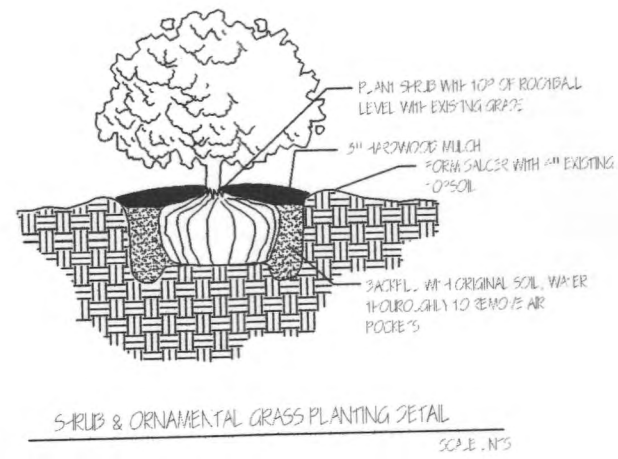
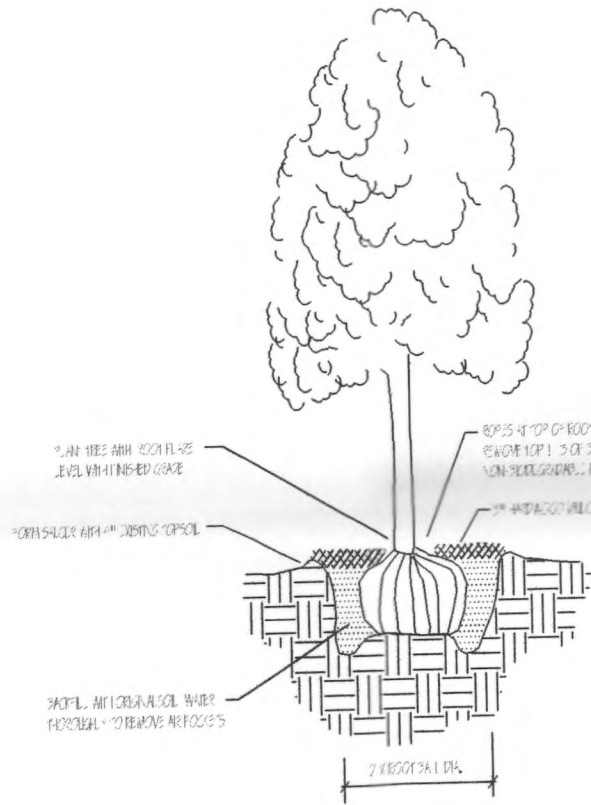


WARNING: CONTRACTOR TO LOCATE ALL UTILITIES, INCLUDING GAS, ELECTRIC, CABLE, ETC. IN PROJECT AREA PRIOR TO CONSTRUCTION.



GENERAL LANDSCAPING NOTES:

* ALL TURF AREAS TO BE HYDROMULCHED WITH BERMUDA TIF. 50% AREAS TO BE RAKED SMOOTH AND FREE OF STONES AND DEBRIS.

* ALL BEDS TO BE EDGED WITH 1 1/2\"/>

* PLANT MATERIALS, PLANTS SHALL BE NURSERY GROWN, HEALTHY, VIGOROUS, WELL BRANCHED, OF NORMAL HABIT OF GROWTH FOR THE SPACING AND SHALL BE FREE FROM DEFECTS, INJURIES, OR DISEASE. PROVIDE STOCK TRUE TO BOTANICAL NAME AND LEGIBLY TAGGED BY GROWER. ALL SUBSTITUTIONS MUST BE APPROVED BY LANDSCAPE ARCHITECT. PERFORM ALL WORK REQUIRED TO COMPLETE THE LANDSCAPING INDICATED BY THE DRAWING. REMOVE EXCESS SOIL AND OTHER MATERIALS AND LEAVE SITE IN A CLEAN AND ORDERLY CONDITION.

