

DESCRIPTION

BEING a part of Lot 7, Block A of LAKEWOOD PARK, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Replat thereof recorded in Cabinet F, Slide 149, Plat Records, Rockwall County, Texas, and being more particularly described as follows:

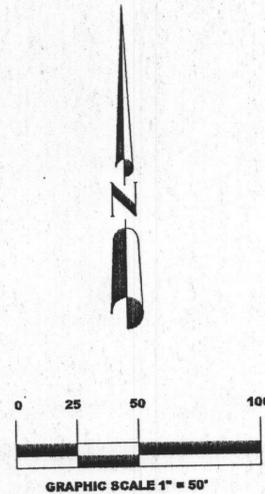
- BEGINNING at a 1/2" iron rod found for corner at the South corner of said Lot 7;
- THENCE N. 44 deg. 56 min. 47 sec. W. a distance of 89.50 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner;
- THENCE N. 44 deg. 33 min. 56 sec. E. a distance of 68.50 feet to an "X" chisled in concrete for corner;
- THENCE S. 44 deg. 56 min. 47 sec. E. a distance of 89.50 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the Southeast line of said Lot 7;
- THENCE S. 44 deg. 33 min. 56 sec. W. along the Southeast line of said Lot 7, a distance of 68.50 feet to the POINT OF BEGINNING and containing 6,130 square feet or 0.14 acres of land.

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map, Community Panel No. 480547 0005 C dated June 16, 1992, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT.
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."
- 4) THE FOLLOWING LISTED EASEMENTS DO NOT LIE ON THIS LOT: (i) V. 141, P. 373 (ii) V. 114, P. 444 (iii) V. 60, P. 518 (iv) V. 1426, P. 39 (v) V. 1419, P. 261

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for COMMONWEALTH LAND TITLE COMPANY, COMMUNITY BANK, and MICHAEL D. LUCAS at RIDGE ROAD, City of Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 13th day of February, 2008.



SURVEY ACCEPTED BY:

DATE _____

DATE _____

SYMBOL LEGEND

TV TELEPHONE CABLE MARK	GAS	TEL. PILE	PH. PILE	FW POWER POLE
ELEC. FILTER	TU. ELEC. BOX	WATER METER	LP	RF
WATER METER	WATER METER	WATER METER	WATER METER	WATER METER
WATER METER	WATER METER	WATER METER	WATER METER	WATER METER



