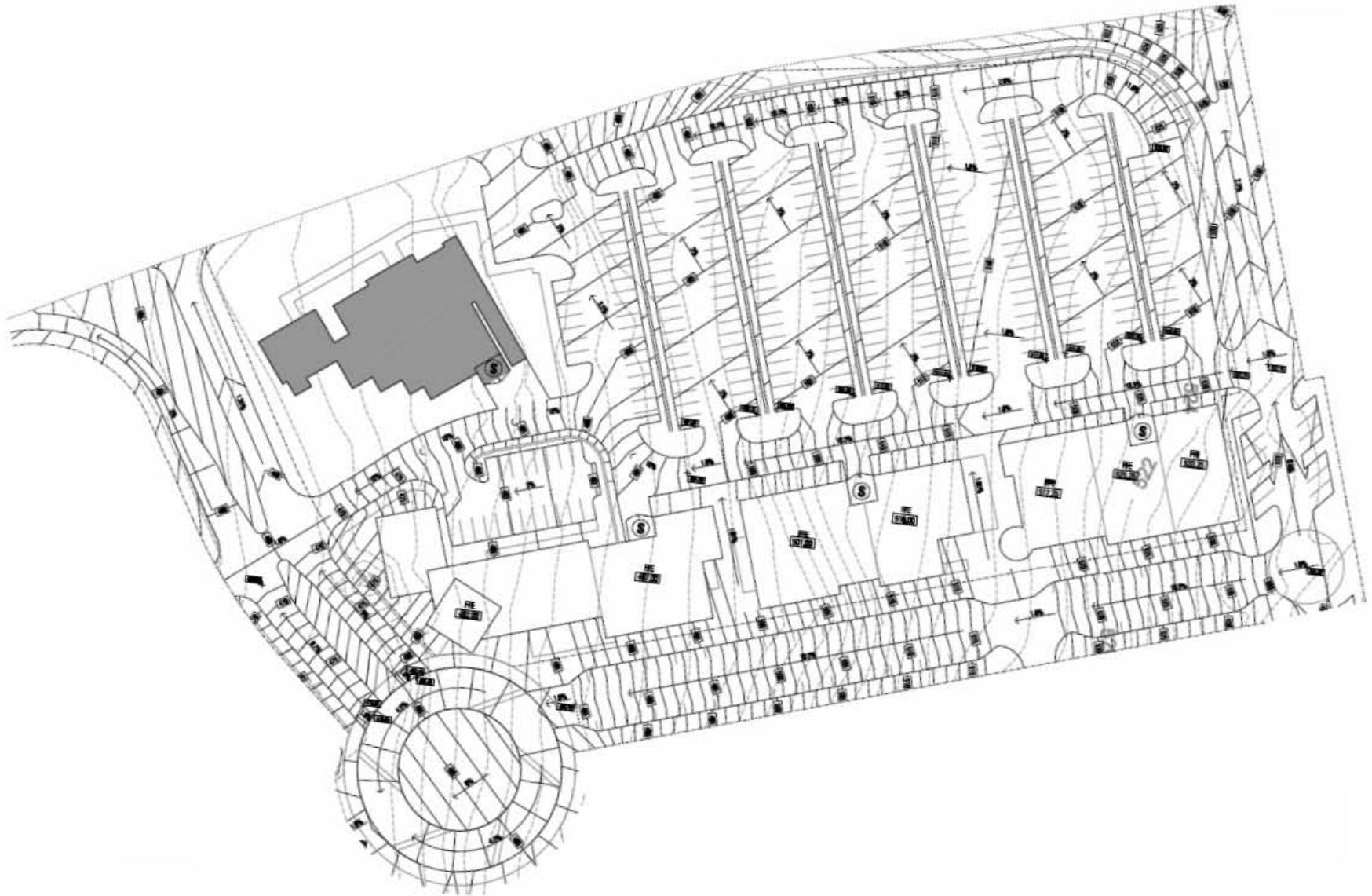
##### Pedestrianways (Minimum number per block face)

Street Type D	2
---------------	---



**Exhibit E-4** (Page 2 of 2)  
**Hillside Subdistrict**

**HILLSIDE SUBDISTRICT**  
**GRADING PLAN**





## Exhibit E-5 (Page 1 of 2)

### Hillside Mixed-Use Subdistrict

## SUBDISTRICTS

### HILLSIDE MIXED-USE SUBDISTRICT

The primary intent of the Hillside Mixed-Use subdistrict is to provide a mix of retail and residential uses along the main pedestrian and vehicular corridor within the district. A high quantity of residential units within this subdistrict will contribute to the overall density of the district. Existing slopes within this subdistrict are in the 8% - 12% range.

#### Building Placement

##### Build-to-line (Distance from R.O.W. line)

Street Type D	3'
Street Type K	7.5'
Street Type E	4'
Street Type F	7'

##### Setback (Distance from R.O.W. line)

Summer Lee Drive	5'
Street Type B	5'

##### Building Form

Each block face must have a minimum of 85% of its length defined by a building façade.

Street Type D façade built to BTL	45%	min.
Street Type K façade built to BTL	45%	min.
Street Type E façade built to BTL	45%	min.
Street Type F façade built to BTL	45%	min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage	80%
----------------------	-----

##### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

#### Use

##### Ground Floor

Retail  
Restaurant  
Residential

##### Upper Floors

Residential  
Office

#### Height

	stories / height
Maximum Building Height	5 / 75'
Minimum 1st floor commercial Height (with other uses above)	15'
Minimum 1 story commercial Height	25'

#### Encroachments

##### Location

Street Type D	5'
Street Type K	5'
Street Type E	5'
Street Type F	5'
Summer Lee Drive	5'
Street Type B	5'

##### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

#### Parking

##### Surface Parking Setback (Distance from R.O.W. line)

Street Type D	10'
Street Type K	10'
Street Type E	10'
Street Type F	10'
Street Type B	10'
Summer Lee Drive	15'

##### Surface Parking Lots

A maximum of 20% of the total parking for this subdistrict may be surface parking.

##### Driveways (Maximum number per block face)

Street Type D	1
Street Type K, B	1
Street Type E	1
Street Type E, B	2
Street Type F, B	1
Summer Lee Drive	2

##### Pedestrianways / Mews (Minimum number per block face)

Street Type D	1
Street Type K, B	1
Street Type E	1
Street Type E, B	2

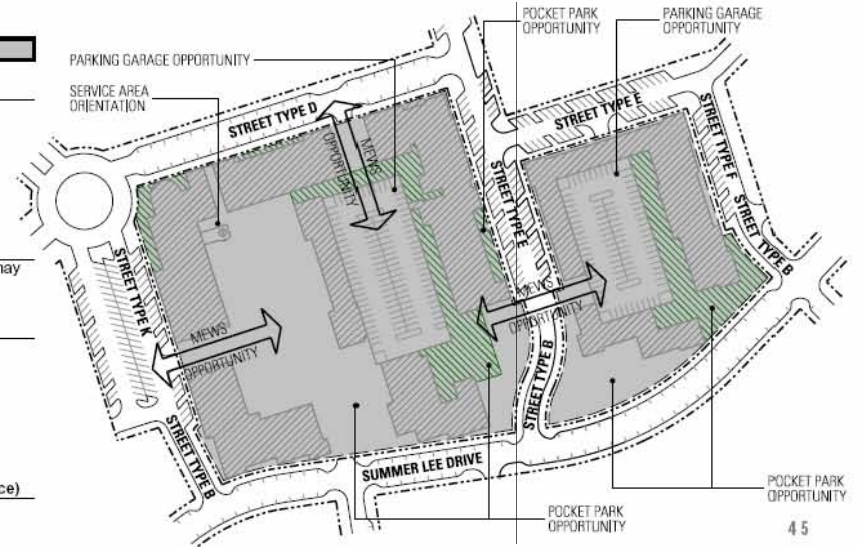
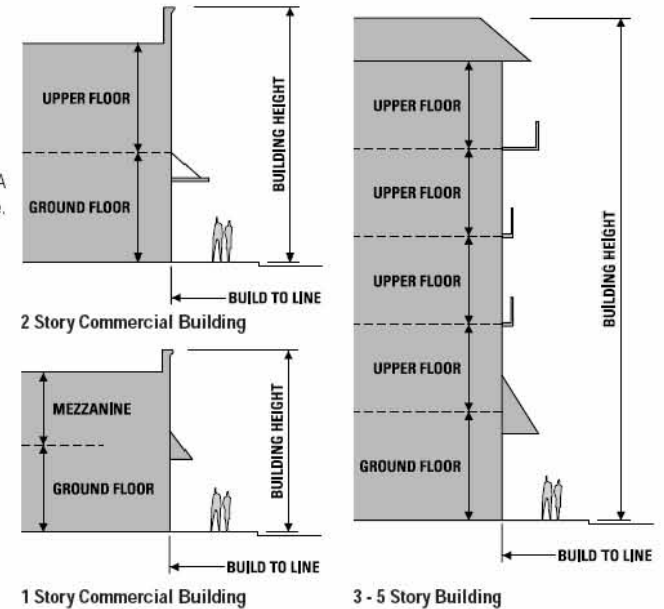
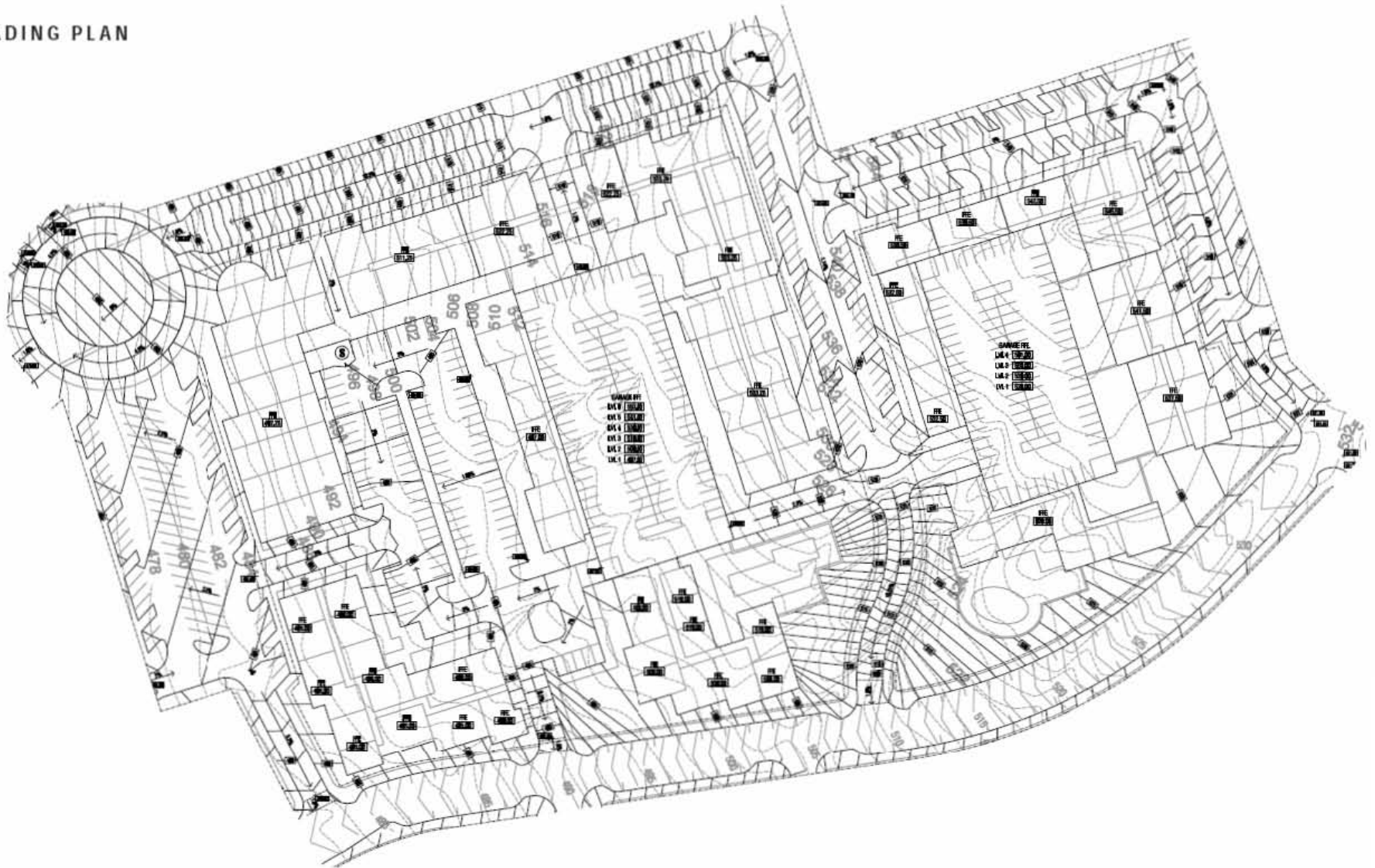


Exhibit E-5 (Page 2 of 2)  
Hillside Mixed-Use Subdistrict

HILLSIDE MIXED-USE SUBDISTRICT  
GRADING PLAN





## Exhibit E-6 (Page 1 of 2) Summit Office Subdistrict

### SUMMIT OFFICE SUBDISTRICT

The primary intent of the Summit Office subdistrict is to capitalize on the superior views of Lake Ray Hubbard by providing mid-rise office buildings. Key characteristics of this subdistrict include good visibility and ease of access from Interstate 30 and Horizon Road. Existing slopes within this subdistrict are in the 8% - 12% range. Significant massing of existing trees are also present within this subdistrict which should be preserved where possible.

#### Building Placement

##### Build-to-line (Distance from R.O.W. line)

Street Type E	25'
Street Type B	10'

##### Setback (Distance from R.O.W. line)

I-30 Frontage Road	50'
Horizon Road	150'
Street Type B	5'

#### Building Form

Street Type E (I-30 connection) block face must have a minimum of 80% of its length defined by a building façade.

Street Type E (Horizon connection) block face must have a minimum of 20% of its length defined by a building façade.

Street Type E (I-30 connection) façade built to BTL	45%	min.
Street Type E (Horizon connection) façade built to BTL	45%	min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage	60%
----------------------	-----

#### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

#### Use

##### Ground Floor

(as support only)	Office
(as support only)	Retail
(as support only)	Restaurant

##### Upper Floors

Office

#### Height

	stories / height
Maximum Building Height	8 / 120'
Maximum Mechanical Screen Height	20'

#### Encroachments

##### Location

Street Type E	5'
I-30 Frontage Road	5'
Horizon Road	5'
Street Type B	5'

#### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

#### Parking

##### Surface Parking Setback (Distance from R.O.W. line)

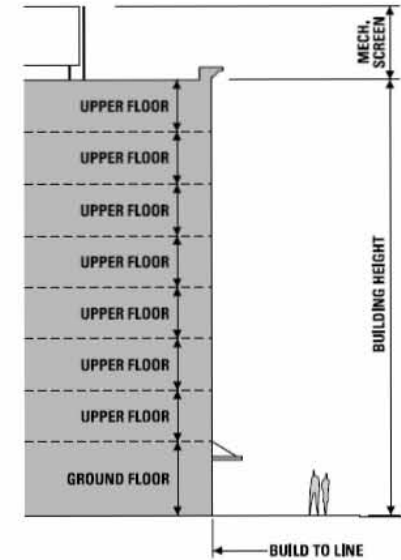
Street Type E	10'
Street Type B	10'
I-30 Frontage Road	20'
Horizon Road	30'

##### Surface Parking Lots

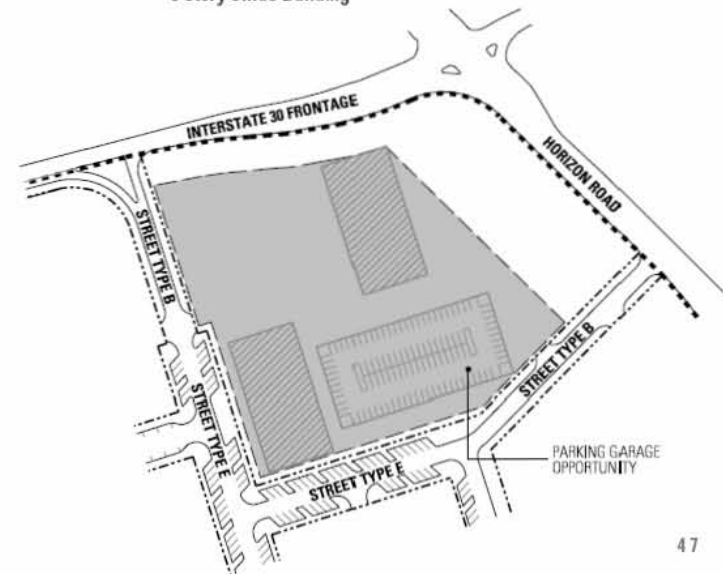
A maximum of 20% of the total parking for this subdistrict may be surface parking.

##### Driveways (Maximum number per block face)

Street Type E, B (Horizon connection)	2
Street Type E, B (I-30 connection)	2
I-30 Frontage Road	0
Horizon Road	0



8 Story Office Building



**Exhibit E-6 (Page 2 of 2)**  
**Summit Office Subdistrict**

**S U M M I T   O F F I C E   S U B D I S T R I C T**  
**G R A D I N G   P L A N**



## Exhibit E-7 (Page 1 of 2)

### Horizon / Summer Lee Subdistrict

#### H O R I Z O N / S U M M E R L E E S U B D I S T R I C T

The primary intent of the Horizon / Summer Lee subdistrict is to provide development that will serve as a gateway into the Harbor District. Mid-rise office buildings will capitalize on superior views of Lake Ray Hubbard. Existing slopes within this subdistrict are in the 6% - 15% range. Significant massing of existing trees within a natural drainage corridor are also present within this subdistrict which should be preserved where possible.

##### Building Placement

###### Build-to-line (Distance from R.O.W. line)

Summer Lee Drive	30'
------------------	-----

###### Setback (Distance from R.O.W. line)

Horizon Road	40'
Street Type F	50'
Street Type B	30'
Street Type G	50'

##### Building Form

Summer Lee Dr block face must have a minimum of 50% of its length defined by a building façade.

Summer Lee Dr façade built to BTL 45% min.

Remaining façade must be no less than 2' and no greater than 12' from the BTL.

Maximum Lot Coverage 60%

##### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

##### Use

###### Ground Floor

(as support only)	Office
(as support only)	Retail
(as support only)	Restaurant

###### Upper Floors

Office

##### Height

	stories / height
Maximum Building Height	8 / 120'
Maximum Mechanical Screen Height	20'

##### Encroachments

###### Location

Summer Lee Drive	5'
Horizon Road	5'
Street Type F	5'
Street Type B	5'
Street Type G	5'

##### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

##### Parking

###### Surface Parking Setback (Distance from R.O.W. line)

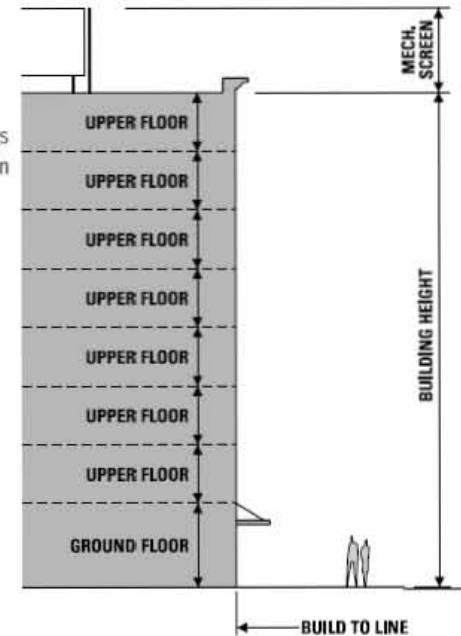
Street Type F	10'
Street Type B	10'
Street Type G	10'
Summer Lee Drive	30'
Horizon Road	30'

###### Surface Parking Lots

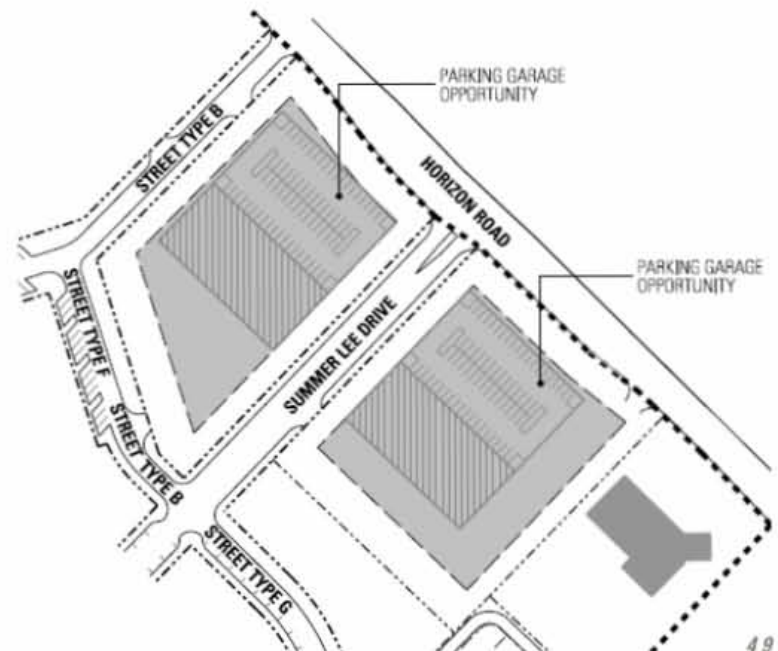
A maximum of 20% of the total parking for this subdistrict may be surface parking.

###### Driveways (Maximum number per block face)

Street Type F, B	1
Street Type B	1
Street Type G	0
Summer Lee Drive	2
Horizon Road	0

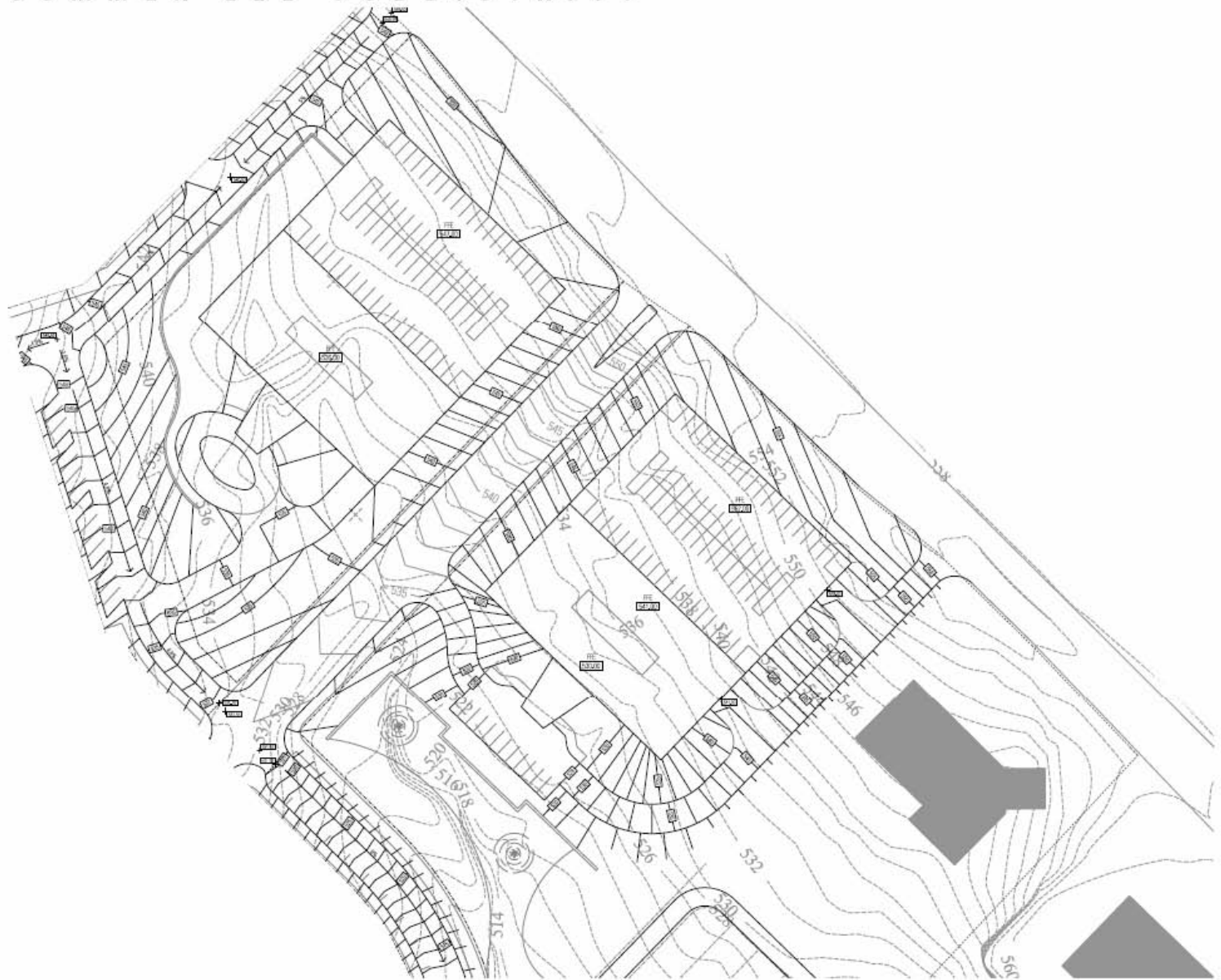


8 Story Office Building



**Exhibit E-7 (Page 2 of 2)**  
**Horizon / Summer Lee Subdistrict**

***H O R I Z O N / S U M M E R L E E S U B D I S T R I C T***  
***GRADING PLAN***



## Exhibit E-8 (Page 1 of 2)

### Interior Subdistrict

#### INTERIOR SUBDISTRICT

The primary intent of the Interior subdistrict is to provide an area that can function as either office, residential, or senior living use. Key characteristics of this subdistrict include good views of Lake Ray Hubbard and adjacency to open space. Existing slopes within this subdistrict are in the 6% - 10% range. Significant massing of existing trees are also present within this subdistrict which should be preserved where possible.

##### Building Placement

###### Setback (Distance from R.O.W. line)

Summer Lee Drive	20'
Street Type G	5' minimum, 20' minimum average

###### Building Form

Each building must have a minimum of 30% of the length of its façade fronting Summer Lee Dr located on the 20' setback line.

Maximum Lot Coverage	60%
----------------------	-----

###### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

##### Use

###### Ground Floor

Residential  
Office  
Senior Living

###### Upper Floors

Residential  
Office  
Senior Living

##### Height

	stories / height
Maximum Building Height	5 / 75'
Minimum 1st floor commercial Height (with other uses above)	15'

##### Encroachments

###### Location

Summer Lee Drive	5'
Street Type G	5'

###### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the BTL as shown in the table above.

##### Parking

###### Surface Parking Setback (Distance from R.O.W. line)

Street Type G	10'
Summer Lee Drive	15'

###### Surface Parking Lots

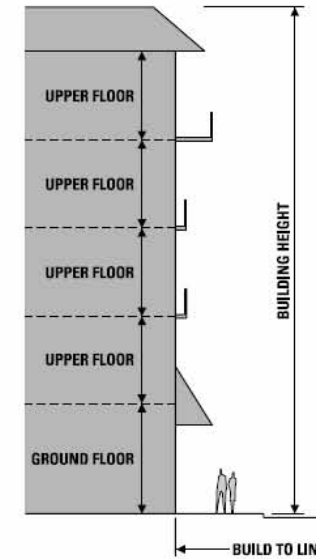
A maximum of 10% of the total parking for this subdistrict may be surface parking.

###### Driveways (Maximum number per block face)

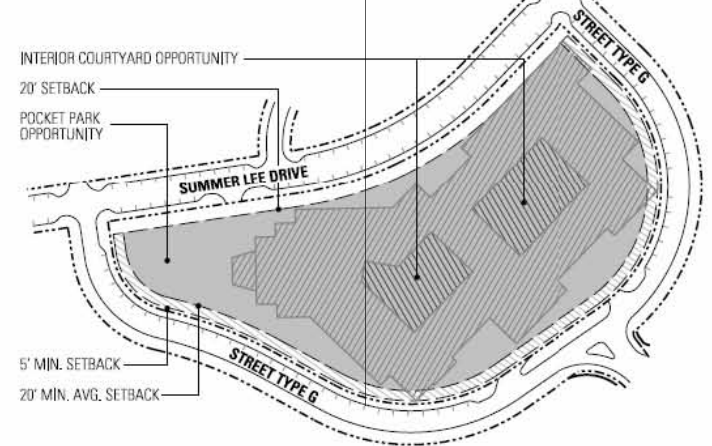
Street Type G	3
Summer Lee Drive	2

###### Pedestrianways (Minimum number per block face)

Street Type G	1
Summer Lee Drive	1

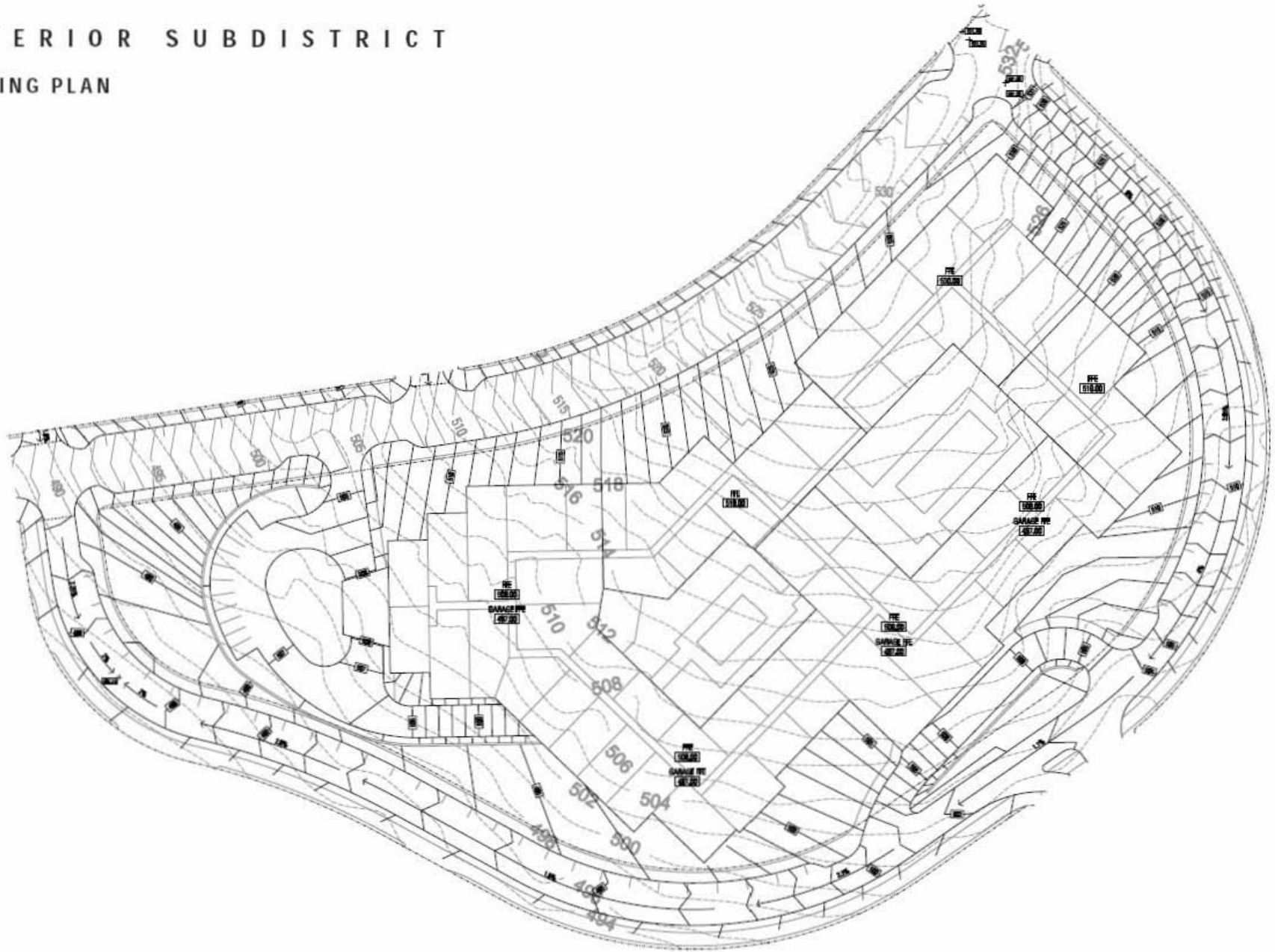


3 - 5 Story Building



**Exhibit E-8 (Page 2 of 2)**  
**Interior Subdistrict**

**INTERIOR SUBDISTRICT**  
**GRADING PLAN**





## Exhibit E-9 (Page 1 of 6) Residential Subdistrict

### RESIDENTIAL SUBDISTRICT

The Residential subdistrict is reserved for zero lot line single family residential housing. A lower volume of traffic in this area of the Harbor District make this subdistrict ideal for single family use. Key characteristics of this subdistrict include adjacency to open space and steep slopes which offer views of the surrounding area. Existing slopes within this subdistrict are in the 6% - 16% range. This subdistrict is predominately vegetated by massing of existing trees which should be preserved when possible.

#### Building Placement

##### Build-to-line (Distance from R.O.W. line)

Street Type M	10'
---------------	-----

##### Setback (Distance from R.O.W. line)

Street Type N	5'
Side	8'
Zero Lot Line	0'

A minimum of 50% of the boundary with the Open Space Subdistrict along street type G must be a public street (type M).

