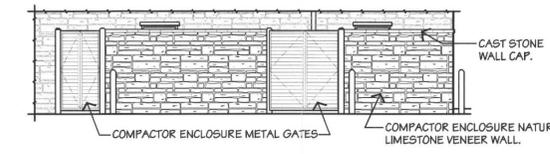
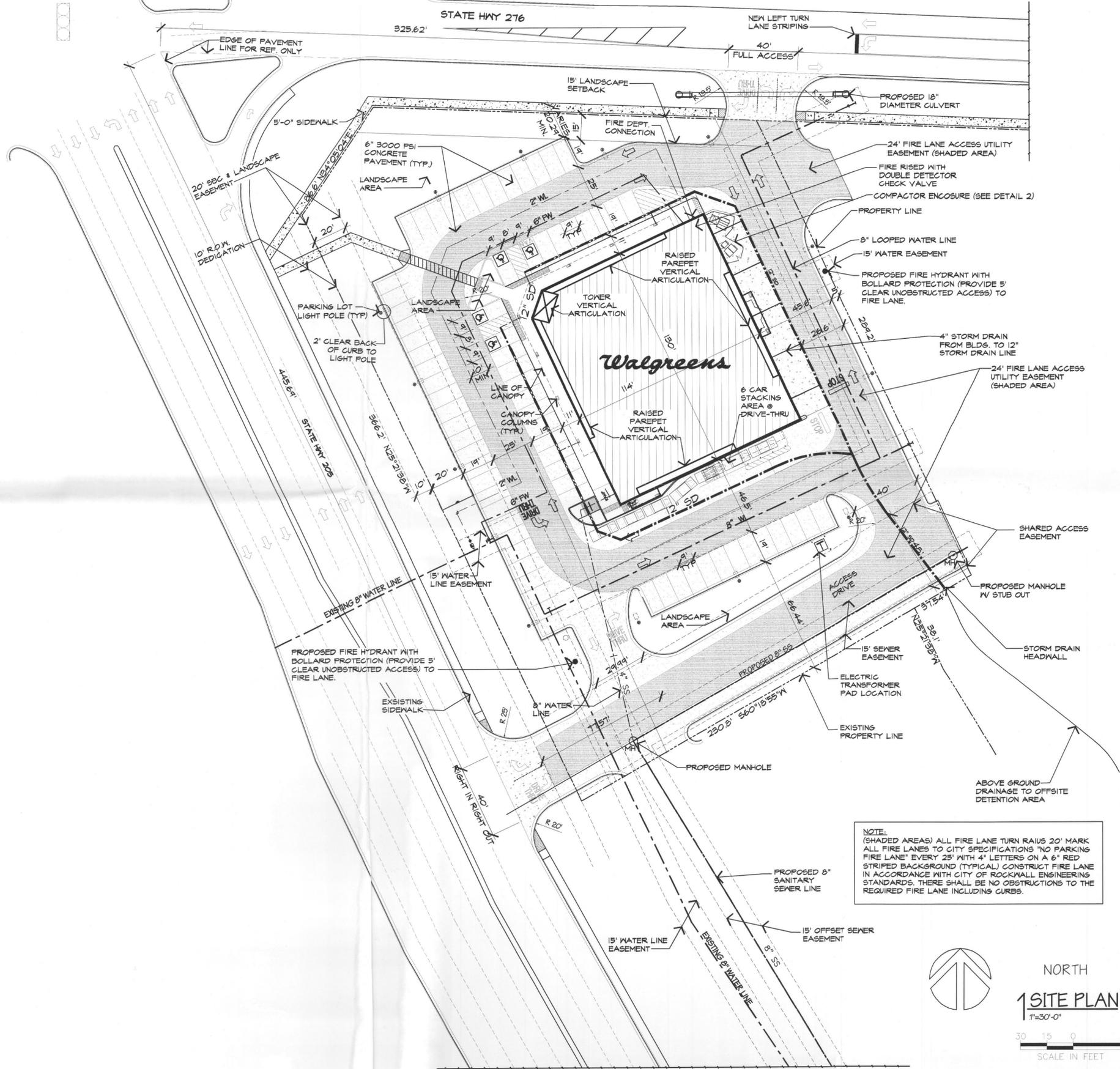


STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION... <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	



**2 COMPACTOR ENCLOSURE ELEVATIONS**  
 1/8"=1'-0"



**NOTE:**  
 (SHADED AREAS) ALL FIRE LANE TURN RADIUS 20' MARK ALL FIRE LANES TO CITY SPECIFICATIONS "NO PARKING FIRE LANE" EVERY 25' WITH 4" LETTERS ON A 6" RED STRIPED BACKGROUND (TYPICAL) CONSTRUCT FIRE LANE IN ACCORDANCE WITH CITY OF ROCKWALL ENGINEERING STANDARDS. THERE SHALL BE NO OBSTRUCTIONS TO THE REQUIRED FIRE LANE INCLUDING CURBS.