Harold D. Fetty III, R.P.L.S. No. 5034

R.S.C.I.
ROCKWALL SURVEYING CO., INC. LAND SURVEYING

1984 S. FM 551 ROYSE CITY, TX 75189 972-772-5434 PHONE 972-772-5443 FAX

SURVEY DATE FEBRUARY 13, 2008
SCALE 1" = 50' FILE # 20080172
CLIENT LUCAS CF # 2252000425

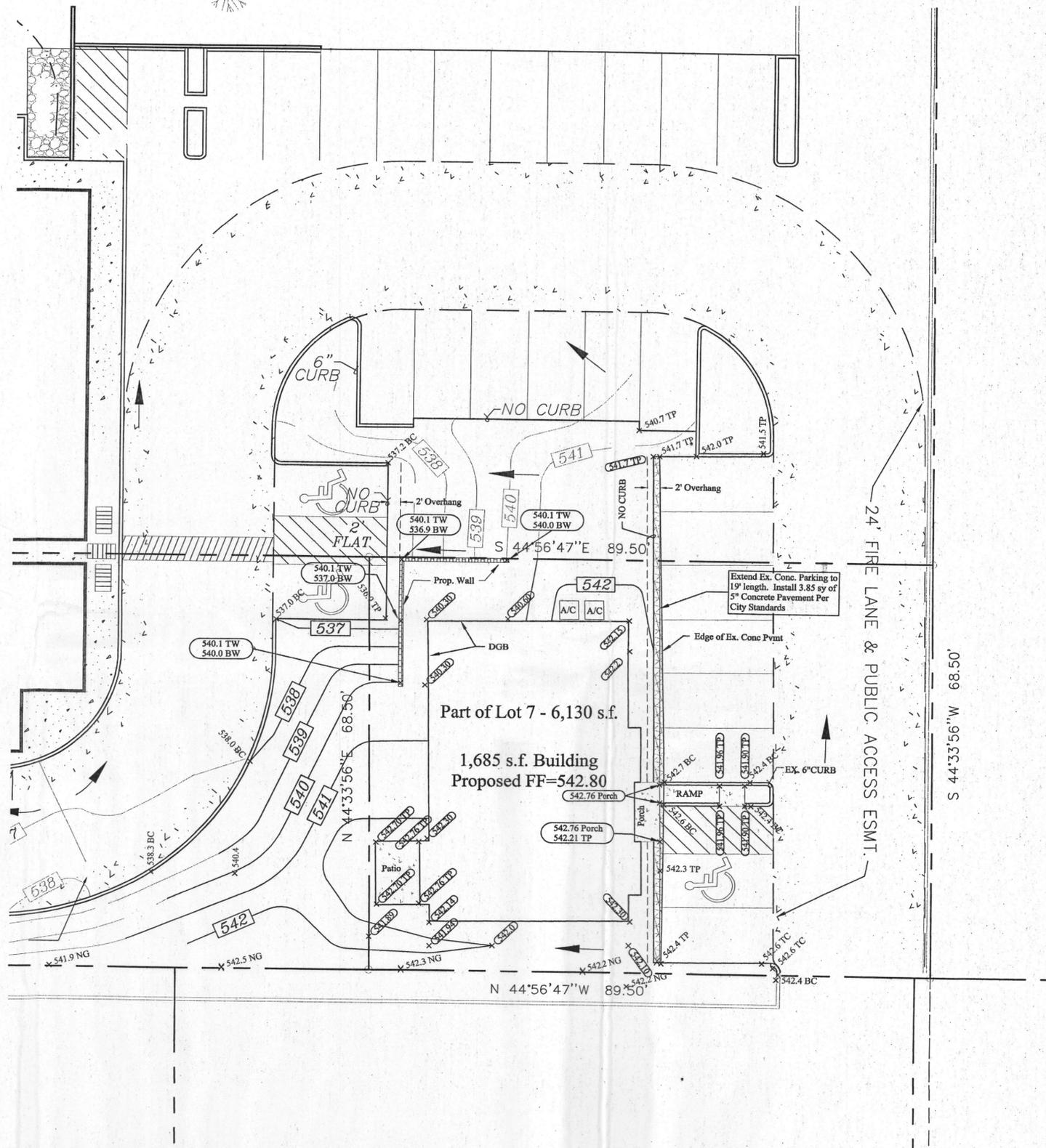


LEGEND

- NEW CONCRETE PAVEMENT - All concrete for site paving shall be 5" thick, 3600 PSI (min.) reinforced concrete pavement with #3 bars 24" O.C.E.W. with 6" lime stabilized subgrade.
- DGB DEEPENED GRADE BEAM
- 000.00 TP EXISTING SITE GRADE
- 000.00 TC PROPOSED SITE GRADE
- 5.38 PROP. CONTOUR
- FF FINISHED FLOOR

General Notes:

1. Contractor shall protect all public utilities and adjacent property in the construction of this project.
2. Contractor to call 1-800-DIG-TESS and the City of Rockwall before commencing with construction.
3. The location of all utilities indicated on these plans was taken from existing public records. The exact location and elevation of all public utilities must be determined by the contractor. It shall be the responsibility of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
4. All grading and earthwork shall conform to the standards of the City of Rockwall, NCTCOG Standard Specifications of Public Works Construction (4th Edition), and the recommendations contained within the Geotechnical Exploration Report for this project by Alpha Testing (Alpha Report No. G04361) dated May 6, 2004.
5. All fill to be compacted using a sheeps foot roller to 95% standard compaction.
6. All disturbed ground shall be seeded (substantial growth must be evident) and/or hydromulched within 7 days upon grading completion.
7. Contractor is responsible for slope maintenance until full and solid vegetation cover is established.
8. Contractor shall provide material and density testing at the direction of the Engineer or as mandated by the City.



BENCHMARK
 OFFSITE BENCHMARK = TOP OF CITY OF ROCKWALL CONCRETE MONUMENT WITH ALUMINUM DISK STAMPED ROGS LOCATED AT THE INTERSECTION OF THE RAILROAD TRACK WITH VILLAGE DRIVE ON THE WEST SIDE OF THE PAVEMENT OF STREET AND NORTH SIDE OF RAILROAD TRACKS. ELEV = 506.31 NAVD 88
 ONSITE BENCHMARK = "X" FOUND IN CONCRETE IN EDGE OF DRIVEWAY AT THE EAST CORNER OF LOT 3 AND THE SOUTH CORNER OF LOT 2 OF LAKEWOOD PARK ADDITION. ELEV = 542.45

CAUTION !!!
 EXISTING UTILITIES AND UNDERGROUND FACILITIES INDICATED ON THESE PLANS HAVE BEEN LOCATED FROM REFERENCE INFORMATION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY BOTH HORIZONTALLY AND VERTICALLY THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND FACILITIES PRIOR TO CONSTRUCTION, TO TAKE NECESSARY PRECAUTIONS IN ORDER TO PROTECT ALL FACILITIES ENCOUNTERED. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION.

