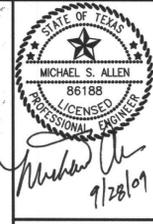


No.	Date	Revisions	App.

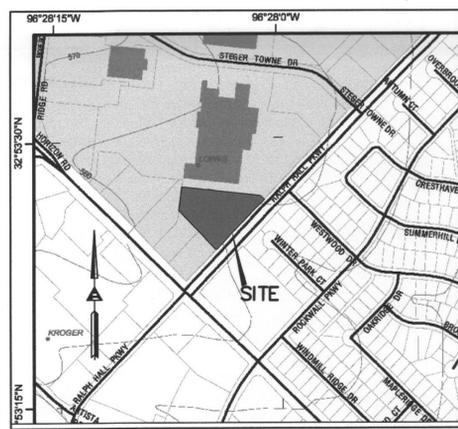
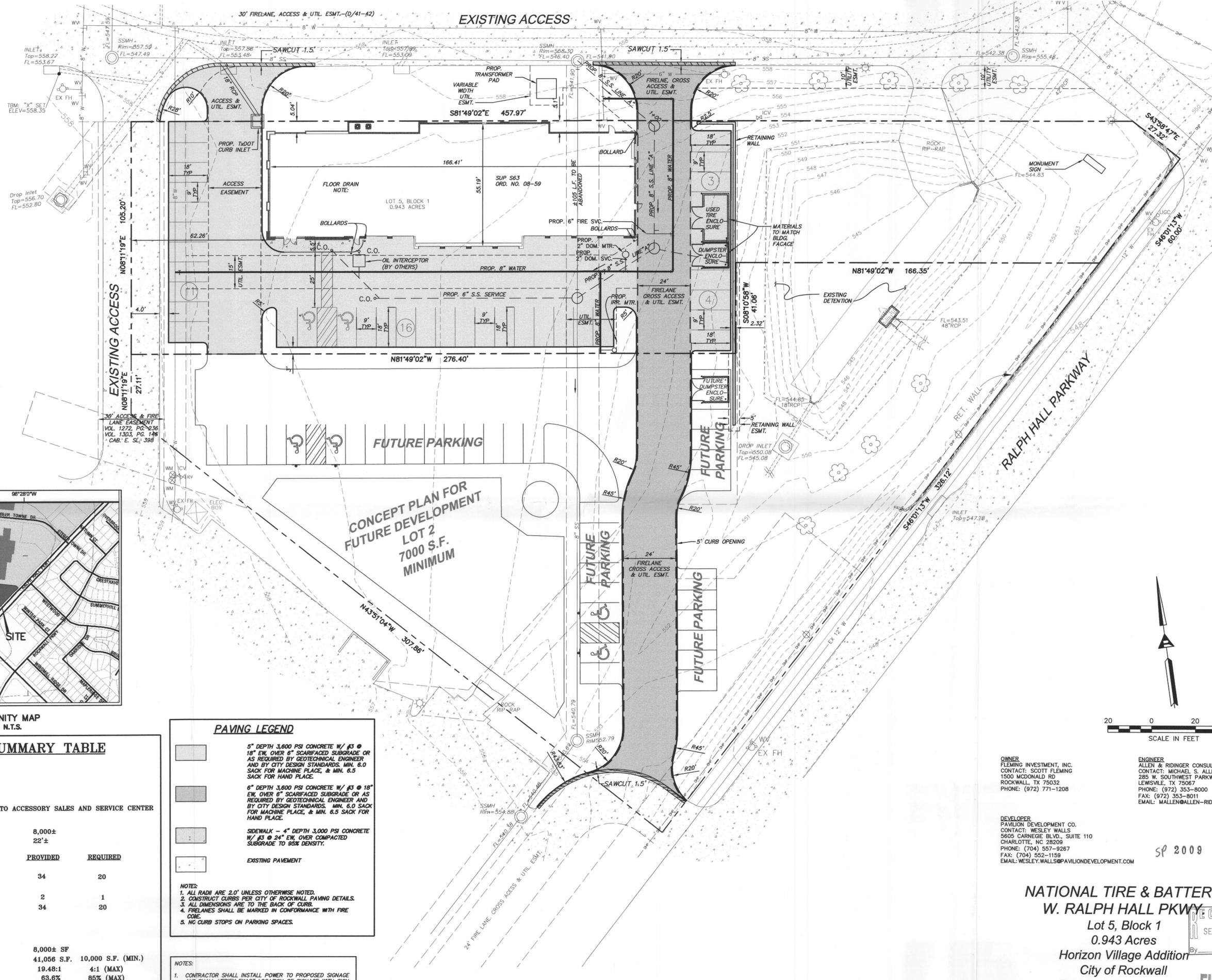
**Allen & Ridinger Consulting, Inc.**  
 Firm No. 1969  
 285 W. Southwest Parkway  
 Lewisville, Texas 75087  
 Tel. No. (972) 353-8000  
 Fax No. (972) 353-8011