#### Building Form

Street Type M façade built to BTL	65%	min.
-----------------------------------	-----	------

Maximum Lot Coverage	61%
----------------------	-----

Minimum Lot Size	30' x 90'
------------------	-----------

#### Notes

#### Use

##### Ground Floor

Residential

##### Upper Floors

Residential

#### Height

	stories / height
Maximum Building Height	3 / 36'

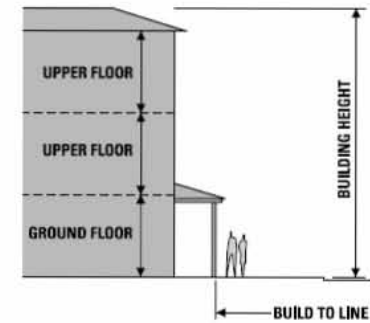
#### Encroachments

##### Location

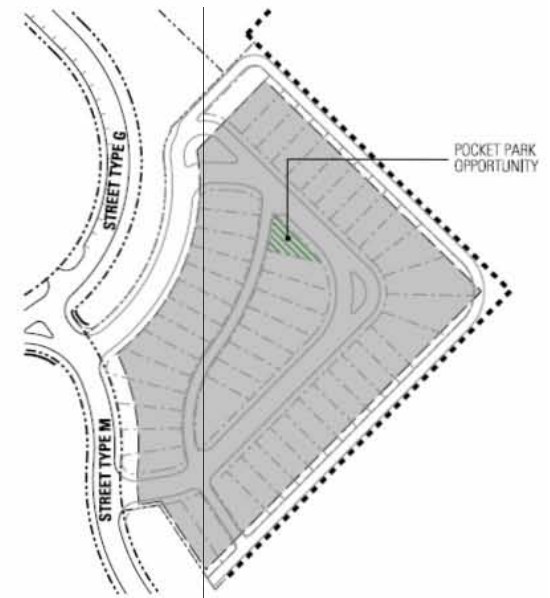
Front	5'
-------	----

#### Notes

Steps, stoops, and roof overhangs may encroach over the BTL as shown in the table above.



3 Story S.F. Residential





## Exhibit E-9 (Page 2 of 6) Residential Subdistrict

### RESIDENTIAL SUBDISTRICT

#### FLOOR PLAN/ELEVATION REPETITION

To avoid repetition and a monotonous look to the subdistrict environment, the following guidelines apply regarding the repetition of floor plans and elevations:

##### Case 1

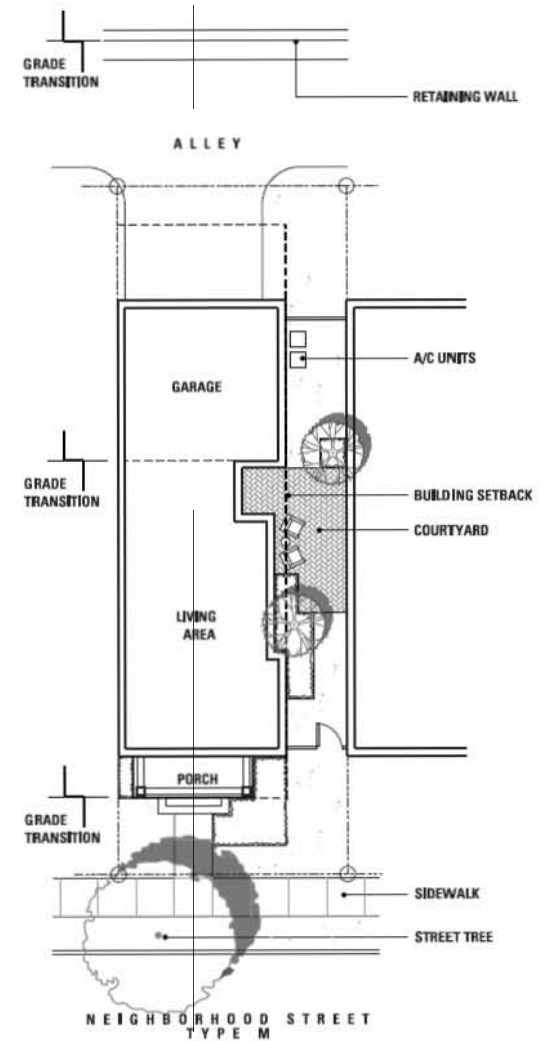
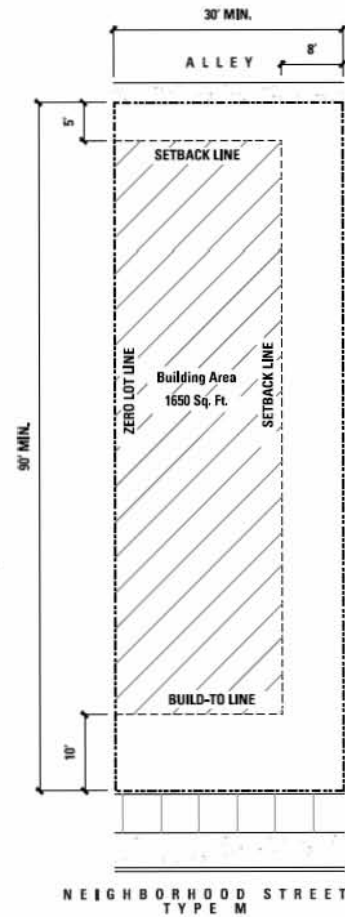
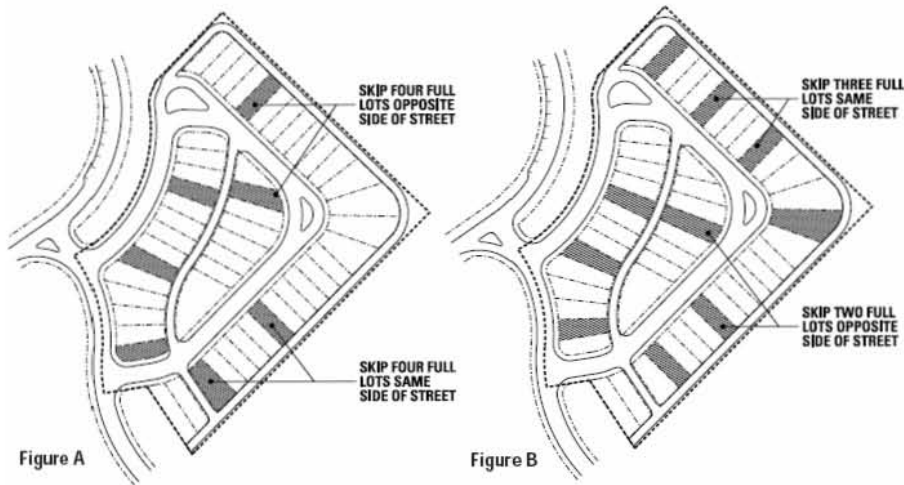
When building a house having the **same floor plan** and the **same elevation**, whether on the **same or opposite side** of the street, four (4) full lots must be skipped. Different paint color must be used. See Figure A.

##### Case 2

When building a house having the **same floor plan** and a **different elevation** on the **same side** of the street, three (3) full lots must be skipped. Different paint color must be used. See Figure B.

##### Case 3

When building a house having the **same floor plan** and a **different elevation** on the **opposite side** of the street, two (2) full lots must be skipped. Different paint color must be used. See Figure B.



## Exhibit E-9 (Page 3 of 6) Residential Subdistrict

### R E S I D E N T I A L   S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Site Layout, Grading and Drainage

1. Runoff onto adjacent properties is prohibited.
4. Finished floor elevations shall be set in order to provide positive drainage away from all buildings.
5. Create smooth slope transitions, blending with natural grades, with maximum slopes in lawn areas being 4:1.
6. Do not run drainage swales from planting areas across paved areas.

##### Landscape Structures

1. Basketball goals, play structures, swing sets and similar elements may only be located in side or rear yards.
2. All vertical construction including garages, gazebos, arbors, barbeques and fireplaces must comply with front, side and rear setbacks.
3. Use materials, forms, styles and colors which match or are complementary to the architectural style and detailing of the house.

##### Pools and Water Features

1. Swimming pools, spas and water features must comply with front, side and rear setbacks. Above grade pools or spas are not permitted.
2. Fencing or design solutions which provide enclosures in accordance with local ordinances and regulations must be provided.
3. Mechanical equipment for pools and spas must be located so as to not be visible from adjacent properties or the street. Locate or enclose equipment to minimize noise intrusion.

##### Lighting, Utilities and Service

1. Exterior ornamental and accent lighting may be used in moderation to complement landscape and architectural features. Light fixtures shall have appropriate light cutoff shields to prevent unwanted glare to neighboring properties and streets.

2. Post mounted light fixtures and bollard lighting are not permitted. Pathway lighting may be used, limited to 18 inches in height.
3. Colored, fluorescent and neon lighting is prohibited. Obtrusive HID security lighting fixtures are prohibited.
4. Exposed exterior floodlights or wall packs are not permitted.
5. All site utilities shall be underground. Transformers, meters and other utility equipment shall be screened by planting or by architectural means. Avoid clipped hedges around utility boxes.

##### Irrigation Design

1. Irrigation is required for all home sites and shall be an automatic, underground system with rain and freeze sensors.
2. Design irrigation systems to separately circuit irrigation zones for plant materials having different watering requirements, such as lawns and shrubs.
3. Prevent overspray onto streets, pedestrian walks, driveways and buildings.

##### Driveways

1. Driveways shall be paved with concrete, pavers, or integrally colored concrete with charcoal grey color. Chemical staining enhancements are not permitted. Driveways may not be painted with an opaque coating.

##### Garages

1. Garages must be rear loaded from an alley.
2. All garages must hold a minimum of one and a maximum of two cars. Guest parking spaces shall be on street.

##### Building Massing

1. The house footprint shall be composed of squares and rectangles placed at right angles to one another. The geometry of each of these shapes shall be uninterrupted by adjacent shapes.

2. All building footprints shall be at right angles to the property lines. Compose house forms to create exterior space.
3. Massing may be either symmetrical or asymmetrical. The dominant architectural mass shall be located near the center of the composition.

##### Roofs

1. The individual shapes which compose the house footprint shall each be roofed by a symmetrical gable, hip, or a simple roof form.
2. The geometry of each roof form shall be uninterrupted by adjacent roof forms. Valleys are discouraged, except for dormers.

##### Wall Materials

1. Exterior wall materials shall be any of the following:
  - A. Fiber cement board siding and shingles, primed and painted, "Hardie" type boards. Siding shall be installed horizontally only, lapped clap board style with narrow lap exposures preferred over wide exposures.
  - B. Portland cement stucco with integral color
  - C. Brick masonry
  - D. Stone masonry
  - E. Cast stone masonry
  - F. Fireplace masses and chimneys shall be clad in noncombustible materials to match exterior house materials.
  - G. Aluminum, masonite, and vinyl siding are not permitted.
2. Exterior wall materials may change at a vertical line which delineates a change in building form, or along horizontal lines.

##### Exterior Finishes

1. All wood and composite surfaces shall be finished with paint, applied over an appropriate primer. Opaque and semi-opaque stain may be used.

##### Trim

1. All trim, where used, shall be cement fiber board, cedar, or quality wood products. Trim shall be a minimum 3/4" thick with flat surfaces. Built up assemblies, shaped profiles, and ornamental embellishments are to be avoided.

## Exhibit E-9 (Page 4 of 6)

### Residential Subdistrict

## R E S I D E N T I A L   S U B D I S T R I C T

### ARCHITECTURAL GUIDELINES

#### Doors

1. All exterior doors shall be wood or metal, hinged, of rail and stile construction, with 1 to 6 panels. Dormers above doors are encouraged. Panels shall be glazed or flat wood (not raised panels). Doors shall be painted.
2. Exterior doors shall be swing type, of solid wood or wood veneer, and shall be painted, or clad in pre-finished metal.

#### Screen Doors

1. Screen doors are allowed. Screen doors shall be of wood rail and stile construction, with 1 to 6 panels. All panels shall be screened. Screen doors shall be painted.
2. Storm doors are not permitted at the front door but are allowed at side and rear doors.

#### Garage Doors

1. Garage doors shall be overhead roll-up construction with horizontal insulated metal panels.
2. Garages may have maximum 18 foot wide doors.

#### Exterior Door Hardware

1. Oversize or overly ornamented door hardware or escutcheon trim plates are not permitted on the front door.

#### Windows

1. Windows shall be casements, awnings, or double or single hung. Each window shall be glazed by a single panel of insulated glass, or may be divided into no more than 4 panels. Fake mullions are discouraged.
2. Windows may be of wood, thermally broken aluminum or aluminum-clad wood construction. Vinyl or vinyl-clad construction is not permitted.
3. All operable windows shall be equipped with insect screens.

4. Bay windows shall be glazed a minimum of 80% of their width.

#### Exterior Window Shutters

1. Window shutters are permitted provided they are proportioned to fully cover the windows they would protect. Shutters may be wood or synthetic.

#### Awnings

1. Window awnings are not permitted, with the exception of shutter awnings.

#### Glazing

1. Window and door glazing shall be clear, insulated, double-pane, low-emissivity glass. Applied window films are not permitted.

#### Roofs

1. Roofs may be covered in composite asphalt shingles. Composition shingles must be minimum 25 year dimensional, laminated type. Flat, 3-tab shingles will not be permitted. An example of approved roof shingle type is Tamko "Heritage 30." Standing seam metal roofing and other metal roof types may be used.
2. All roof penetrations, other than chimneys, shall be grouped as far from frontages as possible, shall not be visible from the street and shall be painted as needed to match roof. Skylights shall not be visible from the street.
3. All soffit venting shall be 2 inch continuous venting or perforated "Hardi soffit" panels. No box vents shall be used. No vinyl material may be used.
4. Dormers shall be appropriately proportioned, hip or gable, with a minimum 6/12 pitch. They shall be glazed a minimum of 90% of their face and must be open to the interior roof area beyond.
5. Roof ventilation dormers are permitted only on the side and rear elevations and must be vented a minimum of 90% of their face.
6. Dormers shall have minimum overhangs and eaves. Stucco or "Hardi" Siding or Panels are recommended in dormer gables.

7. All exposed metal flashing shall be unpainted galvalume, paint-grip or galvanized steel.

8. Roof attic vents shall be continuous ridge vents such as "Cool Ridge." Powered attic vents are not allowed. Turbine vents may be allowed by variance, but must not be visible from the street.

9. Satellite dishes and roof antennae shall not be visible from the street.

#### Chimneys

1. All chimneys must be fitted with a galvanized metal chimney cap with a 'roof' that is the same size and shape as the chimney it covers. The roof form may be flat or hipped.
2. The chimney cap must include metal mesh, screen or grid to prevent animals from entering the chimney. Acceptable products include the series of black galvanized chimney caps by Gelco.
3. Acceptable finishes are natural 'paint-grip' galvanized or painted galvanized.

#### Rain Gutters

1. Rain gutters and downspouts may be of any profile compatible with the style of the house and roof. Gutters and downspouts shall be located in a way as to not draw attention to themselves.
2. Gutters and downspouts shall be unpainted galvalume, "paint-grip" steel or zinc finishes, although prefinished metal finishes may be permitted.
3. Downspouts shall terminate at splash blocks, gravel, brick or concrete.

#### Paint

1. All exterior finish coat paint shall be acrylic latex or latex enamel.

## Exhibit E-9 (Page 5 of 6) Residential Subdistrict

### R E S I D E N T I A L   S U B D I S T R I C T

#### ARCHITECTURAL GUIDELINES

##### Porch Construction

1. Porch columns shall be wood posts, minimum 6 x 6, painted and free of ornamentation.
2. Porches shall have wood railings. Railing details must be included with plan submissions for approval.
3. Porch floors shall be concrete, stone or brick. Porch construction shall be concrete slab foundation, built as part of the house.
4. Porches and covered balconies may be screened at the rear of the homes only.

##### Elements Not Permitted

The following list of elements are not permitted in the development:

Window A/C units  
Exterior fluorescent lighting  
Solar powered landscape lighting  
Soffit/cornice lighting visible from a public way  
Skylights visible from a public way  
Antennas or satellite dishes greater than 18" dia.  
Decorative flags - properly displayed American flags are allowed  
Concrete statuary visible from public way  
Plastic furniture or artificial plants visible from a public way  
Asphalt or gravel drives



Architectural Detail Character



Residential Street Edge Condition



Residential Street Character



Residential Street Edge Condition

**Exhibit E-9** (Page 6 of 6)  
**Residential Subdistrict**

**R E S I D E N T I A L   S U B D I S T R I C T**  
**G R A D I N G   P L A N**





## Exhibit E-10 (Page 1 of 1)

### Ridge Road Retail Subdistrict

#### R I D G E   R O A D   R E T A I L   S U B D I S T R I C T

The intent of the Ridge Road Retail subdistrict is to provide retail or restaurant use with Ridge Rd frontage. Key characteristics of this subdistrict include high visibility and frontage on Ridge Road. Existing slopes within this subdistrict are in the 3% - 16% range. This subdistrict contains massing of existing trees which should be preserved when possible.

##### Building Placement

###### Setback (Distance from R.O.W. line)

Street Type M	10'
Side	5'
Rear	25'
Ridge Road Frontage	15'

###### Building Form

Maximum Lot Coverage	40%
----------------------	-----

###### Notes

When an abutting property with an existing building has windows facing to the side, any new building shall provide at least 10 feet of separation.

##### Use

###### Ground Floor

Retail / Restaurant  
Office

##### Height

	stories / height
Maximum Building Height *	1 / 35'
Minimum 1 story commercial Height	20'

##### Encroachments

###### Location

Street Type M	5'
Side	5'
Rear	5'
Ridge Road Frontage	5'

###### Notes

Canopies, awnings, balconies, and roof overhangs may encroach over the setback as shown in the table above.

##### Parking

###### Surface Parking Setback (Distance from R.O.W. line)

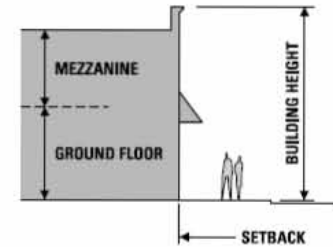
Street Type M	10'
Side	5'
Rear	10'
Ridge Road Frontage	10'

###### Surface Parking Lots

All parking for this subdistrict shall be surface parking.

###### Driveways (Maximum number per block face)

Street Type M	2
Side	1
Rear	0
Ridge Road Frontage	1



1 Story Commercial Building

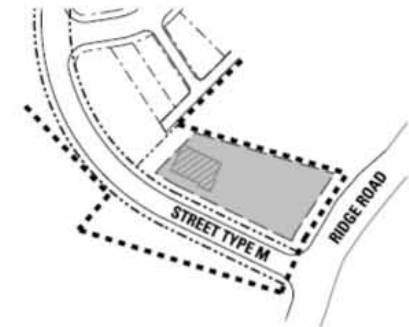


Exhibit F-1  
Parking Lot Requirements

P A R K I N G   L O T S

Orientation and Design of Parking Lots

1. Parking lot location and design shall minimize conflicts between vehicular and pedestrian circulation. Drive aisles may be oriented either parallel or perpendicular to the face of building. Where drive aisles are parallel to the face of building, provide islands in the parking lots with pedestrian walks linking the parking lot to the main building entry.
2. To the maximum extent practicable, off-street parking spaces must be located within buildings or behind buildings so that buildings can screen parking areas from public streets.
3. Parking lot layout shall minimize impact to the site conditions.
4. Parking lot grades may not exceed 3% slope. All accessible parking spaces and aisles must not exceed 2% slope in any direction. Slope transition driveways linking cells of parking may have transition slopes no greater than 12%.

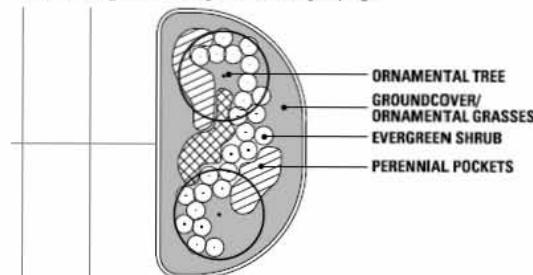
Parking Spaces Required by Use

1. Parking spaces must be provided for each parcel according to the following table:

Restaurant	1/100 sf
Retail	1/250 sf
Office	1/300 sf
Medical Office	1/200 sf
Residential	1.5 / unit
Senior Living	1 / unit
2. An additional 500 parking spaces must be provided within the Harbor District to serve as overflow parking for the existing Harbor development. The additional spaces must be in excess of the parking required by this code and may be provided as surface or structured parking. Allocation of the additional 500 parking spaces must be divided between the Harbor Residential, Harbor Link Mixed-Use, and Hillside Mixed-Use subdistricts, with each of these subdistricts providing a minimum of 167 spaces towards the additional 500. Additionally, on street parking will be provided along portions of Summer Lee Dr within the Harbor District.
3. Joint use parking adjustments may be allowed according to Article VI 'Parking and Loading', Section 3 'General Provisions', subsection 3.3, B of the City of Rockwall Unified Development Code (Zoning Ordinance).

Landscaping Requirements

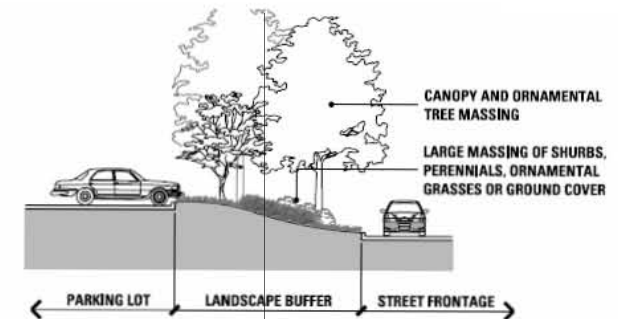
1. One 3" caliper 65 gallon canopy tree must be provided for every 8 surface parking spaces provided. Canopy trees may be provided in 5' x 5' diamond planters or in island planters.
2. Island planters provided on ends of a parking row shall consist of a mix of ornamental trees with shrub, perennial, ornamental grass, or ground cover. The plant palette shall consist of Desert Willow, Soft Leaf Yucca, Red Yucca, Autum Sage, Texas Sage, Gulf Muhly, Lindheimer Muhly, Weeping Love Grass or similar plant material.
3. Parking areas adjacent to public streets shall have a landscape buffer consisting of a mix of canopy and ornamental trees and shrub, perennial, and/or ornamental grasses arranged in natural groupings.



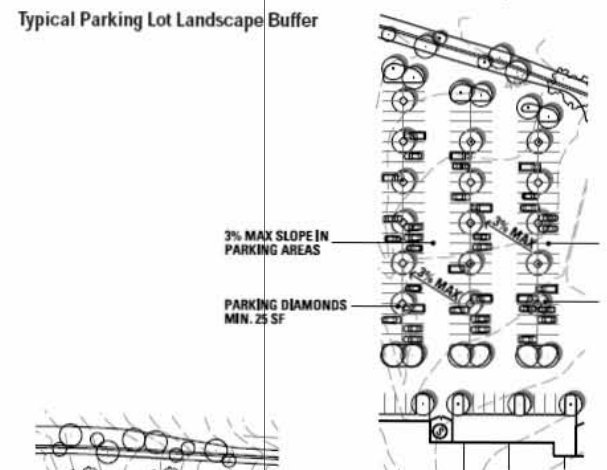
Typical Parking Lot Island Planting Plan



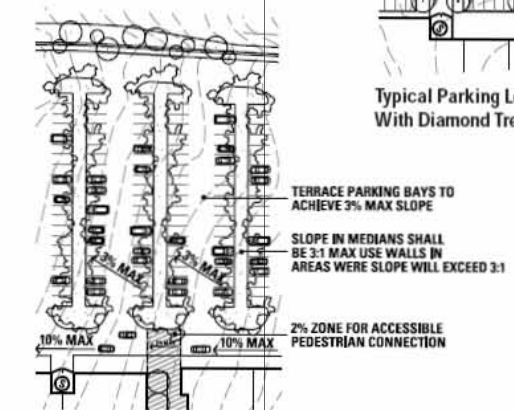
Example of Parking Lot Island Planting



Typical Parking Lot Landscape Buffer



Typical Parking Lot With Diamond Tree Planters



Typical Parking Lot On Steep Slope With Terraced Parking Bays



Exhibit F-2  
Retaining Wall Requirements

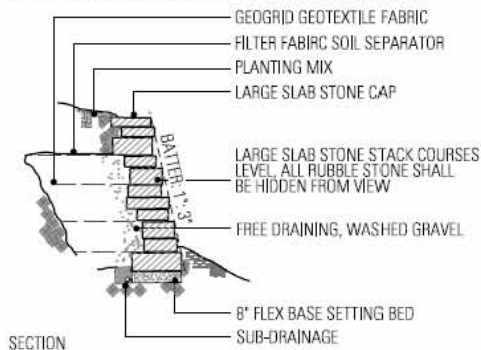
R E T A I N I N G   W A L L S

Retaining walls must be one of the following types: stone slab retaining wall, brick or stone veneer on concrete retaining wall, architecturally finished concrete retaining wall. Retaining walls must step with grade, the tops of retaining walls may not be sloped. Retaining wall drainage may not daylight through face of wall via weeps, tie all retaining wall subdrainage to storm drain lines.

TYPE 1

Stone Slab Gravity Retaining Wall

Stone material shall be leuders limestone comprised of alternating coursing of the following:  
- 8" thick x 2'-3' width x 4'-8' random lengths  
- 10" -12" thick x 2'-3' width x 4'-8' random lengths  
All stone material shall have a natural stone finish on exposed surfaces and edges. all stone shall be set plumb and level. staggering of each course should vary to create significant relief across the face of the wall.



Stone Slab Retaining Wall Detail



Stone Slab Retaining Wall

TYPE 2

Brick or Stone Veneer on Concrete Retaining Wall

Brick or stone veneer must be compatible with adjacent architectural style. Use local stone materials.



Brick Veneer Retaining Wall



Stone Veneer Retaining Wall

TYPE 3

Architecturally Finished Concrete Retaining Wall

Concrete retaining walls shall be form finish with exposed tie-backs or board form finish. Rubbed finish concrete walls are not permitted.



Form Finished Concrete Retaining Wall With Exposed Tie-Back Pattern



Board Form Finished Concrete Retaining Wall

**CITY OF ROCKWALL**

**ORDINANCE NO. 11-16**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL AND (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT (ORDINANCE NO. 10-21), SO AS TO APPROVE A DEVELOPMENT PLAN ON APPROXIMATELY 3.945-ACRES AND MORE SPECIFICALLY DESCRIBED HEREIN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, approval of a PD Development Plan within (PD-32) Planned Development No. 32 district has been requested by Russell Phillips of Harbor Heights Investors, LP, for a 3.945-acre tract of land situated along the south side of the IH-30 service road west of Horizon Road and more specifically described herein as Exhibit "A"; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code (Ord. No. 04-38) of the City of Rockwall, Texas, as heretofore amended, and (PD-32) Planned Development No. 32 district (Ord. No. 10-21), be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to approve a PD Development Plan for a 3.945-acre tract within the "Summit Office" subdistrict within (PD-32), said tract being situated along the south side of the IH-30 service road west of Horizon Road and more specifically described herein as Exhibit "A"; and

**Section 2.** That the tract of land described in the attached Exhibit "A" shall be used only in the manner and for the purposes provided for in the Unified Development Code (Ord. No. 04-38) of the City of Rockwall and (PD-32) Planned Development No. 32 district (Ord. No. 10-21), as heretofore amended, and subject to the following additional conditions and requirements:

1. Future submittal and approval of detailed PD Site Plan for review, which shall indicate compliance with all applicable standards of the PD-32 district with the following exceptions:
  - a. Restaurant/retail use shall be allowed on the top floor of the proposed office tower and on the pad site indicated on the approved Development Plan attached hereto as Exhibit "B."

- b. A drive-through shall be permissible in conjunction with a financial institution, but shall strictly adhere to the approved Development Plan attached hereto as Exhibit "B."
  - c. All streets shall be designed and constructed in accordance to the streetscape requirements of Ordinance No. 10-21, as amended, except that the onstreet parking for "Street C" on the Development Plan shall be modified as shown on Exhibit "B." Other streetscape elements such as landscaping, sidewalks, lighting, etc shall be provided to the furthest extent possible for "Street C" in accordance with the adopted streetscape requirements, and as otherwise approved by the City of Rockwall.
- 2. Future submittal and approval of all required subdivision plats.
  - 3. All required parking for the additional restaurant/retail use(s) granted by approval of this PD Development Plan shall be met with the parking provided by this development (i.e. garage, surface, etc).
  - 4. Architectural design of all buildings within the Summit Office Subdistrict of the PD-32 district shall be subject to the Harbor District Design Guidelines as adopted by Resolution No. 10-40, Exhibit "A" and to architectural review as prescribed by the Unified Development Code.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 2<sup>nd</sup> day of May, 2011.**

William R. Cecil  
William R. Cecil, Mayor

**ATTEST:**

Kristy Ashberry  
Kristy Ashberry, City Secretary

**APPROVED AS TO FORM:**

Pete Eckert  
Pete Eckert, City Attorney

1<sup>st</sup> Reading: 04-18-11

2<sup>nd</sup> Reading: 05-02-11





## EXHIBIT "A"

Legal Description  
Z2011-007

**PART** of the M.J. Barksdale Survey, Abstract No. 11, embracing a portion of Hill Top Drive, a 30 feet wide platted right of way, Culpepper/Spatex Joint Venture recorded in Volume 209, Page 484, BB Asset Management recorded in Volume 2027, Page 322, City of Rockwall recorded in Volume 4324, Page 290, Rockwall Rental Properties, L.P. recorded in Volume 4710, Page 236, Faulkner Investment CO. LTD. Properties recorded in Volumes 1542, Page 296, Volume 1656, Page 83, Volume 4330, Page 108, of the Deed Records of Rockwall County Texas and being more particularly described as follows:

**BEGINNING** at a 1/2 inch iron rod found at the northeast corner of said Faulkner Investment CO. LTD. tract Volume 1656, Page 83 of said Deed Records and the southerly line of I.H. 30 (a variable width right-of-way);

**THENCE** South 42 degrees 49 minutes 03 seconds West, along the southeast line of said Faulkner Investment CO. LTD. tract Volume 1656, Page 83 and the northwest line of Lot 1 Block A, Christian Church Addition tract Cabinet A, Slide 217 Plat Records Rockwall County Texas, a distance of 116.07 feet to 1/2 inch iron rod found at the southwest corner of said Faulkner Investment CO. LTD. tract Volume 1656, Page 83 for corner;

**THENCE** South 44 degrees 02 minutes 50 seconds West, along the southerly line of said Faulkner Investment CO. LTD. tract Volume 1542, Page 296, a distance of 15.09 feet to a 1/2 inch iron rod found at the most northerly corner of said Faulkner Investment CO. LTD. tract Volume 4330, Page 108 for corner;

**THENCE** South 46 degrees 02 minutes 42 seconds East, along the northeast line of said Faulkner Investment CO. LTD. tract Volume 4330, Page 108 and the southwest line of Lot 1 Block A Christian Church Addition tract Cabinet A, Slide 217, a distance of 90.07 feet to a 1/2 inch iron rod found at the northeast corner of said Faulkner Investment CO. LTD. Tract Volume 4330, Page 108 and the northwest line of said Hill Top Drive for corner;

**THENCE** South 46 degrees 44 minutes 44 seconds East, along the northeast line of said Hill Top Drive, a distance of 46.79 feet to a 1/2 inch iron rod found at the southeast line of said Hill Top Drive and the northwest corner of said Culpepper/Spatex Joint Venture tract;

**THENCE** South 46 degrees 19 minutes 52 seconds East, along the northeast line of said Culpepper/Spatex Joint Venture tract, a distance of 57.97 feet to a 1/2 inch iron rod found at the northeast corner of said Culpepper/Spatex Joint Venture tract and the southeast corner of Lot 1 Block A Christian Church Addition tract Cabinet A, Slide 217

**THENCE** North 44 degrees 06 minutes 26 seconds East, along the southeast line of said Culpepper/Spatex Joint Venture tract, a distance of 69.90 feet to a 1/2 inch iron rod found at the beginning of a curve to the left having a radius of 120.00 feet, a central angle of 04 degrees 36 minutes 27 seconds, and a chord which bears North 59 degrees 51 minutes 34 seconds East, 9.65 feet;

**THENCE** along said curve to the left, an arc distance of 9.65 feet to a 1/2 inch iron rod found for corner;

**THENCE** South 45 degrees 21 minutes 12 seconds East, a distance of 162.85 feet to a 1/2 inch iron rod found for corner;

**THENCE** South 44 degrees 22 minutes 17 seconds West, a distance of 207.22 feet to a 1/2 inch iron rod found for corner;

**THENCE** South 45 degrees 10 minutes 59 seconds East, a distance of 24.49 feet to a point for corner;

**THENCE** South 72 degrees 44 minutes 07 seconds West, through the interior of the aforementioned City of

# EXHIBIT "A"

Legal Description

Z2011-007

Rockwall tract, a distance of 297.95 feet to a point for corner;

**THENCE** North 17 degrees 15 minutes 53 seconds West, a distance of 262.21 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

**THENCE** South 72 degrees 44 minutes 07 seconds West, a distance of 14.00 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