revisions	date

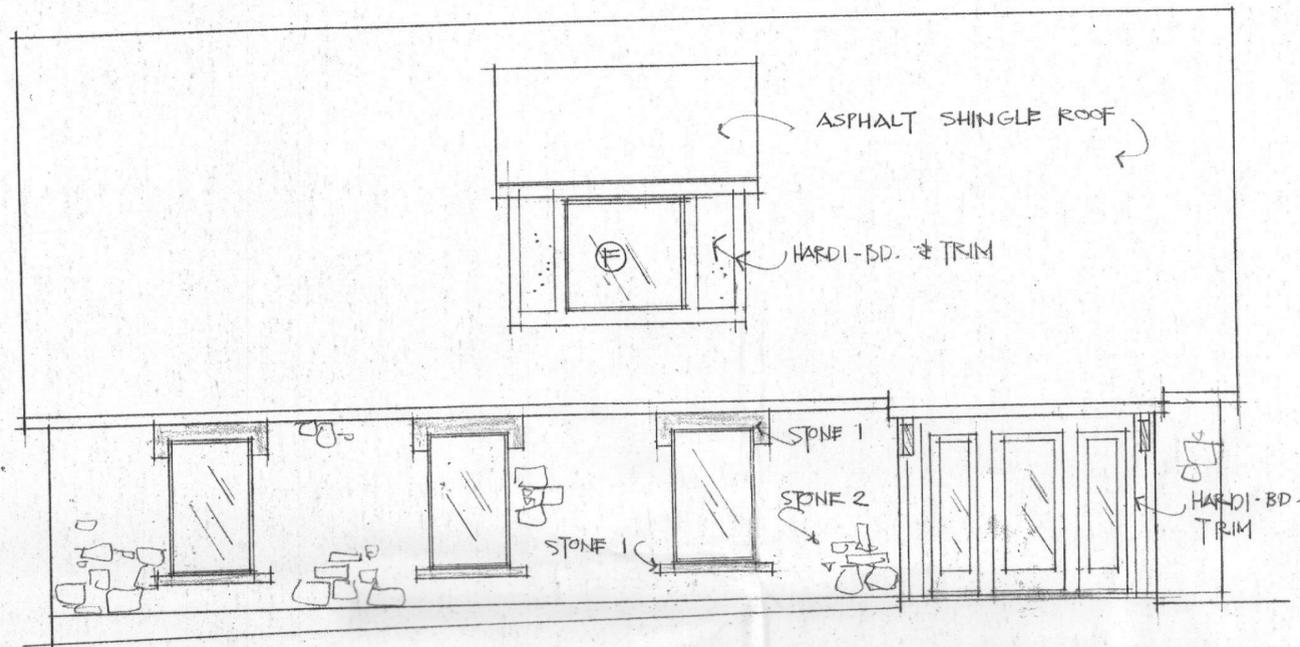


770 Justin Road
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 atec@aquaterra-eng.com

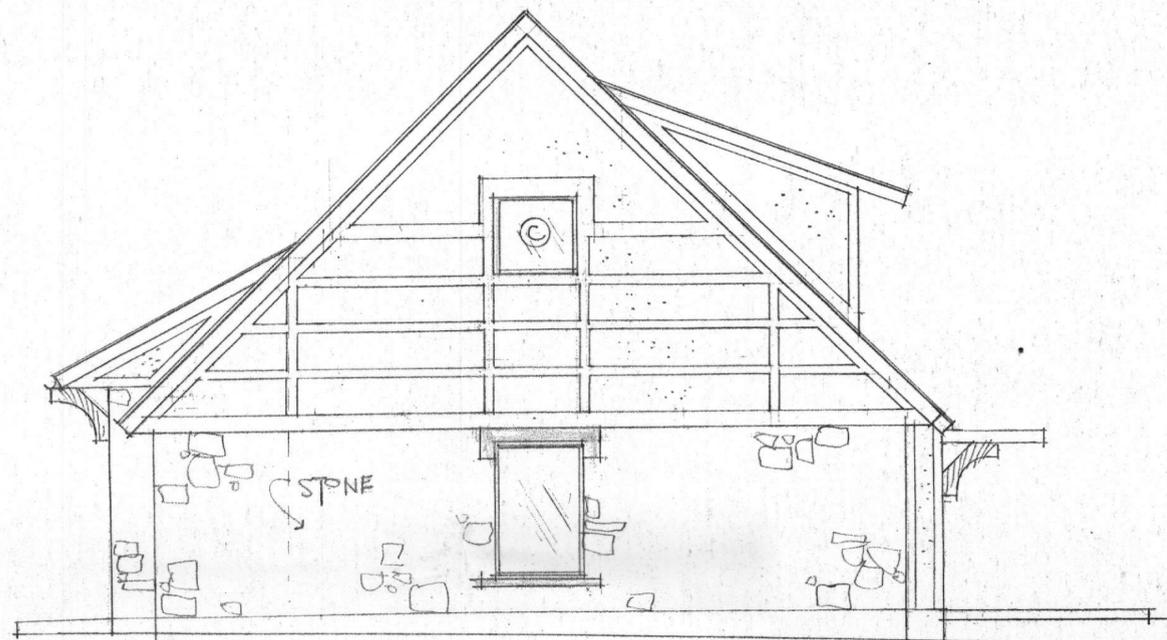
SITE GRADING PLAN
 LUCAS BUILDING
 PART OF LOT 7 BLOCK A OF LAKEWOOD PARK ADDITION
 ROCKWALL, TEXAS