NATIONAL TIRE & BATTERY (NTB)  
 W. RALPH HALL PKWY.  
 CITY OF ROCKWALL, TEXAS

**SITE PLAN / CONCEPT PLAN**

Scale: 1"=20'	Designed by: MSA	SHEET 1 OF 1
Drawn by: MAB	Checked by: MSA	1
Date: SEPTEMBER 21, 2009	Project No. 082-010	1



VICINITY MAP  
N.T.S.

SITE DATA SUMMARY TABLE		
<b>EXISTING ZONING:</b> C - COMMERCIAL DISTRICT		
<b>PROPOSED USE:</b> AUTO REPAIR GARAGE MINOR + NATIONAL TIRE & BATTERY - AUTO ACCESSORY SALES AND SERVICE CENTER		
<b>BUILDING DATA</b>		
BUILDING AREA	8,000±	
BUILDING HEIGHT	22'±	
<b>PARKING SUMMARY:</b>		
	PROVIDED	REQUIRED
AUTO REPAIR (2SP/SERVICE BAY)	34	20
10 SERVICE BAYS		
HANDICAP PARKING	2	1
TOTAL PARKING	34	20
<b>LOT COVERAGE DATA:</b>		
BUILDING FOOTPRINT	8,000± SF	
LOT AREA	41,056 S.F.	10,000 S.F. (MIN.)
FAR	19.48:1	4:1 (MAX)
IMPERVIOUS COVERAGE	63.8%	85% (MAX)
PERVIOUS COVERAGE	36.4%	15% (MIN)

PAVING LEGEND	
	5" DEPTH 3,000 PSI CONCRETE W/ #3 @ 18" EW, OVER 6" SCARIFIED SUBGRADE OR AS REQUIRED BY GEOTECHNICAL ENGINEER AND BY CITY DESIGN STANDARDS. MIN. 6.0 SACK FOR MACHINE PLACE, & MIN. 6.5 SACK FOR HAND PLACE.
	6" DEPTH 3,000 PSI CONCRETE W/ #3 @ 18" EW, OVER 6" SCARIFIED SUBGRADE OR AS REQUIRED BY GEOTECHNICAL ENGINEER AND BY CITY DESIGN STANDARDS. MIN. 6.0 SACK FOR MACHINE PLACE, & MIN. 6.5 SACK FOR HAND PLACE.
	SIDEWALK - 4" DEPTH 3,000 PSI CONCRETE W/ #3 @ 24" EW, OVER COMPACTED SUBGRADE TO 95% DENSITY.
	EXISTING PAVEMENT

NOTES:  
 1. ALL RADII ARE 2.0' UNLESS OTHERWISE NOTED.  
 2. CONSTRUCT CURBS PER CITY OF ROCKWALL PAVING DETAILS.  
 3. ALL DIMENSIONS ARE TO THE BACK OF CURB.  
 4. FIRELANES SHALL BE MARKED IN CONFORMANCE WITH FIRE CODE.  
 5. NO CURB STOPS ON PARKING SPACES.

NOTES:  
 1. CONTRACTOR SHALL INSTALL POWER TO PROPOSED SIGNAGE AND SHALL VERIFY EXACT LOCATION OF SIGNAGE WITH SIGN COMPANY.