* ALL BEDS TO BE FILLED WITH A MINIMUM OF ONE CUBIC YARD OF COTTON BURL COMPOST FILLED INTO EVERY 1,000 SQ. FT. OF BED AREA. BEDS TO BE MULCHED WITH A MINIMUM OF 2\"/>

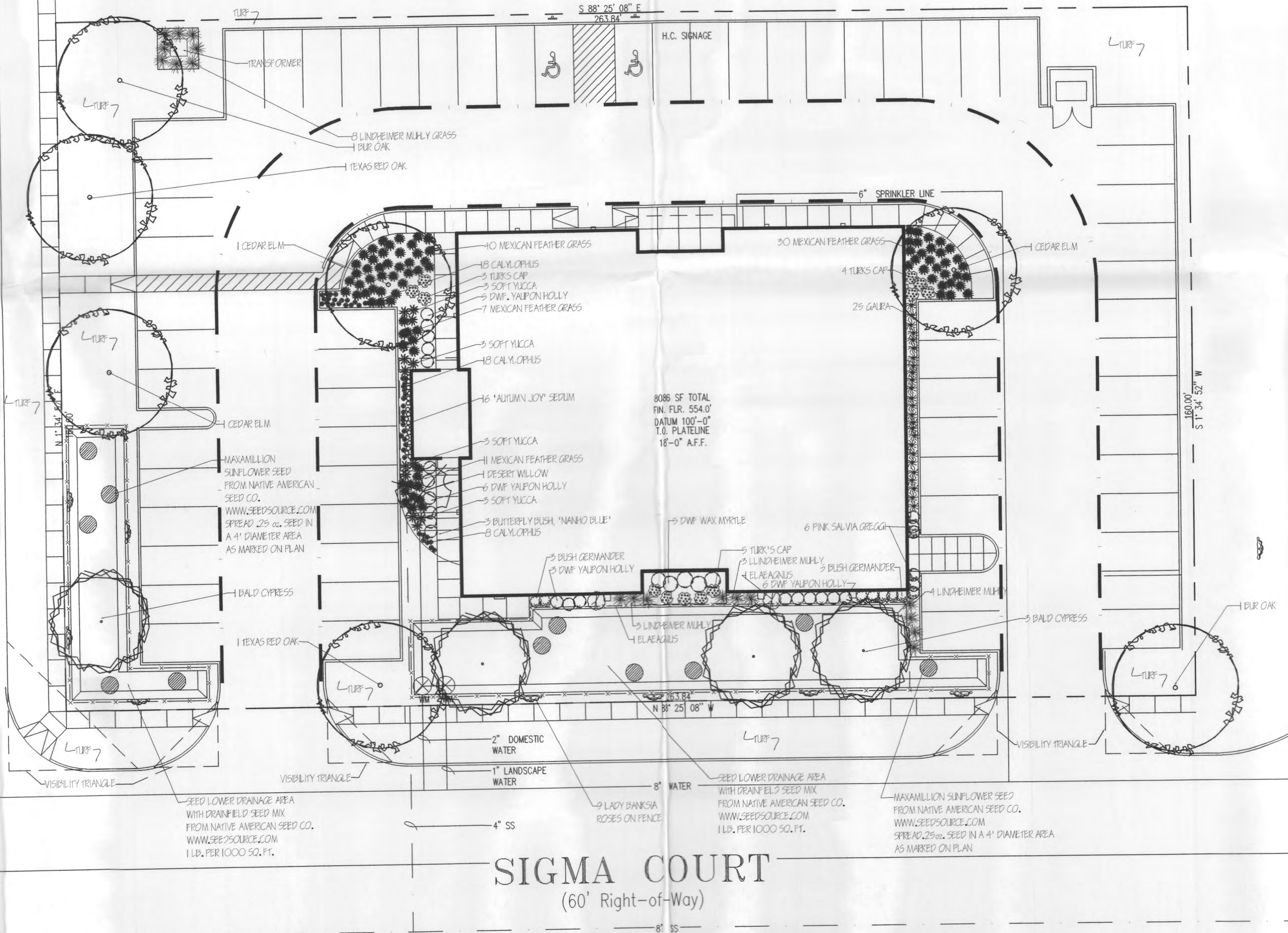
* PROJECT SHALL INCLUDE INSTALLATION OF AUTOMATIC IRRIGATION SYSTEM. RAIN AND FREEZE SENSORS TO BE INSTALLED ON THE SYSTEM. IRRIGATION TO BE INSTALLED BY A LICENSED IRRIGATOR. CONTRACTOR RESPONSIBLE FOR CONCRETE WORKS WILL BE RESPONSIBLE FOR INSTALLING IRRIGATION SLEEVES AT LOCATIONS SHOWN ON IRRIGATION PLAN.

* ALL LANDSCAPE WITHIN VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS STATED IN THE CITY CODE.