**THENCE** North 17 degrees 15 minutes 53 seconds West, through the interior of the aforementioned Rockwall Rental Properties L.P., a distance of 260.20 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found on the aforementioned southerly line of I.H. 30 for corner;

**THENCE** North 74 degrees 49 minutes 50 seconds East, along the northerly line of said Rockwall Rental Properties L.P., and the southerly line of I.H. 30 (a variable width right of way), a distance of 32.37 feet to a Wood Right of Way Monument found at the northwest corner of the aforementioned Faulkner Investment CO. LTD. tract Volume 1542, Page 296 for corner;

**THENCE** North 82 degrees 56 minutes 00 seconds East, continuing along the southerly line of I.H. 30 (a variable width right of way) and the northerly line of said Faulkner Investment CO. LTD. tract Volume 1542, Page 296, a distance of 238.63 feet to a 1/2 inch iron rod found at the northwest corner of said Faulkner Investment CO. LTD. tract Volume 1656, Page 83 for corner;

**THENCE** North 82 degrees 42 minutes 41 second East, continuing along the southerly line of I.H. 30 (a variable width right of way) and the northerly line of said Faulkner Investment CO. LTD. tract Volume 1656, Page 83, a distance of 88.82 feet to the **POINT OF BEGINNING** and containing 171,884 square feet or 3.945 acres of land. **SAVE AND EXCEPT THE FOLLOWING 1,151 SQUARE FEET PORTION OF THE FOREGOING PROPERTY:**

**PART** of the M.J. Barksdale Survey, Abstract No. 11, embracing a portion of Faulkner Investment CO. LTD. recorded in Volume 1542, Page 296, of the Deed Records of Rockwall County Texas and being more particularly described as follows:

**BEGINNING** at a Wood Right of Way Monument found at the northwest corner of the said Faulkner Investment CO. LTD. tract the northeast corner of Rockwall Rental Properties, L.P. recorded in Volume 4710, Page 236, and the southerly line of I.H. 30 (a variable width right-of-way);

**THENCE** North 82 degrees 56 minutes 19 seconds East, along the said southerly line of I.H. 30 (a variable width right-of-way) and the northerly line of said Faulkner Investment CO. LTD. tract, a distance of 7.75 feet to a 1/2 inch iron rod found for corner;

**THENCE** South 16 degrees 31 minutes 11 seconds East, departing the southerly line of said I.H. 30 (a variable width right-of-way), and the northerly line of the aforementioned Faulkner Investment CO. LTD. tract, a distance of 49.46 feet to a 1/2 inch iron rod found for corner;

**THENCE** South 73 degrees 25 minutes 30 seconds West, a distance of 36.01 feet to a 1/2 inch iron rod found lying on a southwest line of the aforementioned Faulkner Investment CO. LTD. tract and lying on a northeast line of the aforementioned Rockwall Rental Properties, L.P. tract for corner;

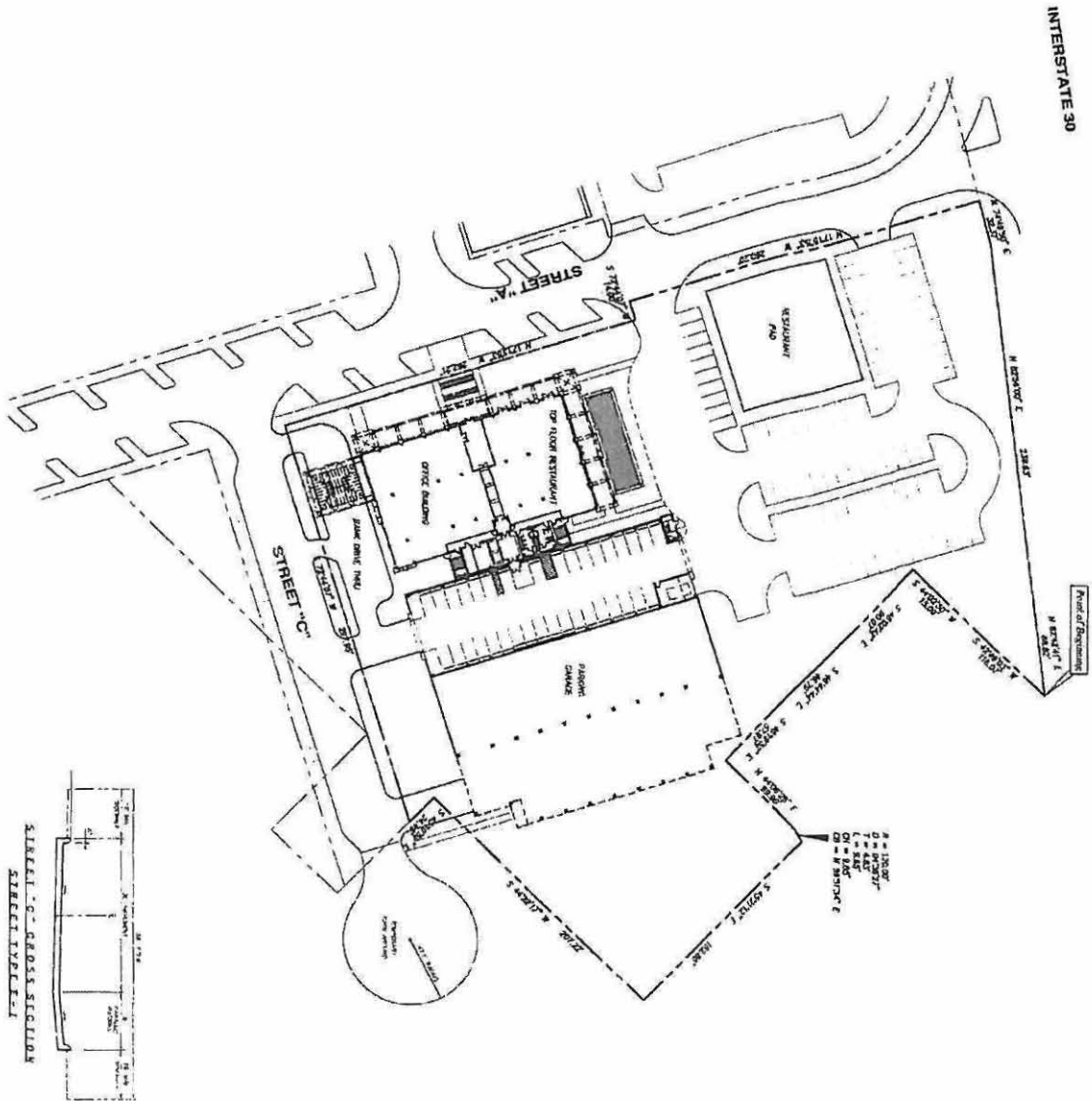
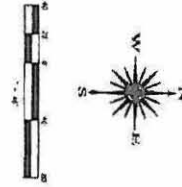
**THENCE** North 49 degrees 36 minutes 39 seconds West, along a common line of said Rockwall Rental Properties, L.P. and Faulkner Investment CO. LTD. a distance of 1.89 feet to a 1/2 inch iron rod found at an angle point in same;

**THENCE** North 14 degrees 20 minutes 24 seconds East, along a common line of said Rockwall Rental Properties, L.P. and Faulkner Investment CO. LTD. a distance of 57.31 feet to the **POINT OF BEGINNING** and containing 1,151 square feet or 0.026 of an acre of land.

# EXHIBIT "B"

## PD Development Plan

### Z2011-007



Not for Construction

NOT FOR CONSTRUCTION

RECEIVED  
MAY 23 2011

DATE	BY	REMARKS
5/23/11	FC	PD Plan



~ Civil Engineer ~  
**F.C. CUNY CORPORATION**  
11111 Main Street, Suite 100, Dallas, TX 75243  
Texas Registered Engineering Firm No. 1548

A 3.945 Acre Portion of the  
Harbor District (PD-32)  
Rockwall, Texas

**Harbor Heights**  
Harbor Heights Investors, L.P.  
#3 Horizon Court, Heath, TX 75032  
Ph. 972-772-9400 Fax 972-772-6801



**CITY OF ROCKWALL**  
**ORDINANCE NO. 11-43**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE OF THE CITY OF ROCKWALL AND (PD-32) PLANNED DEVELOPMENT NO. 32 DISTRICT (ORDINANCE NO. 10-21), SO AS TO APPROVE A DEVELOPMENT PLAN ON APPROXIMATELY 12.72-ACRES COMPRISED OF TRACTS 12, 12-1, 16 AND 16-1, ABSTRACT 11, M. J. BARKSDALE SURVEY, LOT 1-1, BLOCK A, HENRY AFRICA SUBDIVISION AND LOT 3A, BLOCK A, SHORELINE PLAZA ADDITION, SAID 12.72-ACRES MORE SPECIFICALLY DESCRIBED HEREIN AS EXHIBIT "A"; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, approval of a PD Development Plan within (PD-32) Planned Development No. 32 district has been requested by Rob Whittle for a 12.72-acre tract of land situated along the south side of the IH-30 service road west of Shoreline Drive and more specifically described herein as Exhibit "A"; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the Unified Development Code (Ord. No. 04-38) of the City of Rockwall, Texas, as heretofore amended, and (PD-32) Planned Development No. 32 district (Ord. No. 10-21), be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to approve a PD Development Plan for a 12.72-acre tract within the "Harbor Residential," "Freeway Frontage" and "Harbor Link Mixed Use" subdistricts within (PD-32), said tract being situated along the south side of the IH-30 service road west of Shoreline Drive and more specifically described herein as Exhibit "A"; and

**Section 2.** That the tract of land described in the attached Exhibit "A" shall be used only in the manner and for the purposes provided for in the Unified Development Code (Ord. No. 04-38) of the City of Rockwall and (PD-32) Planned Development No. 32 district (Ord. No. 10-21), as heretofore amended, and subject to the following additional conditions and requirements:

1. Future submittal and approval of detailed PD Site Plan shall be required, which shall indicate compliance with all applicable standards of the PD-32 district (Ordinance No. 10-21), as amended, with the exception of the following

modifications to the Street Type requirements:

- a. The north/south public road connecting IH-30 to Summer Lee, and situated adjacent to the east side of the proposed 5-story residential building and parking garage, shall be relocated as shown on the PD Development Plan attached hereto as Exhibit "B." The road shall be designed and constructed in accordance with the "Street Type H" and/or "Street Type E" standards as outlined in Exhibit C-4 of Ordinance No. 10-21.
  - b. The public road situated between the existing Harbor Fountain and the proposed "retail/restaurant/residential" building on the PD Development Plan (Exhibit B) shall be built according to the "Revised Type J Street" section depicted on page 2 of Exhibit B.
2. Future submittal and approval of all required subdivision plats.
  3. All required parking for the development shall be met with parking provided by this development (i.e. garage, surface, on-street, etc).
  4. Architectural design of all buildings within the Harbor Residential and Freeway Frontage Subdistricts of the PD-32 district shall be subject to the Harbor District Design Guidelines as adopted by Resolution No. 10-40, Exhibit "A" and to architectural review as prescribed by the Unified Development Code.
  5. In the event that the ground level of the proposed "retail / restaurant / residential" building(s) are utilized for restaurant uses with outdoor patios, the on-street parking areas directly in front of those restaurant(s) shall be reserved for valet and/or other temporary loading or drop-off areas only. If the ground level uses are retail, office or residential uses, the on-street parking areas shall be dedicated to permanent parking spaces.
  6. Facilities agreement outlining the appropriate permitting and construction responsibilities for the portion of public or private drives within the City of Dallas Takeline area shall be considered prior to or concurrently with the preliminary plat for the development.
  7. Facilities agreement for the abandonment of the north portion of Lakefront Trail shall be considered prior to or concurrently with the preliminary plat for the development.

**Section 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**Section 4.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**Section 5.** If any section, paragraph, or provision of this ordinance or the application of

that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

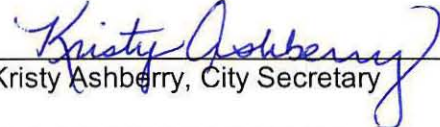
**Section 6.** That all ordinances of the City of Rockwall in conflict with the provisions of this be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

**Section 7.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, this 3<sup>rd</sup> day of October, 2011.**

  
David Sweet, Mayor

**ATTEST:**

  
Kristy Ashberry, City Secretary

**APPROVED AS TO FORM:**

  
Pete Eckert, City Attorney

1<sup>st</sup> Reading: 09-19-11

2<sup>nd</sup> Reading: 10-03-11



LEGAL DESCRIPTION

BEING a tract of land situated in the M.L. Borkdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, and being all of multiple tracts conveyed to Bob L. Clements as recorded in Volume 5203, Page 230, Volume 5203, Page 237, Volume 4118, Page 218, Volume 0533, Page 214 of the deed records of Rockwall County, Texas and also being part of Lot 3 Block A of Shoreline Plaza Addition as recorded in Cabinet D, Page 287 of the Plat Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at an "x" set in concrete on the Southwest right of way line of Interstate Highway No. 30 (a variable width right of way) at the Northwest corner of said Bob L. Clements tract as recorded in Volume 5203, Page 230 of said Deed Records;

THENCE North 58 degrees 58 minutes 27 seconds East, along the South right of way line of Interstate Highway No. 30 and the North line of said Bob L. Clements tract a distance of 35.41 feet to a 1/2" iron rod found at the Northeast corner of said Bob L. Clements tract recorded in Volume 4118, Page 218 also being the Northwest corner of Bob L. Clements tract recorded in Volume 0533, Page 214 of said Deed Records, said point being the beginning of a curve to the right whose radius is 11,309.20 feet and whose long chord bears North 62 degrees 16 minutes 25 seconds East, 207.71 feet;

THENCE along said curve to the right and along the South right of way line of said Interstate Highway No. 30 a central angle of 01 degree 03 minutes 08 seconds, an arc length of 207.71 feet to a 1/2" iron rod set with cap stamped DAI;

THENCE, South 28 degrees 53 minutes 27 seconds East, leaving the South right of way line of Interstate Highway No. 30, a distance of 213.38 feet to a 1/2" iron rod set with cap stamped DAI;

THENCE North 60 degrees 52 minutes 06 seconds East, a distance of 157.82 feet to a 1/2" iron rod set with cap stamped DAI on the Westerly line of Lakefront Trail (a 70 feet right of way) said point also being located in a Southerly direction along a curve to the left on having a radius of 1,285.31 feet an arc distance of 17.64 feet from the Southeast corner of Lot 2 Block A of aforesaid Shoreline Plaza Addition, said point being on a curve to the left whose long chord bears South 26 degrees 46 minutes 06 seconds East, 85.33 feet;

Thence along said curve to the left and along the Westerly right of way line of Lakefront Trail a central angle of 02 degrees 54 minutes 44 seconds, an arc length of 85.33 feet to a 1/2" iron rod found at the beginning of a curve to the left whose radius is 50.00 feet and whose long chord bears South 23 degrees 34 minutes 57 seconds East, 70.19 feet;

Thence along said curve to the left and along the Westerly right of way line of Lakefront Trail a central angle of 88 degrees 08 minutes 27 seconds, an arc length of 77.80 feet to an "x" set in concrete at the beginning of a curve to the left whose radius bears 778.60 feet and whose long chord bears South 20 degrees 40 minutes 38 seconds East, 108.60 feet;

Thence along said curve to the left and along the Westerly right of way line of Lakefront Trail a central angle of 07 degrees 58 minutes 40 seconds, an arc length of 106.78 feet to a 1/2" iron rod set with cap stamped DAI at the Northeast corner of Lot 5 Block A, Replat of Shoreline Plaza Addition as recorded in Cabinet G, Page 111 of the Plat Records of Rockwall County, Texas;

Thence South 44 degrees 12 minutes 54 seconds West along the North line of said Lot 5 Block A, a distance of 224.88 feet to an "x" set in concrete at the Southwest corner of Bob L. Clements tract recorded in Volume 5203, Page 237, of said Deed Records;

Thence North 43 degrees 32 minutes 52 seconds West, along the Westerly line of said Bob L. Clements tract, recorded in Volume 5203, Page 237, a distance of 78.64 feet to an "x" set in concrete at the beginning of a curve to the left whose radius bears 645.54 feet and whose long chord bears North 51 degrees 50 minutes 57 seconds West, 142.48 feet;

Thence along said curve to the left a central angle of 12 degrees 40 minutes 19 seconds, an arc length of 142.77 feet to an "x" set in concrete at the beginning of a curve to the right whose radius bears 869.81 feet and whose long chord bears North 43 degrees 52 minutes 50 seconds West, 319.59 feet;

Thence along said curve to the right a central angle of 28 degrees 28 minutes 01 seconds, an arc length of 322.90 feet to an "x" set in concrete on the Westerly line of a tract to Bob L. Clements recorded in Volume 5203, Page 230 of said Deed Records;

Thence North 28 degrees 38 minutes 51 seconds West along said Bob L. Clements Westerly line a distance of 6.16 feet to the POINT OF BEGINNING and containing 2.9674 acres of land, more or less.

LEGAL DESCRIPTION

PART of the M.J. Barksdale Survey, Abstract No. 11, situated in the City of Rockwall, Rockwall County, Texas, and embracing all of a tract of land described in the deed to Mariah Bay Development, Inc., recorded in Volume 2151, Page 130 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the southeast line of I. H. 30, a variable width right-of-way, with the southwest line of Lakefront Trail, a variable width right-of-way;

THENCE South 29 degrees 38 minutes 53 seconds East, along the southwest line of said Lakefront Trail, a distance of 10.00 feet to a 1/2 inch iron rod found for the beginning of a curve to the left;

THENCE in a southeasterly direction along the southwest line of said Lakefront Trail and said curve to the left, having a radius of 680.00 feet, a central angle of 28 degrees 28 minutes 29 seconds, a chord which bears South 43 degrees 53 minutes 06 seconds East at a distance of 334.48 feet, and an arc length of 337.94 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the beginning of a curve to the right;

THENCE in a southeasterly direction along the southwest line of said Lakefront Trail and said curve to the right, having a radius of 620.00 feet, a central angle of 12 degrees 35 minutes 07 seconds, a chord which bears South 51 degrees 49 minutes 48 seconds East at a distance of 135.91 feet, and an arc length of 136.18 feet to an "X" cut set at the end of said curve to the right;

THENCE South 45 degrees 32 minutes 14 seconds East, along the southwest line of said Lakefront Trail, a distance of 84.59 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the beginning of a curve to the right;

THENCE in a southeasterly direction along the southwest line of said Lakefront Trail and said curve to the right, having a radius of 620.00 feet, a central angle of 10 degrees 41 minutes 10 seconds, a chord which bears South 40 degrees 11 minutes 40 seconds East at a distance of 115.47 feet, and an arc length of 115.63 feet to a 1/2 inch iron rod found at the end of said curve to the right;

THENCE South 34 degrees 51 minutes 05 seconds East, along the southwest line of said Lakefront Trail, a distance of 89.41 feet to a 1/2 inch iron rod found for the beginning of a curve to the left;



THENCE in a southeasterly direction along the southwest line of said Lakefront Trak and said curve to the left, having a radius of 660.00 feet, a central angle of 02 degrees 30 minutes 44 seconds, a chord which bears South 36 degrees 06 minutes 26 seconds East at a distance of 29.81 feet, and on a length of 29.82 feet to an "X" cut found for the northeast corner of The Harbor-Rockwell addition to the City of Rockwall, Rockwall County, Texas recorded in Cabinet F, Slide 183 of the Plat Records of Rockwall County, Texas;

THENCE South 53 degrees 37 minutes 14 seconds West, departing the southwest line of said Lakefront Trak and along the north line of said The Harbor-Rockwell addition, a distance of 47.25 feet to an "X" cut found for corner;

THENCE North 89 degrees 33 minutes 05 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 209.16 feet to a 5/8 inch iron rod found for corner;

THENCE South 78 degrees 06 minutes 40 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 20.72 feet to a 5/8 inch iron rod found for corner;

THENCE North 66 degrees 23 minutes 18 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 45.00 feet to a 5/8 inch iron rod found for corner;

THENCE South 80 degrees 58 minutes 47 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 19.85 feet to a 5/8 inch iron rod found for corner;

THENCE North 77 degrees 04 minutes 50 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 17.50 feet to a 5/8 inch iron rod found for corner;

THENCE South 86 degrees 11 minutes 31 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 22.15 feet to an "X" cut found for corner;

THENCE South 87 degrees 31 minutes 10 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 18.75 feet to a 5/8 inch iron rod found for corner;

THENCE North 82 degrees 39 minutes 15 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 17.58 feet to a 5/8 inch iron rod found for corner;

THENCE South 66 degrees 51 minutes 13 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 13.20 feet to a 5/8 inch iron rod found for corner;

THENCE South 75 degrees 07 minutes 26 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 12.67 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 36 degrees 31 minutes 05 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 17.64 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 02 degrees 59 minutes 22 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 38.81 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 48 degrees 52 minutes 48 seconds East, along the north line of said The Harbor-Rockwell addition, a distance of 18.61 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 17 degrees 08 minutes 00 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 87.38 feet to an "X" cut found for corner;



Exhibit "A"  
Page 4 of 6

THENCE South 60 degrees 54 minutes 03 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 162.25 feet to an "X" cut found for corner;

THENCE South 73 degrees 43 minutes 56 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 67.66 feet to a 5/8 inch iron rod found for corner;

THENCE South 74 degrees 42 minutes 54 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 63.28 feet to an "X" cut found for corner;

THENCE South 80 degrees 10 minutes 12 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 142.24 feet to an "X" cut found for corner;

THENCE South 64 degrees 38 minutes 37 seconds West, along the north line of said The Harbor-Rockwell addition, a distance of 24.61 feet to an "X" cut found in the Lake Ray Hubbard lake line for corner;

THENCE North 04 degrees 52 minutes 35 seconds West, along said Lake Ray Hubbard lake line, a distance of 17.68 feet to a point for corner;

THENCE North 08 degrees 06 minutes 53 seconds West, along said Lake Ray Hubbard lake line, a distance of 124.36 feet to a 1/2 inch iron rod found for corner;

THENCE North 22 degrees 26 minutes 54 seconds West, along said Lake Ray Hubbard lake line, at a distance of 12.47 feet pass the former southwest corner of the recap of Lot 4, Block A of Rockwell Harbor Phase One, an addition to the City of Rockwell, Rockwall County, Texas recorded in Cabinet C, Slide 67 of said Plat Records, part of which vacated by plat recorded in Cabinet D, Slide 85 of said Plat Records and continuing for a total distance of 109.68 feet to a 1/2 inch iron rod found for the new southwest corner said Lot 4, Block A;

THENCE North 59 degrees 46 minutes 54 seconds East, along the south line of said Lot 4, Block A, a distance of 346.78 feet to a 1/2 inch iron rod found for the east corner of said Lot 4, Block A;

THENCE North 45 degrees 35 minutes 28 seconds West, along the east line of said Lot 4, Block A, a distance of 67.68 feet to a 1/2 inch iron rod found for a northeast corner of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the southwest corner of a tract of land described in the deed to Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127 of said Deed Records;

THENCE North 42 degrees 51 minutes 58 seconds East, along a north-line of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the south line of said Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127, a distance of 176.28 feet to a 1/2 inch iron rod found for corner;

THENCE North 40 degrees 11 minutes 25 seconds West, along the west line of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the east line of Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127, a distance of 255.20 feet to a 1/2 inch iron rod found in the southeast line of said I. H. 30 for the northwest corner of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the northeast corner of said Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127;

THENCE North 50 degrees 21 minutes 07 seconds East, along the southeast line of said I. H. 30 and the northerly line of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130, a distance of 218.66 feet to the Point of Beginning and containing 354,547 square feet or 8.139 acres of land, more or less.

BEING A TRACT OF LAND SITUATED IN THE M.J. BARKSDALE SURVEY, ABSTRACT NO. 11, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING A 1.225 ACRE TRACT OUT OF A 55.20 ACRE TRACT AS RECORDED IN VOLUME 59, PAGE 383, DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, SAID POINT BEING 286.5 FEET MORE OR LESS, FROM THE NORTH CORNER OF SAID 55.20 ACRE TRACT, A 3/8" IRON ROD FOUND FOR CORNER;

THENCE, SOUTH 38 DEGREES 29 MINUTES 38 SECONDS EAST, LEAVING THE SAID SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, A DISTANCE OF 254.63 FEET TO A 5/8" IRON ROD FOUND FOR CORNER;

THENCE SOUTH 44 DEGREES 24 MINUTES 14 SECONDS WEST, A DISTANCE OF 176.46 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE NORTH 43 DEGREES 48 MINUTES 20 SECONDS WEST, A DISTANCE OF 311.10 FEET TO A POINT ON THE SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, A 3/8" IRON ROD SET FOR CORNER;

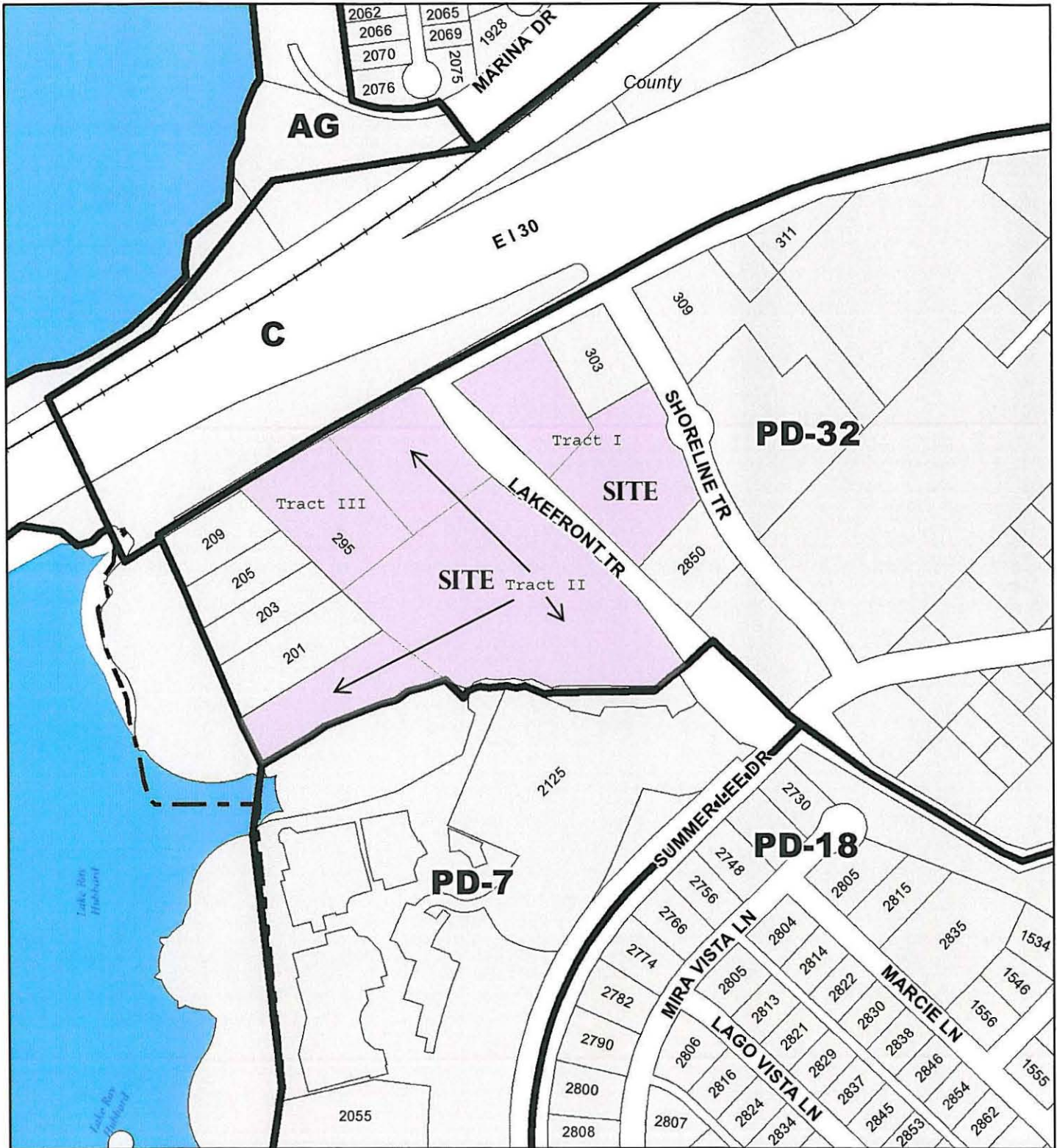
THENCE NORTH 50 DEGREES 48 MINUTES EAST, ALONG THE SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, A DISTANCE OF 206.43 FEET TO THE PLACE OF BEGINNING AND CONTAINING 53,371.640 SQUARE FEET OR 1.225 ACRES OF LAND, MORE OR LESS.

# Legend

- Subject Property
- 200-ft Buffer

Exhibit "A"  
Page 6 of 6

**City of  
Rockwall**  
www.rockwall.com



## Z2011-020 PD Development Plan The Harbor Phase II Rockwall, TX 75032



0 110 220 440 Feet

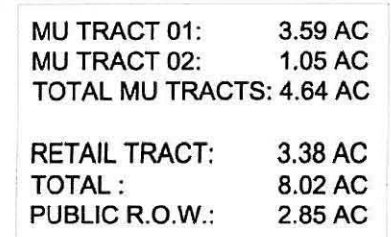
August 23, 2011

### CITY OF ROCKWALL DEPARTMENT OF PLANNING AND ZONING

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PD Development Plan  
Z2011-020 - Harbor Phase 2  
Page 1



**NOTE:**  
ALL AREAS ARE APPROXIMATE AND SHALL BE VERIFIED BY CIVIL ENGINEER.

GRAPHIC SCALE  
0 10 20 30 40 50 60  
( IN FEET )  
1 inch = 60 ft

**THE HARBOR PHASE II** ROCKWALL, TX  
**WHITTLE**

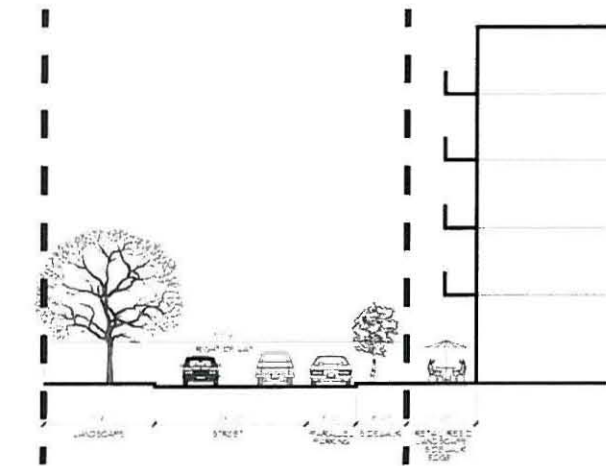
SP-45

SCALE: 1"=60'-0" • JOB#: 28093 • ISSUE DATE: 09/12/11  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

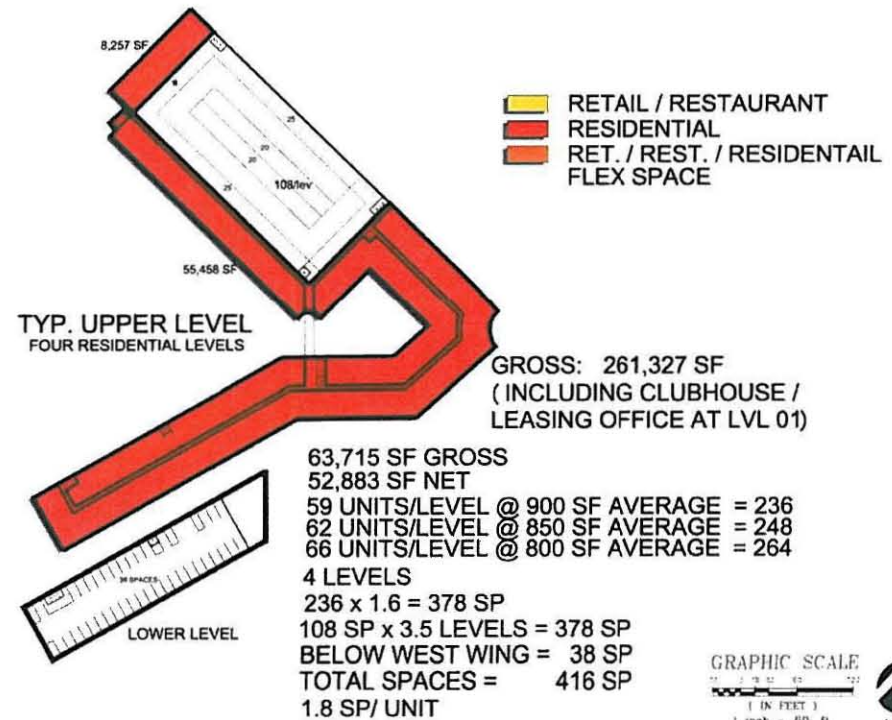
THESE DOCUMENTS CONTAINING INFORMATION THAT IS UNCLASSIFIED BY DATE 08/01/2001  
AND ARE AVAILABLE THROUGH THE NATIONAL ARCHIVES AT COLLEGE PARK, MARYLAND



O'BRIEN



REVISED TYPE J STREET





CITY OF ROCKWALL

ORDINANCE NO. 13-16

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING ORDINANCE NO. 11-43, PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN ON APPROXIMATELY 12.72-ACRES FOR PROPERTY IDENTIFIED AS TRACTS 16 & 16-1, M. J. BARKSDALE SURVEY, ABSTRACT NO. 11; LOT 7, BLOCK A, THE HARBOR-ROCKWALL ADDITION; LOT 1-1, BLOCK A, HENRY AFRICA SUBDIVISION ADDITION; AND LOT 3A, BLOCK A, SHORELINE PLAZA ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Russell Phillips on behalf of Randall Noe with Rockwall Rental Properties, L.P., for a Planned Development (PD) Development Plan within Planned Development District 32 (PD-32) on an approximately 12.72-acre tract of land identified as Tracts 16 & 16-1, M. J. Barksdale Survey, Abstract No. 11; Lot 7, Block A, The Harbor-Rockwall Addition; Lot 1-1, Block A, Shoreline Plaza Addition; and Lot 3A, Block A, Shoreline Plaza Addition, City of Rockwall, Rockwall County, Texas; and more fully described in Exhibit 'A' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Ordinance No. 11-43, Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the PD Development Plan approved with Ordinance No. 11-43 and the official zoning map of the City of Rockwall so as to approve a PD Development Plan for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the PD Development Plan, described in Exhibit 'B' of this ordinance, attached hereto and



incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) Development of this property shall generally conform to the *Zoning Exhibit* depicted in *Exhibit 'B'* of this ordinance;
- 2) Future submittals shall conform to all requirements stipulated in Planned Development District 32 (PD-32) as specified in Ordinance No. 10-21 [*as amended*], with the exception of the modifications stipulated in this ordinance, specifically with regard to the following requirements concerning street types:
  - a. Lakefront Trail (i.e. the north/south public road connecting Interstate Highway 30 to Summer Lee) shall be designed and constructed in accordance with the *Street Type 'E'* standards stipulated in Ordinance No. 10-21 and outlined in the draft ordinance, and
  - b. Harbor Heights Drive (i.e. the east/west public road connecting Lakefront Trail and Shoreline Circle) shall be designed and constructed in accordance with the *Street Type 'D<sub>1</sub>'* standards stipulated in *Exhibit 'C'* of this ordinance.
- 3) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance;
- 4) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a subdivision plat;
- 5) The architectural design of all buildings within the three (3) affected subdistricts (i.e. the Harbor Residential Subdistrict, the Freeway Frontage Subdistrict and the Harbor Link Mixed-Use Subdistrict) shall conform to the Harbor District Guidelines (Resolution 10-40 [*Exhibit 'A'*]), all applicable ordinances associated with Planned Development District 32 (PD-32) [*as amended*], and to the Unified Development Code;
- 6) All buildings throughout the development shall be constructed with a consistent design scheme, and be approved by the Architectural Review Board (ARB);
- 7) The pedestrian access extending from Lakefront Trail to the Harbor Fountain will be required to be located within a Pedestrian Access Easement to be shown of the final plat; and
- 8) The proposed uses for this development shall be required to demonstrate that they have access to a sufficient number of parking spaces within the development itself to support their use.