**OWNER:**  
 FLEMING INVESTMENT, INC.  
 CONTACT: SCOTT FLEMING  
 1500 MCDONALD RD  
 ROCKWALL, TX 75032  
 PHONE: (972) 771-1208

**ENGINEER:**  
 ALLEN & RIDINGER CONSULTING, INC.  
 CONTACT: MICHAEL S. ALLEN, PE  
 285 W. SOUTHWEST PARKWAY  
 LEWISVILLE, TX 75067  
 PHONE: (972) 353-8000  
 FAX: (972) 353-8011  
 EMAIL: MALLEN@ALLEN-RIDINGER.COM

**DEVELOPER:**  
 PAVILION DEVELOPMENT CO.  
 CONTACT: WESLEY WALLS  
 5605 CARNegie BLVD., SUITE 110  
 CHARLOTTE, NC 28209  
 PHONE: (704) 557-9267  
 FAX: (704) 552-1159  
 EMAIL: WESLEY.WALLS@PAVILIONDEVELOPMENT.COM



**NATIONAL TIRE & BATTERY**  
**W. RALPH HALL PKWY**  
 Lot 5, Block 1  
 0.943 Acres  
 Horizon Village Addition  
 City of Rockwall  
 Rockwall County, Texas

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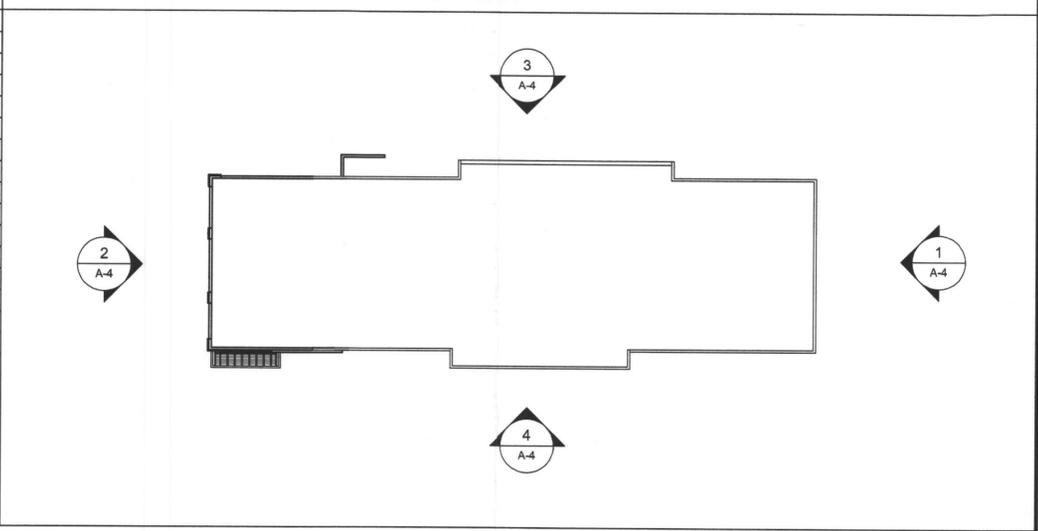
X:\Projects\082-010 NTB - Rockwall 2109\1571E.dwg, 9/22/2009 3:14:18 PM, Jm. Hughes, 1:20

EXTERIOR FINISH SCHEDULE

KEY	MATERIAL	COLOR	MANUFACTURER	REMARKS
AC - 1	PREFINISHED METAL	MATCH EF - 2 - SW # 7038 TONY TAUPE		
EF - 1	PAINT	SW # 6258 TRICORN BLACK	SHERWIN WILLIAMS	
EF - 2	PAINT	SW # 7038 TONY TAUPE	SHERWIN WILLIAMS	
EF - 3	NOT USED			
EF - 4	NOT USED			
EF - 5	NOT USED			
EF - 6	PAINT	SW# 6906 CITRUS	SHERWIN WILLIAMS	
FS-1	EIFS	MATCH #700 WHITE LIMESTONE		
FS-2	STUCCO	MATCH #715 ALAMO BUFF		
CMU-1	CMU	SW #715 ALAMO BUFF SPLIT-FACE CMU	HEADWATERS CONST. MATLS	972-263-5077
CMU-2	CMU	SW #700 WHITE LIMESTONE SPLIT-FACE CMU	HEADWATERS CONST. MATLS	972-263-5077
CMU-3	CMU	SW #721 WALNUT BROWN SPLIT FACE CMU	HEADWATERS CONST. MATLS	972-263-5077
ST-1	STONE VENEER	ANTIQUE LUEDERS LIMESTONE	MY STONE SUPPLY - TINA J.	940-782-9262

NOTE:  
 - CONTRACTOR TO CONTACT U.S. SIGNS FOR APPROVED SIGNAGE LOCATIONS.  
 - SEE ELEVATIONS FOR SPECIFIC BLOCK TYPES.  
 - EIFS SYSTEM IS FOR CORNICE ONLY. ALL OTHER AREAS ARE TO BE STUCCO SYSTEM