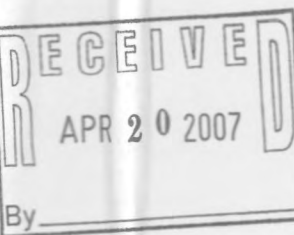
* ALL WATER METERS, FRESHWATERS, VALVES, MAINHOLES AND CLEANOUTS ON OR ADJACENT TO THE SUBJECT PROPERTY MUST REMAIN ACCESSIBLE FOR MAINTENANCE DURING CONSTRUCTION. UPON COMPLETION OF NECESSARY GRADING AND LANDSCAPE WORK, THE EXISTING FACILITIES SHOULD BE ADJUSTED TO FINAL GRADE, ABOVE THE FINISHED GRADE OF THE LANDSCAPING, PRIOR TO THE COMPLETION OF THE WORK.

* PLANT NO TREES CLOSER THAN 2 1/2 FEET TO CURB OR OTHER IMPERVIOUS SURFACE.

ALPHA DRIVE
(60' Right-of-Way)



SIGMA COURT
(60' Right-of-Way)



FILE COPY

Owner Information

OWNER:

HILL TOLBERT + ASSOCIATES
496 NATIONAL DRIVE
ROCKWALL, TX 75087
(972) 971-4011

Jurisdiction of Project

REGULATORY AUTHORITIES:

CITY OF ROCKWALL
385 S. GOLIAD
ROCKWALL, TEXAS 75087

TEXAS DEPARTMENT OF LICENSING AND REGULATION
ELIMINATION OF ARCHITECTURAL BARRIERS
E.O. THOMPSON STATE OFFICE BUILDING
920 COLORADO
AUSTIN, TEXAS 78701
(512) 463-3211
(512) 475-2886 (FAX)

TREE PRESERVATION LANDSCAPE ORDINANCE
CITY OF ROCKWALL
ARTICLE VII LANDSCAPE STANDARDS
ARTICLE XI TREE PRESERVATION

Property Information

SITE LOCATION:
ALPHA DRIVE & SIGMA COURT

DESCRIPTION: BEING ALL OF LOT 3A-R, BLOCK C OF ELLIS CENTRE PHASE TWO, PART OF LOT 3, BLOCK C, AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET D, SLIDE 334 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

ZONING: L1
LOT AREA: 42,214 SQ. FT. (0.97 ACRES)

Landscape Information

COMMERCIAL PROPERTY - 15% REQUIREMENT

STREET LANDSCAPING -
ALPHA DRIVE 160' STREET FRONTAGE - 4 CANOPY TREES
SIGMA DRIVE 263.84 STREET FRONTAGE - 6 CANOPY TREES

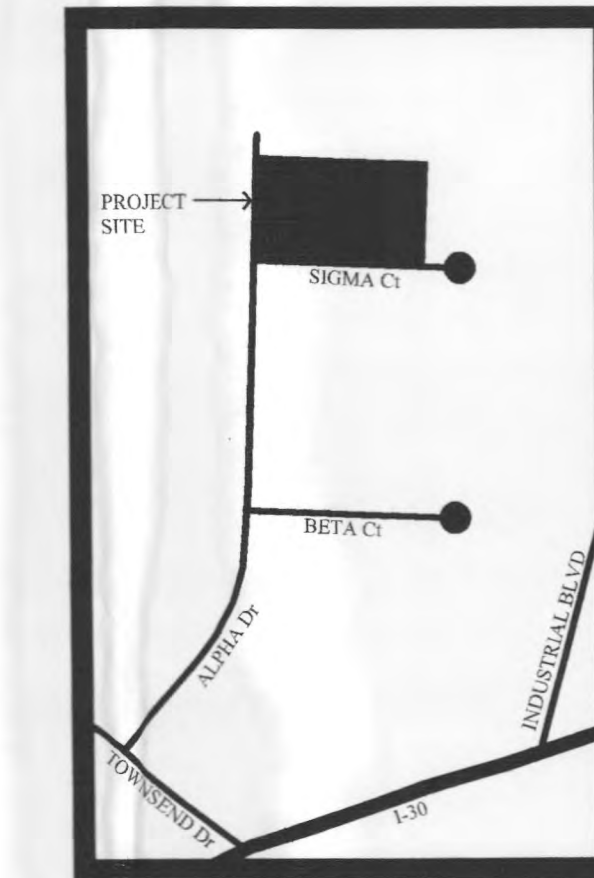
PARKING TREES - EVERY SPACE WITHIN 80' OF A CANOPY TREE TRUNK

Tree Mitigation

NO EXISTING TREES ON SITE

Irrigation Information

IRRIGATION - CONVENTIONAL OR TEMPORARY AND ABOVE GROUND WATERING. ALL PLANTINGS ARE OF A ZERISCAP TYPE.