**SITE DATA:**  
 TOTAL LOT AREA 2.1 ACRES

**PROPOSED USE:**  
 WALGREENS PHARMACY  
 SALES OF GENERAL MERCHANDISE AND PHARMACY

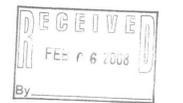
**PARKING:**  
 STANDARD SPACES 68  
 HANDICAPPED SPACES 3  
 VAN ACCESSIBLE SPACE 1  
 TOTAL SPACES 72

**PERVIOUS/IMPERVIOUS AREA:**  
 PERVIOUS: 23,027 S.F., 24%  
 IMPERVIOUS: 72,936 S.F., 76%

**BUILDING DATA:**  
 GROSS SQUARE FOOTAGE: 14,820 S.F.  
 CANOPIES:  
 DRIVE-THRU 102 S.F.  
 SIDE CANOPIES 1,135 S.F.  
 AT TOWER 165 S.F.  
 TOTAL WITH CANOPIES: 15,592 S.F.

**CONSTRUCTION TYPE:**  
 VB FULLY SPRINKLED

- SITE NOTES:**
- ALL DIMENSIONS INDICATED ARE FACE OF CURB TO FACE OF CURB.
  - ALL STORMWATER IS DRAINING TO AN OFFSITE DETENTION POND CURRENTLY UNDER DESIGN BY CIVIL ENGINEER AND WILL BE SUBMITTED TO ENGINEERING DEPARTMENT. DETENTION POND EASEMENT IS INDICATED ON THE "FINAL PLAT MEADOWCREEK BUSINESS CENTER" SUBMITTED WITH INITIAL SUBMITAL.
  - ALL PROPOSED EASEMENTS WILL BE ESTABLISHED BY SEPERATE DRAWINGS AND DOCUMENTATION.
  - APPLICATION AND SUBMITTAL FOR DRIVEWAYS, LEFT TURN STRIPING AND CULVERTS WILL BE SUBMITTED TO TEXAS DOT BY CIVIL ENGINEER.



2008 003

NO.	DATE	BY	DESCRIPTION	CONST.
Δ	2/4/08		CITY SITE PLAN REVIEW COMMENTS	

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF TEXAS AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME  
 (SEC) STATE HWY 205  
 & STATE HWY 276  
 ROCKWALL, TX

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DRAWING TITLE  
**SITE PLAN**

DATE	STORE NO./#	DRAWING NO.
00/00/2007	00000	

DRAWN BY: WALGREENS CRITERIA: 2007  
 SCALE: AS NOTED

REVIEWED BY: OF 00 DWGS.

FILE COPY

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS' CONSULTANT  LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
 WALGREENS' CONTRACTOR  LANDLORD'S CONTRACTOR (CONSTRUCTION COMPANY)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input type="checkbox"/>
REMODELING.... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION.... <input type="checkbox"/>	NEW SHELL ONLY. <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

SIGN AREA SUMMARY

NORTH ELEVATION:	
30'-7 1/2" LONG "WALGREENS" SIGN	80.32 SF
12'-10" LONG "PHARMACY" SIGN	19.2 SF
7'-9" LONG "PHOTO" SIGN	11.75 SF
<b>EAST ELEVATION:</b>	
30'-7 1/2" LONG "WALGREENS" SIGN	80.32 SF
12'-10" LONG "PHARMACY" SIGN	19.2 SF
7'-9" LONG "PHOTO" SIGN	11.75 SF
<b>TOTAL BUILDING SIGNAGE</b>	
	222.54 SF
SITE SIGN AREA:	
MONUMENT SIGN:	
PRIMARY PANEL	11.22 SF
L.E.D. BOARD	40.03 SF
TOTAL AREA	51.25 SF
<b>TOTAL SITE SIGNAGE</b>	
	51.25 SF
DIRECTIONAL SIGNS:	
<b>EAST ELEVATION:</b>	
10" "ENTER" INDIVID. SIGN	3.5 SF
<b>WEST ELEVATION:</b>	
10" "EXIT" INDIVIDUAL SIGN	21.9 SF
	5.6 SF
<b>TOTAL SIGNAGE AREA:</b>	
	281.09 SF

