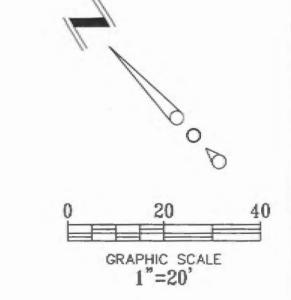


LEGEND - EXISTING CURB - PROPOSED CURB EXISTING STORM PIPE - PROPOSED SANITARY SEWER LINE EXISTING SANITARY SEWER LINE - PROPOSED WATER LINE - EXISTING WATER LINE - PROPOSED PARKING SPACES IN A ROW - CONSTRUCT BARRIER FREE RAMP



GENERAL NOTES

. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS, THE PLANS INCLUDING ALL NOTES, THE CITY OF ROCKWALL SPECIFICATIONS AND ANY OTHER APPLICABLE STANDARDS OR SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL STANDARDS OR SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.

- CONTRACTOR SHALL HAVE IN HIS POSSESSION, PRIOR TO CONSTRUCTION, ALL. NECESSARY PERMITS, AND LICENSES, ETC. CONTRACTOR SHALL HAVE A LEAST ONE SET OF APPROVED ENGINEERING PLANS AND SPECIFICATIONS ON-SITE AT ALL TIMES.
- ALL WORK SHALL CONFORM TO THE CITY OF ROCKWALL SPECIFICATIONS, STANDARDS, DETAILS AND NCTCOG 3RD EDITION STANDARDS.
- 4. IN THE EVENT AN ITEM IS NOT COVERED IN THE CITY OF ROCKWALL CONSTRUCTION STANDARDS, SPECIFICATIONS, AND DETAILS, THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) STANDARD SPECIFICATIONS FOR PUBLIC WORKS 3RD EDITION CONSTRUCTION SHALL APPLY WITH CONCURRING NOTIFICATION TO THE CITY ENGINEER AND PROJECT ENGINEER. THE CITY ENGINEER SHALL HAVE THE FINAL DECISION ON ALL CONSTRUCTION MATERIALS, METHODS, AND PROCEDURES.
- 5. CONSTRUCTION INSPECTION WILL BE PERFORMED BY REPRESENTATIVES OF THE OWNER, ENGINEER, CITY, GEOTECHNICAL ENGINEER, AND REVIEWING AUTHORITIES AND AGENCIES. UNRESTRICTED ACCESS SHALL BE PROVIDED TO THEM AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING AND SCHEDULING REQUIRED INSPECTIONS. TESTING SAMPLES SHALL BE COLLECTED AND PROCESSED BY CERTIFIED TECHNICIANS.
- 6. ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS ONTO DEVELOPED OR UNDEVELOPED AREAS WILL BE ALLOWED. ANY DAMAGE RESULTING THEREFROM SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
- 7. IT WILL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES THROUGHOUT THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES FOR LINE LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL ASSUME FULL LIABILITY TO THOSE COMPANIES FOR ANY DAMAGES CAUSED TO THEIR FACILITIES.
- TRENCH SAFETY DESIGN WILL BE THE RESPONSIBILITY OF THE UTILITY CONTRACTOR. CONTRACTOR SHALL SUBMIT A TRENCH SAFETY DESIGN APPROVED BY A PROFESSIONAL ENGINEER TO THE CITY OF ROCKWALL ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO THE START OF ANY UTILITY CONSTRUCTION.
- 9. RETAINING WALLS 4' OR GREATER IN HEIGHT REQUIRE A PROFESSIONAL ENGINEER DESIGN (SIGNED AND SEALED). A LETTER OF COMPLIANCE STATING THAT THE WALL WAS INSPECTED DURING CONSTRUCTION AND IS BUILT PER DESIGN IS REQUIRED PRIOR TO ACCEPTANCE, SUBMITTED TO ENGINEERING DEPARTMENT,
- 10. ALL PARKWAYS AND MEDIANS SHALL HAVE A MINIMUM OF 4' OF TOPSOIL PRIOR TO PLACEMENT OF SOD.
- 11. THE CONTRACTOR SHALL PROVIDE A CLEAR AND SAFE ROUTE FOR PEDESTRIANS THROUGHOUT THE DURATION OF CONSTRUCTION.
- 12. THE CONTRACTOR SHALL PROTECT THE EXISTING TREES, BUSHES, LANDSCAPING PLANTS, SPRINKLERS, AND LAWNS UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DRAWINGS. ANY DAMAGE TO THE EXISTING TREES, BUSHES, LANDSCAPING PLANTS, SPRINKLERS, AND LAWNS CAUSED BY THE CONSTRUCTION SHALL BE REPLACED TO THE SATISFACTION OF THE CITY OF ROCKWALL AT NO ADDITIONAL COST TO THE CITY. CONTINUOUS MAIL SERVICE SHALL BE PROVIDED DURING CONSTRUCTION.
- 13. DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL OFFSITE EASEMENTS PRIOR TO COMMENCEMENT OF OFFSITE CONSTRUCTION ACTIVITIES.
- 14. EXPANSION JOINTS SHALL BE PLACED EVERY 500 FEET FOR 6' THICK AND 8' THICK
- 15. SUBGRADE SHALL EXTEND 12' MINIMUM BEHIND THE CURB, BE A MINIMUM OF 6' THICK AND SHALL BE LIME STABILIZED. THE PLASTICITY INDEX SHALL NOT EXCEED 12.
- 16. MARK FIRE LANE TO CITY SPECIFICATIONS. "NO PARKING FIRE LANE" EVERY 25' WHITE 4" LETTERS ON A 6" RED STRIPED BACKGROUND.
- 17. AN APPROVED WATER SUPPLY CAPABLE OF SUPPLYING THE REQUIRED FIRE FLOW OF 2000 GPM FOR FIRE PROTECTION SHALL BE PROVIDED TO PREMISES UPON WHICH, FACILITIES, BUILDINGS OR PORTIONS OF BUILDINGS ARE HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION. THE FIRE CODE OFFICIAL SHALL BE NOTIFIED PRIOR TO THE WATER SUPPLY TEST. WATER SUPPLY TESTS SHALL BE WITNESSED BY THE FIRE CODE OFFICIAL AND APPROVED DOCUMENTATION OF THE TEST SHALL BE PROVIDED TO THE FIRE CODE OFFICIAL PRIOR TO FINAL APPROVAL OF THE WATER SUPPLY SYSTEM.