**Section 4.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

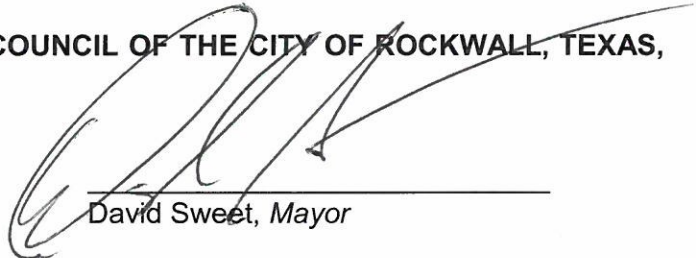
**Section 5.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of TWO THOUSAND DOLLARS (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 6.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

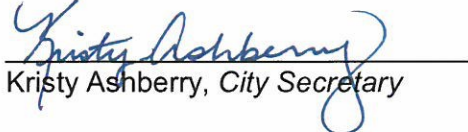
**Section 7.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 8.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

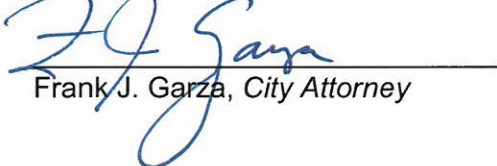
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 17<sup>th</sup> DAY OF JUNE, 2013.**

  
\_\_\_\_\_  
David Sweet, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Ashberry, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: June 3, 2013

2<sup>nd</sup> Reading: June 17, 2013

**Exhibit 'A':**  
**Legal Description**

Tract 1 (2.96-Acres): Lot 1-1, Block A, Henry Africa Addition & Lot 3A, Block A, Shoreline Plaza Addition

**LEGAL DESCRIPTION**

BEING a tract of land situated in the M.J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, and being all of multiple tracts conveyed to Bob L. Clements as recorded in Volume 5203, Page 230, Volume 5203, Page 237, Volume 4116, Page 218, Volume 0833, Page 214 of the deed records of Rockwall County, Texas and also being part of Lot 3 Block A of Shoreline Plaza Addition as recorded in Cabinet D, Page 289 of the Plat Records of Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at an "x" set in concrete on the Southwest right of way line of Interstate Highway No. 30 (a variable width right of way) at the Northwest corner of said Bob L. Clements tract as recorded in Volume 5203, Page 230 of said Deed Records;

THENCE North 58 degrees 59 minutes 27 seconds East, along the South right of way line of Interstate Highway No. 30 and the North line of said Bob L. Clements tract a distance of 35.41 feet to a 1/2" iron rod found at the Northeast corner of said Bob L. Clements tract recorded in Volume 4116, Page 218 also being the Northwest corner of Bob L. Clements tract recorded in Volume 0833, Page 214 of said Deed Records, said point being the beginning of a curve to the right whose radius is 11,309.20 feet and whose long chord bears North 62 degrees 16 minutes 25 seconds East, 207.71 feet;

THENCE along said curve to the right and along the South right of way line of said Interstate Highway No. 30 a central angle of 01 degree 03 minutes 08 seconds, an arc length of 207.71 feet to a 1/2" iron rod set with cap stamped DAI;

THENCE South 28 degrees 53 minutes 27 seconds East leaving the South right of way line of Interstate Highway No. 30, a distance of 213.36 feet to a 1/2" iron rod set with cap stamped DAI;

THENCE North 60 degrees 52 minutes 06 seconds East, a distance of 157.82 feet to a 1/2" iron rod set with cap stamped DAI on the Westerly line of Lakefront Trail (a 70 feet right of way) said point also being located in a Southerly direction along a curve to the left on having a radius of 1,265.31 feet an arc distance of 17.64 feet from the Southeast corner of Lot 2 Block A of aforesaid Shoreline Plaza Addition, said point being on a curve to the left whose long chord bears South 26 degrees 48 minutes 06 seconds East, 65.33 feet;

Thence along said curve to the left and along the Westerly right of way line of Lakefront Trail a central angle of 02 degrees 54 minutes 44 seconds, an arc length of 65.33 feet to a 1/2" iron rod found at the beginning of a curve to the left whose radius is 50.00 feet and whose long chord bears South 23 degrees 34 minutes 57 seconds East, 70.19 feet;

Thence along said curve to the left and along the Westerly right of way line of Lakefront Trail a central angle of 59 degrees 08 minutes 27 seconds, an arc length of 77.80 feet to an "x" set in concrete at the beginning of a curve to the left whose radius bears 778.60 feet and whose long chord bears South 20 degrees 40 minutes 38 seconds East, 106.69 feet;

Thence along said curve to the left and along the Westerly right of way line of Lakefront Trail a central angle of 07 degrees 59 minutes 40 seconds, an arc length of 106.78 feet to a 1/2" iron rod set with cap stamped DAI at the Northeast corner of Lot 5 Block A, Replat of Shoreline Plaza Addition as recorded in Cabinet G, Page 111 of the Plat Records of Rockwall County, Texas;

Thence South 44 degrees 12 minutes 54 seconds West along the North line of said Lot 5 Block A, a distance of 224.88 feet to an "x" set in concrete at the Southwest corner of Bob L. Clements tract recorded in Volume 5203, Page 237, of said Deed Records;

Thence North 43 degrees 32 minutes 52 seconds West, along the Westerly line of said Bob L. Clements tract recorded in Volume 5203, Page 237, a distance of 78.64 feet to an Nag Nail set in concrete at the beginning of a curve to the left whose radius bears 645.54 feet and whose long chord bears North 51 degrees 50 minutes 57 seconds West, 142.46 feet;

Thence along said curve to the left a central angle of 12 degrees 40 minutes 19 seconds, an arc length of 142.77 feet to an "x" set in concrete at the beginning of a curve to the right whose radius bears 646.81 feet and whose long chord bears North 43 degrees 52 minutes 50 seconds West, 319.59 feet;

Thence along said curve to the right a central angle of 28 degrees 28 minutes 01 seconds, an arc length of 322.90 feet to an "x" set in concrete on the Westerly line of a tract to Bob L. Clements recorded in Volume 5203, Page 230 of said Deed Records;

Thence North 29 degrees 38 minutes 51 seconds West along said Bob L. Clements Westerly line a distance of 6.18 feet to the POINT OF BEGINNING and containing 2.9674 acres of land, more or less.

**Exhibit 'A':**  
**Legal Description**

**Tract 2 (8.5-Acres): Tracts 12, 12-1 & 16-1, Abstract 11, M. J. Barksdale Survey**

**LEGAL DESCRIPTION**

PART of the M.J. Barksdale Survey, Abstract No. 11, situated in the City of Rockwall, Rockwall County, Texas, and embracing all of a tract of land described in the deed to Mariah Bay Development, Inc. recorded in Volume 2161, Page 130 of the Deed Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the intersection of the southeast line of L. H. JO, a variable width right-of-way, with the southwest line of Lakefront Trail, a variable width right-of-way;

THENCE South 29 degrees 38 minutes 53 seconds East, along the southwest line of said Lakefront Trail, a distance of 10.00 feet to a 1/2 inch iron rod found for the beginning of a curve to the left;

THENCE in a southeasterly direction along the southwest line of said Lakefront Trail and said curve to the left, having a radius of 680.00 feet, a central angle of 28 degrees 28 minutes 28 seconds, a chord which bears South 43 degrees 53 minutes 06 seconds East at a distance of 334.48 feet, and an arc length of 337.94 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the beginning of a curve to the right;

THENCE in a southeasterly direction along the southwest line of said Lakefront Trail and said curve to the right, having a radius of 620.00 feet, a central angle of 12 degrees 33 minutes 07 seconds, a chord which bears South 51 degrees 49 minutes 48 seconds East at a distance of 135.91 feet, and an arc length of 136.19 feet to an "X" cut set at the end of said curve to the right;

THENCE South 45 degrees 32 minutes 14 seconds East, along the southwest line of said Lakefront Trail, a distance of 84.59 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" set for the beginning of a curve to the right;

THENCE in a southeasterly direction along the southwest line of said Lakefront Trail and said curve to the right, having a radius of 620.00 feet, a central angle of 10 degrees 41 minutes 10 seconds, a chord which bears South 40 degrees 11 minutes 40 seconds East at a distance of 115.47 feet, and an arc length of 115.63 feet to a 1/2 inch iron rod found at the end of said curve to the right;

THENCE South 34 degrees 51 minutes 05 seconds East, along the southwest line of said Lakefront Trail, a distance of 89.41 feet to a 1/2 inch iron rod found for the beginning of a curve to the left;

THENCE in a southeasterly direction along the southwest line of said Lakefront Trail and said curve to the left, having a radius of 680.00 feet, a central angle of 02 degrees 30 minutes 44 seconds, a chord which bears South 36 degrees 06 minutes 76 seconds East at a distance of 29.81 feet, and an arc length of 29.82 feet to an "X" cut found for the northeast corner of The Harbor-Rockwall addition to the City of Rockwall, Rockwall County, Texas recorded in Cabinet F, Slide 163 of the Plat Records of Rockwall County, Texas;

THENCE South 53 degrees 37 minutes 14 seconds West, departing the southwest line of said Lakefront Trail and along the north line of said The Harbor-Rockwall addition, a distance of 47.25 feet to an "X" cut found for corner;

THENCE North 69 degrees 33 minutes 05 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 209.16 feet to a 5/8 inch iron rod found for corner;

THENCE South 78 degrees 06 minutes 40 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 20.72 feet to a 5/8 inch iron rod found for corner;

THENCE North 66 degrees 23 minutes 18 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 45.00 feet to a 5/8 inch iron rod found for corner;

THENCE South 80 degrees 58 minutes 47 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 19.85 feet to a 5/8 inch iron rod found for corner;

THENCE North 77 degrees 04 minutes 30 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 17.50 feet to a 5/8 inch iron rod found for corner;

THENCE South 86 degrees 11 minutes 31 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 22.15 feet to an "X" cut found for corner;

THENCE South 87 degrees 31 minutes 10 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 18.75 feet to a 5/8 inch iron rod found for corner;

THENCE North 82 degrees 38 minutes 16 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 17.58 feet to a 5/8 inch iron rod found for corner;

THENCE South 68 degrees 51 minutes 13 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 13.20 feet to a 5/8 inch iron rod found for corner;

THENCE South 75 degrees 07 minutes 26 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 12.87 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 36 degrees 31 minutes 05 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 17.64 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 02 degrees 59 minutes 22 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 38.81 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 48 degrees 52 minutes 49 seconds East, along the north line of said The Harbor-Rockwall addition, a distance of 18.61 feet to a 5/8 inch iron rod with cap stamped "R.P.L.S. 5430" found for corner;

THENCE South 17 degrees 08 minutes 00 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 87.39 feet to an "X" cut found for corner;



**Exhibit 'A':**  
**Legal Description**

*Tract 2 (8.5-Acres): Tracts 12, 12-1 & 16-1, Abstract 11, M. J. Barksdale Survey*

THENCE South 60 degrees 54 minutes 03 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 162.25 feet to an "X" cut found for corner;

THENCE South 73 degrees 43 minutes 56 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 67.55 feet to a 5/8 inch iron rod found for corner;

THENCE South 74 degrees 42 minutes 54 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 63.28 feet to an "X" cut found for corner;

THENCE South 80 degrees 10 minutes 12 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 142.24 feet to an "X" cut found for corner;

THENCE South 64 degrees 39 minutes 37 seconds West, along the north line of said The Harbor-Rockwall addition, a distance of 24.61 feet to an "X" cut found in the Lake Ray Hubbard lake line for corner;

THENCE North 04 degrees 52 minutes 35 seconds West, along said Lake Ray Hubbard lake line, a distance of 17.69 feet to a point for corner;

THENCE North 08 degrees 06 minutes 53 seconds West, along said Lake Ray Hubbard lake line, a distance of 124.36 feet to a 1/2 inch iron rod found for corner;

THENCE North 22 degrees 26 minutes 54 seconds West, along said Lake Ray Hubbard lake line, at a distance of 12.47 feet past the former southwest corner of the replat of Lot 4, Block A of Rockwall Harbor Phase One, an addition to the City of Rockwall, Rockwall County, Texas recorded in Cabinet C, Slide 67 of said Plat Records, part of which recited by plat recorded in Cabinet D, Slide 85 of said Plat Records and continuing for a total distance of 109.69 feet to a 1/2 inch iron rod found for the new southwest corner said Lot 4, Block A;

THENCE North 59 degrees 46 minutes 54 seconds East, along the south line of said Lot 4, Block A, a distance of 346.78 feet to a 1/2 inch iron rod found for the east corner of said Lot 4, Block A;

THENCE North 45 degrees 35 minutes 28 seconds West, along the east line of said Lot 4, Block A, a distance of 67.69 feet to a 1/2 inch iron rod found for a northwest corner of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the southwest corner of a tract of land described in the deed to Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127 of said Deed Records;

THENCE North 42 degrees 51 minutes 58 seconds East, along a north-line of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the south line of said Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127, a distance of 176.29 feet to a 1/2 inch iron rod found for corner;

THENCE North 40 degrees 11 minutes 25 seconds West, along the east line of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the east line of Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127, a distance of 255.20 feet to a 1/2 inch iron rod found in the southeast line of said L. H. 30 for the northwest corner of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130 and the northeast corner of said Mariah Bay Development, Inc. tract recorded in Volume 4424, Page 127;

THENCE North 50 degrees 21 minutes 07 seconds East, along the southeast line of said L. H. 30 and the northerly line of said Mariah Bay Development, Inc. tract recorded in Volume 2161, Page 130, a distance of 218.66 feet to the Point of Beginning and containing 354,547 square feet or 8.139 acres of land, more or less.



**Exhibit 'A':**  
*Legal Description*

*Tract 3 (1.225-Acres): Tract 16, Abstract 11, M. J. Barksdale Survey*

BEING A TRACT OF LAND SITUATED IN THE M.J. BARKSDALE SURVEY, ABSTRACT NO. 11, CITY OF ROCK WALL, ROCKWALL COUNTY, TEXAS, AND BEING A 1.225 ACRE TRACT OUT OF A 55.20 ACRE TRACT AS RECORDED IN VOLUME 59, PAGE 383, DEED RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, SAID POINT BEING 286.5 FEET MORE OR LESS, FROM THE NORTH CORNER OF SAID 55.20 ACRE TRACT, A 3/8" IRON ROD FOUND FOR CORNER;

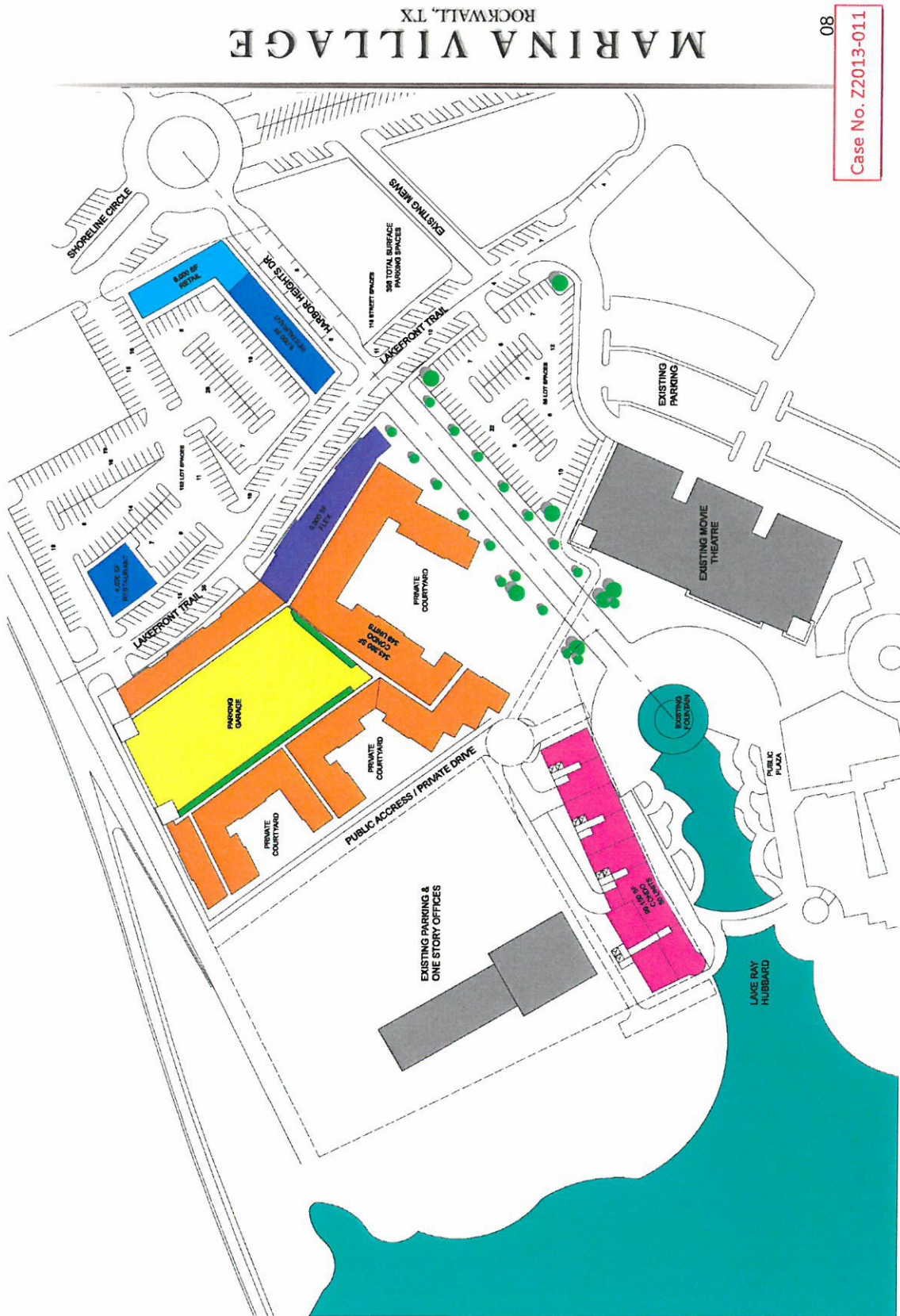
THENCE, SOUTH 38 DEGREES 29 MINUTES 38 SECONDS EAST, LEAVING THE SAID SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, A DISTANCE OF 254.63 FEET TO A 5/8" IRON ROD FOUND FOR CORNER;

THENCE SOUTH 44 DEGREES 24 MINUTES 14 SECONDS WEST, A DISTANCE OF 176.46 FEET TO A 1/2" IRON ROD FOUND FOR CORNER;

THENCE NORTH 43 DEGREES 48 MINUTES 20 SECONDS WEST, A DISTANCE OF 311.10 FEET TO A POINT ON THE SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, A 3/8" IRON ROD SET FOR CORNER;

THENCE NORTH 50 DEGREES 48 MINUTES EAST, ALONG THE SOUTHEAST LINE OF INTERSTATE HIGHWAY NO. 30, A DISTANCE OF 206.43 FEET TO THE PLACE OF BEGINNING AND CONTAINING 53,371.640 SQUARE FEET OR 1.225 ACRES OF LAND, MORE OR LESS.

Exhibit 'B':  
Zoning Exhibit



### Street Type 'D<sub>1</sub>' Design Standards



CITY OF ROCKWALL

ORDINANCE NO. 14-51

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 10-21* OF PLANNED DEVELOPMENT DISTRICT 32 (PD-32) AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR RETAIL/RESTAURANT PAD SITES ON A 2.893-ACRE PARCEL OF LAND IDENTIFIED AS LOT 1, BLOCK B, HARBOR DISTRICT ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Jimmy Strohmeyer of Strohmeyer Architects, Inc. on behalf of D. W. Bobst of J-BR2, LLC for an amendment to *Ordinance No. 10-21* of Planned Development District 32 (PD-32) and the Unified Development Code [*Ordinance No. 04-38*] for the purpose of establishing a PD Development Plan for retail/restaurant pad sites within the *Hillside Subdistrict*, on a 2.893-acre parcel of land identified as Lot 1, Block B, Harbor District Addition, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by adopting this PD Development Plan and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the PD Development Plan, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the Concept Building Elevations, described in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**SECTION 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) Development of this property shall generally conform to the *PD Development Plan* depicted in *Exhibit 'B'* of this ordinance;
- 2) Development of this property shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance;
- 3) All buildings shall be developed with consideration to the pedestrian access adjacent to Harbor Heights Drive. Additionally, the design of the buildings shall include four (4) sided architecture that creates a dual entry appearance, with buildings fronting on to IH-30 and Harbor Heights Drive;
- 4) Building façades must be situated no greater than 27-feet from the build-to-line adjacent to Harbor Heights Drive;
- 5) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32);
- 6) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance;
- 7) All buildings throughout the development shall be constructed with a consistent design scheme, and be approved by the Architectural Review Board (ARB) at the time of the *PD Site Plan*;
- 8) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a replat that indicates all necessary easements; and,
- 9) The proposed uses for this development shall be required to demonstrate that they have access to a sufficient number of parking spaces within the development itself to support the use.

**SECTION 5.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 6.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

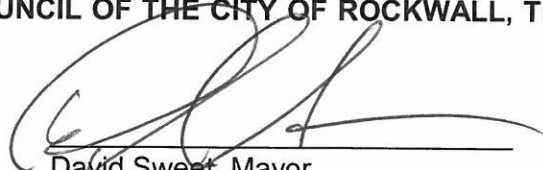
**SECTION 7.** The standards in this ordinance shall control in the event of a conflict between this



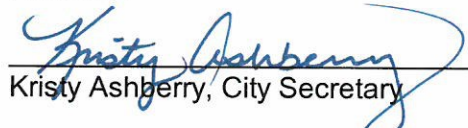
ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

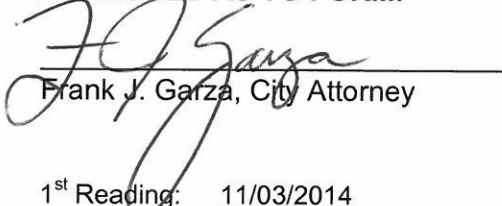
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 17<sup>TH</sup> DAY OF NOVEMBER, 2014.**

  
David Sweet, Mayor

**ATTEST:**

  
Kristy Ashberry, City Secretary

**APPROVED AS TO FORM:**

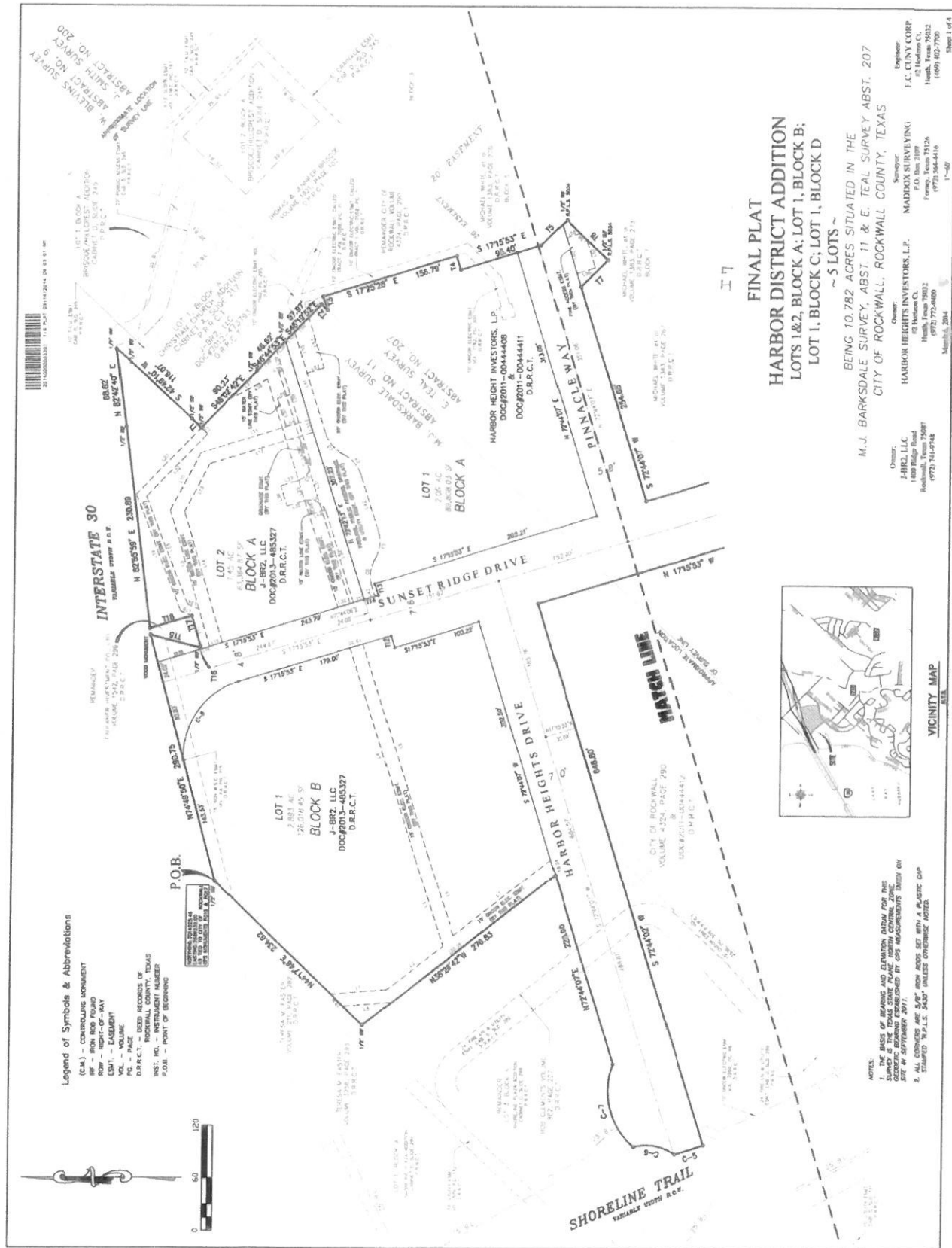
  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: 11/03/2014

2<sup>nd</sup> Reading: 11/17/2014

**Exhibit 'A':**  
**Legal Description**  
 (Lot 1, Block B, Harbor District Addition)



**Exhibit 'B':**  
*PD Development Plan*

[illegible]



# Exhibit 'C': Building Elevations



**STROHMEYER**  
ARCHITECTS INC.

Consultants

CIVIL

STRUCTURAL

MEP

FOOD SERVICE

LANDSCAPING

ELEVATIONS

**NOT FOR  
CONSTRUCTION**

**OWNER**  
JHR2, LLC  
1400 RIDGE ROAD  
ROCKWALL, TEXAS  
75087

**HARBOR HEIGHTS  
RESTAURANT &  
RETAIL PADS 1-5  
ROCKWALL, TEXAS**

Project Number: 091302  
Drawing Date: 02/20/14  
Drawn By: JHR  
Checked By: JHR  
Scale: AS SHOWN  
ACAD File: HARBOR-20214-CR206.dwg  
© 2014 Strohmeier Architects, Inc.

Revisions

Sheet Title

**A-201**

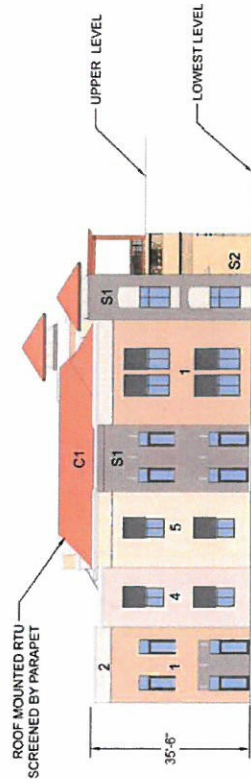
## MATERIAL SCHEDULE

- PLASTER COLOR 1 -
- PLASTER COLOR 2 -
- PLASTER COLOR 3 -
- PLASTER COLOR 4 -
- PLASTER COLOR 5 -

BUILDING STONE (S1) - CORONADO ITALIAN VILLA  
STONE - PORTABELLA TO MATCH TREND TOWER.

RETAINING WALL - (S2) - AUSTIN STONE

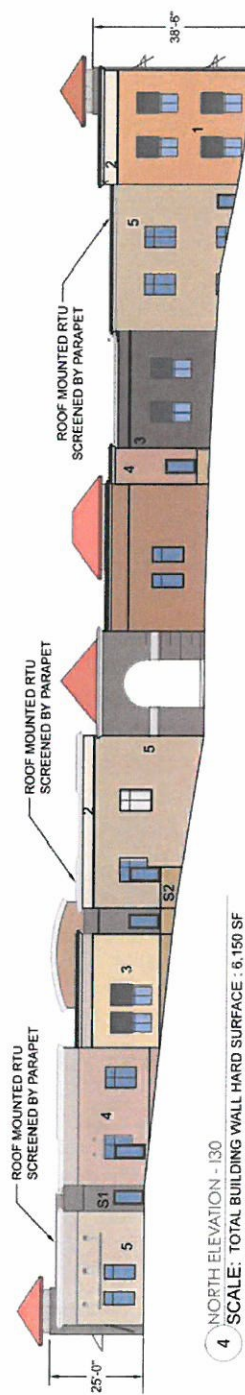
CLAY TILE ROOFING (C1) - MATCH TREND TOWER



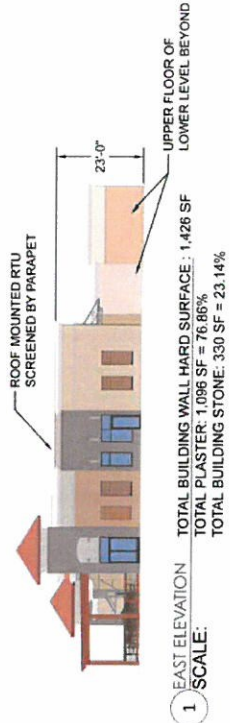
**3 WEST ELEVATION**  
TOTAL BUILDING WALL HARD SURFACE : 3,616 SF  
TOTAL PLASTER : 2,857 SF = 79%  
TOTAL BUILDING STONE : 759 SF = 21%  
**SCALE:**



**2 SOUTH ELEVATION - HARBOR HEIGHTS DRIVE**  
TOTAL BUILDING WALL HARD SURFACE : 6,350 SF  
TOTAL PLASTER : 4,594 SF = 72.18%  
TOTAL BUILDING STONE : 1,756 SF = 27.82%  
**SCALE:**



**4 NORTH ELEVATION - 130**  
TOTAL BUILDING WALL HARD SURFACE : 6,150 SF  
TOTAL PLASTER : 4,911 SF = 79.85%  
TOTAL BUILDING STONE : 1,239 SF = 20.15%  
**SCALE:**



**1 EAST ELEVATION**  
TOTAL BUILDING WALL HARD SURFACE : 1,426 SF  
TOTAL PLASTER : 1,096 SF = 76.86%  
TOTAL BUILDING STONE : 330 SF = 23.14%  
**SCALE:**

**APPLICANT:**  
HARBOR HEIGHTS RESTAURANT & RETAIL PADS 1-5  
JHR2, LLC  
1400 RIDGE ROAD  
ROCKWALL, TEXAS 75087

**OWNER:**  
JHR2, LLC  
1400 RIDGE ROAD  
ROCKWALL, TEXAS 75087

**PROJECT:**  
HARBOR HEIGHTS RESTAURANT & RETAIL PADS 1-5

**CASE NUMBER:**  
Z2014-031

CITY OF ROCKWALL

ORDINANCE NO. 16-13

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, FOR THE PURPOSE OF AMENDING EXHIBIT 'D', SUBDISTRICT LAND USE CHART, OF PLANNED DEVELOPMENT DISTRICT 32 (PD-32) TO ALLOW A FINANCIAL INSTITUTION WITH DRIVE-THROUGH AS A PERMITTED BY-RIGHT LAND USE WITHIN THE RIDGE ROAD RETAIL SUBDISTRICT BEING A ~1.162-ACRE PORTION OF A LARGER ~78.89-ACRE AREA OF LAND IDENTIFIED AS THE HARBOR DISTRICT, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF A FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Harry Chapman of Noble RE, LLC on behalf of the owners of 2930 Ridge Road (i.e. Robert & Patrick Hughes and Sandra Ferguson) requesting the approval of an amendment to Planned Development District 32 (PD-32) [Ordinance No. 10-21] and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall for the purpose of amending the permitted land uses stipulated in Exhibit 'D' of Ordinance No. 10-21 to allow a Financial Institution with a Drive-Through as a permitted by-right land use in the Ridge Road Retail Subdistrict, being a ~1.162-acre portion of a larger ~78.89-acre area of land identified as the Harbor District, City of Rockwall, Rockwall County, Texas and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 10-21] and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That the approval of this ordinance shall supersede Exhibit 'D', *Subdistrict Land Use Chart*, of Ordinance No. 10-21;

**SECTION 2.** That the *Subject Property* shall be used only in the manner and for the purposes authorized by this ordinance and the Unified Development Code [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by granting this zoning change, and as maybe amended in the future;

**SECTION 3.** That the official zoning map of the City of Rockwall, Texas be corrected to reflect the change in zoning described here in.