design	drawn	scale	date	notes
ATEC	ATEC	as shown	MARCH 2008	

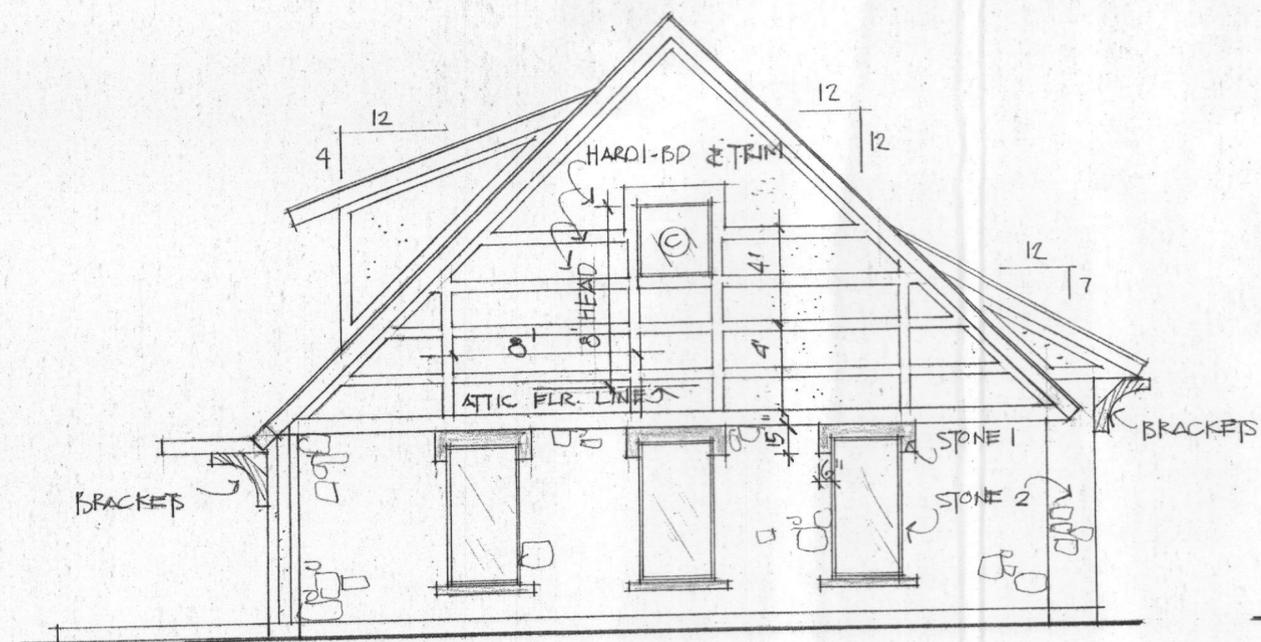
sheet no.	2
job number	ATEC #52-01-06



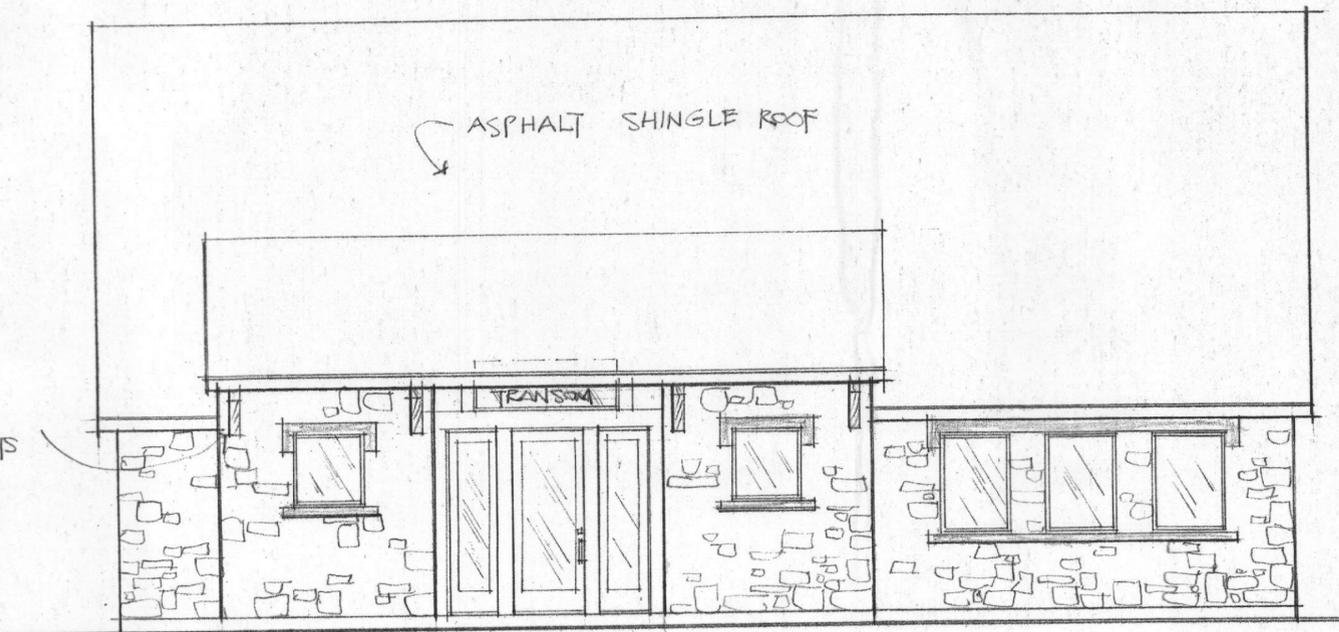
REAR (WEST) ELEVATION



RIGHT SIDE (NORTH) ELEVATION



LEFT SIDE (SOUTH) ELEVATION



FRONT (EAST) ELEVATION

3/16" = 1'