2007 025

FILE COPY

CITY OF ROCKWALL BENCHMARK#R017, ±250 EAST OF HORIZON RD IN MEDIAN OF RALPH HALL ROAD.

ELEVATION=549.46

SITE PLAN CHASE BANK-HORIZON & RALPH HALL CITY OF ROCKWALL

DALLAS COUNTY, TEXAS O'DONALD ENGINEERING LLC

1601 E. Lamar Blvd, Suite 210 Arlington, Texas 76011 Phone 817.794.0202 817.548.8430 Fax

03/18/08 SCALE 1"=20" 108 NO OD07027 SHEET

ENGINEER

O'DONALD ENGINEERING, LLC 1601 E. LAMAR BLVD. SUITE 210

ARLINGTON, TEXAS 76011

THIS DOCUMENT IS REQUIRED BY THE CITY AND IS INTENDED TO BE USED FOR INFORMATIONAL PURPOSES ONLY, IT SHALL NOT BE USED FOR CONSTRUCTION. THIS DOCUMENT IS RELEASED UNDER THE AUTHORITY OF BRANDON O'DONALD, P.E.

NO. 90241.





EAST ELEVATION
SCALE: 1/8" = 1'-0"

5 0 10

# CHASE The office of the state of the state



MATERIAL CALCULATIONS:

WEST E	LEVAT	TION		
MATERIAL	SQ.FT.	PERCENTAC	G E	
CAST STONE	22 S.F	3 %		
BRICK	163 S.F	2 2 %		
STUCCO	385 S.F	50%	97%	
N. STONE	182 S.F	25%		

756 S.F 100%

MATERIAL	SQ.FT.	PERCENTA	G E
CAST STONE	25 S.F	2 %	
BRICK	458 S.F	4 4 %	
STUCCO	331 S.F	3 2 %	98%
N. STONE	233 S.F	22%	
TOTAL	I,047 S.F	100%	EGEI

2007 025

# EAST ELEVATION

MATERIAL	SQ.FT.	PERCENTA	GE	М
CAS STONE	23 S.F	3 %		С
BRICK	412 S.F	50%	1	В
STUCCO	121 S.F	16%	97%	S.
N A T U R A L S T O N E	25 I S.F	3 1 %		N S
TOTAL	807 S.F	100%		Т