**SECTION 4.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of two thousand dollars (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 5.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [Ordinance No. 04-38], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 6.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code [Ordinance No. 04-38] of any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code [Ordinance No. 04-38] (including references to the Unified Development Code), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 1<sup>ST</sup> DAY OF FEBRUARY, 2016.**

  
\_\_\_\_\_  
Jim Pruitt, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Kristy Cole, City Secretary

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: 01-19-2016

2<sup>nd</sup> Reading: 02-01-2016



**EXHIBIT 'A':**  
*Legal Description*

BEING approximately 78.89 acres of land located in the M.J. Barksdale (*Abstract 11*) and E. Teal (*Abstract 207*) Surveys of the City of Rockwall, Rockwall County, Texas to be known as the Amended PD-32 Zoning Boundary and being more particularly described as follows:

BEGINNING at a point in intersection of Horizon Rd and the south service road of Interstate Highway 30 (GPS Coordinates N2589965.033 E7014570.874);

THENCE S45-3-43E along the centerline of Horizon Rd for a distance of 359.75 feet to a point;

THENCE S45-9-15E continuing along said centerline for a distance of 922.798 feet to a point;

THENCE S45-7-2W along the western boundary of the Eckerd Addition for a distance of 338.85 feet to a point;

THENCE S45-31-32E along the southern boundary of the Eckerd Addition for a distance of 339.158 feet to a point;

THENCE S44-34-41W along the southeastern boundary of the Isaac Brown Addition for a distance of 594.34 feet to a point;

THENCE S75-48-35E along the northern boundary of Lakeridge Estates, Lot 26 for a distance of 304.035 feet to a point;

THENCE S34-45-14W for a distance of 85.563 feet to a point;

THENCE S28-45-41W for a distance of 78.959 feet to a point;

THENCE S23-0-35W for a distance of 78.959 feet to a point;

THENCE N75-6-11W along the north boundary of the Willis-Sealock Addition for a distance of 371.56 feet to a point;

THENCE N42-41-6E for a distance of 124.594 feet to a point;

THENCE N43-28-45W along the southwestern boundary of the Isaac Brown Addition for a distance of 228.343 feet to a point;

THENCE N50-43-21W for a distance of 132.929 feet to a point;

THENCE S23-32-21W for a distance of 65.722 feet to a point;

THENCE N64-32-23W for a distance of 69.271 feet to a point;

THENCE S78-40-26W following along the northern boundary of the Lago Vista Addition for a distance of for a distance of 90.8 feet to a point;

THENCE N66-47-33W continuing along said boundary for a distance of 159.22 feet to a point;

THENCE N75-45-16W for a distance of 80.21 feet to a point;

THENCE S72-39-11W for a distance of 143.44 feet to a point;

THENCE N59-46-23W for a distance of 557.634 feet to a point;

THENCE S45-59-1W for a distance of 77.538 feet to a point;

THENCE N44-47-20W for a distance of 138.413 feet to a point;

THENCE N42-57-48W for a distance of 38.504 feet to a point;

THENCE N39-43-7W for a distance of 38.504 feet to a point;

THENCE N36-28-26W for a distance of 38.504 feet to a point;

THENCE S53-20-53W following along the northern boundary of the Harbor-Rockwall Addition for a distance of 47.636 feet to a point;

THENCE N89-33-5W continuing along said boundary for a distance of 208.66 feet to a point;

THENCE S79-6-40W for a distance of 20.72 feet to a point;

**EXHIBIT 'A':**  
*Legal Description*

THENCE N66-23-19W for a distance of 45 feet to a point;  
THENCE S80-59-47W for a distance of 19.85 feet to a point;  
THENCE N77-4-50W for a distance of 17.5 feet to a point;  
THENCE S86-11-31W for a distance of 22.15 feet to a point;  
THENCE S87-31-10W for a distance of 18.75 feet to a point;  
THENCE N82-39-16W for a distance of 17.59 feet to a point;  
THENCE S68-51-13W for a distance of 13.2 feet to a point;  
THENCE S75-7-26W for a distance of 12.97 feet to a point;  
THENCE S36-31-5W for a distance of 17.64 feet to a point;  
THENCE S2-59-22W for a distance of 38.81 feet to a point;  
THENCE S48-52-49E for a distance of 18.61 feet to a point;  
THENCE S17-8-14W for a distance of 87.301 feet to a point;  
THENCE S60-34-34W for a distance of 160.015 feet to a point;  
THENCE S73-43-56W for a distance of 67.56 feet to a point;  
THENCE S74-42-54W for a distance of 63.28 feet to a point;  
THENCE S80-10-12W for a distance of 142.24 feet to a point;  
THENCE S64-3-37W for a distance of 24.61 feet to a point;  
THENCE N2-50-21E for a distance of 126.02 feet to a point;  
THENCE N24-40-2W along the western boundary of the Rockwall Harbor Phase 1 Addition for a distance of 125.683 feet to a point;  
THENCE N22-55-59W continuing along said boundary for a distance of 368.32 feet to a point;  
THENCE N22-55-59W for a distance of 32.765 feet to a point;  
THENCE N58-47-23E following along the centerline of the south service road of Interstate Highway 30 for a distance of 190.81 feet to a point;  
THENCE N58-58-59E continuing along said centerline for a distance of 212.916 feet to a point;  
THENCE N61-2-53E for a distance of 271.157 feet to a point;  
THENCE N62-2-17E for a distance of 412.293 feet to a point;  
THENCE N61-44-10E for a distance of 183.797 feet to a point;  
THENCE N64-7-43E for a distance of 151.311 feet to a point;  
THENCE N68-43-57E for a distance of 118.858 feet to a point;  
THENCE N72-59-9E for a distance of 118.858 feet to a point;  
THENCE N76-2-6E for a distance of 279.139 feet to a point;  
THENCE N81-22-36E for a distance of 181.597 feet to a point;  
THENCE N76-12-48E for a distance of 97.497 feet to a point;  
THENCE N70-6-13E for a distance of 97.497 feet to a point;  
THENCE N63-59-38E for a distance of 97.497 feet to the Point of Beginning, Containing approximately 78.89 acres (3,436,420.51186 square feet) of land, more or less.



**EXHIBIT 'B':**  
Subdistrict Map/Location Map





**EXHIBIT 'C':**  
Amended Land Use Chart

Residential Land Uses	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon/Summer Lee	Interior	Residential	Ridge Road Retail
Accessory Building <sup>1</sup>									P	
Home Occupation <sup>1</sup>	P	P	P	P	P	P	P	P	P	P
Hotel	S	S	S	S	S	S	S	S	S	S
Hotel (Full Service)	S	S	S	S	S	S	S	S	S	S
Hotel (Residence)	S	S	S	S	S	S	S	S	S	S
Motel	S	S	S	S	S	S	S	S	S	S
Single-Family, Zero-Lot-Line									P	
Townhouse	P	P	P	P	P	S	S	P	S	S
Urban Residential (Condominium Units Only) <sup>1</sup>	P	P	P	P	P	S	S	P	S	S
Office Land Uses	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon/Summer Lee	Interior	Residential	Ridge Road Retail
Animal Clinic for Small Animals (No Outdoor Pens) <sup>1</sup>	S	S	S	S	S	S	S	S	S	S
Church/House of Worship <sup>1</sup>	P	P	P	P	P	P	P	P	S	P
Day Care (7 or More Children) <sup>1</sup>	P	P	P	P	P	P	P	P	S	P
Financial Institution (Without Drive-Through)	P	P	P	P	P	P	P	P	S	P
Financial Institution (With Drive-Through)										P
Government Facility	P	P	P	P	P	P	P	P	S	P
Library, Art Gallery or Museum (Public)	P	P	P	P	P	P	P	P	S	P
Office (General)	P	P	P	P	P	P	P	P	S	P
Office Building (Less Than 5,000 SF)	P	P	P	P	P	P	P	P	S	P
Office Building (More Than 5,000 SF)	P	P	P	P	P	P	P	P	S	P
Post Office (Local Service)	P	P	P	P	P	P	P	P	S	P
Research/Technology/Light Assembly	S	S	S	S	S	S	S	S	S	S
Trade School	S	S	S	S	S	S	S	S	S	S



**EXHIBIT 'C':**  
Amended Land Use Chart

<b>Retail &amp; Restaurant Land Uses</b>	<b>Harbor Residential</b>	<b>Freeway Frontage</b>	<b>Harbor Link Mixed-Use</b>	<b>Hillside</b>	<b>Hillside Mixed-Use</b>	<b>Summit Office</b>	<b>Horizon/Summer Lee</b>	<b>Interior</b>	<b>Residential</b>	<b>Ridge Road Retail</b>
Antique/Collectable Sales	P	P	P	P	P	P	P	S	S	P
Automobile Rental	S	S	S	S	S	S	S	S	S	S
Banquet Facility	P	P	P	P	P	P	P	S	S	P
Business School	P	P	P	P	P	P	P	S	S	P
Catering Service	P	P	P	P	P	P	P	S	S	P
Commercial Amusement/Recreation (Indoor) <sup>1</sup>	S	S	S	S	S	S	S	S	S	S
Community or Recreation Club, Public or Private (Accessory)	P	P	P	P	P	P	P	S	S	P
Copy Center	P	P	P	P	P	P	P	S	S	P
Display (Incidental) <sup>1</sup>	P	P	P	P	P	P	P	S	S	P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	P	P	P	P	P	P	P	S	S	P
Garden Supply/Plant Nursery	S	S	S	S	S	S	S	S	S	S
General Personal Service	P	P	P	P	P	P	P	S	S	P
Hair Salon/Manicurist	P	P	P	P	P	P	P	S	S	P
Health Club	P	P	P	P	P	P	P	S	S	P
Laundry (Drop-Off/Pickup)	P	P	P	P	P	P	P	S	S	P
Locksmith	P	P	P	P	P	P	P	S	S	P
Message Therapist	P	P	P	P	P	P	P	S	S	P
Museum or Art Gallery (Private)	P	P	P	P	P	P	P	S	S	P
Night Club, Discotheque or Dance Hall	S	S	S	S	S	S	S	S	S	S
Pet Shop	P	P	P	P	P	P	P	S	S	P
Private Club <sup>1</sup>	P	P	P	P	P	P	P	S	S	P
Private Club for a Lodge or Fraternal Organization	P	P	P	P	P	P	P	S	S	P
Restaurant (Less Than 2,000 SF, Without Drive-Through or Drive-In)	P	P	P	P	P	P	P	S	S	P
Restaurant (2,000 SF or More, Without Drive-Through or Drive-In)	P	P	P	P	P	P	P	S	S	P

**EXHIBIT 'C':**  
Amended Land Use Chart

Retail & Restaurant Land Uses	Harbor Residential	Freeway Frontage	Harbor Link Mixed-Use	Hillside	Hillside Mixed-Use	Summit Office	Horizon/Summer Lee	Interior	Residential	Ridge Road Retail
Restaurant With Accessory Private Club or Brew Pub <sup>1</sup>	P	P	P	P	P	P	P	S	S	P
Retail Store With Gasoline Product Sales (Limited to Area 3 ONLY -- As Shown in Exhibit A)						P				
Shoe and Boot Repair and Sales	P	P	P	P	P	P	P	S	S	P
Studio: Art, Photography and/or Music	P	P	P	P	P	P	P	S	S	P
Tailor, Clothing or Apparel Shop	P	P	P	P	P	P	P	S	S	P
Theater	S	P	S	P	S	P	S	S	S	S
Wholesale Showroom Facility	S	S	S	S	S	S	S	S	S	S

P: Permitted By-Right; A: Accessory Use; S: Specific Use Permit (SUP); <sup>1</sup>: Permitted w/ Conditions (See Article IV, Permissible Uses, of the Unified Development Code, as amended, For Each Conditional Use)

Note: All listed uses above shall be further regulated and/or limited within the specific Subdistrict standards contained in Ordinance No. 10-21; Exhibits C-2 through C11, with the exception of the *Other Uses* category which shall be permitted by right or allowed with a Specific Use Permit (SUP) as outlined, regardless of Subdistrict.

**Other Uses**

The following Uses Shall be Permitted By-Right in all Subdistricts:

Antenna (Accessory)  
Antenna (Amateur Radio)  
Antenna (Dish)  
Asphalt or Concrete Batch Plant (Temporary)  
Fund Raising Event by Non-Profit (Indoor/Outdoor -- Temporary)  
Garage (Accessory Use)  
Municipally Owned and/or Controlled Facilities (Utilities and Uses)  
Parking (Commercial)  
Parking Lot (Non-Commercial)  
Public Park or Playground  
Radio Broadcasting  
Real Estate Sales Office (On-Site -- Temporary)  
Recording Studio  
Satellite Dish  
Swimming Pool (Private -- Accessory Use)  
Temporary On-Site Construction Office

The Following Uses Shall be Permitted By SUP in all Subdistricts:

Antenna (Commercial)  
Antenna (Commercial -- Free-Standing)  
Antenna (Commercial -- Mounted)  
Helipad  
Private Streets  
Tennis Courts (Not Accessory to a Public or Private Club)  
Transit Passenger Facility  
TV Broadcasting & Other Communication Service  
Utilities Holding a Franchise Agreement from the City of Rockwall  
Utility Installation (Other Than Listed)  
Utility/Transmission Lines  
Wireless Communication Tower



CITY OF ROCKWALL

ORDINANCE NO. 16-28

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 10-21* OF PLANNED DEVELOPMENT DISTRICT 32 (PD-32) AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR AN URGENT CARE FACILITY ON A 1.042-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1 AND 2, BLOCK A, BRISCOE/HILLCREST ADDITION AND TRACT 41-2 OF THE E. TEAL SURVEY, ABSTRACT NO. 207, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Grey Stogner of Crestview Real Estate on behalf of Tom R. Briscoe and Briscoe Oil, Inc. for an amendment to *Ordinance No. 10-21* of Planned Development District 32 (PD-32) and the Unified Development Code [*Ordinance No. 04-38*] for the purpose of establishing a PD Development Plan for an *Urgent Care Facility* within the *Summit Office Subdistrict*, on a 1.042-acre tract of land identified as Lots 1 and 2, Block A, Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal Survey, Abstract No. 207, City of Rockwall, Rockwall County, Texas and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by adopting this PD Development Plan and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the PD Development Plan, as depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the



Unified Development Code [*Ordinance No. 04-38*], the IH-30 Overlay [*IH-30 OV*] District, and in compliance with the following conditions and requirements:

- 1) That development of this property shall generally conform to the *PD Development Plan* as submitted; and,
- 2) That a waiver be granted by the City Council for the Design Standards to the *Building Placement Requirements* of the *Summit Office Subdistrict* by allowing the building to be approximately 65-ft from the right-of-way of Horizon Road; and,
- 3) That a minimum of approximately 32% of the building's façade must be built to the build-to-line (*BTL*) adjacent to Pinnacle Way Drive; and,
- 4) That prior to the issuance of a Building Permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District No. 32 (*PD-32*) [*as amended*], the requirements approved in the PD Ordinance, and the Unified Development Code (*UDC*); and,
- 5) That prior to the issuance of a Building Permit, and after approval of a *PD Site Plan*, the applicant shall submit and seek approval of a *Final Plat* combining Lots 1 & 2, Block A of the Briscoe/Hillcrest Addition and Tract 41-2 of the E. Teal Survey, Abstract No. 207 for the development; and,
- 6) That dedication of a minimum of a 24-ft cross access easement extending from Pinnacle Way Drive and connecting to the property directly west of the subject property (*i.e. Lot 4, Block A, Harbor District Addition*); and,
- 7) That the buildings design scheme be reviewed by the Architectural Review Board (*ARB*) at the time of the *PD Site Plan*; and,
- 8) That any construction resulting from the approval of this *zoning amendment* shall conform to the requirements set forth by the Unified Development Code (*UDC*), the International Building Code (*IBC*), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

**Section 4.** That the City Council, in accordance with Section 272.001(b) of the Texas Local Government Code, does hereby authorize the abandonment of the right-of-way for Hill Top Lane (*as depicted in Exhibits 'B' of this ordinance*) to the adjacent landowners and the Mayor is hereby authorized to issue and sign a quitclaim deed to the adjacent landowners who last appear on the current tax rolls of the City;

**Section 5.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 6.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid

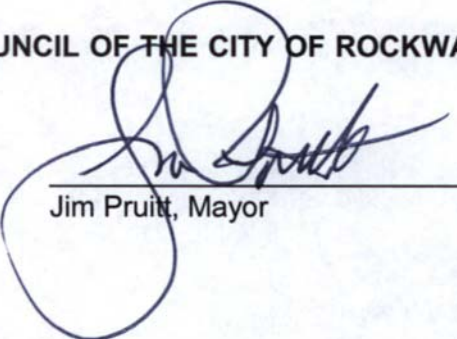


portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

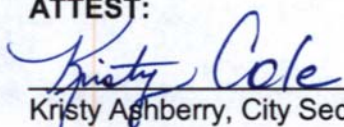
**Section 7.** That the standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 8.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

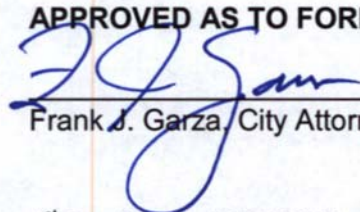
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 2<sup>nd</sup> DAY OF MAY, 2016.**

  
Jim Pruitt, Mayor

**ATTEST:**

  
Kristy Ashberry, City Secretary

**APPROVED AS TO FORM:**

  
Frank J. Garza, City Attorney

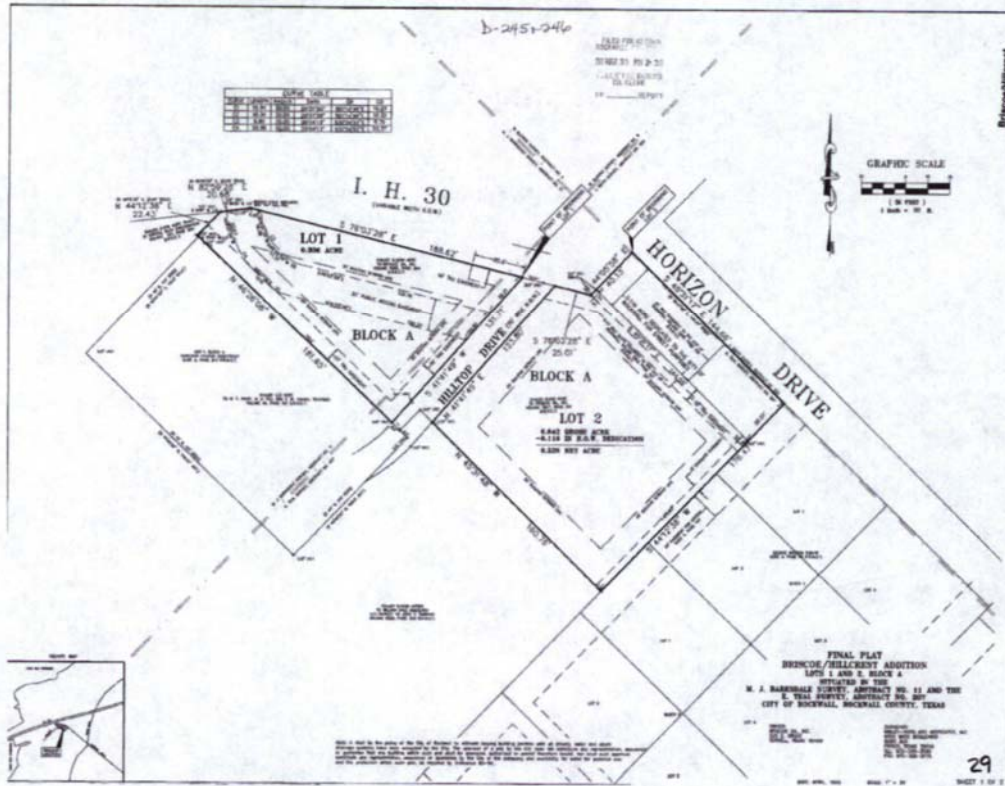


1<sup>st</sup> Reading: 04/18/2016

2<sup>nd</sup> Reading: 05/02/2016



# **Exhibit 'A':** **Legal Description**



## **LEGAL DESCRIPTION** **7,983 SQ. FT. / 0.1833 ACRES**

Being a 0.1833 acre tract of land situated in the E. Teal Survey, Abstract No. 207, in the City of Rockwall, being all of a called 0.18 acre tract of land described in a deed to Thomas R. and Jennifer Briscoe, recorded in Volume 1921, Page 102, Deed Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod set for the southerly corner of said called 0.18 acre tract, and being in the northwesterly line of Lot 2, Block 2, George Morton Estates, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat recorded in Cabinet A, Page 47, Plat Records, Rockwall County, Texas.

THENCE N 45°31'48" W, along the south line of said called 0.18 acre tract, a distance of 158.55 feet to a 1/2 inch iron rod set for the northwest corner of said called 0.18 acre tract;

THENCE N 41°27'59" E, along the northerly line of said called 0.18 acre tract, a distance of 50.07 feet to a 1/2 inch iron rod set for the common corner of said called 0.18 acre tract, and Lot 2, Block A of Briscoe / Hillcrest Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat recorded in Cabinet D, Page's 245, Plat Records, Rockwall County, Texas;

THENCE S 45°31'48" E, along the common line of said called 0.18 acre tract, and said Lot 2, Block A, a distance of 160.75 feet to a 1/2 inch iron rod set for the common corner of said called 0.18 acre tract, and said Lot 2, Block A, said point being in the northerly line of Lot 1, Block 2, of said George Morton Estates;

THENCE S 43°58'48" W, along the common line of called 0.18 acre tract, and said George Morton Estates, a distance of 50.00 feet to the POINT OF BEGINNING and containing 7,983 square feet or 0.1833 acres of and more or less.





## CITY OF ROCKWALL

### ORDINANCE NO. 16-48

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [*ORDINANCE NO. 10-21*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR A 4.034-ACRE PORTION OF A LARGER 6.915-ACRE TRACT OF LAND IDENTIFIED AS LOTS 3A, 4A & 5A, ISAAC BROWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jason Lentz of Atticus Real Estate on behalf of Atticus Rockwall, LLC for the approval of a PD Development Plan for 36 townhomes to be situated within the *Residential Subdistrict* of Planned Development District 32 (PD-32) on a 4.034-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 10-21* and the official zoning map of the City of Rockwall so as to approve a PD Development Plan for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of



approval of the amended zoning classification for the *Subject Property*; and,

**Section 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) Cross access (*as depicted in Exhibit 'B' of this ordinance*) shall be provided to the property directly north of the subject property;
- 2) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
- 3) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
- 4) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
- 5) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

**Section 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and

the publication of the caption of said ordinance as the law in such cases provides;

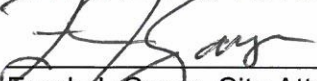
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 19<sup>TH</sup> DAY OF SEPTEMBER, 2016.**

**ATTEST:**

  
\_\_\_\_\_  
Kristy Cole, City Secretary

  
\_\_\_\_\_  
Jim Pruitt, Mayor

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: 09-06-2016

2<sup>nd</sup> Reading: 09-19-2016





**Exhibit 'A':**  
*Legal Description*

BEING situated in the Edward Teal Survey, Abstract Number 207, Rockwall County, Texas and being a portion of Lots 3A, 4A and 5A of Isaac Brown's Land Partitioned to His Heirs, an addition to the City of Rockwall according to the plat thereof recorded in Cabinet A, Slide 57, Plat Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at 1/2 inch iron rod with cap found at the northerly corner of said Lot 3A, said iron rod also being in the southeast right-of-way line of Summer Lee Drive (Variable Width Right-of-Way);

THENCE South 45 degrees 18 minutes 32 seconds East, 832.95 feet along the northeast line of said Lot 3A and the southwest line of Lot 2A of said Land Partitioned to a 1/2 inch iron rod with cap stamped "RSCI" found at the easterly corner of said Lot 3A, said iron rod also being the southerly corner of said Lot 2A and being in the northwest line of Lot 1, Block 1, Hammer Addition, an addition to the City of Rockwall according to the plat thereof recorded in Cabinet D, Slide 210, Plat Records, Rockwall County, Texas;

THENCE South 43 degrees 52 minutes 08 seconds West, 359.62 feet along the southeast line of said Lots 3A, 4A and 5A and along said northwest line of Hammer Addition and along the northwest line of Lot 1, Block A, Murphy Plaza, an addition to the City of Rockwall according to the plat thereof recorded in Cabinet C, Slide 79, Plat Records, Rockwall County, Texas and along the northwest line of Lot 1, Block A, Murphy Plaza No. 2, an addition to the City of Rockwall according to the plat thereof recorded in Cabinet G, Slide 255, Plat Records, Rockwall County, Texas to a 1/2 inch iron rod with cap stamped "RSCI" found at the southerly corner of said Lot 5A, said iron rod also being the easterly corner of Lot 6A of said Land Partitioned;

THENCE North 45 degrees 23 minutes 09 seconds West, 302.11 feet along the southwest line of said Lot 5A and the northeast line of said Lot 6A;

THENCE North 37 degrees 38 minutes 28 seconds East, 1.94 feet, departing said southwest line of Lot 5A and said northeast line of Lot 6A to the beginning of a curve to the left;

THENCE 154.89 feet, with said curve to the left, having a radius of 136.00 feet, through a central angle of 65 degrees 15 minutes 22 seconds, whose long chord bears North 05 degrees 00 minutes 47 seconds East, 146.66 feet to the beginning of a reverse curve to the right;

THENCE 65.78 feet, with said reverse curve to the right, having a radius of 138.00 feet, through a central angle of 27 degrees 18 minutes 33 seconds, whose long chord bears North 13 degrees 57 minutes 37 seconds West, 65.15 feet;

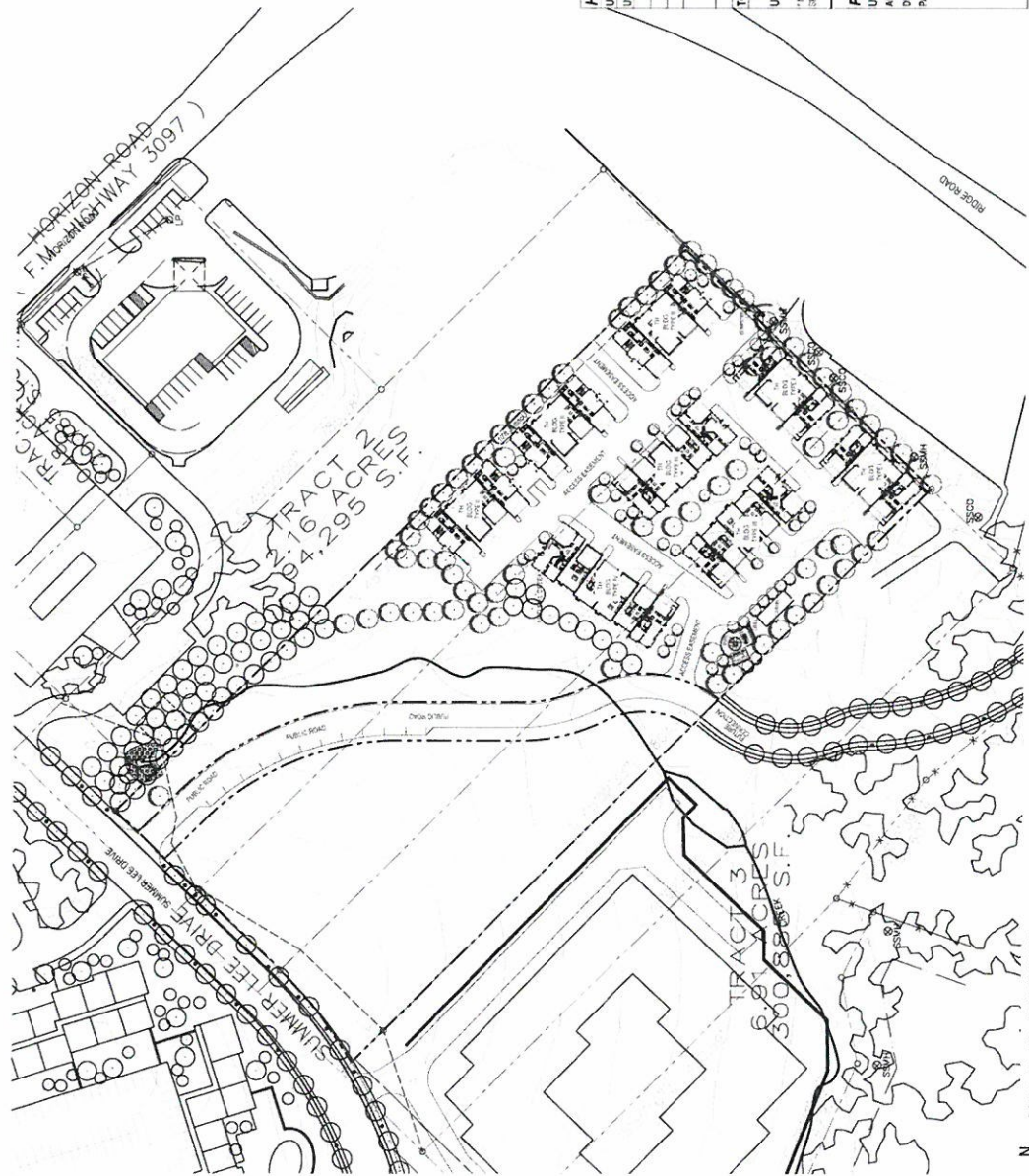
THENCE North 00 degrees 18 minutes 21 seconds West, 137.25 feet to the beginning of a curve to the left;

THENCE 255.82 feet, with said curve to the left, having a radius of 339.00 feet, through a central angle of 43 degrees 14 minutes 11 seconds, whose long chord bears North 23 degrees 39 minutes 31 seconds West, 249.79 feet;

THENCE North 45 degrees 16 minutes 37 seconds West, 56.95 feet to a point in said southeast right-of-way line of Summer Lee Drive;

THENCE North 43 degrees 50 minutes 20 seconds East, 22.06 feet along said southeast right-of-way line of Summer Lee Drive to the POINT OF BEGINNING and containing 175,714 square feet or 4.034 acres of land, more or less.