2008 003 RECEIVED  
FEB 06 2008

NO.	DATE	BY	CITY SITEPLAN COMMENTS	CONST.
	02/04/08			

REVISIONS

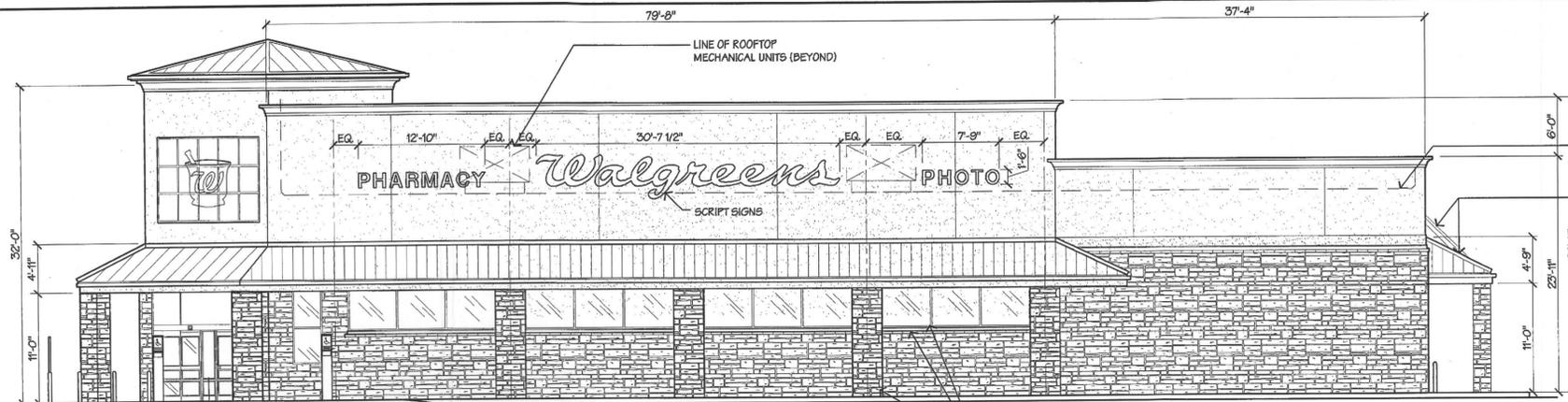
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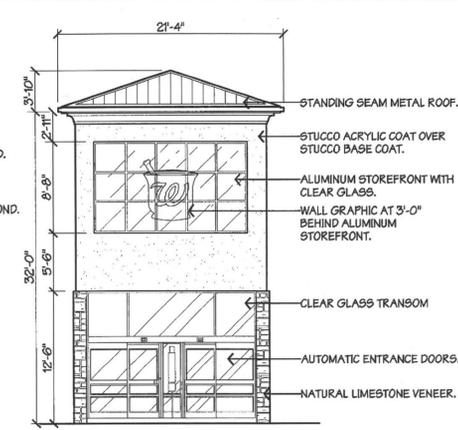
PROJECT NAME  
**(SEC) STATE HWY 205 & STATE HWY 276 ROCKWALL, TX**

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DRAWING TITLE  
**EXTERIOR ELEVATIONS**

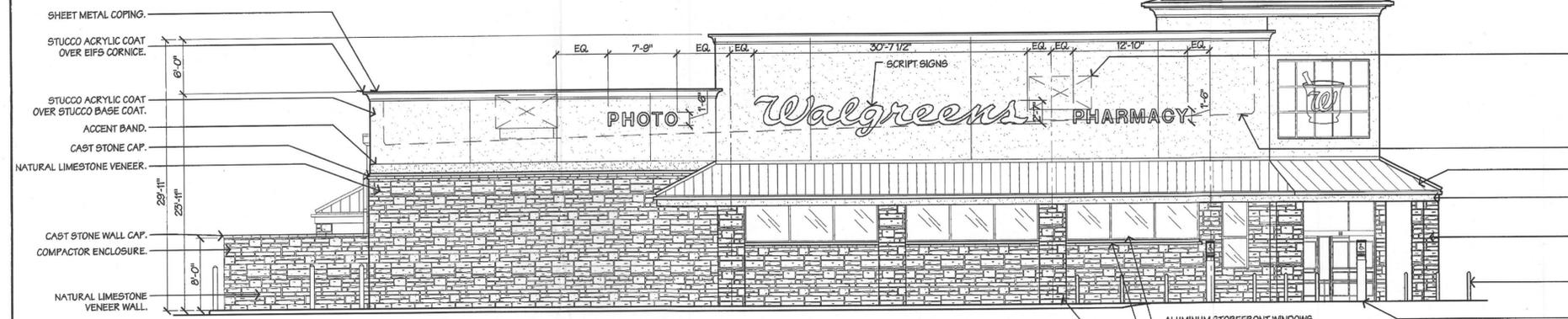
DATE	STORE NO.#	DRAWING NO.
01/18/2008	00000	
DRAWN BY:	WALGREENS CRITERIA: 2007	
REVIEWED BY:	SCALE: AS NOTED	
		OF 00 DWGS.