KEY PLAN



**OSWELL + NITISHIN**  
 ARCHITECTURE  
 ENGINEERING  
 LAND DEVELOPMENT  
 2030 POWERS FERRY ROAD  
 SUITE 204  
 ATLANTA, GEORGIA 30339  
 678/336-8003 TELEPHONE  
 678/336-8008 FACSIMILE

**ON** architecture

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

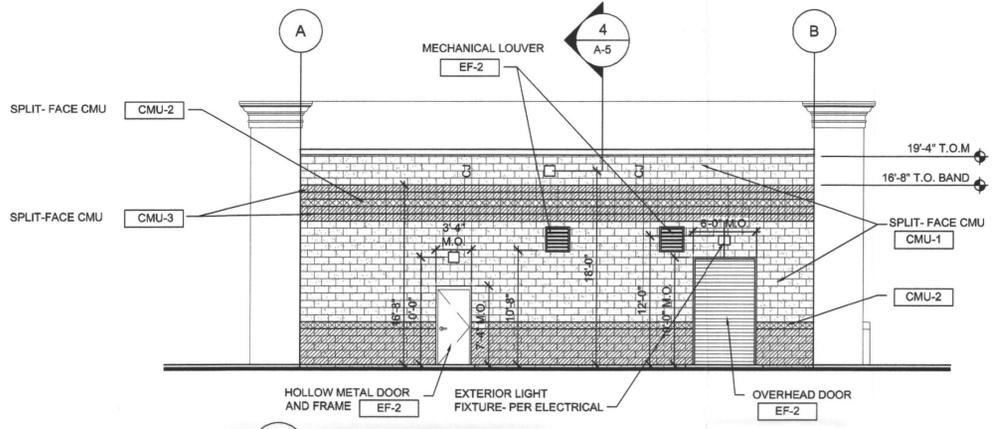
**Pavilion**  
 Development Company

NATIONAL TIRE & BATTERY  
**NTB**  
 A TIRE KINGDOM COMPANY  
 W. RALPH HALL PARKWAY  
 ROCKWALL, TEXAS

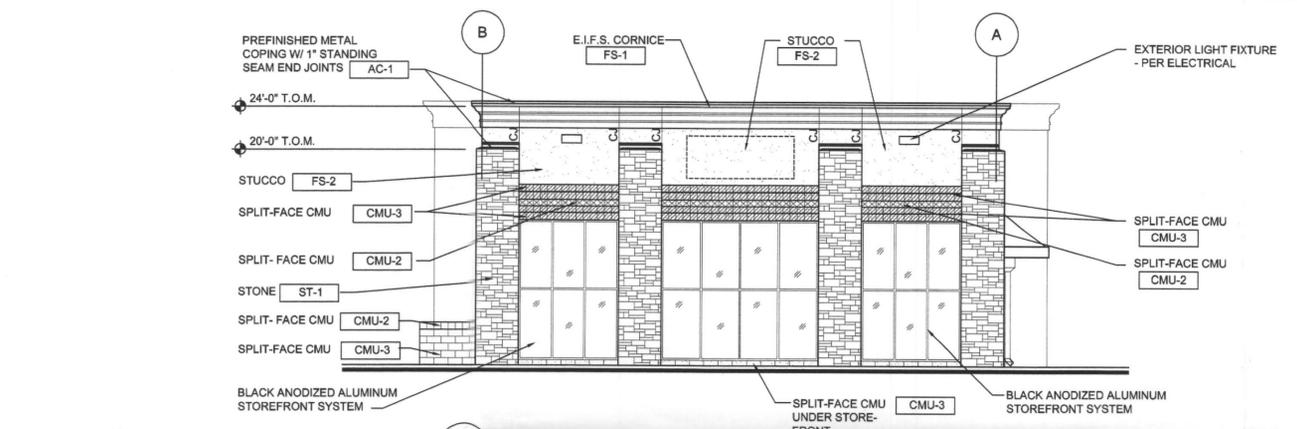
20090004  
 ISSUED FOR PERMIT  
 9/18/09