20 Feb 07

RAMSAY
ARCHITECTS

ROCKWALL

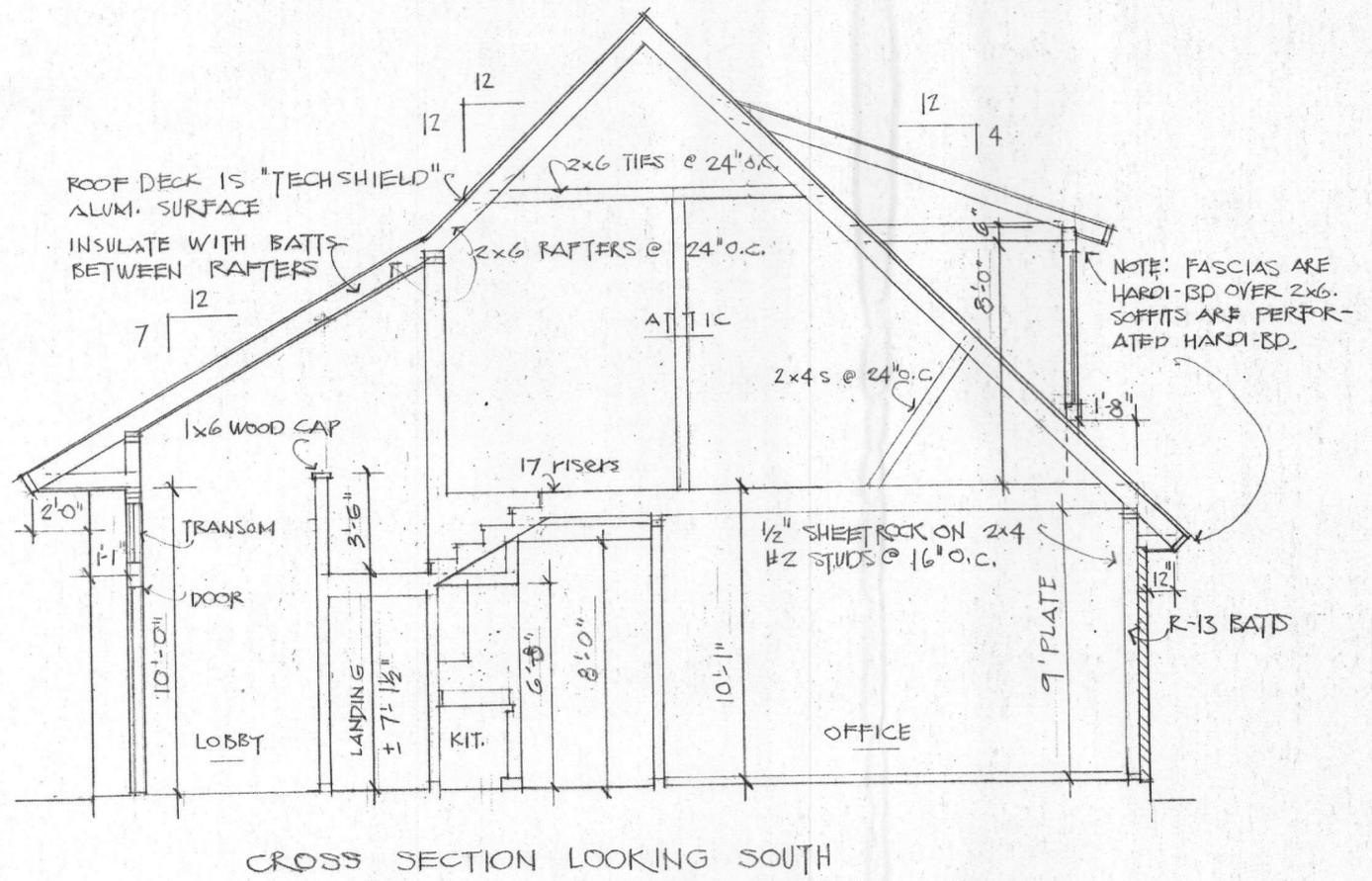
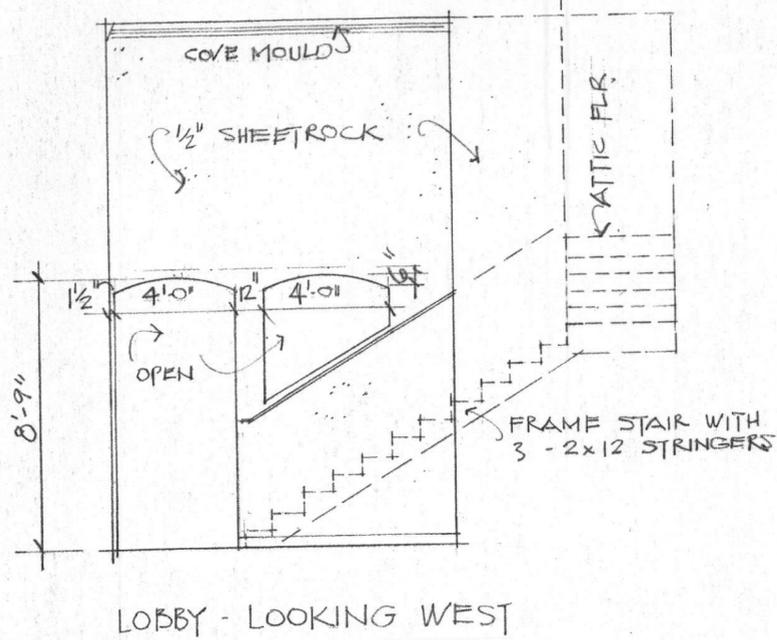
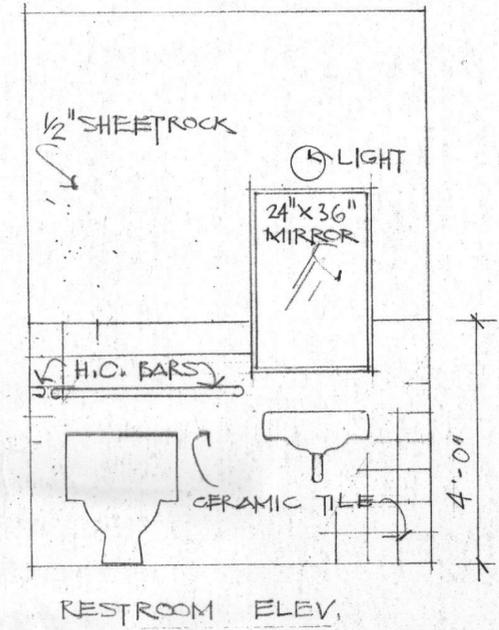
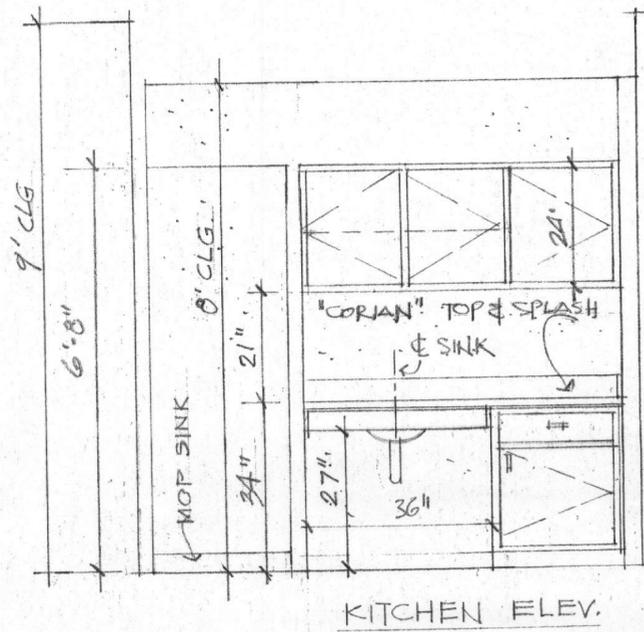
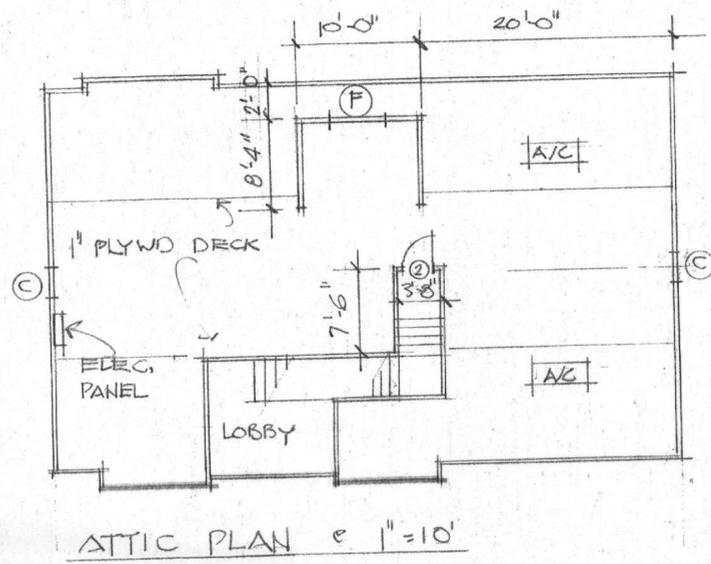
LUCAS OFFICE