**1 WEST EXTERIOR ELEVATION**  
SCALE 1/8"=1'-0"



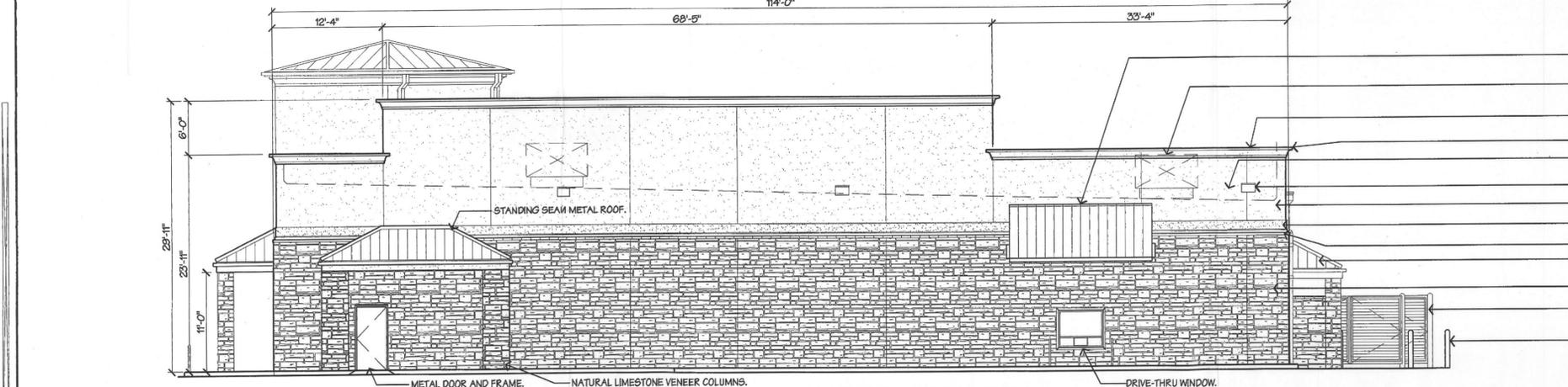
**1a TOWER ELEVATION**  
SCALE 1/8"=1'-0"