Vicinity Map

Scale: N.T.S.

LANDSCAPE PLAN
GIS INVESTIGATIONS
ALPHA DRIVE & SIGMA COURT
ROCKWALL, TEXAS

SHEET NO.

L1

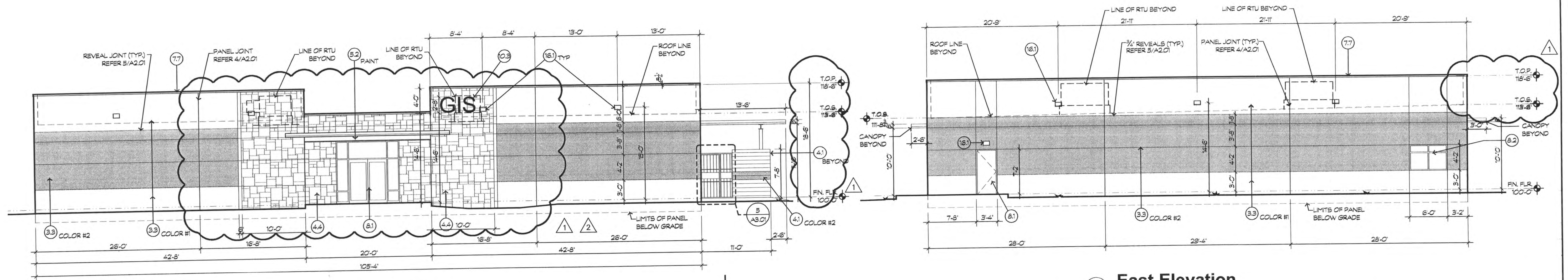
HELMAN
DESIGN STUDIOS

DATE:
2.25.07
4.18.07

NO. ITEM DESCRIPTION
1. SUBMITTAL
2. DETENTION AREAS
3.
4.
5.
6.
7.