MATERIAL	SQ.FT. P	ERCENTA	GE
CAS STONE	17 S.F	2 %	
BRICK	5   7 S.F	4 7 %	1
STUCCO	320 S.F	29%	98%
N A T U R A L S T O N E	247 S.F	22%	
TOTAL	1,100 S.F	100%	

FILECOPY

SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

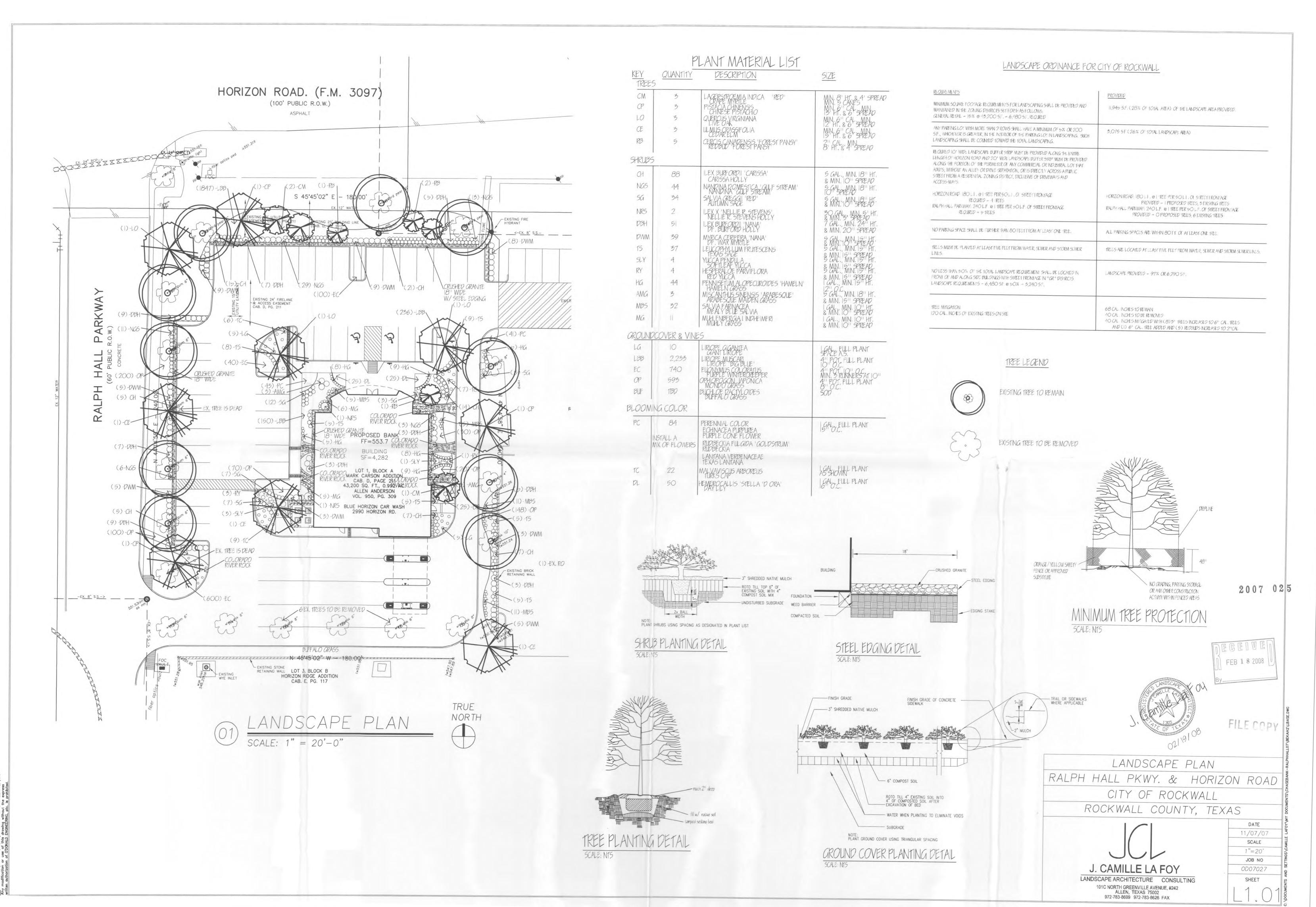
5 0 10



CHASE BANK DESIGN
ROCKWALL, TEXAS
maa 2007082



CHASE BANK HORIZON & RALPH HALL PKWY.



pyright 2007 O'DONALD ENGINEERING, pile. All Rights Reserved. Is drowing is the property of O'DONALD ENGINEERING, pile.