**2 NORTH EXTERIOR ELEVATION**  
SCALE 1/8"=1'-0"

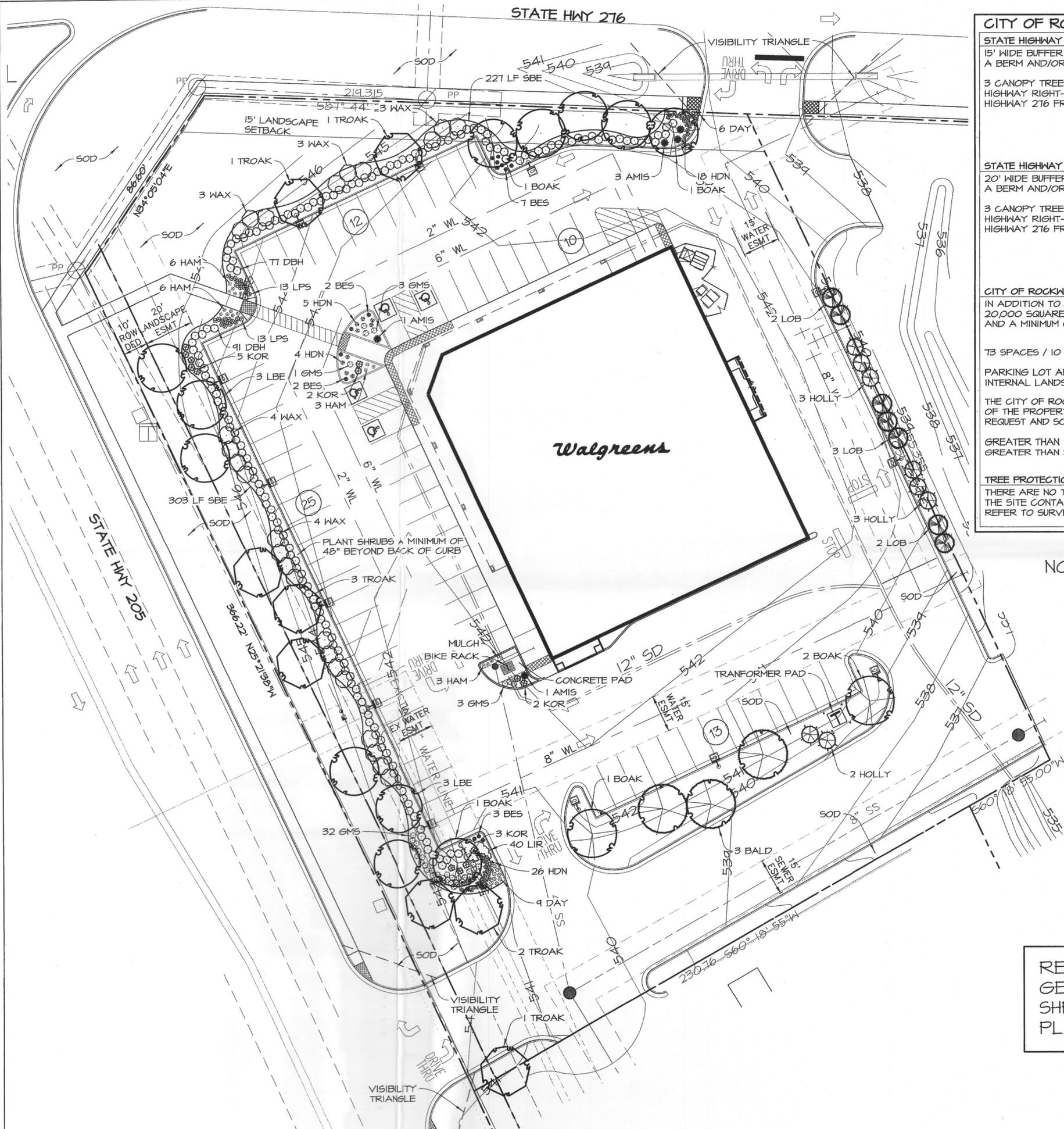


**3 EAST EXTERIOR ELEVATION**  
SCALE 1/8"=1'-0"



**4 SOUTH EXTERIOR ELEVATION**  
SCALE 1/8"=1'-0"

- MATERIALS**
- ROOFING:**  
BUILDING: MODIFIED BITUMINOUS ROOF MEMBRANE WITH "WHITE" CERAMIC GRANULE SURFACE.
- TOWER AND CANOPIES:**  
FACTORY FINISHED STANDING SEAM METAL COLOR TO MATCH KYMAR 500 FLUOROCARBON FINISH "ZINC GREY".
- WALL COPING, CONDUCTOR HEADS & DOWNSPOUTS:**  
FACTORY FINISHED SHEET METAL COLOR TO MATCH KYMAR 500 FLUOROCARBON FINISH "ALMOND".
- WALLS:**  
FIELD COLOR: STUCCO ACRYLIC COAT OVER STUCCO BASE COAT WITH INTEGRAL COLOR MATCHING BENJAMIN MOORE "DUNE WHITE".  
ACCENT BAND: STUCCO ACRYLIC COAT OVER STUCCO BASE COAT WITH INTEGRAL COLOR MATCHING BENJAMIN MOORE "BUTTE ROCK".  
STONE VENEER: NATURAL LIMESTONE VENEER BLEND 50% GOLD, 50% CREAM QUARRIED FROM SALADO QUARRY, FLORENCE, TX WITH CAST STONE WALL CAP.
- ALUMINUM STOREFRONT WINDOWS:**  
SIDE WALL WINDOWS: CLEAR ANODIZED ALUMINUM WITH FLIKINGTON "EVERGREEN" TINTED GLASS.  
TOWER WINDOW: CLEAR ANODIZED ALUMINUM WITH CLEAR GLASS.
- AUTOMATIC ENTRANCE DOORS:**  
CLEAR ANODIZED ALUMINUM WITH CLEAR GLASS DOORS AND CLEAR GLASS AT TRANSOMS.
- METAL DOORS AND FRAMES:**  
PAINTED COLOR TO MATCH BENJAMIN MOORE "STONE BROWN".
- ENCLOSURE FOR TRASH COMPACTOR & TOTE STORAGE:**  
8" CONCRETE MASONRY UNITS WITH NATURAL LIMESTONE VENEER AND CAST STONE WALL CAP WITH METAL ENCLOSURE GATES PAINTED TO MATCH BENJAMIN MOORE "ALMOND".
- BUILDING SIGNS:**  
SCRIPT SIGNS "WALGREENS", "PHARMACY" AND "PHOTO": RED PLEXIGLASS IN BRONZE METAL HOUSING, INTERNALLY ILLUMINATED.  
DIRECTIONAL SIGNS "DRIVE THRU PHARMACY" AND "DRIVE THRU "EXIT": RED PLEXIGLASS IN BRONZE METAL HOUSING, INTERNALLY ILLUMINATED.  
DRIVE THRU "CLEARANCE" SIGN: ALUMINUM PANEL "YELLOW REFLECTIVE FINISH AND BLACK LETTERS."  
HANDICAPPED PARKING: 7'-0" HIGH STEEL TUBE PAINTED "WHITE" STANDARD HANDICAPPED SIGN.
- BOLLARDS:**  
4" DIAMETER STEEL PIPE WITH "GREY" POLYETHYLENE COVER, 3'-0" HIGH.
- DRIVE-THRU WINDOW:**  
FACTORY FINISHED "GREY" STEEL FRAME AND TRANSACTION DRAWER WITH CLEAR GLASS.
- BUILDING STRUCTURAL ELEMENTS**
- ROOF:**  
BUILDING: METAL DECKING OVER STEEL BAR JOISTS.  
TOWER: METAL ROOF RAFTERS.
- WALLS:**  
REINFORCED CONCRETE WALL PANELS.
- FLOOR:**  
REINFORCED CONCRETE FLOOR SLAB.
- FOUNDATION:**  
REINFORCED CONCRETE DRILLED PIERS AND GRADE BEAMS.
- EXTERIOR WALL MATERIAL PERCENTAGE**
- SOUTH EXTERIOR ELEVATION:**  
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 41.8%  
LIMESTONE VENEER: 58.2%
- EAST EXTERIOR ELEVATION:**  
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 39.6%  
LIMESTONE VENEER: 60.4%
- NORTH EXTERIOR ELEVATION:**  
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 42.7%  
LIMESTONE VENEER: 57.3%
- WEST EXTERIOR ELEVATION:**  
STUCCO ACRYLIC COAT OVER STUCCO BASE COAT: 44.8%  
LIMESTONE VENEER: 55.1%