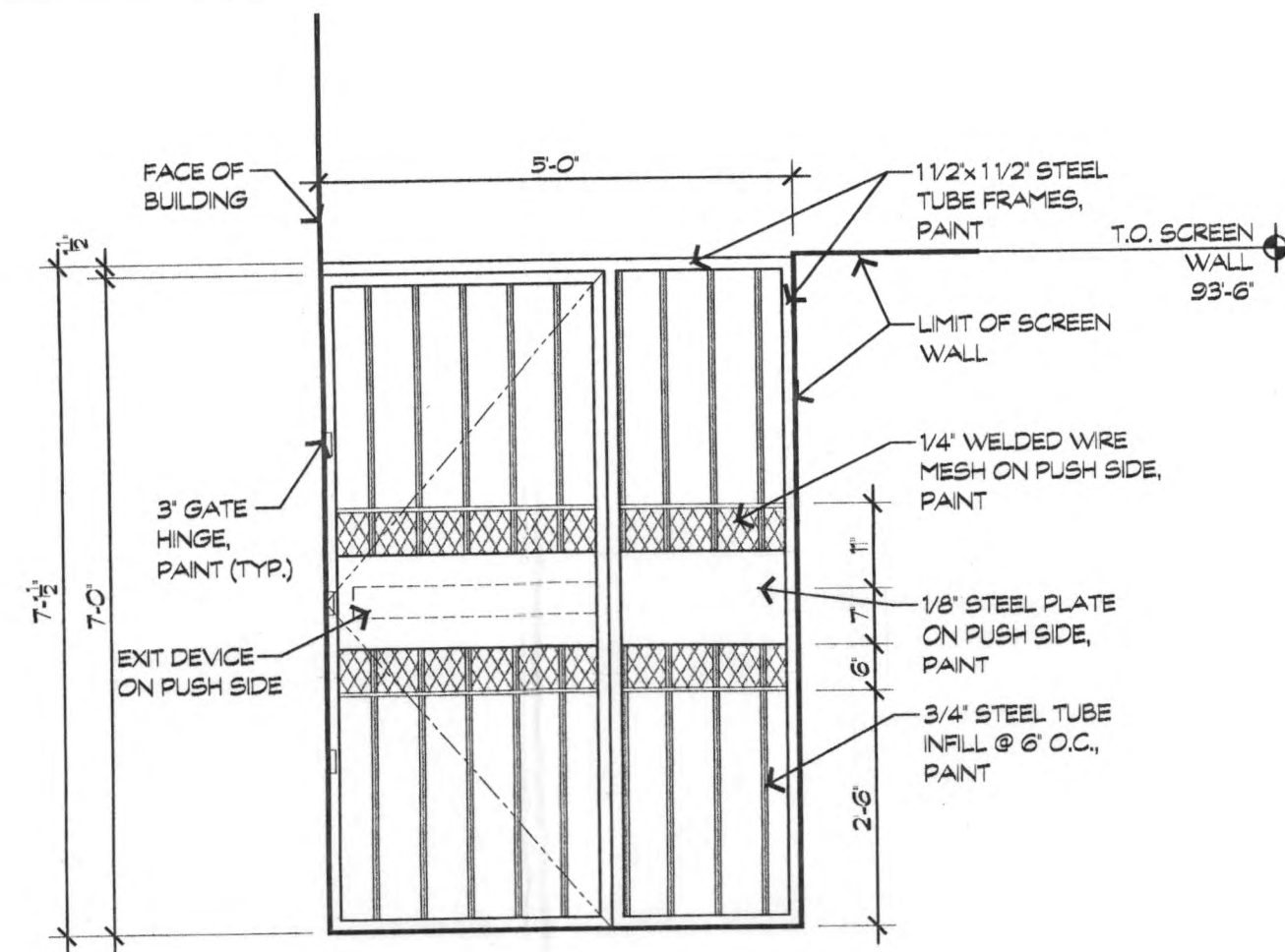


P.O. Box 224077, Dallas, TX 75222-4077
12820 Hillcrest Rd., Ste. C-209, Dallas, TX 75250
Phone: 972.980.1150 Fax: 972.980.1740