WARRANTY ALL PLANT MATERIAL FOR 365 DAYS FROM FINAL COMPLETION DATE.

### CITY OF ROCKWALL LANDSCAPE ORDINANCE

SECTION 20-26 MANDATORY PROVISIONS (A) LANDSCAPE BUFFER STRIP THE SITE IS ADJACENT TO A RESIDENTIAL ZONING DISTRICT A 10 FOOT LANDSCAPE BUFFER STRIP IS REQUIRED. THE AREA ALLOWED IS 15 FEET ON SITE FOR THE BUFFER STRIP. (B) SCREENING OF OFF STREET LOADING DOCKS

THE OFF STREET LOADING AREAS SHALL BE SCREENED AS SHOWN. THERE ARE NO OFF STREET LOADING AREAS ON SITE. (C) ACCEPTABLE LANDSCAPE MATERIALS ALL LARGE TREES USED TO MEET THIS ORDINANCE ARE 3.5" CALIPER

OR GREATER. (D) PROTECTION OF LANDSCAPE AREAS ALL LANDSCAPE AREAS ARE PROTECTED BY CONCRETE CURBS. (E) IRRIGATION REQUIREMENTS

ALL REQUIRED LANDSCAPE ON THE SITE IS IRRIGATED BY AUTOMATIC UNDER GROUND IRRIGATION SYSTEM. SEE PERFORMANCE SPECIFICATIONS. (F) SCREENING RESIDENTIAL USES. THERE ARE ADJACENT RESIDENTIAL USES, AN ALTERNATIVE IS

PROVIDED ON THIS PLAN USING STEEL FENCING AND STONE COLUMNS. SEE DETAILS.(G) STREET LANDSCAPING THE SITE IS ON RALPH HALL PARKWAY AND FLAGSTONE DRIVE. THE RALPH HALL BUFFER STRIP IS 346 FEET LONG REQUIRING 9 CANOPY SHADE TREES AND 9 ACCENT TREES. THE FLAGSTONE CREEK BLVD BUFFER STRIP IS 379 FEET LONG REQUIRING 9 CANOPY SHADE TREES AND 9 ACCENT TREES. (H) RIGHT OF WAY LANDSCAPE REQUIREMENTS THE LANDSCAPE AREA BETWEEN THE ROADWAY SURFACES AND THE

IRRIGATION NOTES ON THIS SEEHT. (I) PARKING LOT LANDSCAPING THE PARKING LOT SHALL BE LANDSCAPED WITH OVER 5 % LANDSCAPE. ALL PARKING SPACES ARE WITHIN 80 FEET OF A SHADE TREE. (J) SCREENING OF TRASH DUMPSTERS

R.O.W ARE SEEDED AND IRRIGATED. THE IRRIGATION PLANS WILL BE

PROVIDED BY THE LICENSED IRRIGATION CONTRACTOR. SEE

THE DUMPSTERS ARE SCREENED AND WALLED FROM VIEW AND ARE BEHIND GATES. (K) REQUIRED LANDSCAPE THE LANDSCAPE AREA FOR THE SITE IS ILLUSTRATED FOR THE

COMPLETE SITE PLAN. THE REQUIRED LANDSCAPE AREA IS NOTED PER LOT. THE SITE PLAN HAS ONE LOT.

THE MINIMUM LANDSCAPE ARE FOR COMMERCIAL USES IS 15 %. THE SITE IS APPROX. 105,941 SQ.FT. AND HAS 22,531 SQ FT OF BUILDINGS. THE REMAINING SITE IS 83,410 SQ.FT REQUIRING 12,512 SQ. FT OF LANDSCAPE AREA. THE SITE HAS 28,783 SQ FT OF SITE LANDSCAPE AREAS OR OVER 35 %. THE PARKING LOTS SHALL BE LANDSCAPED AT ONE (1) CANOPY SHADE

THE PARKING LOT HAS 113 PARKING SPACES, REQUIRING 12 TREES. THERE ARE 12 CANOPY SHADE TREES SHOWN ON THE PLAN IN THE PARKING LOT AREAS.

DETENTION POND LANDSCAPE REQUIRED THERE ARE NO DETENTION PONDS LOCATED ON SITE.

TREE PER 10 PARKING SPACES.