**CITY OF ROCKWALL LANDSCAPE REQUIREMENTS**

**STATE HIGHWAY 276 CORRIDOR OVERLAY LANDSCAPE STANDARDS**  
 15' WIDE BUFFER STRIP SHALL BE LOCATED ALONG THE PROPERTY FRONTAGE, WITH A BERM AND/OR SHRUBBERY ALONG THE ENTIRE LENGTH OF THE PROPERTY FRONTAGE.  
 3 CANOPY TREES AND 4 ACCENT TREES SHALL BE REQUIRED FOR EVERY 100 FEET OF HIGHWAY RIGHT-OF-WAY.  
 HIGHWAY 276 FRONTAGE = 219 LF

CANOPY TREES REQUIRED	PROVIDED
7	7
ACCENT TREES REQUIRED	PROVIDED
9	9

**STATE HIGHWAY 205 CORRIDOR OVERLAY LANDSCAPE STANDARDS**  
 20' WIDE BUFFER STRIP SHALL BE LOCATED ALONG THE PROPERTY FRONTAGE, WITH A BERM AND/OR SHRUBBERY ALONG THE ENTIRE LENGTH OF THE PROPERTY FRONTAGE.  
 3 CANOPY TREES AND 4 ACCENT TREES SHALL BE REQUIRED FOR EVERY 100 FEET OF HIGHWAY RIGHT-OF-WAY.  
 HIGHWAY 205 FRONTAGE = 366 LF

CANOPY TREES REQUIRED	PROVIDED
12	12
ACCENT TREES REQUIRED	PROVIDED
16	16

**CITY OF ROCKWALL ARTICLE VIII LANDSCAPE STANDARDS**  
 IN ADDITION TO THE OVERLAY REQUIREMENTS ABOVE, PARKING LOTS IN EXCESS OF 20,000 SQUARE FEET SHALL HAVE 1 CANOPY TREE FOR EVERY 10 PARKING SPACES AND A MINIMUM OF 5% OF INTERIOR LANDSCAPE AREA.  
 13 SPACES / 10 =

CANOPY TREES REQUIRED	PROVIDED
8	8

PARKING LOT AREA = 31,000 SF  
 INTERNAL LANDSCAPE AREA = 1,600 SF (5%)  
 THE CITY OF ROCKWALL HAS REQUESTED A ROW OF TREES ALONG THE NORTHEAST PORTION OF THE PROPERTY. EVERGREEN TREES HAVE BEEN PROVIDED TO COMPLY WITH THE CITY'S REQUEST AND SCREEN THE DUMPSTERS AND ENCLOSURES ON THE BACK SIDE OF THE BUILDING  
 GREATER THAN 15% OF THE SITE IS DEVOTED TO LANDSCAPING - 21,700 SF (22.7%)  
 GREATER THAN 50% OF THE REQUIRED LANDSCAPING IS LOCATED IN THE SITE FRONTAGE  
**TREE PROTECTION**  
 THERE ARE NO TREES ON WALGREENS PROPERTY CONSIDERED A PROTECTED TREE. THE SITE CONTAINS CEDAR TREES AND HACKBERRYS THAT ARE LESS THAN 11" DBH. REFER TO SURVEY.

NO TREES WITHIN 5' OF UTILITIES

REFER TO SHEET L1.2 FOR GENERAL NOTES, TREE AND SHRUB PLANTING DETAIL, AND PLANT MATERIAL SCHEDULE.

**Walgreens**  
 FACILITIES PLANNING, DESIGN, & ENGINEERING  
 108 WILMOT ROAD  
 DEERFIELD, IL 60015-5105

**CALLAHAN • GALLUP & Co.**  
 Architecture • Planning • Interior Design •  
 15 East 5th Street • Suite 2900 • Tulsa, Oklahoma 74103  
 (918) 584-8855 • (918) 584-2880 FAX  
 cgg@callahangallup.com (e-mail)

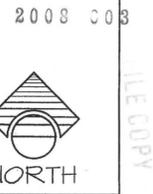
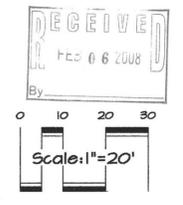


**PROJECT TYPE**

DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS' CONSULTANT  LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
 WALGREENS' CONTRACTOR  
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input type="checkbox"/>	NEW..... <input type="checkbox"/>
REMODELING.... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION.... <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	