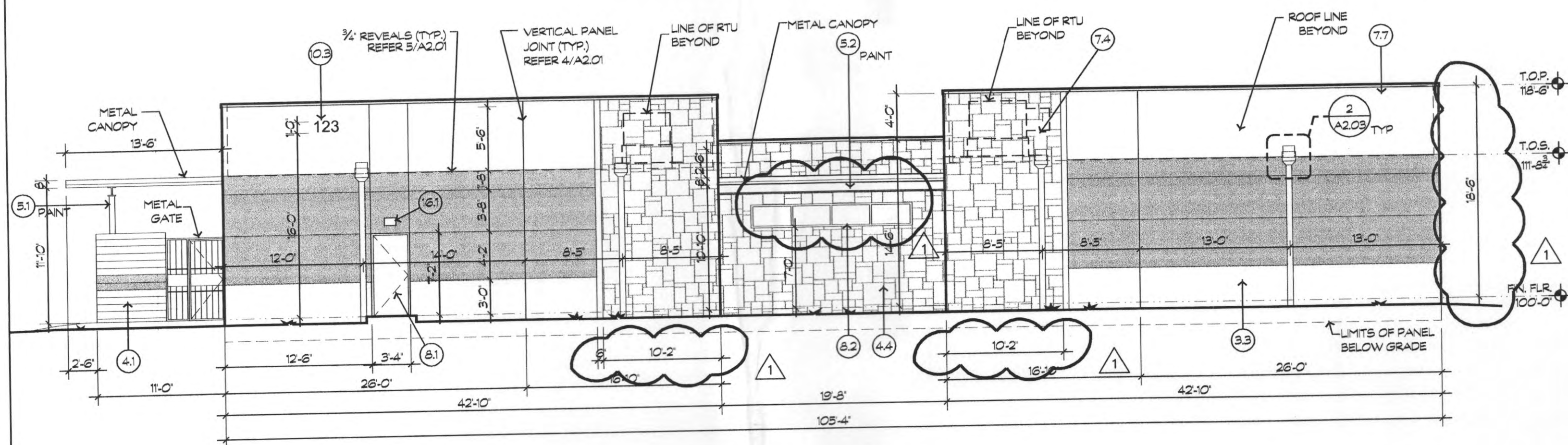


1
A3.01
North Elevation
Scale: 1/8"=1'-0"

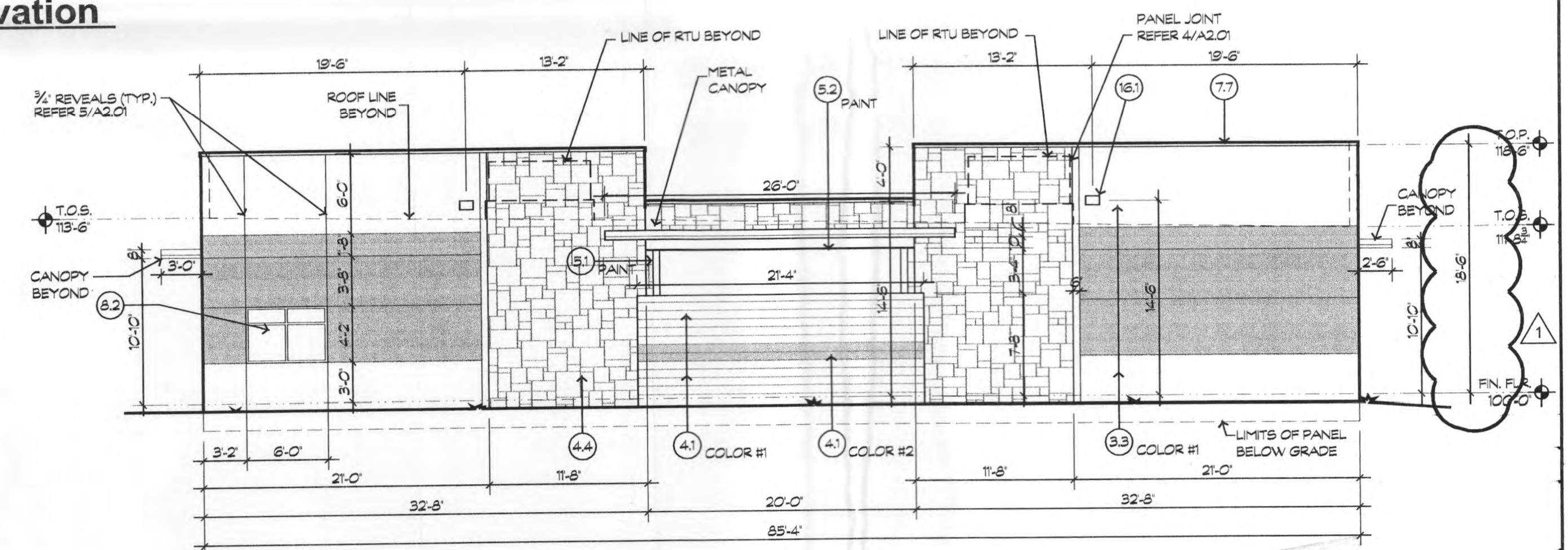
2
A3.01
East Elevation
Scale: 1/8"=1'-0"