2251 RIDGE ROAD

ROCKWALL TEXAS

20 NOV 07

3



20 Feb 08

RAMSAY ARCHITECTS

ROCKWALL

LUCAS OFFICE

2251 RIDGE ROAD

ROCKWALL TEXAS

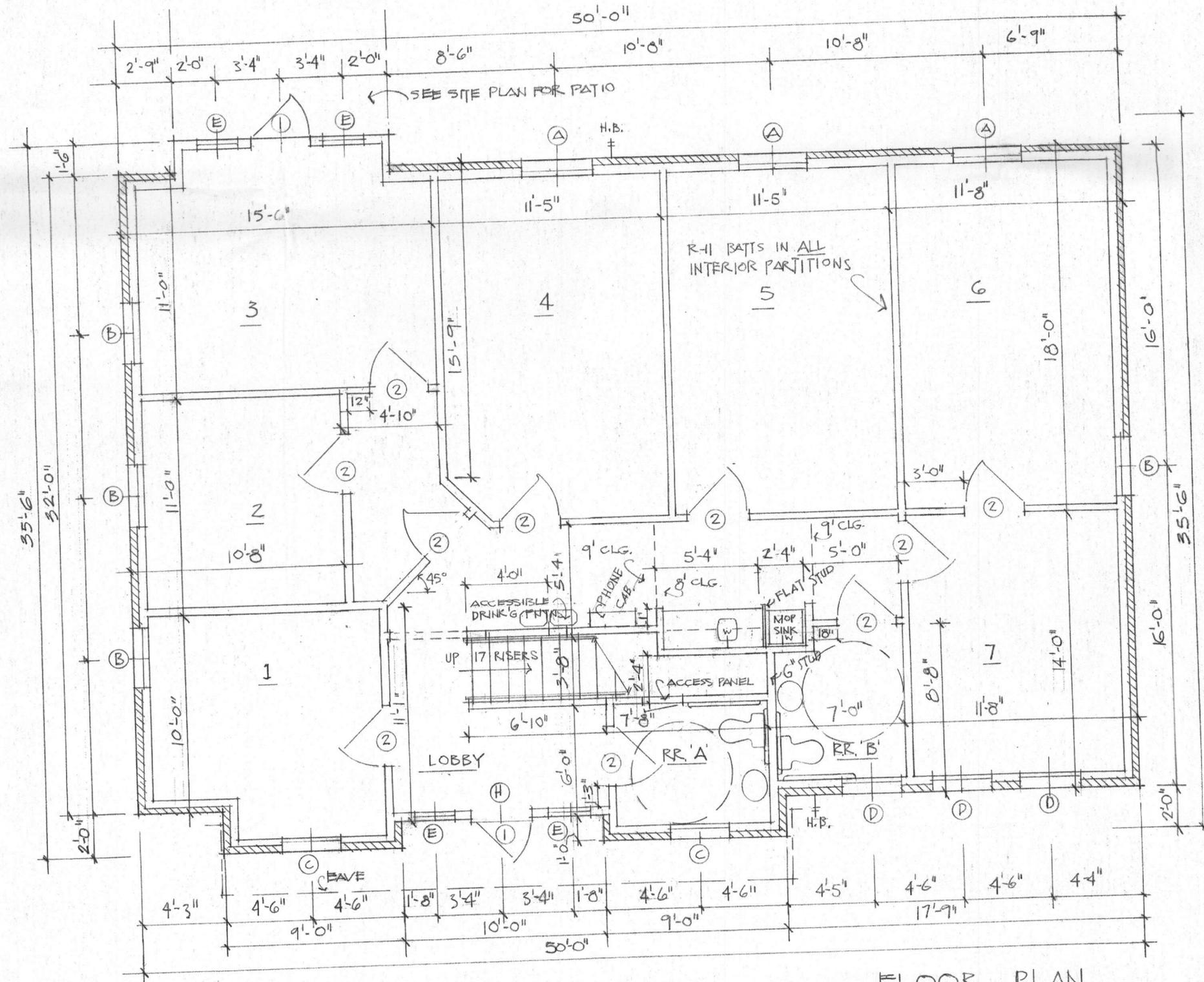
20 NOV 07

4

WINDOW SCHEDULE			
MK.	SIZE	TYPE	NOTE
A	3060	FIXED	LOWE GRN.
B	3080	"	"
C	3030	"	"
D	3040	"	"
E	2068	"	"
F	5050	"	ATTIC
G	6020	"	TRANSOM

DOOR SCHEDULE			
MK.	SIZE	TYPE	NOTE
1	5'0"8"	WOOD	EXT. FR.
2	3'0"6"	"	INT. SC.