NO.	DATE	BY	DESCRIPTION	CONST.
2-4-08			CITY SITE PLAN COMMENTS	

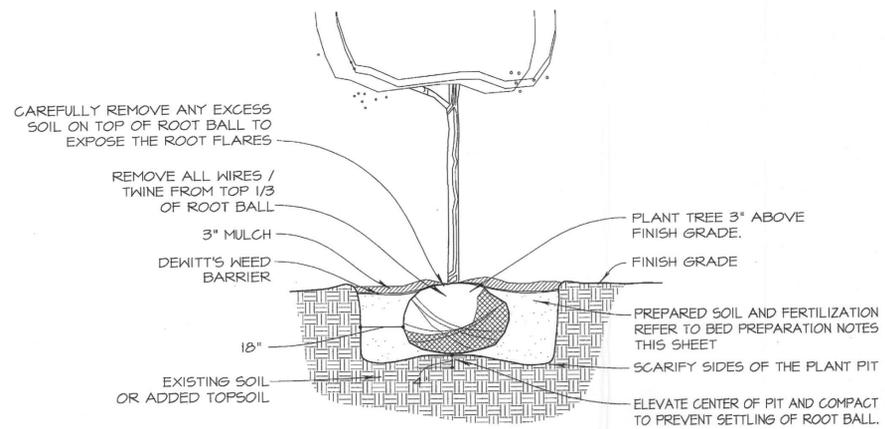
REVISIONS

CERTIFICATION AND SEAL

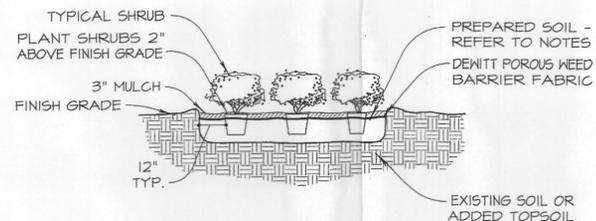
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**FOR SITE PLAN REVIEW**

PROJECT NAME <b>(SEC) STATE HWY 205 &amp; STATE HWY 276 ROCKWALL, TX</b>	PROJECT NO. # xxxxxx	DRAWING NO. <b>L1.1</b>
Copyright © 2007 by CALLAHAN GALLUP & Co. #1R232	DRAWING TITLE <b>LANDSCAPE PLAN</b>	
DATE 2-6-08 CRITERIA-2007	SCALE: 1"=20'-0"	
DRAWN BY: BBD	RELEASED TO CONSTRUCTION	
REVIEWED BY: DTA		



**TREE PLANTING DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE

PLANT MATERIAL SCHEDULE					
QUANT.	TAG	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS	SPACING
4	LBE	LACEBARK ELM	ULMUS PARVIFOLIA	4" CAL.; 14'-16' HT. 6'-7' SPREAD; FULL	
8	TROAK	TEXAS RED OAK	QUERCUS TEXANA	4" CAL.; 14'-16' HT. 6'-7' SPREAD; FULL	
3	BALD	BALD CYPRESS	TAXODIUM DISTICHUM	4" CAL.; 14'-16' HT. 6'-7' SPREAD; FULL	
5	BOAK	BURR OAK	QUERCUS MACROCARPA	4" CAL.; 14'-16' HT. 6'-7' SPREAD; FULL	
25	WAX	WAYMYRTLE	MYRTICA CERIFERA	15 GALLON; 5'-6' HT.; 3' SPD; MT TREE FORM TREE; FULL	
7	LOB	LOBLOLLY PINE	PINUS TAEDA	15 GALLON; 6'-7' HT.; FULL	
8	HOLLY	OAKLEAF HOLLY	ILEX X 'CONAF'	6'-7' HT.; FULL TO GROUND	
16B	DBH	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	5 GALLON; FULL	36" O.C.
5	AMIS	ADAGIO DWARF MISCANTHUS	MISCANTHUS SINENSIS 'ADAGIO'	5 GALLON; FULL	AS SHOWN
12	KOR	KNOCK OUT ROSE	ROSA 'RADRAZZ'	3 GALLON; FULL	AS SHOWN
31	GMS	GOLDMOUND SPIRAEA	SPIRAEA JAPONICA 'GOLDMOUND'	3 GALLON; FULL	24" O.C.
18	HAM	HAMELN FOUNTAIN GRASS	PENNISSETUM ALOPECUROIDES 'HAMELN'	3 GALLON; FULL; SPRING INSTALL ONLY	AS SHOWN
53	HON	HARBOUR DWARF NANDINA	NANDINA DOMESTICA 'HARBOUR DWARF'	3 GALLON; FULL	18" O.C.
26	LPS	LITTLE PRINCESS SPIRAEA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	1 GALLON; FULL	AS SHOWN
15	DAY	STELLA D'ORO DAYLILY	HEMEROCALIS SPP. 'STELLA D'ORO'	1 GALLON; FULL	AS SHOWN
14	BES	BLACK EYED SUSAN	RUDBECKIA FULGIDA GOLDSTURM STRAIN	1 GALLON; FULL	AS SHOWN
40	LIR	ROYAL PURPLE LIRIOPE	LIRIOPE MUSCARI 'ROYAL PURPLE'	1 GALLON; FULL	18" O.C.
530 LF	SBE	STEEL BED EDGING	RYERSON 3/16" x 4" OR APPROVED EQUAL		

**GENERAL NOTES**

CALL TEXAS ONE-CALL AT 1-800-344-8371 FOR INFORMATION ON THE LOCATION OF ALL UNDERGROUND UTILITIES.

CONTACT PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE UTILITIES (BOTH OVERHEAD AND BURIED) WHICH MAY OCCUR DUE TO HIS ACTION OR LACK OF ACTION ON THE PROJECT SITE DURING LANDSCAPE OR IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE OF LOCAL UTILITIES AND THE OWNER IN LOCATING THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN ANY AREA.

PLANT QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL ALL PLANT MATERIALS SHOWN ON THE DRAWINGS.