5
A3.01
Exit Gate Elevation
Scale: 1/2"=1'-0"



3
A3.01
South Elevation
Scale: 1/8"=1'-0"



4
A3.01
West Elevation
Scale: 1/8"=1'-0"

Keynotes

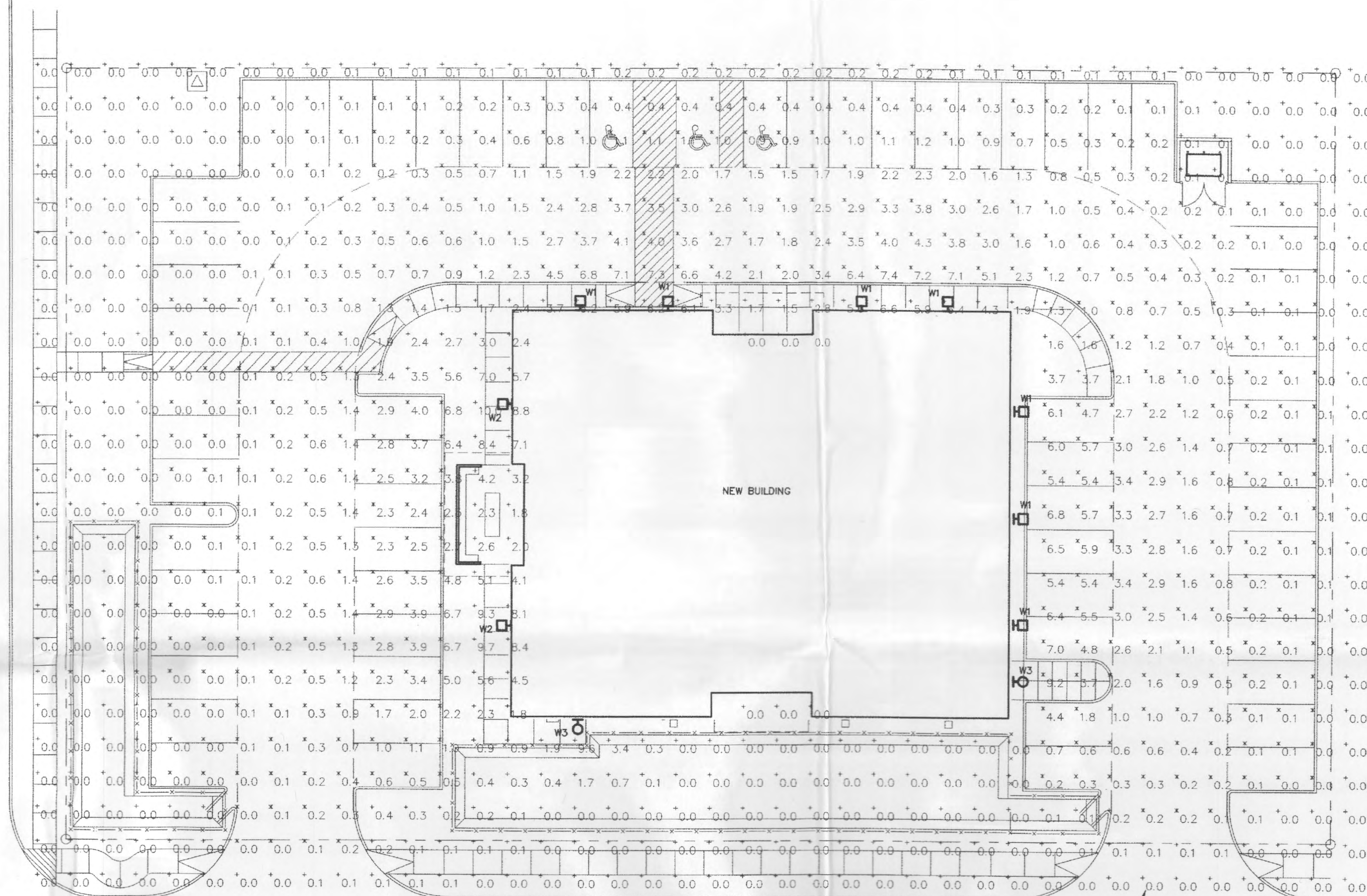
- | | | |
|--|--|--|
| <p>1 GENERAL REQUIREMENTS-NOT USED</p> <p>2 SITE WORK</p> <p>2.1 4" THK CONC. WALK, REFER TO</p> <p>2.2 TOOLED OR SAW CUT CONTROL JOINT, REFER</p> <p>2.3 CONC. PARKING PAVEMENT, REFER TO CIV.</p> <p>2.4 PREFABRICATED SITE BENCH</p> <p>2.5 42" HIGH BLACK TUBULAR STEEL FENCE W/ GATE</p> <p>2.6 PAVEMENT MARKING</p> <p>2.7 STACKED STONE RETAINING WALL</p> <p>3 CONCRETE</p> <p>3.1 CONCRETE FOUNDATION REFER STRUCT.</p> <p>3.2 CONC. PIER, REFER STRUCT.</p> <p>3.3 TILT-WALL CONC. PANEL, REFER STRUCT.</p> <p>3.4 PANEL JOINT REFER</p> <p>3.5 PANEL REVEAL REFER</p> <p>4 MASONRY</p> <p>4.1 8" SPLIT FACE CMU</p> <p>4.2 4" HIGH SOLID SPLIT FACE CMU CAP</p> <p>4.3 8" SPLIT FACE CMU BOND BEAM</p> <p>4.4 SIMULATED STONE VENEER</p> <p>5 METALS</p> <p>5.1 STL. COLUMN, REFER STRUCT.</p> <p>5.2 STL. BEAM, REFER STRUCT.</p> <p>5.3 STL. JOIST, REFER STRUCT.</p> <p>5.4 STL. ROOF DECK, REFER STRUCT.</p> <p>5.5 MISC STEEL, REFER STRUCT.</p> <p>5.6 FIXED METAL LADDER</p> | <p>6 WOODS & PLASTICS</p> <p>6.1 2x6 T&S CEDAR ROOF DECK STAIN</p> <p>6.2 CONT. TREATED WOOD BLOCKING</p> <p>6.3 1 x WOOD TRIM (PAINT)</p> <p>7 THERMAL AND MOISTURE PROTECTION</p> <p>7.1 SINGLE PLY ROOFING SYSTEM</p> <p>7.2 ROOF WALKPADS</p> <p>7.3 TAPERED RIGID INSULATION CRICKET</p> <p>7.4 THROUGH WALL ROOF DRAIN & DOWNSPOUT REFER</p> <p>7.5 ROOF SCUTTLE</p> <p>7.6 VAPOR RETARDER MEMBRANE</p> <p>7.7 JOINT, PREFINISHED 26 GA. BENT METAL TRIM</p> <p>7.8 THERMAL BATT INSULATION AS NOTED</p> <p>7.9 RIGID INSULATION / COORD. W/ ROOFING</p> <p>7.10 BACKER ROD AND SEALANT</p> <p>7.11 26 GA. GALV. FLASHING</p> <p>8 DOORS AND WINDOWS</p> <p>8.1 DOOR & FRAME, REFER DOOR SCHEDULE</p> <p>8.2 ALUM. STOREFRONT, REFER WINDOW TYPES</p> <p>8.3 ALUM. ENTRANCE, REFER DOOR SCHEDULE</p> | <p>9 FINISHES</p> <p>9.1 5 TYPE 'X' GYPSUM WALL BOARD, PAINT</p> <p>9.2 2x2 LAY-IN ACOUSTICAL TILE</p> <p>9.3 5/8" 22 GA. MTL. STUDS @ 16" O.C.</p> <p>9.4 FLOOR OR WALL TILE</p> <p>9.5 BASE AS SCHEDULED</p> <p>9.6 FRP SHEET WALL COVERING</p> <p>9.7 ELASTOMERIC COATING</p> <p>10 SPECIALTIES</p> <p>10.1 NOT USED</p> <p>10.2 FLOOR MOUNTED TOILET COMPARTMENT</p> <p>10.3 ALUM. DIE CUT STUD MOUNTED SIGNAGE</p> <p>11 EQUIPMENT</p> <p>11.1 CITY APPROVED SECURITY KEY BOX</p> <p>12 FURNISHINGS-NOT USED</p> <p>13 SPECIAL CONSTRUCTION-NOT USED</p> <p>14 CONVEYING SYSTEMS-NOT USED</p> <p>15 MECHANICAL</p> <p>16 ELECTRICAL</p> <p>16.1 LIGHT FIXTURE, REFER ELECTRICAL</p> |
|--|--|--|