# ROOT BARRIERS AT UTILITIES AND PAVING EDGES

1. NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELEC, CABLE, STORM, ECT. 2. ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. 3. DEEP ROOT BARRIERS, 1-800-458-7668, INSTALL UB-48-2 PER SPECIFICATIONS FOR 16 FEET AT EACH TREE ON SIDE OF PAYING OR UTILITY, INCLUDE 4" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 35" DEEP, BARRIER TO EXTEND 1" ABOVE GRADE.

### LANDSCAPE SITE PLAN NOTE

LANDSCAPE PLAN PREPARED FOR SITE PLAN APPROVAL DNLY, PLAN IS NOT FOR CONSTRUCTION OR PRICING. ADDITIONAL SHRUBS AND GROUND COVERS WILL BE SHOWN FOR FINAL LANDSCAPE PLANS FOR PRICING CONSTRUCTION, ALL AREAS ARE LANDSCAPED WITH SOLID SOD BERMUDA GRASS UNLESS OTHERWISE NOTED. ALSO TOTAL SQUARE FEET OF SOD WILL BE NOTED PER EACH AREA IN THE FINAL

## LANDSCAPE LEGEND



LANDSCAPE EDGE SHADE TREES, 3" CALIPER MIN. ADDED CALIPER FOR MITIGATION 2" IF



EVERGREEN ORNAMENTAL

EVERGREEN SCREENING SHRUB\$ 15 GAL.

NATIVE GRASSES ARE USED ALSO

FILL COLL 2007 026 1002 L 0 AON

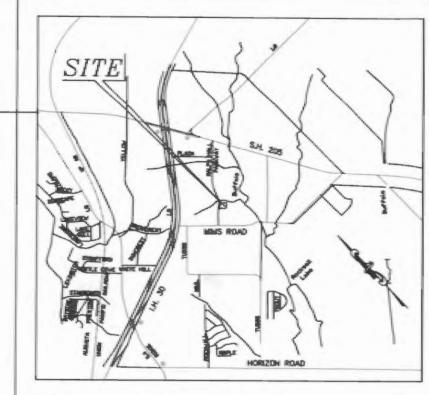
Owner: Dr. Scott Peirce 1100 Regent Lane Greenville, Texas 75402 P: 903-455-1447

Architectural: Miller Architects Inc 1429 Heath Center Parkway Yukon, OK 73099 P: 405.265.2992 F: 405.265.2439 W: www.millerarch.com

Landscape Architect: T. H. PRITCHETT ASSOCIATES 1218 CAMINO LAGO IRVING, TEXAS 75039 www.kanddesignplan.com 972-869-3535 tom@landdesignplan.com



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY T. H. PRITCHETT, R.L.A. NO. 2115 ON 11/06/07



VICINITY MAP

CAUTIONE UNDERGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITIES, CONTACT LINE LOCATES FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG: TEXAS EXCAVATION SAFETY SYSTEM (TESS) TEXAS ONE CALL SYSTEMS LONE STAR HOTIFICATION CENTER

1-800-669-8344 EXT. 5

YOU DIG\_

TIN AL HALL F MEDICA ROCKWA AP NH WAL XX × C OR

REVISION THP. CHECKED

T.H.P. DRAWN

11/06/2007 DATE

0601SITE PROJECT

1 PER 25 FOOT OF LANDSCAPE EDGE LANDSCAPE ACCENT EDGE ORNAVENTAL

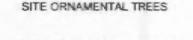
1 PER 25 FOOT OF LANDSCAPE EDGE

PARKING AREA TREES, 3" CALIPERMIN. 1 TREE PER 10 PARKING SPACES PER TRACT



TREE FOR SCREENING SITE LANDSCAPE TREES







LANDSCAPE SHRUBS LANDSCAFE EDGE.



PLANT KEY, QUANTITY AND SYMBOL, SEE PLANT LIST

---- IRRIGATION SLEEVES (1) 2" & (1) 4" AT EACH LOCATION

Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	3	\$4	SINGLE	32000	0.750	CAL-400-MH-XX-3S
0	12	D	SINGLE	5500	0.750	MD7-730-7700LI
$\overline{\Box}$	2	23	SINGLE	32000	0.750	CAL-400-MH-XX-3S
<b>—</b>	5	S1 -	SINGLE	32000	0.750	CAL-400-MH-XX-SLE
•	5	WP	SINGLE	32000	0.750	VWM-400-MH-XX-4S