ROOM FINISH SCHEDULE		
TYPE	WALLS & CLG.	FLOOR
HALLS	PAINT DRYWL	WOOD
OFFICES	"	CARPET
RESTRMS.	TILE & DRYWL	TILE
STAIR	PAINT DRYWL	CARPET



FLOOR PLAN
1/4" = 1'

NOTES: A: FOLLOW DIMENSIONS - DO NOT SCALE PLANS.
 B: IF ANY DETAIL IS UNCLEAR, CALL THE ARCHITECT.
 C: THESE DRAWINGS MAY NOT BE REPRODUCED WITHOUT THE ARCHITECT'S PERMISSION.



RAMSAY ARCHITECTS

ROCKWALL TEXAS

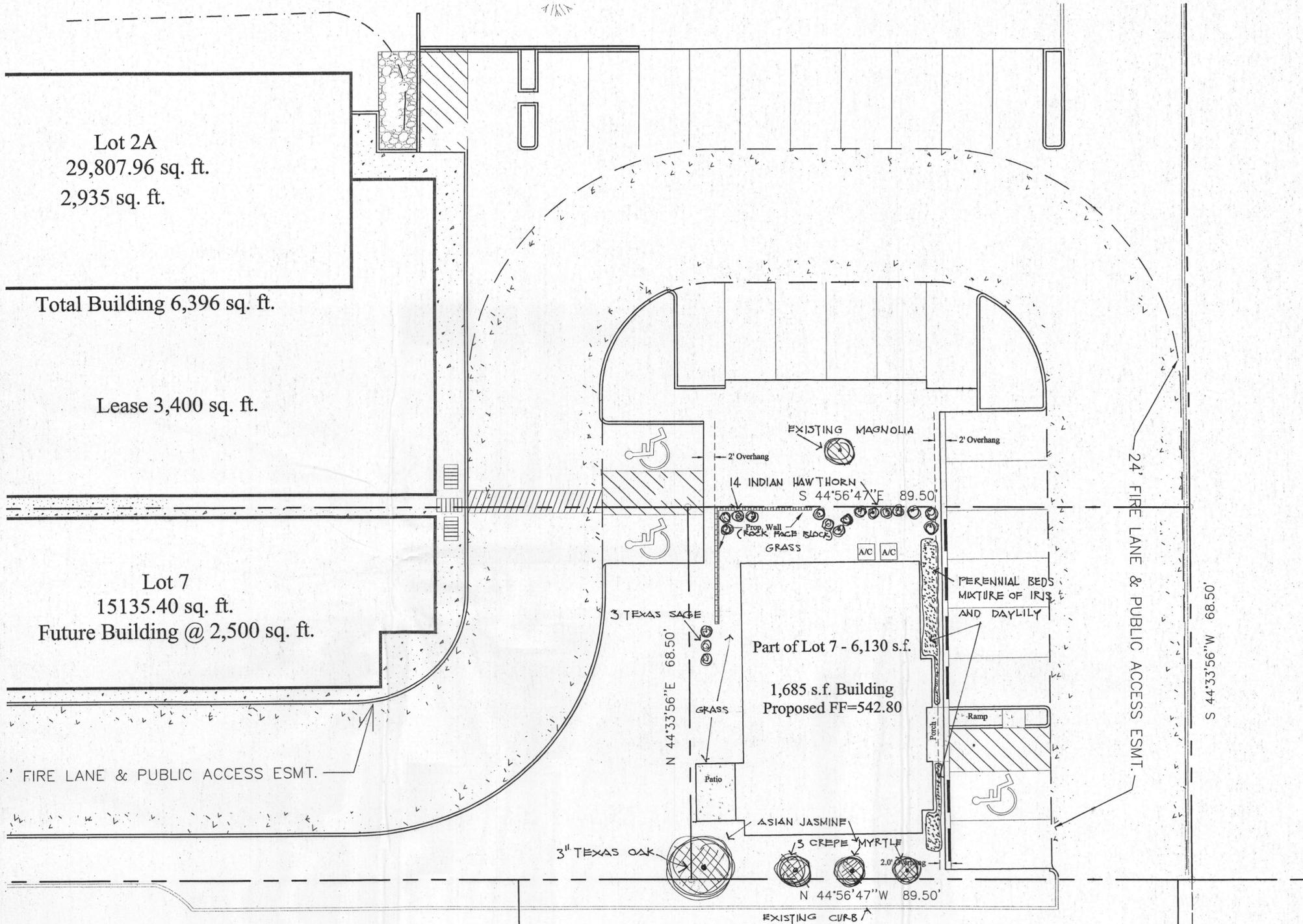
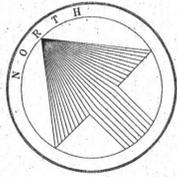
LUCAS OFFICE

1 LUCAS COURT

ROCKWALL TEXAS

20 NOV. 07

2



Lot 2A
29,807.96 sq. ft.
2,935 sq. ft.

Total Building 6,396 sq. ft.

Lease 3,400 sq. ft.