Exhibit 'B':  
Concept Plan



HARBOR URBAN CENTER TOWN HOMES ATTICUS REAL ESTATE					2015085
UNIT TABULATION 2 STORY TOWN HOMES					91716
UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	PERCENTAGE	TOTAL AREA
THA	THA	1,872	9	25%	14,598
THB	THB	1,994	11	31%	18,634
THC1	THC1	1,882	7	19%	13,174
THC2	THC2	2,571	3	8%	7,713
THD	THD	2,163	6	17%	12,978
TOTALS			36	100.00%	67,097
UNIT AVERAGE NET SF:				1,863.81	
*ALL AREAS COMPUTED TO INCLUDE GARAGE (DO NOT EXCEED TOTAL OF ALL EXISTING NAME WALLS THAT EXCLUDE AC SPACE). IT DOES NOT INCLUDE PATIOS, BALCONIES, PATIOES, OR PORCHES.					
PROJECT DATA					
UNIT AVERAGE NET SF:	1,863.81	S.F.			
ACREAGE:	4.32	ACRES			
DENSITY:	7.97	UNITS/ACRE			
PARKING:					
REQUIRED:	73	SPACES			
PROVIDED:	72	GARAGE SPACES			
	16	SURFACE VISITOR SPACES			
	88	TOTAL SPACES			
	2.44	SPACES/UNIT			

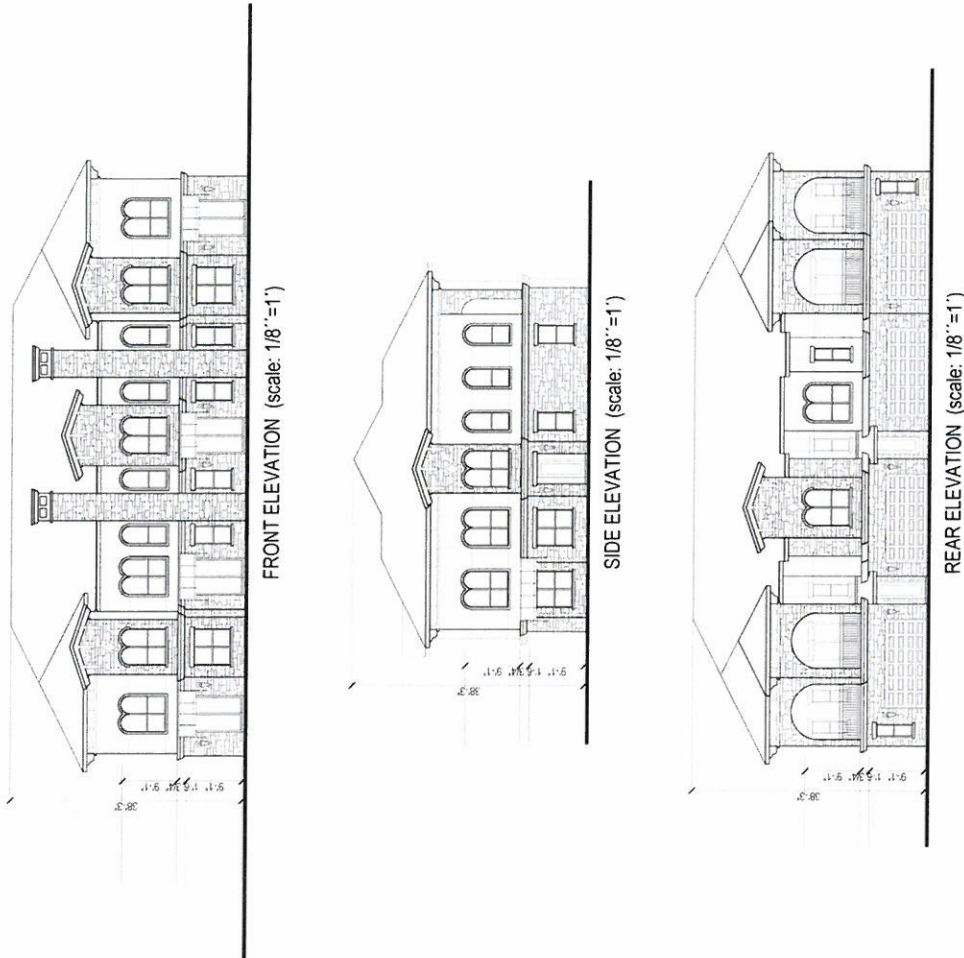
A203  
Z2016-026  
HARBOR URBAN CENTER  
Rockwall, TX  
10/04/15

ARCHITECTURAL SITEPLAN  
TOWNHOMES



HUMPHREYS & PARTNERS ARCHITECTS, L.P.  
5500 Spring Valley Road, Suite 300, Dallas, TX 75244 | 214.721.5500 | www.humphreys.com

# Exhibit 'C': Concept Building Elevations



SCALE: 1/8" = 1'-0" (24"x36" SHEET)

0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
5537 Highway 300, Suite 300, Dallas, TX 75247 | 972.681.7638 | www.humphreys.com



TH BLDG II. ELEVATIONS  
August 3, 2016

**A422**  
Z2016-026  
**HARBOUR URBAN CENTER**  
Rockwall, TX  
8/9/16 E026



**Exhibit 'C':**  
**Concept Building Elevations**



SCALE: 1/8" = 1'-0" (24"x36" SHEET)  
 0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 533 Highland, Suite 300, Dallas, TX 75201 | 214.761.8638 | www.humphreys.com

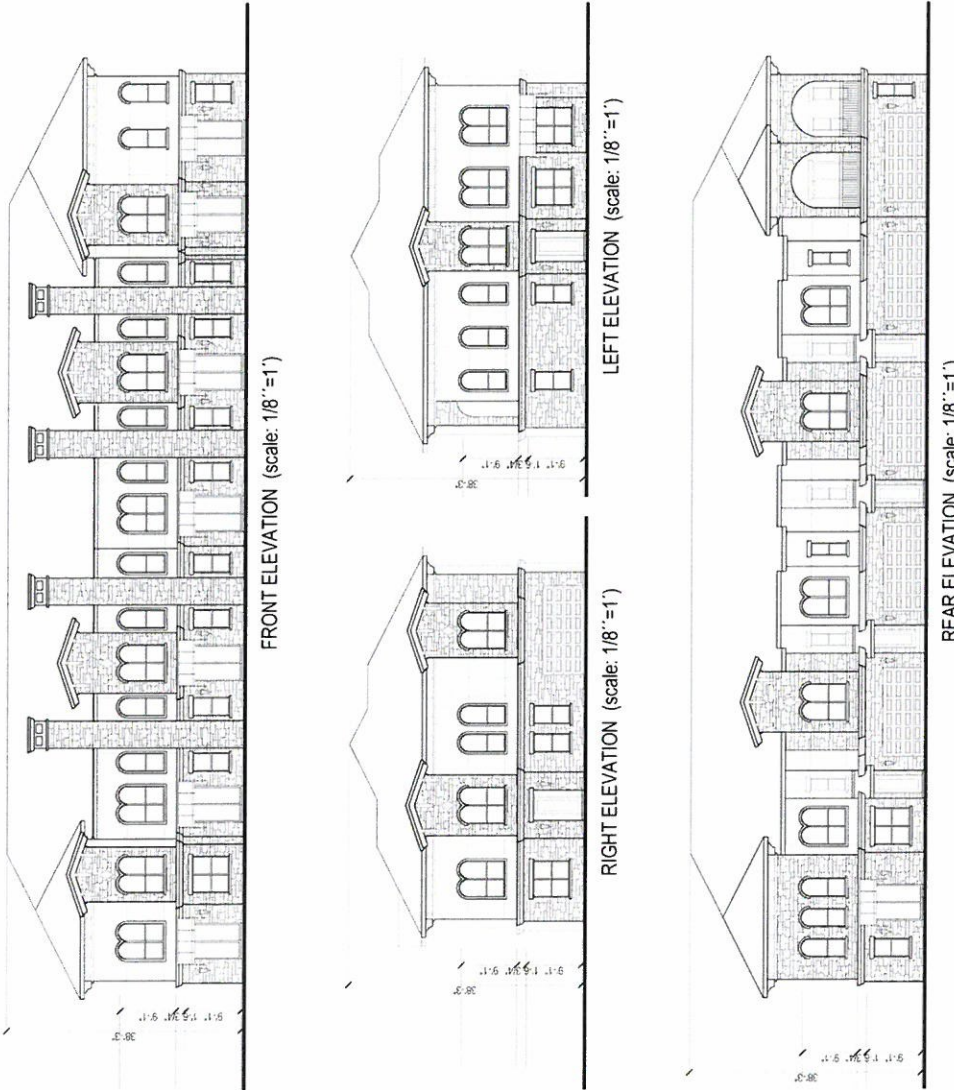


TH BLDG III. ELEVATIONS  
 August 2016

**A432**  
 Z2016-026  
**HARBOR URBAN CENTER**  
 Rockwall, TX  
 8948 1005



# Exhibit 'C': Concept Building Elevations



SCALE: 1/8" = 1'-0" (24"x36" SHEET)  
0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
5339 Apple Rd., Suite 200, Dallas, TX 75236 | 972.701.9536 | www.humphreys.com



**TH BLDG III: ELEVATIONS**  
August 2, 2016

**A442**  
Z2016-026  
**HARBOUR URBAN CENTER**  
Rockwall, TX  
99041 18005

CITY OF ROCKWALL

ORDINANCE NO. 16-54

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 10-21] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN FOR A 2.143-ACRE PORTION OF A LARGER 6.915-ACRE TRACT OF LAND IDENTIFIED AS LOTS 3A, 4A & 5A, ISAAC BROWN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Jason Lentz of Atticus Real Estate on behalf of Atticus Rockwall, LLC for the approval of a PD Development Plan for a 228 unit, condominium development to be situated within the *Interior Subdistrict* of Planned Development District 32 (PD-32) on a 2.143-acre portion of a larger 6.915-acre tract of land identified as Lots 3A, 4A & 5A, Isaac Brown Addition, City of Rockwall, Rockwall County, Texas, and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No. 10-21] and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That Planned Development District 32 (PD-32) [Ordinance No. 10-21] and the Unified Development Code [Ordinance No. 04-38], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with Ordinance No. 10-21 and the official zoning map of the City of Rockwall so as to approve a *PD Development Plan* for the *Subject Property*; and,

**Section 2.** That development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That development of the *Subject Property* shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of

approval of the amended zoning classification for the *Subject Property*; and,

**Section 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

- 1) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the *Street Type 'G<sub>1</sub>'* standards stipulated in *Exhibit 'D'* of this ordinance; and,
- 2) The minimum building setback adjacent to *Street Type 'G<sub>1</sub>'* shall be one (1) foot; and,
- 3) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*; and,
- 4) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (*and City Council if necessary*); and,
- 5) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board; and,
- 6) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

**Section 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City

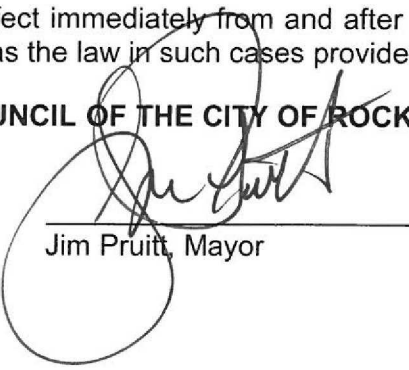
Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

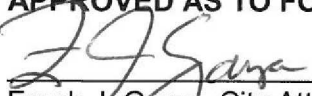
**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 3<sup>rd</sup> DAY OF October, 2016.**

**ATTEST:**

  
\_\_\_\_\_  
Kristy Cole, City Secretary

  
\_\_\_\_\_  
Jim Pruitt, Mayor

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Frank J. Garza, City Attorney

1<sup>st</sup> Reading: 09/19/2016

2<sup>nd</sup> Reading: 10/03/2016





**Exhibit 'A':**  
*Legal Description*

BEING situated in the Edward Teal Survey, Abstract Number 207, Rockwall County, Texas and being a portion of Lots 3A, 4A and 5A of Isaac Brown's Land Partitioned to His Heirs, an addition to the City of Rockwall according to the plat thereof recorded in Cabinet A, Slide 57, Plat Records, Rockwall County, Texas and a portion of that certain tract of land described by deed to the City of Rockwall recorded in County Clerk's File Number 2005-00330949, Deed Records, Rockwall County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod with cap found in the southwest line of said Lot 5A, said iron rod being the westerly corner of that certain tract of land described by deed to Atticus Real Estate Services, Inc. recorded in County Clerk's File Number 2007-00386856, Deed Records, Rockwall County, Texas and being the southerly corner of said City tract and being in the northeast line of Lot 6A of said Land Partitioned and being in the southeast right-of-way line of Summer Lee Drive (Variable Width Right-of-Way);

THENCE North 45 degrees 23 minutes 09 seconds West, 46.09 feet along said southwest line of Lot 5A and said northeast line of Lot 6A to the beginning of a non-tangent curve to the left;

THENCE 163.12 feet, with said non-tangent curve to the left, having a radius of 532.50 feet, through a central angle of 14 degrees 38 minutes 45 seconds, whose long chord bears North 51 degrees 09 minutes 43 seconds East, 135.75 feet to a 1/2 inch iron rod with cap stamped "RDS" found in the southeast right-of-way line of Summer Lee Drive;

THENCE North 43 degrees 50 minutes 20 seconds East, 153.81 feet, continuing along said southeast right-of-way line of Summer Lee Drive;

THENCE South 45 degrees 16 minutes 37 seconds East, 56.18 feet, departing said southeast right-of-way line of Summer Lee Drive to the beginning of a curve to the right;

THENCE 217.36 feet, with said curve to the right, having a radius of 289.00 feet, through a central angle of 43 degrees 05 minutes 32 seconds, whose long chord bears South 23 degrees 43 minutes 51 seconds East, 212.27 feet;

THENCE South 00 degrees 18 minutes 21 seconds East, 136.46 feet to the beginning of a curve to the left;

THENCE 89.61 feet, with said curve to the left, having a radius of 188.00 feet, through a central angle of 27 degrees 18 minutes 33 seconds, whose long chord bears South 13 degrees 57 minutes 37 seconds East, 88.76 feet to the beginning of a reverse curve to the right;

THENCE 93.75 feet, with said reverse curve to the right, having a radius of 86.00 feet, through a central angle of 62 degrees 27 minutes 44 seconds, whose long chord bears South 03 degrees 36 minutes 59 seconds West, 89.18 feet to a point in said southwest line of Lot 5A, said point also being in said northeast line of Lot 6A;

THENCE North 45 degrees 23 minutes 09 seconds West, 451.38 feet along said southwest line of Lot 5A and said northeast line of Lot 6A to the POINT OF BEGINNING and containing 93,358 square feet or 2.143 acres of land, more or less.

Exhibit 'B':  
Concept Plan

HARBOR URBAN CENTER - PODIUM					ATTICUS REAL ESTATE	
UNIT NAME	UNIT TYPE	NET RENTABLE	UNIT COUNT	PERCENTAGE	TOTAL RENTABLE	% BREAKDOWN
E2	EFF	485	22	10%	10,670	10%
A1	1br/1ba	547	8	4%	5,176	
A2	1br/1ba	518	54	24%	31,372	
A3	1br/1ba	550	27	12%	17,550	57%
A4	1br/1ba	735	34	15%	25,024	
A5	1br/1ba	553	8	4%	5,564	
B2	2br/2ba	944	15	7%	15,104	
B3	2br/2ba	1,042	19	8%	19,972	33%
B4	2br/2ba	1,401	29	13%	31,972	
B5	2br/2ba	1,273	11	5%	14,055	
<b>TOTALS</b>			<b>223</b>	<b>100%</b>	<b>178,270</b>	<b>100%</b>
UNIT AVERAGE NET SF:					781.89	

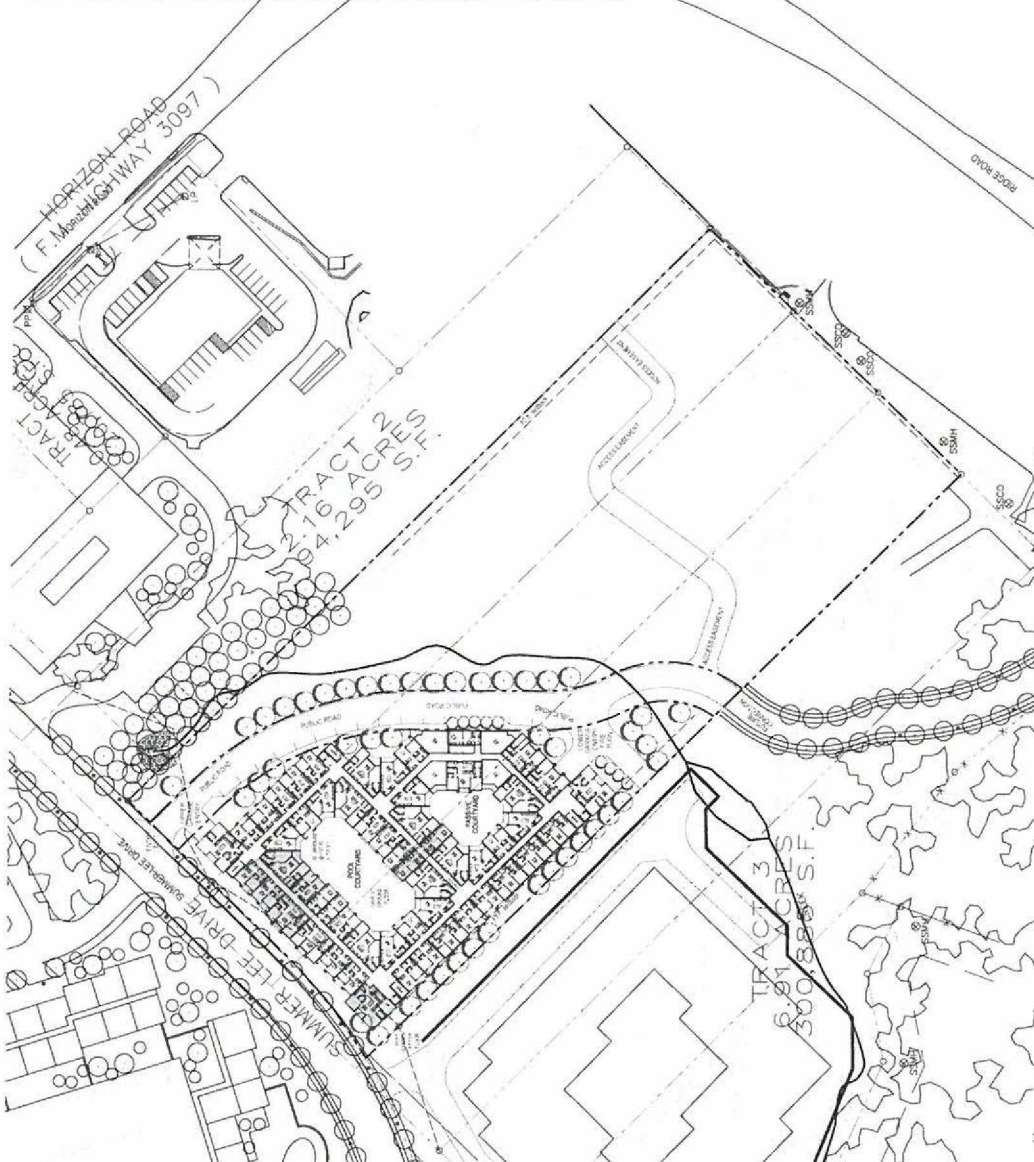
\*NET AREA IS CONVERTED TO A GROSS SQUARE FOOTAGE FROM EXTERIOR FACE OF ALL EXTERIOR WALLS THAT ENCLOSE THE SPACE. IT DOES NOT INCLUDE FINISH BASEMENTS, ATTIC OR STORAGE.

**PROJECT DATA**  
 GROSS TOTAL UNIT AREA:  
 UNIT AVERAGE NET SF:  
 ACREAGE:  
 DENSITY:

178,270 S.F.  
 781.89 S.F.  
 4.16 ACRES  
 122.41 UNITS/ACRE

**PARKING:**  
 REQUIRED:  
 PROVIDED:

345 SURFACE SPACES (1.8 UNIT)  
 345 GARAGE SPACES  
 11 SURFACE SPACES  
 344 TOTAL SPACES  
 1.75 SPACES/UNIT



N  
 SCALE: 1" = 50' (24" x 36" SHEET)  
 0' 50' 100' 200'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5308 MAYFIELD AVE., SUITE 100, ROCKWALL, TX 75087  
 TEL: 972.961.1000 | WWW.HUMPHREYS-PA.COM

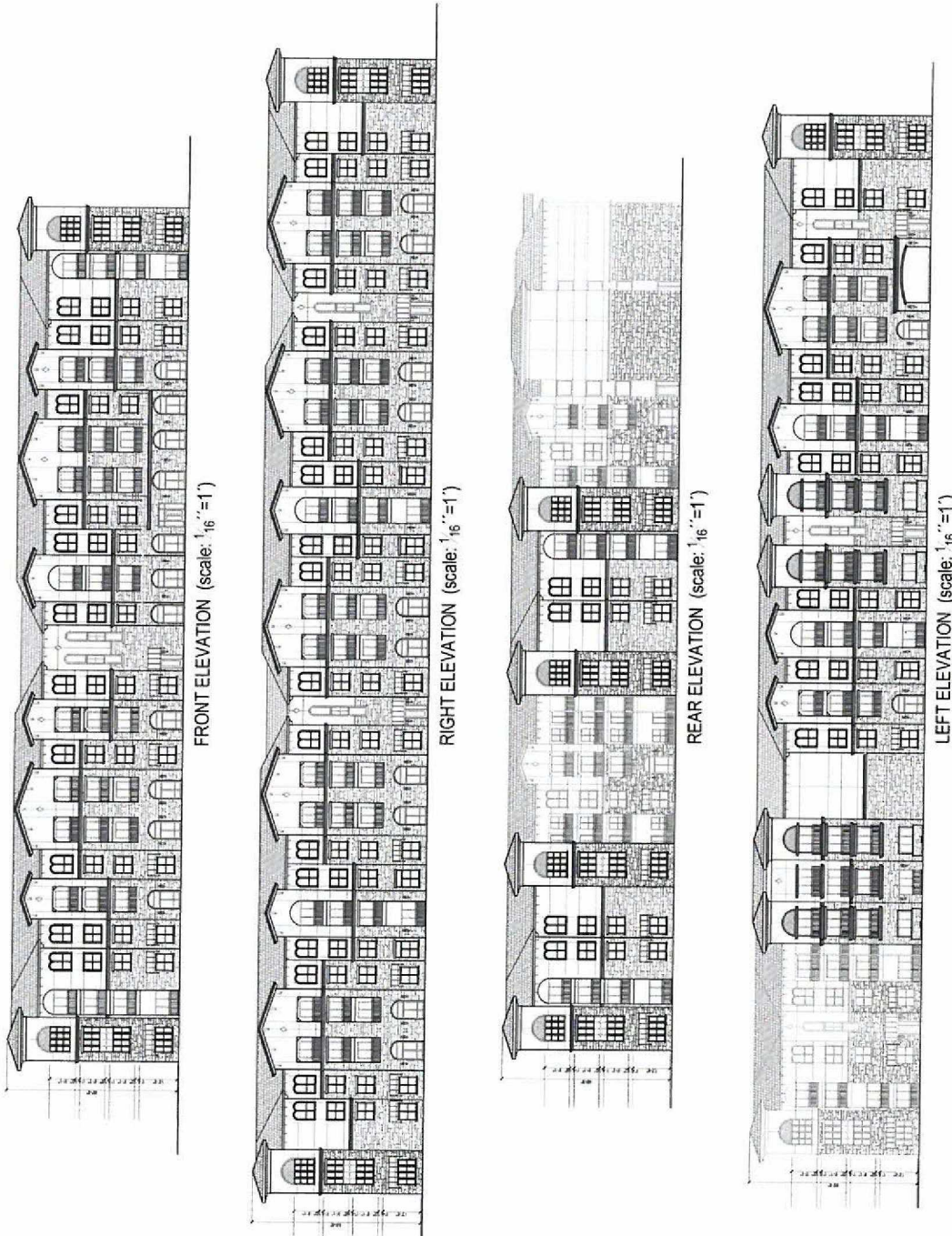


**ARCHITECTURAL SITEPLAN**  
 CONDOMINIUMS  
 PREPARED: 12.2016

**A202**  
 Z2016-025  
**HARBOR URBAN CENTER**  
 Rockwall, TX  
 HPW 16205



**Exhibit 'C':**  
**Building Elevations**



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
3033 Autumn Ridge, Suite 300, Dallas, TX 75246 | 972.751.9600 | www.humphreys.com



WRAP BLDG. ELEVATIONS

August 2, 2016

**A412**  
ZZ016-025  
**HARBOR URBAN CENTER**  
CONDOMINIUMS  
1994 19206

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
5330 Appleway, Suite 300, Dallas, TX 75246 | 972.751.6825 | [www.hmpa.com](http://www.hmpa.com)

 **ATTICUS**  
DESIGN + CONSTRUCTION

WRAP BLDG. ELEVATIONS

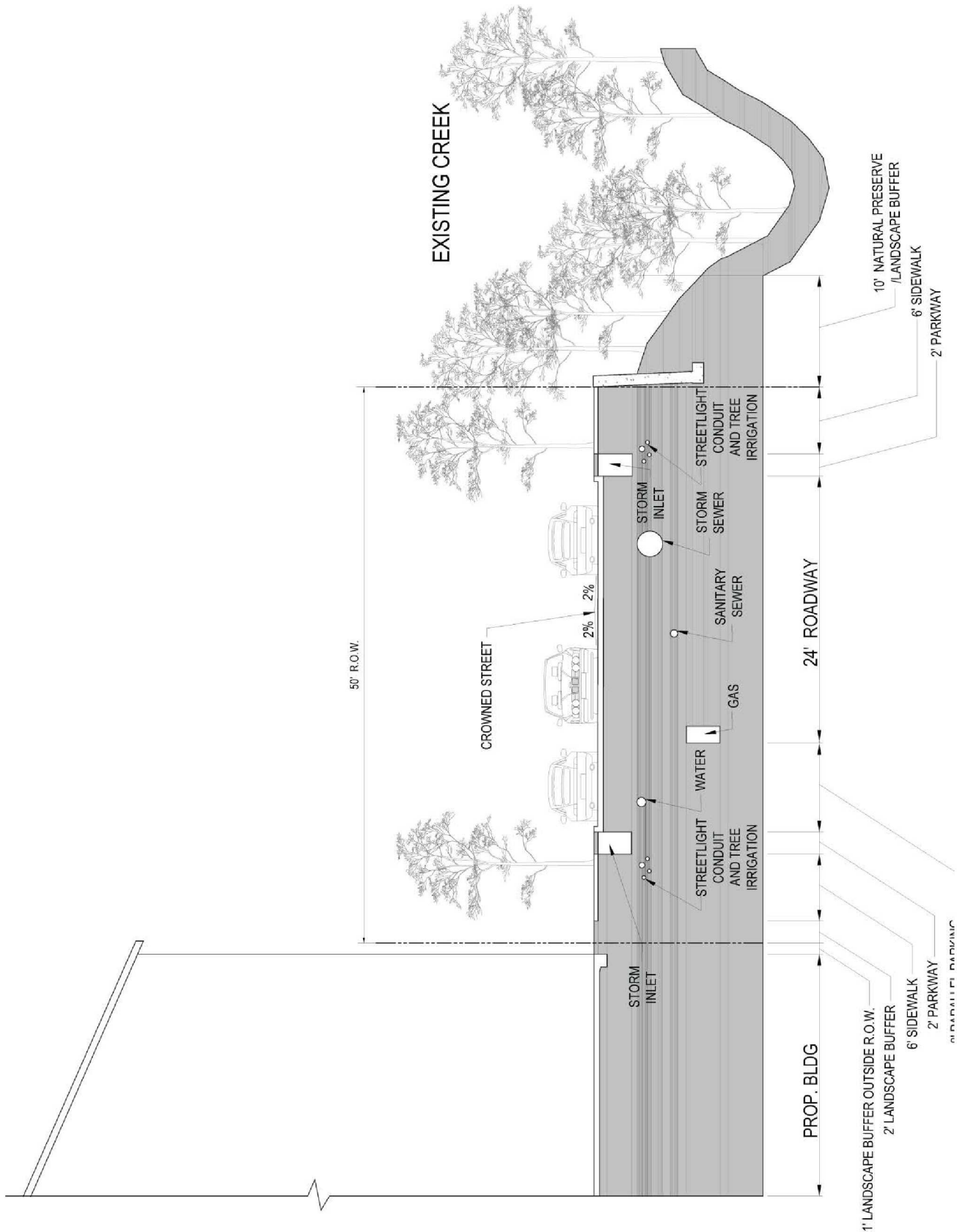
April 11, 2016

**HARBOUR URBAN CENTER**  
Rowland, TX  
10/04/16205

**A412**



**Exhibit 'D':**  
**Roadway Cross Section**



CITY OF ROCKWALL

ORDINANCE NO. 17-64

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING *ORDINANCE NO. 11-43 & ORDINANCE NO. 13-16*, PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [*ORDINANCE NO. 10-21*] AND THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A DEVELOPMENT PLAN ON APPROXIMATELY 7.344-ACRES FOR PROPERTY IDENTIFIED AS LOT 9, BLOCK A, HARBOR-ROCKWALL ADDITION AND TRACT 16 OF THE M. J. BARKSDALE SURVEY, ABSTRACT NO. 11, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF *TWO THOUSAND DOLLARS (\$2,000.00)* FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request from Kevin Hickman of PegasusAblon on behalf of Rockwall Rental Properties, LP for the approval of a Planned Development (PD) Development Plan within Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] for a 7.344-acre tract of land identified as Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), located at the southwest corner of the intersection of the IH-30 frontage road and Lakefront Trail and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that *Ordinance No.'s 11-43 & 13-16*, Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That any portion of *Ordinance No.'s 11-43 & 13-16* in conflict with this ordinance shall be subject to the requirements of this ordinance;

**SECTION 2.** That Planned Development District 32 (PD-32) [*Ordinance No. 10-21*] and the Unified Development Code [*Ordinance No. 04-38*], as heretofore amended, shall be further amended by amending the PD Development Plans approved with *Ordinance No.'s 11-43 & 13-16* and the official zoning map of the City of Rockwall so as to approve a PD Development Plan for the *Subject Property*; and,

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the PD Development Plan, described in *Exhibit 'B'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**SECTION 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 10-21*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

## 4.1 CONSTRUCTION SCHEDULE

### *Building Adjacent to Lakefront Trail (i.e. Building ①)*

This *PD Development Plan* shall be subject to review by City Staff and/or the Planning and Zoning Commission and City Council on June 1, 2019. At the time of review, if a building permit has not been issued for the proposed multi-family development adjacent to Lakefront Trail (*indicated as ① on Exhibit 'B' of this ordinance and consisting of 375 condominium units*), City Staff shall provide a report, with the assistance of the developer, to the Planning and Zoning Commission and City Council indicating the progress of the development. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the additional 26 allocated condominium units (*i.e. reducing the number of units for the multi-family development adjacent to Lakefront Trail -- indicated as ① on Exhibit 'B' of this ordinance -- to 349 condominium units*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional 26 allocated condominium units.

### *Building Adjacent to the Harbor Fountain (i.e. Building ②)*

This *PD Development Plan* shall be subject to review by City Staff and/or the Planning and Zoning Commission and City Council on June 1, 2020. At the time of review, if a building permit has not been issued for the proposed multi-family development adjacent to the Harbor Fountain (*indicated as ② on Exhibit 'B' of this ordinance and consisting of 75 condominium units*), City Staff shall provide a report, with the assistance of the developer, to the Planning and Zoning Commission and City Council indicating the progress of the development. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the additional 25 allocated condominium units (*i.e. reducing the number of units for the multi-family development adjacent to the Harbor Fountain -- indicated as ② on Exhibit 'B' of this ordinance -- to 50 condominium units*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional 25 allocated condominium units.

### *Commencement of Construction and Continuous Construction*

Once a building permit has been issued for either property (*i.e. Building ① or Building ②*), the developer/property owner shall have six (6) months to commence construction on the site in accordance with Section 10-116 of Article III, *Building Code*, of Chapter 10, *Buildings and Building Regulations*, of the Municipal Code of Ordinances (*i.e. Section [A] 105.5, Expiration, of the International Building Code*). Once construction has commenced, construction must be continuous during the regular workweek unless construction is delayed due to delays beyond the control of the developer/property owner. Such delays shall include, but not be limited to, fires, floods, labor disputes, epidemics, abnormal weather conditions, acts of God or any preference, priority or allocation order duly issued by the Federal Government. Abnormal weather delays are those that are beyond what is normal for the climate and time of year. If construction of the site has not commenced within six (6) months of the issuance of a building permit, or construction is not continuous, City staff shall provide a report, to the Planning and Zoning Commission and City Council indicating the progress of the development and possible revocation of the permit. Upon review of the report, the Planning and Zoning Commission shall provide a recommendation to the City Council concerning the possible revocation of the permit for additional allocated condominium units (*i.e. reducing the number of units for either project back to the numbers approved under Ordinance No. 13-16*), and after review of the report and recommendation of the Planning and Zoning Commission the City Council may -- *after proper notice* -- initiate public hearings for the revocation of the additional allocated condominium units.

## 4.2 DEVELOPMENT CONDITIONS

- 1) Development of this property shall generally conform to the *PD Development Plan* depicted in



*Exhibit 'B' of this ordinance;*

- 2) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a detailed PD Site Plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [as amended] and with the requirements approved in this ordinance;
- 3) The proposed multi-family development adjacent to Lakefront Trail (*indicated as ① on Exhibit 'B' of this ordinance*) shall be permitted to consist of a maximum of 375 condominium units. The proposed multi-family development adjacent to the Harbor Fountain (*indicated as ② on Exhibit 'B' of this ordinance*) shall be permitted to consist of a maximum of 75 condominium units.
- 4) Prior to the issuance of a Building Permit the applicant shall submit and seek approval for a subdivision plat;
- 5) The architectural design of all buildings within the two (2) affected Subdistricts (*i.e. the Harbor Residential Subdistrict and the Harbor Link Mixed-Use Subdistrict*) shall conform to the Harbor District Guidelines (*i.e. Resolution 10-40*), all applicable ordinances associated with Planned Development District 32 (PD-32) [as amended], and to the Unified Development Code;
- 6) All buildings throughout the development shall be constructed with a consistent design scheme, and be approved by the Architectural Review Board (ARB);
- 7) The pedestrian access extending from Lakefront Trail to the Harbor Fountain will be required to be located within a *Pedestrian Access Easement* to be shown on the final plat; and
- 8) The proposed uses for this development shall be required to demonstrate that they have access to a sufficient number of parking spaces within the development to support their use.