REV	DATE

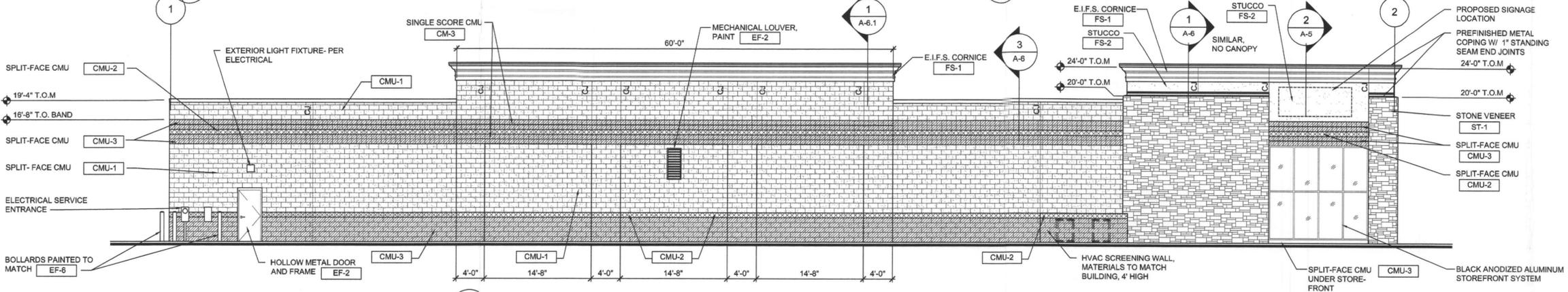
SEP 28 2009  
 EXTERIOR ELEVATIONS  
**A-4**



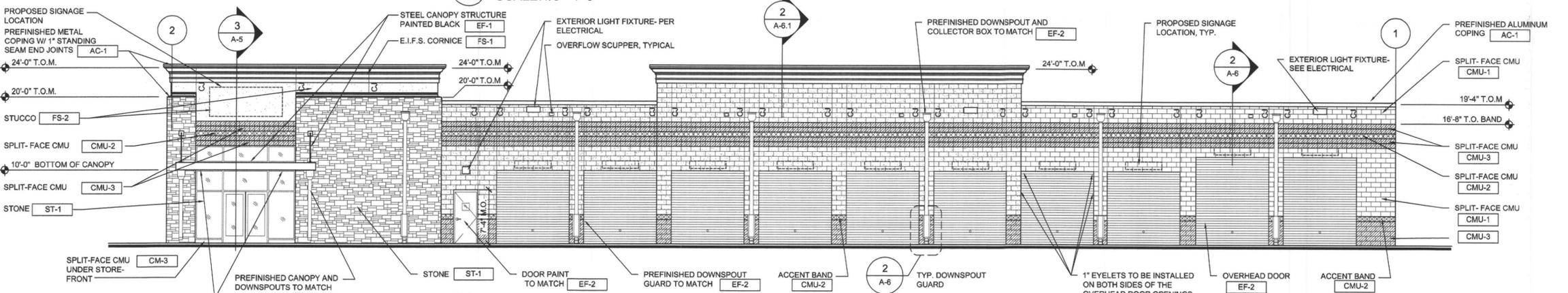
1 REAR ELEVATION  
 SCALE: 1/8"=1'-0"



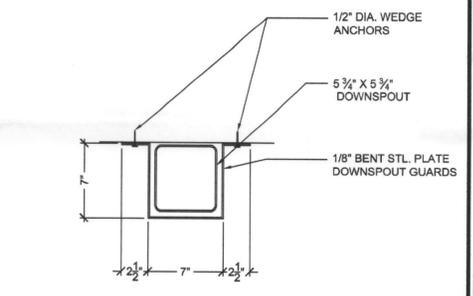
2 FRONT ELEVATION  
 SCALE: 1/8"=1'-0"



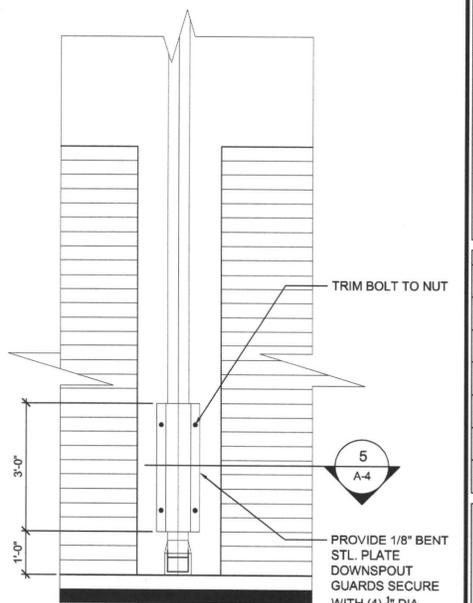
3 SIDE ELEVATION  
 SCALE: 1/8"=1'-0"