Seitz Architects, Inc.

2231 Ridge Road, Suite 201, Rockwall, Texas 75087
972.772.9000 Fax: 972.722.7002 www.seitzarchitects.com

ALPHA DRIVE



SIGMA COURT

INDICATES MAINTAINED
LIGHTING LEVELS IN
FOOT CANDLES, TYP.



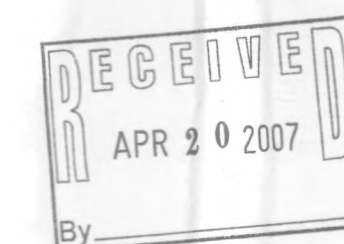
1 SITE PLAN - PHOTOMETRIC

SCALE: 1/16"=1'-0"

LUMINAIRE SCHEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	Lumens LLF Watts
	W1	7	KAD 175M R4	DIECAST TYPE IV, SHORT, CUTOFF LUMINAIRE	ONE 175-WATT CLEAR B1-28 METAL HALIDE, HORIZONTAL POSITION.	12000 0.72 213
	W2	2	KAD 250M R4	DIECAST TYPE IV, SHORT, CUTOFF LUMINAIRE	ONE 250-WATT CLEAR B1-28 METAL HALIDE, HORIZONTAL POSITION.	19500 0.72 297
	W3	2	WST 42TRT MD	ARCHITECTURAL SCORCE WITH MEDIUM THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS.	ONE 42-WATT TRIPLE TUBE COMPACT FLUORESCENT, HORIZONTAL POSITION.	3200 0.72 48

STATISTICS			
Description	Symbol	Avg	Max Min
Calc Zone #1	+	1.0 fc	10.0 fc 0.0 fc
Stat Zone #1	X	1.3 fc	9.2 fc 0.0 fc

2007 004



FILE COPY

GIS Investigations

Rockwall, Texas

file #
X7012E2.dwg
project #
06-054
date
23 April 2007
revisions

sheet

E2

2 of 6