**SECTION 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**SECTION 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**SECTION 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;



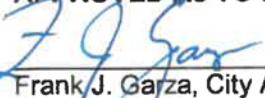
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS  
THE 18<sup>TH</sup> DAY OF DECEMBER, 2017

  
\_\_\_\_\_  
Jim Pruitt, Mayor

ATTEST:

  
\_\_\_\_\_  
Kristy Cole, City Secretary

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: November 20, 2017

2<sup>nd</sup> Reading: December 18, 2017

**Exhibit 'A':**  
*Legal Description*



Legal Description: Lot 9, Block A, Harbor-Rockwall Addition and Tract 16 of the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas



**Exhibit 'A':**  
*Legal Description*

Legal Description: *Tract 16 of the M. J. Barksdale Survey, Abstract No. 11*

Being a tract of land situated in the M. J. Barksdale Survey, Abstract No. 11, City of Rockwall, Rockwall County, Texas, and being a 1.225-acre tract out of a 55.200-acre tract as recorded in *Volume 59, Page 383*, deed records of Rockwall County, Texas, and being more particularly described as follows:

*BEGINNING* at a point on the southeast line of Interstate Highway 30, said point being 286.50-feet more or less, from the north corner of said 55.20-acre tract, a 3/8" iron rod found for corner;

*THENCE*, South 38 Degrees 29 Minutes 38 Seconds East, leaving the said southeast line of Interstate Highway 30, a distance of 254.63-feet to a 5/8" iron rod found for corner;

*THENCE*, South 44 Degrees 24 Minutes 14 Seconds West, a distance of 176.46-feet to a 1/2" iron rod found for corner;

*THENCE*, North 43 Degrees 48 Minutes 20 Seconds West, a distance of 311.10-feet to a point on the southeast line of the Interstate Highway 30, a 3/8" iron rod set for corner;

*THENCE*, North 50 Degrees 48 Minutes East, along the southeast line of Interstate Highway 30, a distance of 206.43-feet to the *PLACE OF BEGINNING* and containing 53,371.640 SF or 1.225-acres of land, more or less.

## PD Development Plan





CITY OF ROCKWALL

ORDINANCE NO. 18-16

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO.'S 16-48, 16-54 & 17-22], SPECIFIC USE PERMIT NO. S-182 [ORDINANCE NO. 18-07] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 04-38] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A *PD DEVELOPMENT PLAN* FOR A 9.081-ACRE TRACT OF LAND IDENTIFIED AS LOT 2A OF THE ISAAC BROWN ADDITION AND LOTS 1 & 2, BLOCK A, HARBOR VILLAGE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED HEREIN BY *EXHIBIT 'A'*; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Cameron Slown of F. C. Cuny Corporation on behalf of Phillip McNeill, Jr. of McNeill Hotel Company and Jason Lentz of Atticus Summer Lee Townhomes for the approval of a *PD Development Plan* for a 42-unit townhome development, 228-unit condominium development, and a hotel development situated within the *Interior and Residential Subdistricts* of Planned Development District 32 (PD-32) and being on a 9.081-acre tract of land identified as Lot 2A of the Isaac Brown Addition and Lots 1 & 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), and more fully described in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [Ordinance No.'s 16-48, 16-54 & 17-22], Specific Use Permit No. S-182 [Ordinance No. 18-07] and the Unified Development Code [Ordinance No. 04-38] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**Section 1.** That the approval of this ordinance shall superseded all requirements stipulated in *Ordinance No.'s 16-48, 16-54, & 18-07*; and,

**Section 2.** That Planned Development District 32 (PD-32) [Ordinance No. 17-22] and the Unified Development Code [Ordinance No. 04-38], as heretofore amended, shall be further amended by amending the *Concept Plan* approved with *Ordinance No. 17-22* and the official zoning map of the City of Rockwall so as to approve a *PD Development Plan* for the *Subject Property*; and,

**Section 2.** That the development of the *Subject Property* shall generally be in accordance with the *PD Development Plan*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 3.** That development of *Areas 1, 2 & 3* of the *Subject Property* -- as depicted in *Exhibit 'B'* of this ordinance -- shall generally be in accordance with the *Concept Building Elevations*, depicted in *Exhibit 'D'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'D'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**Section 4.** That *Areas 1, 2 & 3* of the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 04-38*], and in compliance with the following conditions and requirements:

**Area 1: Townhomes**

- 1) Cross access (as depicted in *Exhibit 'C'* of this ordinance) shall be provided to the property directly north of the subject property.
- 2) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [as amended] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*.
- 3) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (and City Council if necessary).
- 4) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board.
- 5) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

**Area 2: Condominiums**

- 6) The north/south public road connecting Summer Lee Drive to the southwest corner of the subject property shall be designed and constructed in accordance with the *Street Type 'G<sub>1</sub>'* standards stipulated in *Exhibit 'E'* of this ordinance.
- 7) The minimum building setback adjacent to *Street Type 'G<sub>1</sub>'* shall be one (1) foot.
- 8) Prior to the submittal of a final plat the applicant shall submit and seek approval of a detailed site plan that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [as amended] and this ordinance, and with the guidelines contained in *Resolution No. 10-40*.
- 9) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (and City Council if necessary).

- 10) An open space master plan will need to be submitted with the site plan. The open space master plan will need to be reviewed by the Parks Board.
- 11) Prior to the issuance of a building permit, the applicant shall submit and seek approval of a final plat.

Area 3: Hotel

- 1) This *PD Development Plan* shall constitute approval of a structure in excess of 36-feet within the Scenic Overlay (SOV) District, and satisfy the requirements of Subsection C, *Special Use Standards*, of Section 6.8, *Scenic Overlay (SOV) District*, of Article V, *District Development Standards*, of the Unified Development Code [Ordinance No. 04-38].
- 2) The proposed hotel shall be prohibited from being utilized as an *Extended Stay*, *Transient* or *Residence Hotel*, which are considered to be standard hotel rooms that do not contain kitchen facilities.
- 3) The building elevations submitted with the site plan will require a recommendation from the Architectural Review Board (ARB) prior to approval by the Planning and Zoning Commission (and City Council if necessary).

**Section 5.** The official zoning map of the City of Rockwall, Texas be corrected to reflect the changes in zoning described in this ordinance;

**Section 6.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

**Section 7.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**Section 8.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**Section 9.** That this ordinance shall take effect immediately from and after its passage and the publication of the caption of said ordinance as the law in such cases provides;

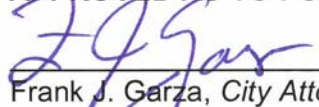
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>TH</sup> DAY OF MARCH, 2018.

  
\_\_\_\_\_  
Jim Pruitt, Mayor

ATTEST:

  
\_\_\_\_\_  
Kristy Cole, City Secretary

APPROVED AS TO FORM:

  
\_\_\_\_\_  
Frank J. Garza, City Attorney



1<sup>st</sup> Reading: February 19, 2018

2<sup>nd</sup> Reading: March 5, 2018



**Exhibit 'A':**  
**Legal Description**

*BEING* situated in the Edward Teal Survey, Abstract Number 207, Rockwall County, Texas and being a portion of Lots 2A of Isaac Brown's Land Partitioned to His Heirs, an addition to the City of Rockwall according to the plat thereof recorded in Cabinet J, Slide 235-236, Plat Records, Rockwall County, Texas and Lots 1 and 2 Block A of the Harbor Village Addition an addition to the City of Rockwall according to the plat recorded in County Clerk's File Number 20170000020949, Plat Records, Rockwall County, Texas, and being more particularly described by metes and bounds as follows:

*BEGINNING* at a 1/2 inch iron rod with cap stamped "RSCI" found at the southerly corner of said Lot 2 block A, said iron rod also being the easterly corner of Lot 6A of said Land Partitioned, and being in the northwest line of Murphy Plaza No. 2, an addition to the City of Rockwall according to the plat thereof recorded in Cabinet G, Slide 255, Plat Records, Rockwall County, Texas;

*THENCE* North 45 degrees 23 minutes 09 seconds West, 803.96 feet along the southwest line of said Lot 2 block A and the northeast line of said Lot 6A to a 1/2 inch iron rod with cap found at the southernmost corner of that certain tract of land described in Resolution No. 16-19, executed by the City Council of Rockwall, Texas;

*THENCE* North 45 degrees 23 minutes 09 seconds West, 46.09 feet along the southwest line of said Resolution tract to a 5/8 inch iron rod with cap stamped "REALSEARCH" set in the south right-of-way line of Summer Lee Drive (Variable Width Right-of-Way) and being the beginning of a non-tangent curve to the left;

*THENCE* 122.34 feet along said southeast right-of-way line of Summer Lee Drive and with said non- tangent curve to the left, having a radius of 532.50 feet, through a central angle of 13 degrees 09 minutes 49 seconds, whose long chord bears North 51 degrees 54 minutes 11 seconds East, 122.07 feet to a point in the southeast right of way of Summer Lee and being the beginning of a compound curve to the left;

*THENCE* 13.78 feet, continuing along said southeast right-of-way line of Summer Lee Drive and with said compound curve to the left, having a radius of 532.50 feet, through a central angle of 01 degrees 28 minutes 57 seconds, whose long chord bears North 44 degrees 34 minutes 48 seconds East, 13.78 feet to a 1/2 inch iron rod with cap stamped "RDS" found;

*THENCE* North 43 degrees 50 minutes 20 seconds East, 225.87 feet, continuing along said southeast right-of-way line of Summer Lee Drive to a 1/2 inch iron rod with cap found in the northeast line of said Lot 2 block A;

*THENCE* South 45 degrees 16 minutes 37 seconds East, 57.05 feet, along said Southeast right of way line of Summer Lee and Northeast line of Lot 2 block A to a point for corner being the Southwest corner of Lot 2a on the southeast right-of-way line of Summer Lee Drive, a variable width right-of-way;

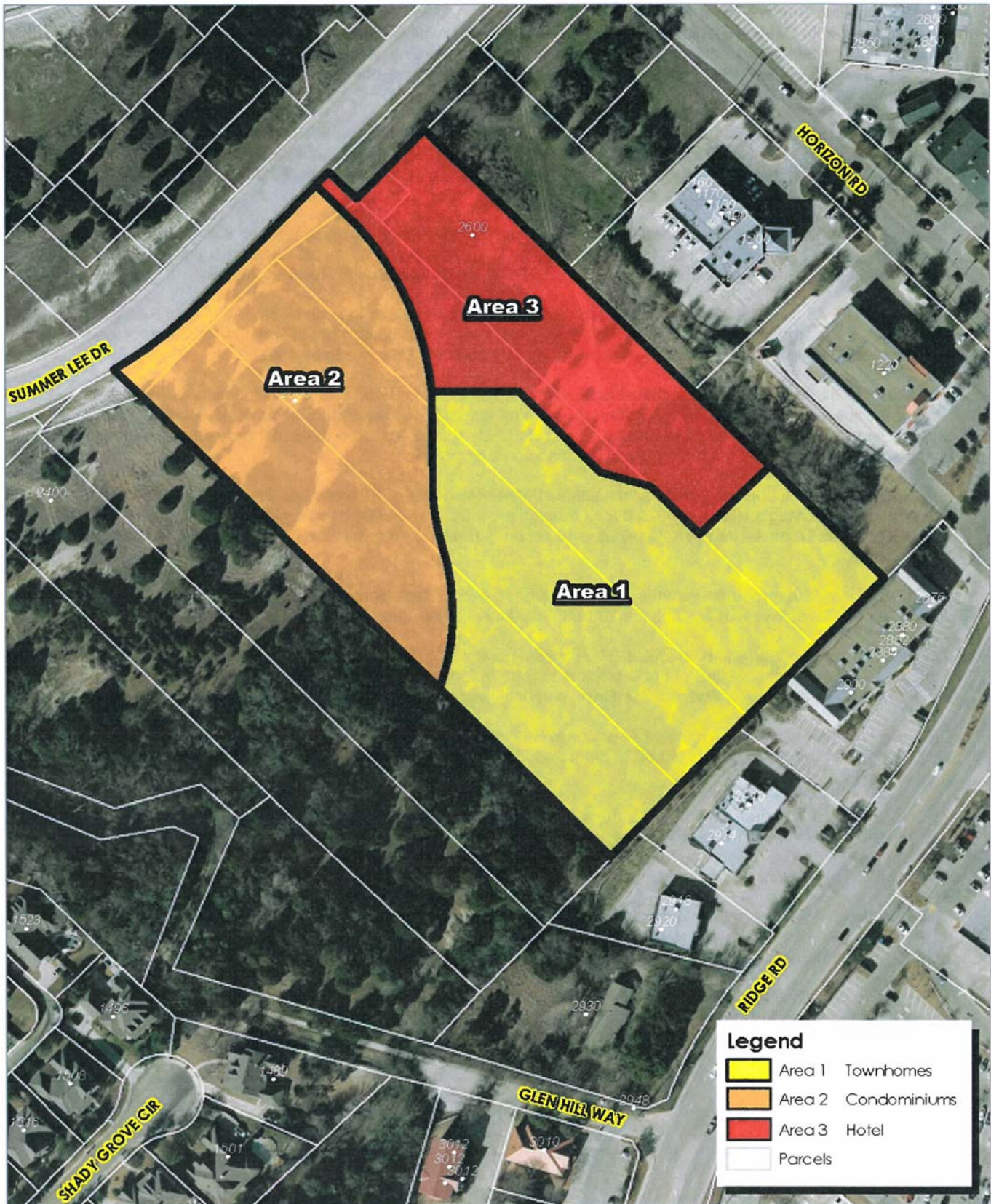
*THENCE* North 44 degrees 12 minutes 43 seconds East along said right of way line a distance of 120 feet to a point set for corner at the North corner of Lot 2a on the southeast right-of-way line of Summer Lee Drive, a variable width right-of-way;

*THENCE* South 45 degrees 00 minutes 00 seconds East along the Northeast line of Said Lot 2A, a distance of 785.78 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the East corner of said Lot 2A, said point being the Northwest line of Hammer Addition, an Addition to the City of Rockwall, Texas, according to the plat thereof recorded in Cabinet D. Slide 210 of the plat Records of Rockwall County, Texas;

*THENCE* South 44 degrees 07 minutes 20 seconds West, along the northwest line of Hammer Addition, a distance of 120 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner at the Southeast corner of Lot 2A and the East corner of Lot 2 Block A;

*THENCE* South 43 Degrees 52 Minutes 09 Seconds West, departing said common lot corner and along the southeast line of said Lot 3A, 4A and 5A, a distance of 359.62 feet, to the POINT OF BEGINNING, and containing 394,828 square feet or 9.06 acres of land, more or less.

Exhibit 'B':  
Area Map





**Exhibit 'C':**  
*Area 1: Townhome Concept Plan*



# Exhibit 'C': Area 2: Condominium Concept Plan

HARBOR URBAN CENTER - PODIUM					ATTICUS REAL ESTATE		2016/2017
UNIT TABULATION: BLDG TYPE 1 & OVER 2 PODIUM							9/1/16
UNIT NAME	UNIT TYPE	NET RENTABLE	UNIT COUNT	PERCENTAGE	TOTAL RENTABLE	% BREAKDOWN	
E2	EFF	455	22	10%	10,570	10%	
A1	1br/1ba	647	8	4%	5,176		
A2	1br/1ba	618	54	24%	33,372		
A3	1br/1ba	650	27	12%	17,550	5%	
A4	1br/1ba	726	34	15%	25,024		
A5	1br/1ba	683	8	4%	5,464		
B2	2br/2ba	944	15	7%	15,104		
B3	2br/2ba	1,048	19	8%	19,912	33%	
H4	2br/2ba	1,101	29	13%	31,929		
B5	2br/2ba	1,279	11	5%	14,069		
<b>TOTALS</b>			<b>228</b>	<b>100%</b>	<b>178,270</b>		
<b>UNIT AVERAGE NET SF:</b>					<b>781.89</b>		
<small>* NET AREA IS COMPUTED TO INCLUDE SQUARE FOOTAGE FROM EXTERIOR FAZ OF ALL EXTERIOR FRONTAL WALLS THAT ENCLOSE AN SPACE. IT DOES NOT INCLUDE PORCHES, BALCONIES, PATIO, OR STORAGE.</small>							
<b>PROJECT DATA</b>							
GROSS TOTAL UNIT AREA:				173,270 SF			
UNIT AVERAGE NET SF:				781.89 SF			
ACREAGE DENSITY:				120.41 UNITS/ACRE			
PARKING:				345 SURFACE SPACES (1.64/UNIT)			
				175 GARAGE SPACES			
				175 SURFACE SPACES			
				340 TOTAL SPACES			
				1.75 SPACES/UNIT			



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
539 Lupton St., Suite 300, Dallas, TX 75248 | 972.511.5638 | www.humphreys.com



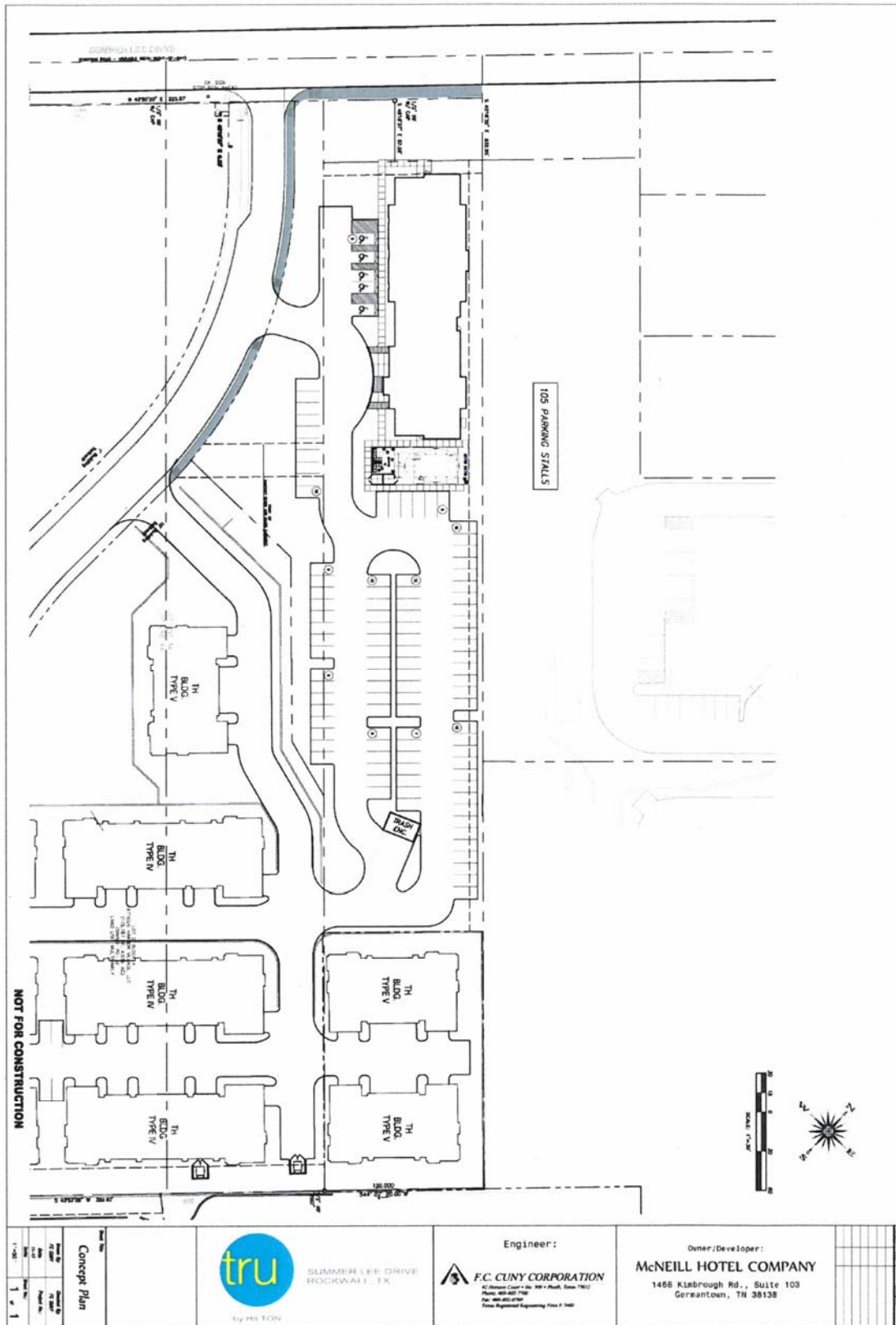
**ARCHITECTURAL SITEPLAN**  
CONDOMINIUMS  
September 17, 2016

**HARBOR URBAN CENTER**  
Z2016-025  
JPM 1/2016

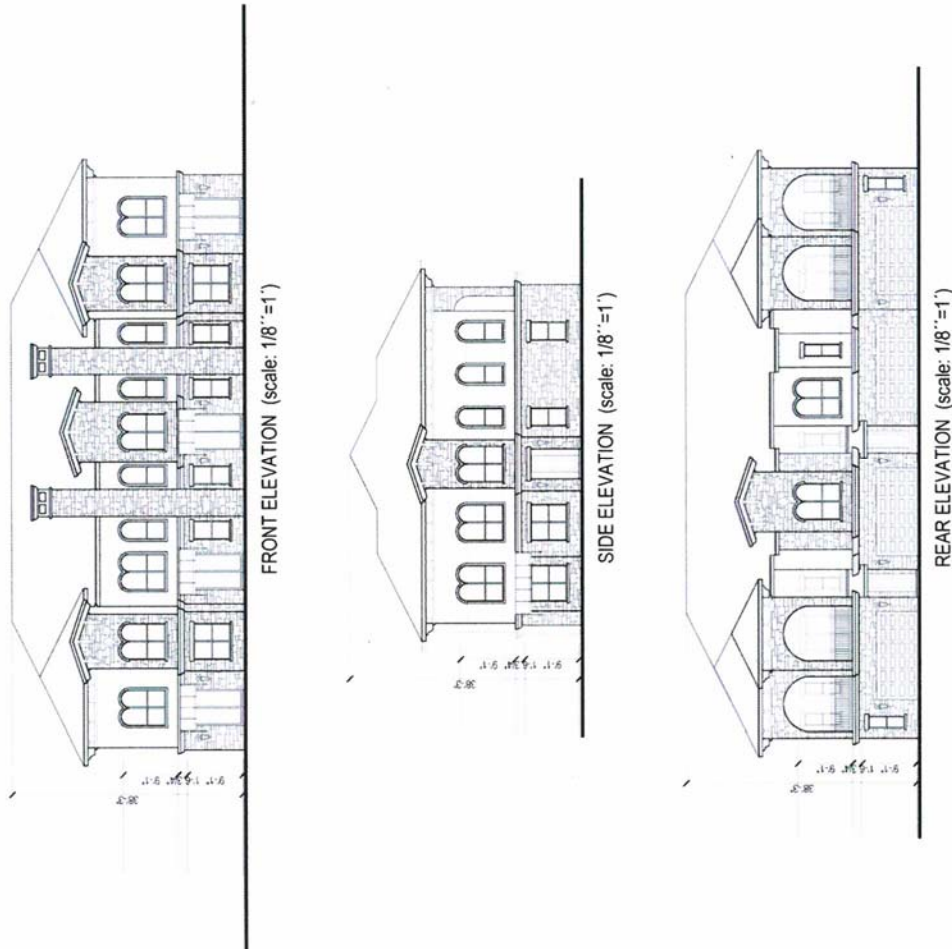
**A202**



**Exhibit 'C':**  
**Area 3: Hotel Concept Plan**



**Exhibit 'D':**  
**Area 1: Townhome Concept Building Elevations**



SCALE: 1/8" = 1'-0" (24"x36" SHEET)

0' 8' 16' 32'

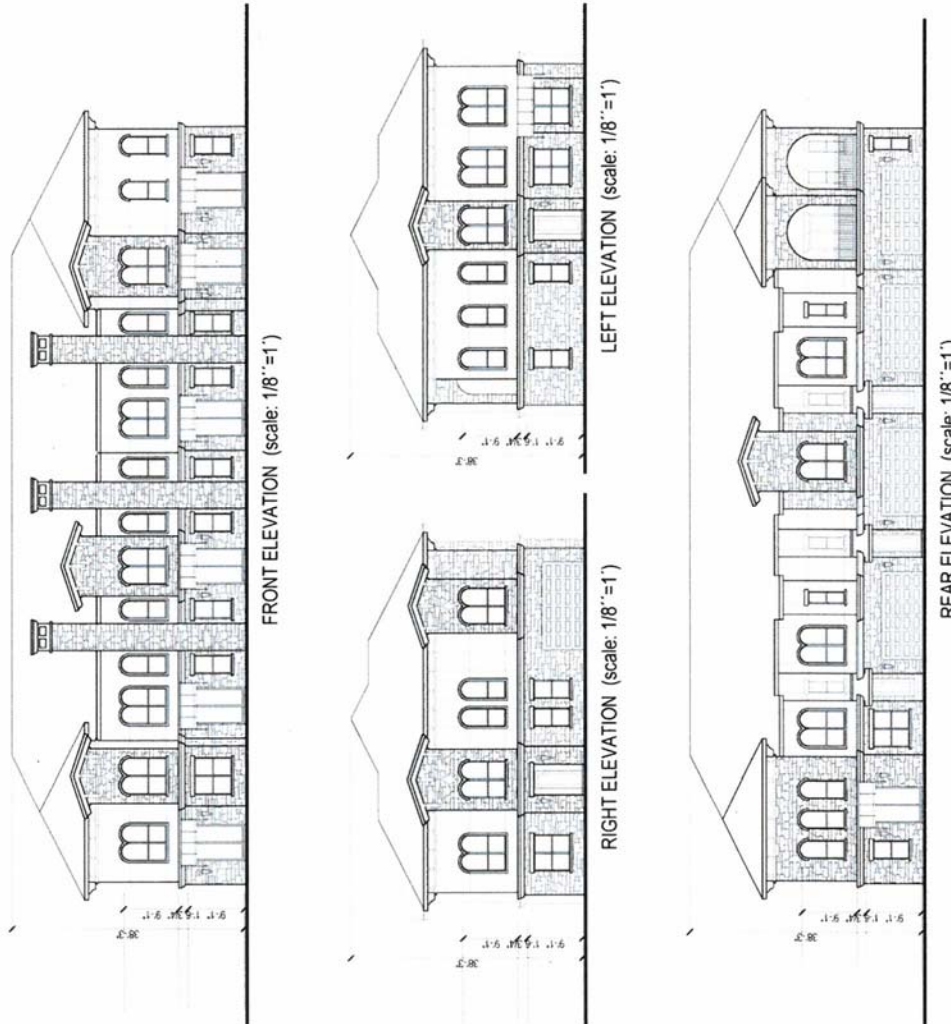
**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5539 Highland, Suite 200, Dallas, TX 75246 | 972.701.8636 | www.humphreys.com



**TH BLDG II. ELEVATIONS**  
 August 2, 2018

**A422**  
 Z2016-026  
**HARBOUR URBAN CENTER**  
 Rockwall, TX  
 HP3M 10205

**Exhibit 'D':**  
**Area 1: Townhome Concept Building Elevations**



SCALE 1/8" = 1'-0" (24"x36" SHEET)

0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5339 Alpha Rd. Suite 300 Dallas, TX 75240 | 972.751.9638 | www.humphreys.com



TH BLDG III: ELEVATIONS  
 August 2, 2018

**A432**  
 Z2016-026  
**HARBOR URBAN CENTER**  
 Rockwall, TX  
 August 2, 2018

**Exhibit 'D':**  
**Area 1: Townhome Concept Building Elevations**



SCALE: 1/8" = 1'-0" (24x36" SHEET)  
 0' 8' 16' 32'

**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5559 Alpha Rd., Suite 202 Dallas, TX 75246 | (214) 751-8638 | www.humphreys.com



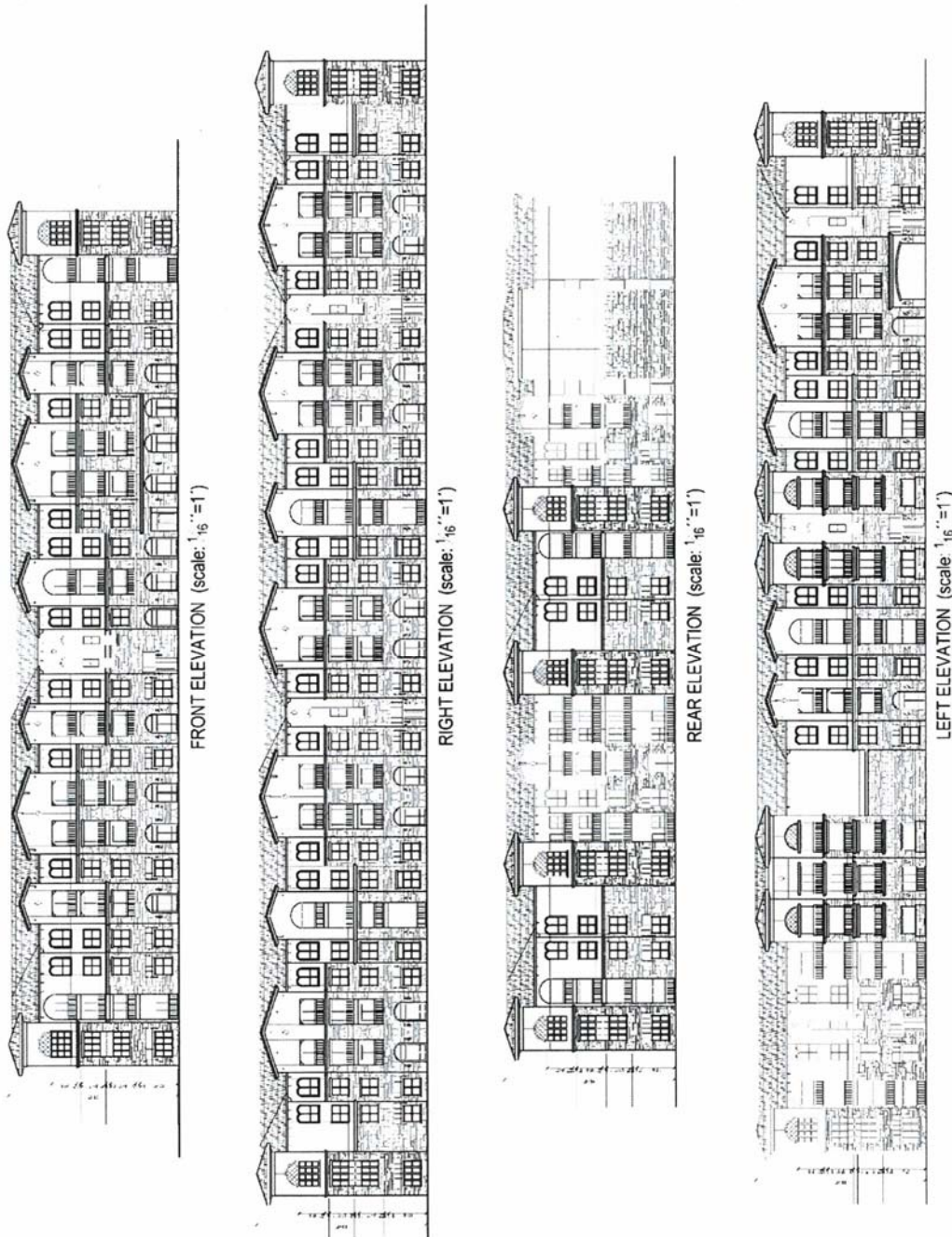
**TH BLDG III. ELEVATIONS**  
 August 2, 2018

**A442**  
 Z2016-026

**HARBOUR URBAN CENTER**  
 10000 W. LBJ Fwy., Suite 1000  
 Dallas, TX 75243



**Exhibit 'D':**  
**Area 2: Condominium Concept Building Elevations**



**A412**  
**Z2016-025**

**HARBOUR URBAN CENTER**  
 Rockwall, TX  
 10/14/16

**WRAP BLDG. ELEVATIONS**  
 August 2, 2016



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5000 W. 10th Street, Suite 100  
 Fort Worth, TX 76102  
 www.humphreys.com

**Exhibit 'D':**  
**Area 2: Condominium Concept Building Elevations**



FRONT ELEVATION - SCALE: 3/32"=1'

**A412**

**HARBOR URBAN CENTER**  
 Rockwall, TX  
 10/24/2018

**WRAP BLDG. ELEVATIONS**  
 10/24/2018



**HUMPHREYS & PARTNERS ARCHITECTS, L.P.**  
 5338 Alpha Rd., Suite 202, Dallas, TX 75240 | 972.731.6506 | www.humphreys.com



**Exhibit 'D':**  
*Area 3: Hotel Concept Building Elevations*

**A Distinctly Different Design**



This advertisement is not an offering. Federal regulations and the laws of some states and provinces regulate the offer and sale of franchises. An offering will only be made in compliance with those regulations and laws, which may require providing you with a disclosure document.