PLANT TREES THREE (3) INCHES ABOVE FINISHED GRADE. CUT TWINE FROM AROUND THE TRUNK AND PULL BACK THE BURLAP FROM THE TOP 1/3 OF THE ROOT BALL. PLANT SHRUBS TWO (2) INCHES ABOVE FINISHED GRADE. CROWN ISLANDS 6" ABOVE TOP OF CURB OR AS DIRECTED ON DRAWING. ALL PLANTING BEDS SHALL HAVE POSITIVE DRAINAGE OUT OF THE PLANTING BEDS. ADJUST TREE/SHRUB BED LOCATIONS FOR FINAL GRADES / DRAINAGE SWALES.

TRIM OFF LOWER BRANCHES OF TREES TO PRESERVE SIGHT LINES.

PLANT SHRUBS A MINIMUM OF 30" FROM BACK OF CURB, OR AS NOTED ON DRAWING.

**BED PREPARATION/ MULCH**

ALL SHRUB AND GROUND COVER AREAS SHALL RECEIVE SOIL PREPARATION/AMENDMENTS AS SPECIFIED BELOW. ROTO-TILL AMENDMENTS INTO SOIL TO A DEPTH OF TEN (10) INCHES UNTIL SOIL AND AMENDMENTS ARE A SMOOTH, EVEN MIXTURE.

MIX 2 LBS. OF SIERRA 17-6-12 PLUS MINORS AND 5 LBS. OF BONE MEAL INTO THE TOP TWO (2) INCHES OF SOIL IN THE PLANTING BEDS PER 100 SQ. FT. EACH TREE SHALL RECEIVE THREE (3) CUBIC FEET OF BACK TO EARTH AND ONE (1) CUBIC FOOT OF AGED, STERILIZED COW MANURE. MIX WITH THE TOPSOIL AND USE AS A BACKFILL. APPLY FOUR (4) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE SMALLER THAN TWO INCHES IN CALIPER. APPLY SIX (6) AGRIFORM TABLETS (20-10-5 PLUS MINORS, 21 GRAM) TO EACH TREE HAVING A TRUNK TWO INCHES IN CALIPER OR LARGER. EQUALLY SPACE TABLETS SIX (6) INCHES OUTSIDE THE BURLAP AND FOUR (4) INCHES BELOW FINISHED GRADE.

ALL PLANTING BEDS TO HAVE CONTINUOUS WEED BARRIER FABRIC (DENITT OR APPROVED EQUAL).

MULCH ALL PLANTING BEDS AND TREE WELLS WITH SHREDDED CEDAR MULCH TO A DEPTH OF THREE INCHES.

APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS PRIOR TO MULCHING.

**LAWN**

SOD AREAS WITHIN THE PROPERTY LINES AND OR CURB LINES AS INDICATED ON THE PLANS WITH SOLID SLAB U-3 BERMUDA.

ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION AND NOT INDICATED FOR OTHER PLANTINGS SHALL BE SODDED. WATER AND ROLL IN ACCORDANCE WITH STANDARD NURSERY PRACTICE.

APPLY FERTILIZER ACCORDING TO TIME OF INSTALLATION. NOVEMBER 1 - FEBRUARY 28: APPLY A 16-8-8 FERTILIZER AT A RATE OF SIX (6) POUNDS PER 1,000 SQUARE FEET TO ALL LAWN AREAS.

MARCH 1 - OCTOBER 31: APPLY 10-20-10 FERTILIZER AT A RATE OF FIVE (5) POUNDS PER 1,000 SQUARE FEET OF LAWN AREA. FERTILIZER SHALL BE APPLIED PRIOR TO SODDING LAWN AREA.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING TO CREATE A SMOOTH, EVEN SURFACE. ALL LANDSCAPE AREAS ARE TO BE GRADED TO SMOOTH EVEN SURFACE FREE OF BUMPS AND DEPRESSIONS.

**IRRIGATION NOTES**

ALL AREAS OF THE SITE ARE TO BE IRRIGATED, INCLUDING ADJACENT RIGHT-OF-WAY AS NOTED ON PLANS.



FACILITIES PLANNING, DESIGN, & ENGINEERING  
108 WILMOT ROAD  
DEERFIELD, IL 60015-5105



**PROJECT TYPE**

DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS' CONSULTANT  LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
 WALGREENS' CONTRACTOR  LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION... <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

NO.	DATE	BY	DESCRIPTION	CONST.
2-4-08			CITY SITE PLAN COMMENTS	

REVISIONS

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**FOR SITE PLAN REVIEW**

PROJECT NAME  
**(SEC) STATE HWY 205 & STATE HWY 276 ROCKWALL, TX**  
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DRAWING TITLE  
**LANDSCAPE NOTES AND DETAILS**

DATE 2-4-08 CRITERIA-2007	STORE NO. # xxxxxx	DRAWING NO.
DRAWN BY: BBD	SCALE: 1"=20'-0"	<b>L1.2</b>
REVIEWED BY: DTA	RELEASED TO CONSTRUCTION	