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
Site	Illuminance	Fc	4.83	25.5	0.2	24.15	127.50	10	10
Property Line	Illuminance	Fc	1.53	9.3	0.0	N.A.	N.A.	10	N.A.
Motor Bank	Illuminance	Fc	29.48	61.7	4.2	7.02	14.69	2	2
ATM_Face	Illuminance	Fc	12.10	14.1	10.3	1.17	1.37	0.5	0.5
Beyond Property	LineIlluminance	Fc	0.15	3.1	0.0	N.A.	N.A.	10	10

Calculations 2.5' AG. Luminaire symbols not to scale. 17.5' Pole / 2.5' Base

ND Radius ATM Radius

Illuminance Values(Fc)

Average =25.64

Average =25.06

Maximum =61.7

Minimum =4.2

Avg/Min Ratio=6.10

Maximum =61.7

Minimum =2.6

Avg/Min Ratio=9.64

Max/Min Ratio=23.73

LumNo	Label	X	Y.	Z	Orient
1	D	22.75	53.5	10.66	0
2	D	29.75	47.75	10.66	0
3	D	42	47.75	10.66	0
4	D	54.25	47.75	10.66	0
5	D	22.75	47.75	10.66	0
6	D	22.75	42.25	10.66	0
7	D	35.25	53.5	10.66	0
8	D	35.25	42.25	10.66	0
9	D	47.75	53.5	10.66	0
10	D	47.75	42.25	10.66	0
11	D	59.75	53.5	10.66	0
12	D	59.75	42.25	10.66	0
13	S1	35	165	20	270
14	S1	216.6	51.75	50	180
15	S1	216.6	121,6	50	180
16	S1	162.5	29.25	20	90
17	S1	69.85	30,25	20	0
18	23	3.75	16.5	20	0
19	23	1.25	79.5	20	0
20	S4	77.85	120	20	90
21	\$4	154.95	120	20	90
55	\$4	68.35	29	20	270
23	WP	66.5	92.5	14	180
24	WP	66.5	69.75	14	180
25	WP	76.5	98.7	12.5	90
26	WP	38.1	36	15	270
27	WP	38.1	61	15	90

FUECCPY

2007 025

EXTERIOR SITE LIGHT FIXTURE - S1, S3, S4:
COOPER #
CAL-400-MH-208-SL-BK



TELIOS
ENGINEERS | CONSULTANT

3535 Travis St, #115 | Dallas, TX 75204 Ph: (214) 744.6199 | F: (214) 744-0770 www.tellospc.com merriman associates

interior design

300 N. FIELD ST.
DALLAS, TEXAS 75202
214.987.1299
214.987.2138 (FAX)

THIS DOCUMENT IS
RELEASED UNDER THE
AUTHORITY OF SHANNON K.
MCCALL, P.E. #82715 ON
JANUARY 23, 2008 FOR THE
SOLE PURPOSE OF DESIGN
REVIEW AND SHALL NOT BE
USED FOR BIDDING,
CONSTRUCTION,
CONTRACTING OR
REGULATORY APPROVAL.
THIS DOCUMENT SHALL NOT
BE REPRODUCED WITHOUT
THE PRIOR WRITTEN

THE PRIOR WRITTEN CONSENT OF TELIOS, P.C.

ETAIL BANKING CENTE HORIZON & RALPH HALL PKWY.

REVIEWORD

PROJECT HUMBER: 2007055

JANUARY 23, 2008

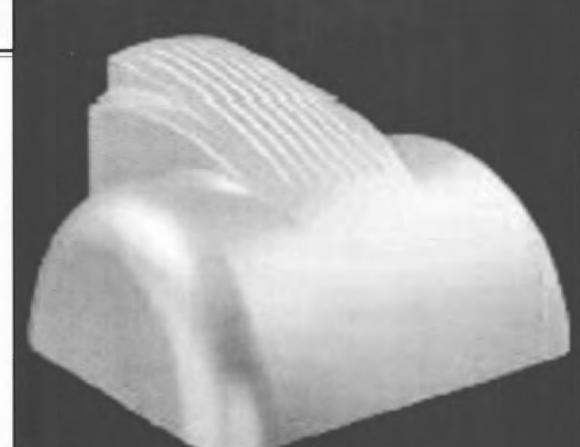
CHEET HAVE

MEP PHOTOMETRIC

SITE PLAN

s, TX 75204 ) 744-0770

O1 PHOTOMETRIC SITE PLAN
SCALE: 7 = 20'-0"



EXTERIOR WALL PACK FIXTURE - WP: COOPER # VWS-175-MH-120-4S