**Exhibit 'D':**  
*Area 3: Hotel Concept Building Elevations*

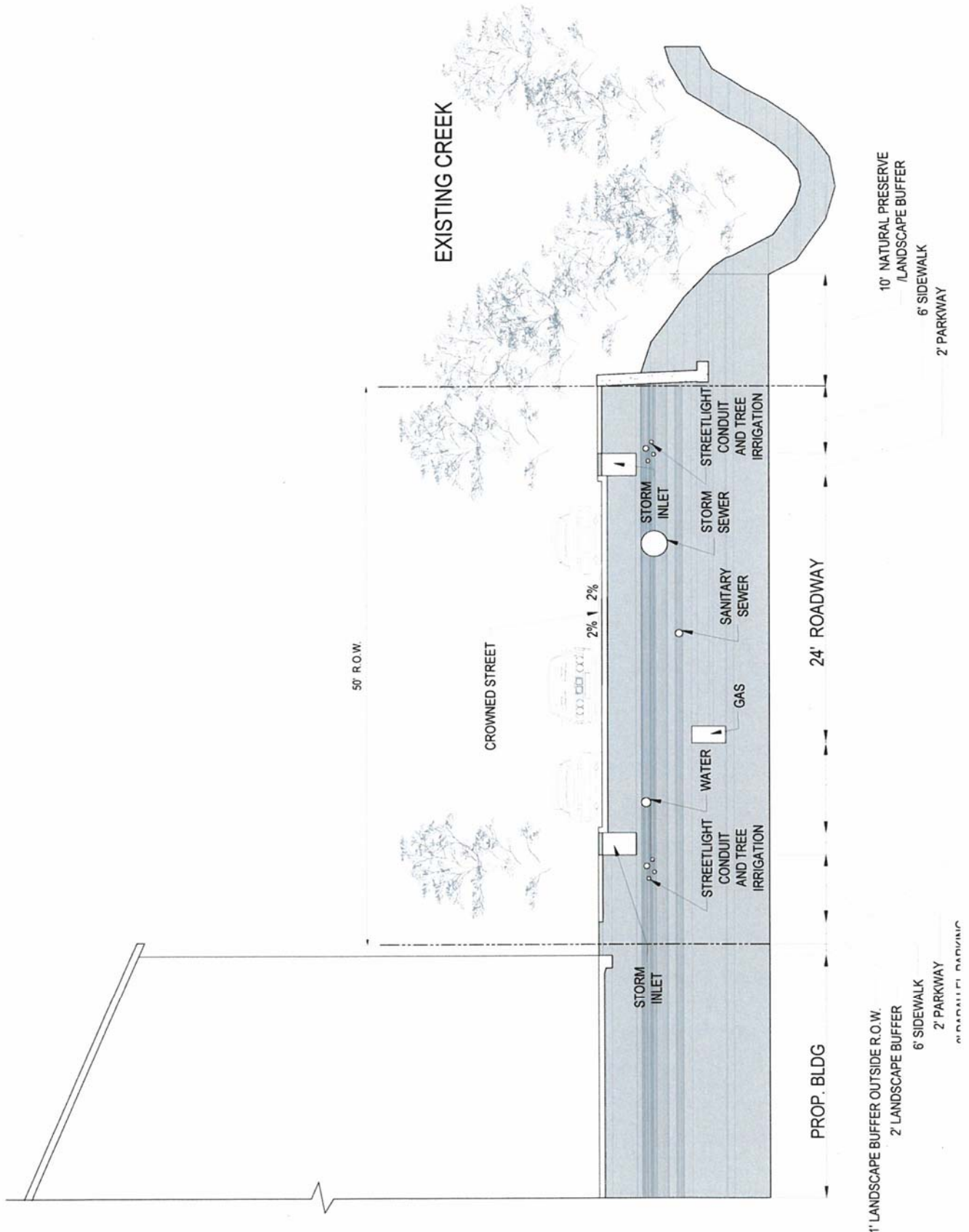
**A Distinctly Different Design**



This advertisement is not an offering. Federal regulations and the laws of some states and provinces regulate the offer and sale of franchises. An offering will only be made in compliance with those regulations and laws, which may require providing you with a disclosure document.



**Exhibit 'E':**  
**Roadway Cross Section**



**CITY OF ROCKWALL**

**ORDINANCE NO. 22-10**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 32 (PD-32) [ORDINANCE NO. 17-22] AND THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A PD DEVELOPMENT PLAN FOR A CONDOMINIUM BUILDING ON A 3.59-ACRE TRACT OF LAND IDENTIFIED AS LOTS 1, 2, 3, & 4, BLOCK 2; LOTS 1, 2, 3, & 4, BLOCK 3; LOTS 1, 2, 3, & 4, BLOCK 5; LOTS 1 & 2 AND A PORTION OF LOTS 3 & 4, BLOCK 6; LOTS 2, 3, & 4, BLOCK 7; LOTS 1 & 2, BLOCK 8; AND LOTS 1, 2, 3, & 4, BLOCK 9, MOTON ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND MORE FULLY DESCRIBED AND DEPICTED HEREIN BY EXHIBIT 'A'; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, the City has received a request from Asher Hamilton of RIV Properties, on behalf of Michael Gibson of Marion E. Wilson, Michael White, Dimensions Real Estates Services, LLC; Mark R. Carson; Allen Anderson; Gary Shultz of Culpepper/Spatex JV; and Robert Fields of In the Estate of Ernest Fields for the approval of a *PD Development Plan* for a 176-unit, condominium building to be situated within the *Hillside Mixed-Use Subdistrict* and the *Horizon/Summer Lee*, on a 3.95-acre tract of land identified as Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas and more fully described and depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** That Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] and the Unified Development Code [*Ordinance No. 20-02*], as heretofore amended, shall be further amended by adopting this *PD Development Plan* and amending the official zoning map of the City of Rockwall for the *Subject Property*; and,

**SECTION 2.** That development of the *Subject Property* shall generally be in accordance with the *Concept Plan*, depicted in *Exhibit 'B'* of this ordinance, attached hereto and incorporated

herein by reference as *Exhibit 'B'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**SECTION 3.** That development of the *Subject Property* shall generally be in accordance with the *Conceptual Building Elevations*, depicted in *Exhibit 'C'* of this ordinance, attached hereto and incorporated herein by reference as *Exhibit 'C'*, which is deemed hereby to be a condition of approval of the amended zoning classification for the *Subject Property*; and,

**SECTION 4.** That the *Subject Property* shall be used only in the manner and for the purposes provided for in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*], the Unified Development Code [*Ordinance No. 20-02*], and in compliance with the following conditions and requirements:

- (1) The development of the subject property shall generally conform to the *Concept Plan* depicted in *Exhibit 'B'* of this ordinance.
- (2) The development of the subject property shall generally conform to the proposed *Conceptual Building Elevations* depicted in *Exhibit 'C'* of this ordinance and to the design guidelines contained in *Resolution No. 10-40*.
- (3) The proposed condominium building shall not contain more than 176 urban residential units.
- (4) All building materials and color schemes proposed for this development should conform to the requirements stipulated by Planned Development District 32 (PD-32) [*as amended*].
- (5) Prior to the issuance of a building permit the applicant shall submit and seek approval for a detailed *PD Site Plan* that demonstrates compliance with all applicable standards of Planned Development District 32 (PD-32) [*as amended*] and with the requirements approved in this ordinance.
- (6) All buildings throughout the development shall be constructed with a consistent design scheme, incorporate four (4) sided architecture that creates an entry appearance on all four (4) sides, and be approved by the Architectural Review Board (ARB) at the time of the *PD Site Plan*.

**SECTION 5.** That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars* (\$2,000.00) for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

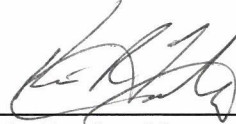
**SECTION 6.** That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

**SECTION 7.** The standards in this ordinance shall control in the event of a conflict between this ordinance and any provision of the Unified Development Code or any provision of the City Code, ordinance, resolution, rule, regulation, or procedure that provides a specific standard that is

different from and inconsistent with this ordinance. References to zoning district regulations or other standards in the Unified Development Code (including references to the *Unified Development Code*), and references to overlay districts, in this ordinance or any of the Exhibits hereto are those in effect on the date this ordinance was passed and approved by the City Council of the City of Rockwall, Texas;

**SECTION 8.** That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 7<sup>TH</sup> DAY OF MARCH, 2022.**



Kevin Fowler, Mayor

**ATTEST:**



Kristy Teague, City Secretary

**APPROVED AS TO FORM:**



Frank J. Garza, City Attorney

1<sup>st</sup> Reading: February 22, 2022

2<sup>nd</sup> Reading: March 7, 2022





**Exhibit 'A':**  
*Legal Description and Location Map*

PARCEL 1 (TRACTS 1 & 2)

TRACT 1: All that certain 0.705-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 2 and part of Lots 1, 3 and 4, of Block 2 and Lots 1 and 2 and part of Lots 3 and 4, of Block 4 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being part of the tract of land described in a Warranty Deed to Culpepper/Spatex Joint Venture, recorded in Volume 209, Page 475 of the Deed Records of said county, and being more particularly described by metes and bounds as follows:

*BEGINNING* at a ½-inch iron rebar with a cap (illegible) found at the north end of a corner clip at the intersection of Summer Lee Drive, a variable width public right-of-way and Horizon Drive, a variable width public right-of-way per the right-of-way dedication to the City of Rockwall recorded in Instrument Number 2005-0000338484 of the Official Public Records of said county;

*THENCE* with the northwest right-of-way line of Summer Lee Drive the following courses and distances;

South 38°15'10" West, a distance of 44.84-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 43°54'47" West, a distance of 14.91-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 43°55'59" West, a distance of 131.01-feet to a ½-inch iron rebar with a cap (illegible) found for corner in the southwest line of said Lot 3, Block 4 and in the northeast line of Lot 4, Block 6 of said addition;

*THENCE* North 45°23'07" West, with said southwest line and said northeast line, passing at a distance of 38.12-feet, to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in said northwest right-of-way line and the east corner of a called 0.160-acre tract of land described in a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of said Official Public Records, continuing with said southwest line of said Lot 3, Block 4, the southwest line of Lot 2, Block 4, the northwest line of said Lot 4, Block 6, the northwest line of Lot 1, Block 6 of said addition, and the northwest line of said 0.160-acre tract, in all, a total distance of 139.41-feet to a ½-inch iron rebar with a cap stamped "RPLS6484" set for the west corner of said Lot 2, Block 4, the north corner of said Lot 1, Block 6 and in the southeast line of a 40 foot wide easement, recorded in said addition;

*THENCE* North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2 Block 4 and said Lot 1 and Lot 2, Block 2 and said southeast line of said 40 foot wide easement, a distance of 230.94-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the southwest right-of-way line of said Horizon Drive at the beginning of a non-tangent curve to the left, with a radius of 510.50-feet and a chord which bears South 37°22'46" East, a distance of 14.17-feet;

*THENCE* with said southwest right-of-way line of Horizon drive the following courses and distances;

Along said curve to the left, with a central angle of 01°35'26" and an arc distance of 14.17-feet to a ½-inch iron rebar with a cap (illegible) found for the beginning of a compound curve to the left, with a radius of 576.50-feet, and a chord which bears South 41°42'06" East, a distance of 70.67-feet;

Along said curve to the left, with a central angle of 07°01'39" and an arc distance of 70.71-feet to a ½-inch iron rebar with a cap (illegible) found for corner;

South 45°16'48" East, a distance of 17.37-feet to the *POINT OF BEGINNING* and containing 0.705-acres (30,690 square-feet) of land.

TRACT 2: All that certain 0.463-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall

**Exhibit 'A':**  
*Legal Description and Location Map*

County, Texas and being Lots 1, 2, 3 and 4, Block 3 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being part of the tract of land described in a Warranty Deed to Culpepper/Spatex Joint Venture, recorded in Volume 209, Page 475 of the Deed Records of said county, and being more particularly described by metes and bounds as follows:

*BEGINNING* at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 3, and at the intersection of a 20 foot wide easement, recorded in said addition, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found bears North 73°52'22" West a distance of 22.02-feet and a 5/8 inch iron rebar with a cap stamped "Sam Inc" found bears North 88°48'34" East, a distance of 27.56-feet;

*THENCE* North 43°50'43" East, with the northwest line of said Lot 1 and Lot 2, Block 3 and the southeast line of the 20-foot-wide easement, a distance of 131.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 3 and the west corner of Lot 2, Block 1 of said addition;

*THENCE* South 45°21'44" East, with the northeast line of said Lot 1 and Lot 4, Block 3 and the southwest line of said Lot 2, Block 1 and Lot 3, Block 1 of said addition, a distance of 154.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said Lot 4, Block 3, the south corner of said Lot 3, Block 1 and in the northwest line of a 40 foot wide easement as recorded in said addition;

*THENCE* South 43°50'43" West, with the southeast line of said Lot 3 and Lot 4 Block 3 and said northwest line of said 40 foot wide easement, a distance of 131.01feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 3, Block 3 and at the intersection of said northwest line of the 40 foot wide easement and the northeast line of said 20 foot wide easement;

*THENCE* North 45°21'44" West, with the southwest line of said Lot 2 and Lot 3, Block 3, and the northeast line of said 20-feet wide easement, a distance of 154.01-feet to the *POINT OF BEGINNING* and containing 0.463-acres (20,176 square-feet) of land.

*Parcel 2*

All that certain 0.160-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 1 and part of Lot 4, Block 6 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being same 0.160-acre tract of land described a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

*BEGINNING* at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said 0.160-acre tract, in the northeast line of said Lot 4, Block 6, the southwest line of Lot 3, Block 4 of said addition and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way, from which a ½-inch iron rebar with a cap (illegible) found in said northwest right-of-way line bears South 45°23'07" East, a distance of 38.12-feet;

*THENCE* with the southeast line of said 0.160-acre tract and said northwest right-of-way line, the following courses and distances;

South 49°50'10" West, a distance of 25.57-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

North 45°40'41" West, a distance of 20.93-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the southeast line of said Lot 1, Block 6 and the northwest line of said Lot 4, Block 6;

South 44°13'18" West, a distance of 39.98-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said 0.160-acre tract, the south corner of said Lot 1, Block 6, the west corner

**Exhibit 'A':**  
*Legal Description and Location Map*

of said Lot 4, Block 6 the north corner of Lot 3, Block 6 of said addition, the east corner of Lot 2, Block 6 of said addition, and the east corner of a called 0.18-acre tract described in a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of said Official Public Records;

*THENCE* North 45°21'44" West, with the southwest line of said 0.160-acre tract, the southwest line of said Lot 1, Block 6, the northeast line of said 0.18-acre tract, and the northeast line of said Lot 2, Block 6, passing at a distance of 77.43-feet, a 1/2inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 1, Block 6, the north corner of said Lot 2, Block 6 and in the southeast line of a 40foot wide easement, recorded in said addition, in all, a total distance of 97.43-feet to the west corner of said 0.160-acre tract, the north corner of said 0.18-acre tract and in the center of said 40 foot wide easement;

*THENCE* North 43°50'43" East, with the center of said 40-foot-wide easement, a distance of 65.51-feet to the north corner of said 0.160-acre tract;

*THENCE* South 45°23'21" East, with the northeast line of said 0.160-acre tract, passing at a distance of 20.00-feet, a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 6, the west corner of said Lot 2, Block 4 of said addition, continuing with said northeast line of the 0.160-acre tract, the northeast line of said Lot 1 and Lot 4, Block 6, and the southwest line of said Lot2 and Lot 3, Block 4, in all, a total distance of 121.30-feet to the *POINT OF BEGINNING* and containing 0.160-acres (6,964 square-feet) of gross area, 0.130-acres (5,654 square-feet) of net area of land.

*Parcel 3*

All that certain 0.175-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lot 2 and part of Lot 3, Block 6 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being a called 0.18-acre tract of land described a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

*BEGINNING* at a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said 0.18-acre tract, in the southwest line of said Lot 3, Block 6 and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found in said right-of-way bears South 45°21'27" East, a distance of 19.89-feet;

*THENCE* North 45°21'27" West, with the southwest line of said 0.18-acre tract, said southwest line of Lot 3, Block 6 and, in said northwest right-of-way line, passing at a distance of 43.01-feet, a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 2, Block 6, the west corner of said Lot 3, Block 6 and the west corner of Lot 1, Block 8 of said addition, departing said northwest right-of-way line and continuing with said southwest line of the 0.18-acre tract, the southwest line of said Lot 2, Block 6 and the northwest line of said Lot 1, Block 8, passing at a distance of 119.67-feet, a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 6, the north corner of said Lot 1, Block 8 and in the southeast line of a 40 foot wide easement recorded in said addition, continuing with said southwest line of the 0.18-acre tract, in all, a total distance of 139.67-feet to the west corner of said 0.18-acre tract and in the center of said 40 foot wide easement;

*THENCE* North 43°50'43" East, with the northwest line of said 0.18-acre tract and in the center of said 40 food wide easement, a distance of 65.50-feet to the north corner of said 0.18-acre tract and the west corner of a called 0.160-acre tract of land described a General Warranty Deed to Mark R. Carson, recorded in Instrument Number 2008-00394439 of said Official Public Records;

*THENCE* South 45°21'44" East, with the northeast line of said 0.18-acre tract and the southwest line of said 0.160-acre tract, passing at a distance of 20.00-feet, a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 2, Block 6 and the west corner of said Lot 1, Block 6, continuing with said northeast line of the 0.18-acre tract, the northeast line of said Lot 2, Block 6, said southwest line of the 0.160-acre tract and the southwest line of said Lot 1, Block 6, in all, a total distance of 97.43-feet to

**Exhibit 'A':**  
*Legal Description and Location Map*

a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said 0.18-acre tract, the west corner of said Lot 2, Block 6, the south corner of said 0.160-acre tract, the south corner of said Lot 1, Block 6 and, in said northwest right-of-line of Summer Lee Drive;

*THENCE* with the southeast line of said 0.18-acre tract and said northwest right-of-way line, the following courses and distances;

South 44°13'18" West, a distance of 19.50-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

South 09°43'47" East, a distance of 46.51-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner;

South 29°14'41" West, a distance of 19.61-feet to the *POINT OF BEGINNING* and containing 0.175-acres (7,635 square-feet) of gross area and 0.145-acres (6,325 square-feet) of net area of land.

*Parcel 4*

All that certain 0.230-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lots 1 and 2, Block 8 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A, Slide 47B of the Plat Records of said county, and being more particularly described by metes and bounds as follows:

*BEGINNING* at a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said Lot 2, Block 8, the west corner of Lot 3, Block 8 of said addition, the east corner of Lot 1, Block 10 of said addition and the north corner of Lot 4, Block 8 of said addition, from which, a ½-inch iron rebar with a cap stamped "RPLS5034" found bears South 45°21'46" East, a distance of 63.39-feet;

*THENCE* North 45°21'46" West, with the southwest line of said Lot 2, Block 8 and the northeast line of said Lot 1, Block 10, a distance of 76.12-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 2, Block 8, the north corner of said Lot 1, Block 10 and in the southeast line of a 40 foot wide easement recorded in said addition;

*THENCE* North 43°50'43" East, with the northwest line of said Lot 1 and Lot 2 Block 8 and said southeast line of the 40 foot wide easement, a distance of 130.96feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 8, the west corner of Lot 2, Block 6 of said addition and in the southwest line of a called 0.18-acre tract of land described a General Warranty Deed to Allen Anderson, recorded in Instrument No. 2008-00394440 of the Official Public Records of said county;

*THENCE* South 45°21'27" East, with the northeast line of said Lot 1, Block 8, the southwest line of said Lot 2, Block 6 and said southwest line of the 0.18-acre tract, a distance of 76.66-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the east corner of said Lot 1, Block 8, the south corner of said Lot 2, Block 6, the west corner of Lot 3, Block 6 of said addition and the north corner of said Lot 4, Block 8, from which a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the south corner of said 0.18-acre tract and in the northwest right-of-way line of Summer Lee Drive, a variable width public right-of-way bears South 45°21'27" East, a distance of 43.01-feet;

*THENCE* South 44°04'51" West, with the southeast line of said Lot 1 and Lot 2, Block 8 and the northwest line of said Lot 3 and Lot 4, Block 8, passing at a distance of 114.25-feet, a ½-inch iron rebar found, in all, a total distance of 130.95feet to the *POINT OF BEGINNING* and containing 0.230-acres (10,002 square-feet) of land.

*Parcel 5*

All that certain 1.245-acre tract of land in the Edward Teal Survey, Abstract No. 207, Rockwall County, Texas and being Lots 1, 3 and 4, and part of Lot 2 Block 5, Lots 3 and 4 and part of Lot 2, Block 7 and Lots 1, 2, 3 and 4, Block 9 of George Morton Estate, an addition to the City of Rockwall, recorded in Cabinet A,



**Exhibit 'A':**  
*Legal Description and Location Map*

Slide 47B of the Plat Records of said county, and being all of the tract of land described in a General Warranty Deed to Dimensions Real Estate Services, recorded in Instrument No.2011-00451974 of the Official Public Records of said county, and being more particularly described by metes and bounds as follows:

*BEGINNING* at a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of Lot 2, Block 9, the north corner of Lot 1, Block 11 of said addition, and in the southwest line of a 20 foot wide easement recorded in said addition;

*THENCE* North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2, Block 9 and Lot 2, Block 7 and said southeast line of the 20 foot wide easement, a distance of 135.22-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for corner in the northwest line of said Lot 2, Block 7 and in the south right-of-way line of Pinnacle Way, a 58 foot wide public right-of-way, from which a ½-inch iron rebar found at the intersection of said south right-of-way line of Pinnacle Way and the east right-of-way line of Sunset Ridge Drive, a variable width public right-of-way bears South 72°49'03" West, a distance of 184.95-feet;

*THENCE* North 72°49'03" East, with said south right-of-way line of Pinnacle Way, a distance of 69.48-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for corner in the northeast line of said Lot 2, Block 9;

*THENCE* South 45°37'46" East, continuing with said south right-of-way line of Pinnacle Way and with the northeast line of said Lot 2, Block 9, a distance of 42.61-feet to a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the east corner of said Lot 2, Block 9, the north corner of said Lot 3, Block 9 and the west corner of said Lot 4, Block 7;

*THENCE* North 44°12'16" East, continuing with said south right-of-way line of Pinnacle Way and with the northwest line of said Lot 4, Block 7, a distance of 65.39feet to a 5/8 inch iron rebar with a cap stamped "Maddox" found for the north corner of said Lot 4, Block 7, the west corner of said Lot 3, Block 7, the south corner of said Lot 2, Block 7, and the east corner of the terminus of said Pinnacle Way;

*THENCE* North 45°28'03" West, with the east right-of-way line of said Pinnacle Way and the southwest line of said Lot 2, Block 7, a distance of 41.44-feet to a 5/8-inch iron rebar with a cap stamped "Maddox" found in said east right-of-way line of Pinnacle Way;

*THENCE* North 17°34'51" West, departing said southwest line of said Lot 2, Block 7 and continuing with said east right-of-way line of Pinnacle Way, passing at a distance of 28.13-feet to the north corner of the terminus of said Pinnacle Way, in all, a total distance of 40.12-feet to a ½-inch iron rebar with a cap stamped "RPLS6484" set in the northwest line of said Lot 2, Block 5 and in the southeast line of a 20 foot wide easement recorded in said addition;

*THENCE* North 43°50'43" East, with the northwest lines of said Lot 1 and Lot 2, Block 5 and said southeast line of the 20 foot wide easement, a distance of 112.80feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the north corner of said Lot 1, Block 5 and the intersection of said southeast line of the 20 foot wide easement and the southwest line of another 20 foot wide easement recorded in said addition, from which a 5/8 inch iron rebar with a cap stamped "Sam Inc" bears North 44°39'37" West, a distance of 19.25-feet;

*THENCE* South 45°21'44" East, with the northwest lines of said Lot 1 and Lot 4, Block 5 and said southwest line of the 20 foot wide easement, a distance of 154.01-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the west corner of said Lot 4, Block 5 and the intersection of said southwest line of the 20 foot wide easement and the northwest line of a 40 foot wide easement recorded in said addition;

*THENCE* South 43°50'43" West, with the southeast lines of said Lots 3 and 4, Block 5, Lots 3 and 4, Block 7 and Lots 3 and 4, Block 9 and said northwest line of the 40 foot wide easement, a distance of 393.33-feet to a ½-inch iron rebar with a cap stamped "RPLS 6484" set for the south corner of said Lot 3, Block 9 and the east corner of said Lot 4, Block 11 of said addition, from which a ½-inch iron rebar found bears South

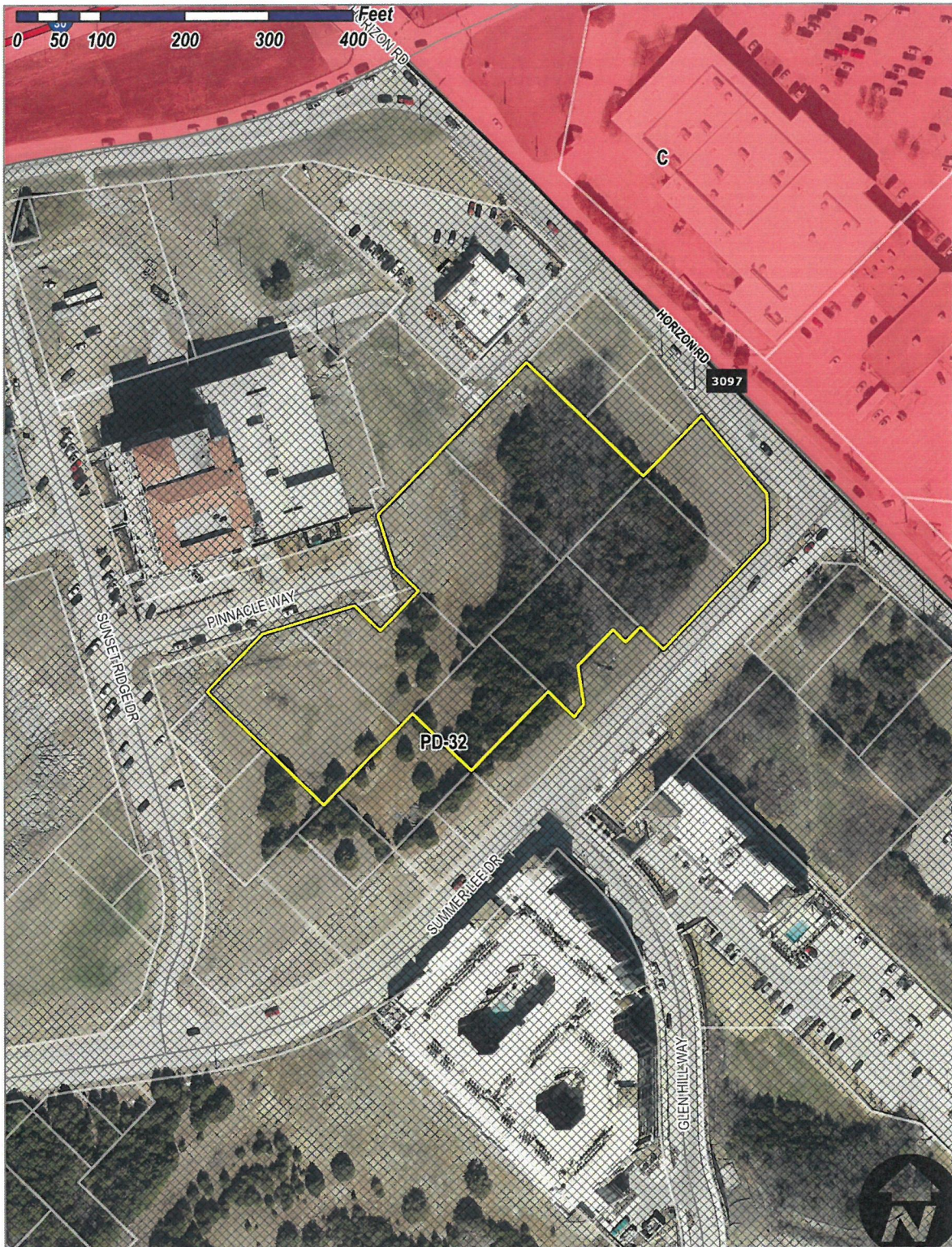
**Exhibit 'A':**  
*Legal Description and Location Map*

45°25'13" East, a distance of 18.07-feet;

*THENCE* North 45°25'13" West, with the southwest lines of said Lots 2 and 3, Block 9 and the northwest lines of said Lots 1 and 4, Block 11, passing at a distance of 78.94-feet, a ½-inch iron rebar with a cap stamped "RPLS 5034" found for the west corner of said Lot 3, Block 9, the south corner of said Lot 2, Block 9, the east corner of said Lot 1, Block 11, and the north corner of said Lot 4, Block 11, in all, a total distance of 154.01-feet to the *POINT OF BEGINNING* and containing 1.245-acres (54,217 square-feet) of land.



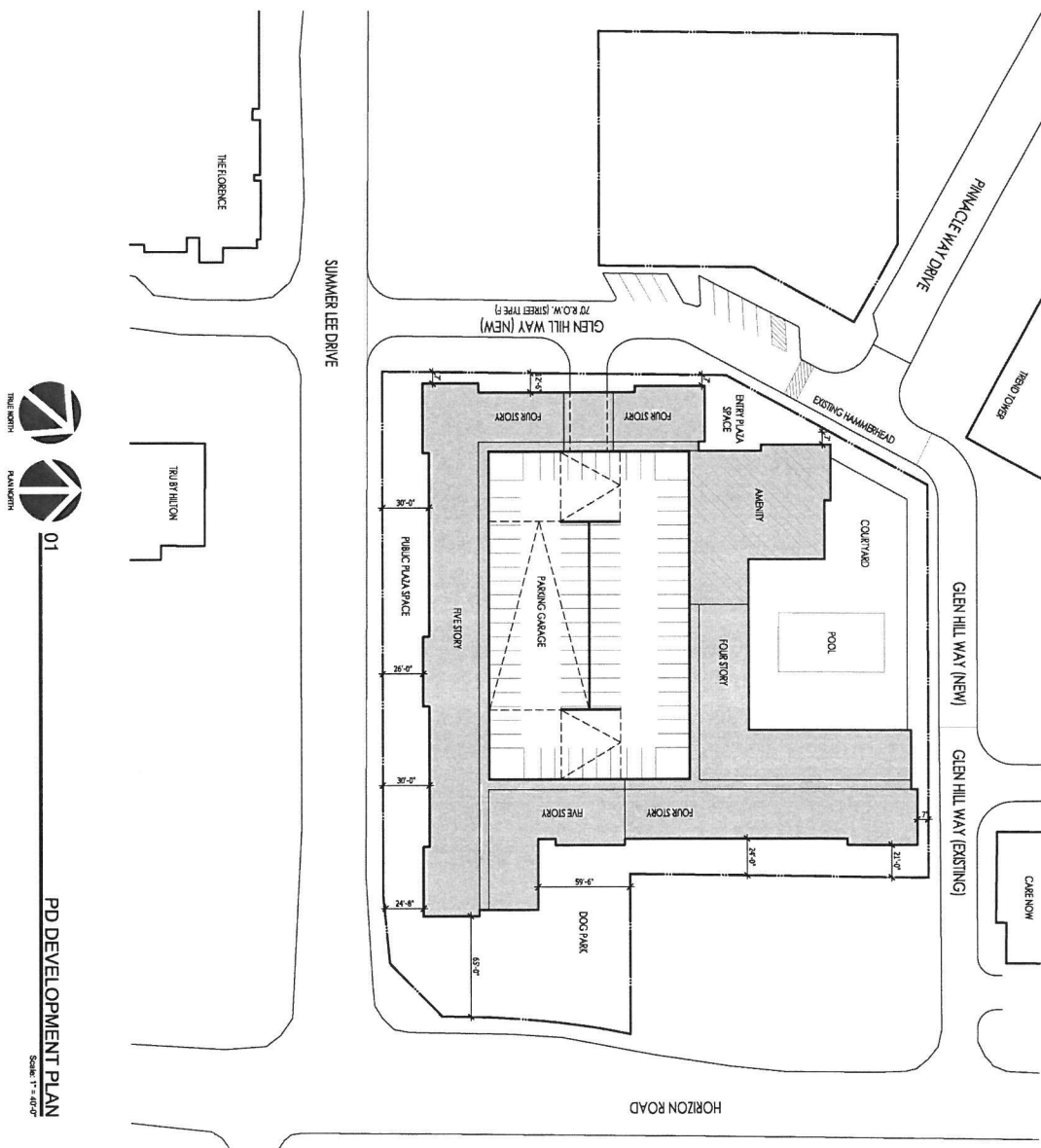
**Exhibit 'A':**  
*Legal Description and Location Map*





**Exhibit 'B':**  
*Concept Plan*

PROJECT DATA	
SITE AREA:	REQUIRED PARKING:
2.94 ACRES (ESTIMATED)	1.82 UNITS
60% LOT COVERAGE	104 UNITS
	2.88 UNITS
1) FOUR-PIECE STORY BUILDING	TOTAL UNITS
279,000 CSF	118 UNITS
161,200 NSF	
86.9 CS AVG. UNIT SIZE	PROVIDED PARKING:
178 UNITS	GARAGES
	300 SPACES
	TOTAL PARKING
	300 SPACES
INTERIOR ALUMINUM SPACE	300 PARKING SPACES PROVIDED
7,300 CSF	Ø 17' SPACE / UNIT





**Exhibit 'C':**  
*Conceptual Building Elevations*