Lot 7
15,135.40 sq. ft.
Future Building @ 2,500 sq. ft.

24' FIRE LANE & PUBLIC ACCESS ESMT.

Part of Lot 7 - 6,130 s.f.
1,685 s.f. Building
Proposed FF=542.80

LANDSCAPE NOTES

TYPE	COLOR	SIZE	SPACING
TEXAS OAK (QUERCUS BUCKLEYI)	-	3 INCH	-
CREPE MYRTLE TREES (3)	DALLAS RED	5 GAL.	10 FT.
INDIAN HAWTHORN (15)	CLARA OR SNOW WHITE	3 GAL.	3 FT. - 6 INCHES
TEXAS SAGE (3)	-	5 GAL.	4 FT.
ASIAN JASMINE	-	1 GAL.	24 INCHES

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revisions	date

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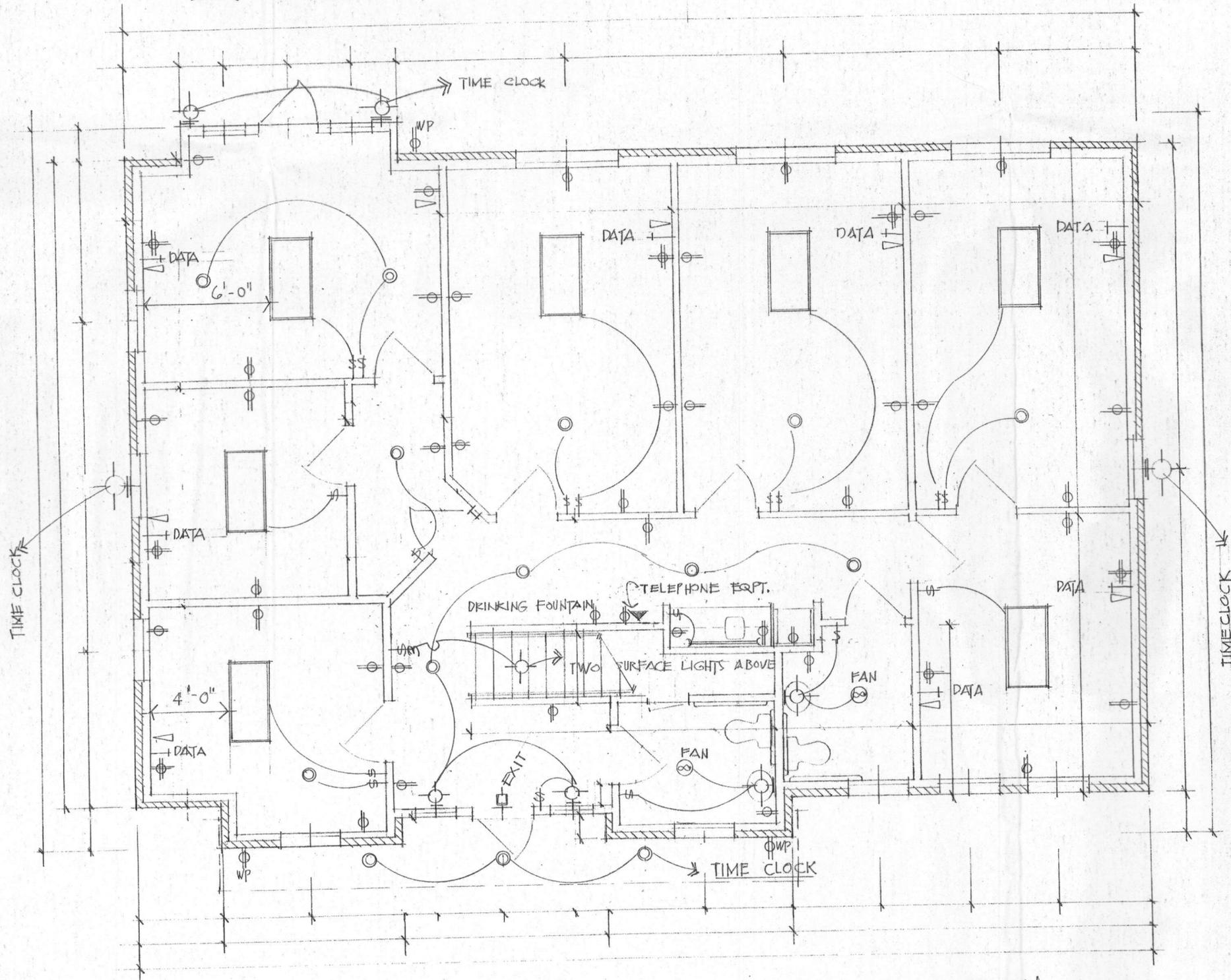
LANDSCAPE PLAN
LUCAS BUILDING
PART OF LOT 7 BLOCK A OF LAKEWOOD PARK ADDITION
ROCKWALL, TEXAS

design	drawn	scale	date	notes
ATEC	ATEC	as shown	MARCH 2008	

sheet no.	3
job number	ATEC #52-01-08

SYMBOLS

- | | | | |
|--|--------------------------|--|-------------------|
| | SURFACE MTD. FLUORESCENT | | SWITCH |
| | DUPLEX RECEPTACLE | | 3 WAY SWITCH |
| | QUAD RECEPTACLE | | WALL MTD. FIXTURE |
| | TELEPHONE | | EXHAUST FAN |
| | DATA | | |
| | RECESSED CAN | | |
| | UNDERCOUNTER FLUOR. | | |



ELECTRICAL PLAN
1/4" = 1'



RAMSAY ARCHITECTS
ROCKWALL TEXAS

LUCAS OFFICE
2251 RIDGE ROAD
ROCKWALL TEXAS