4 SIDE ELEVATION  
 SCALE: 1/8"=1'-0"

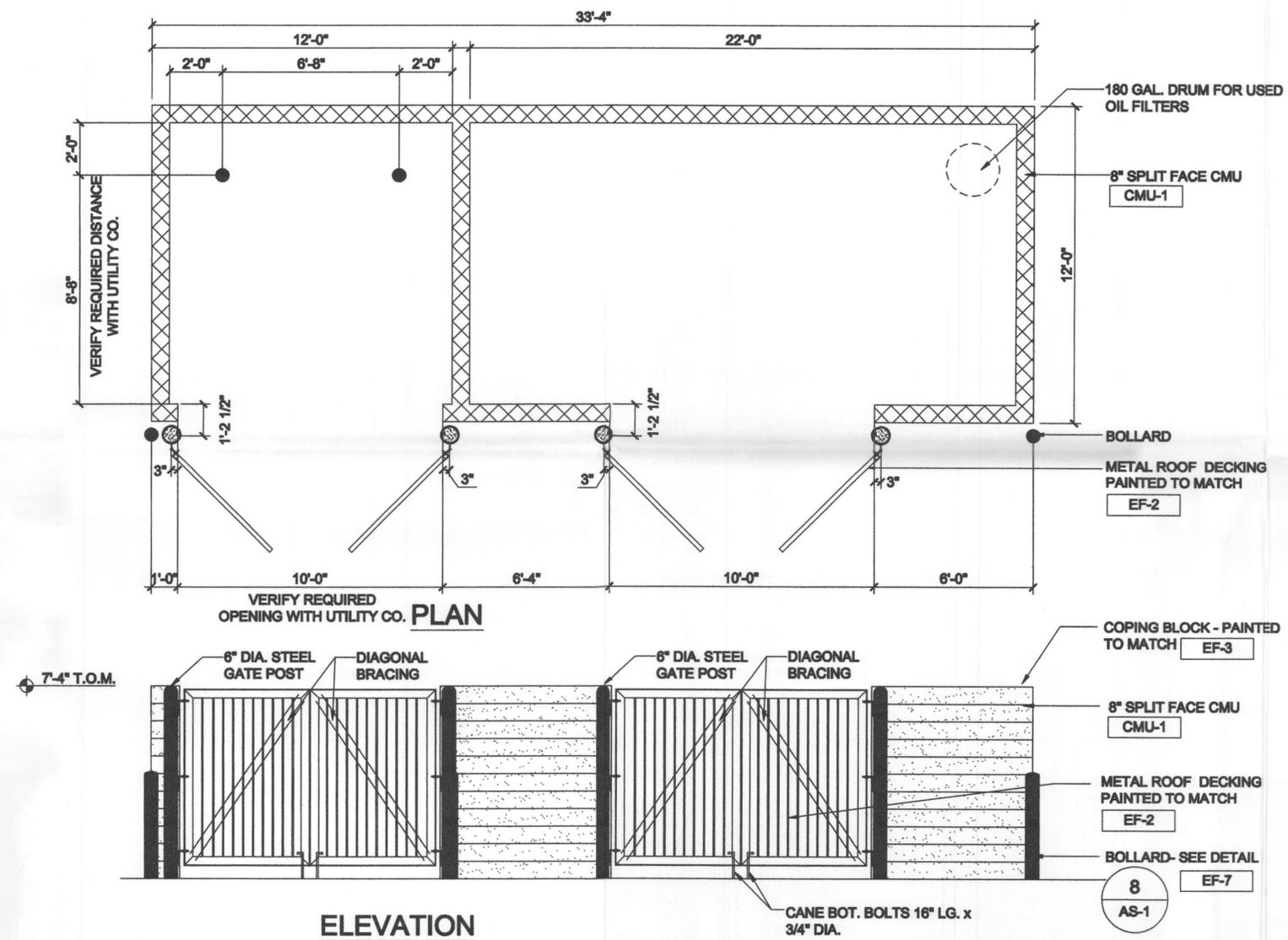


5 DOWNSPOUT GUARD DETAIL  
 SCALE: 1 1/2"=1'-0"



6 DOWNSPOUT GUARD  
 SCALE: 1/2"=1'-0"

FILE COPY



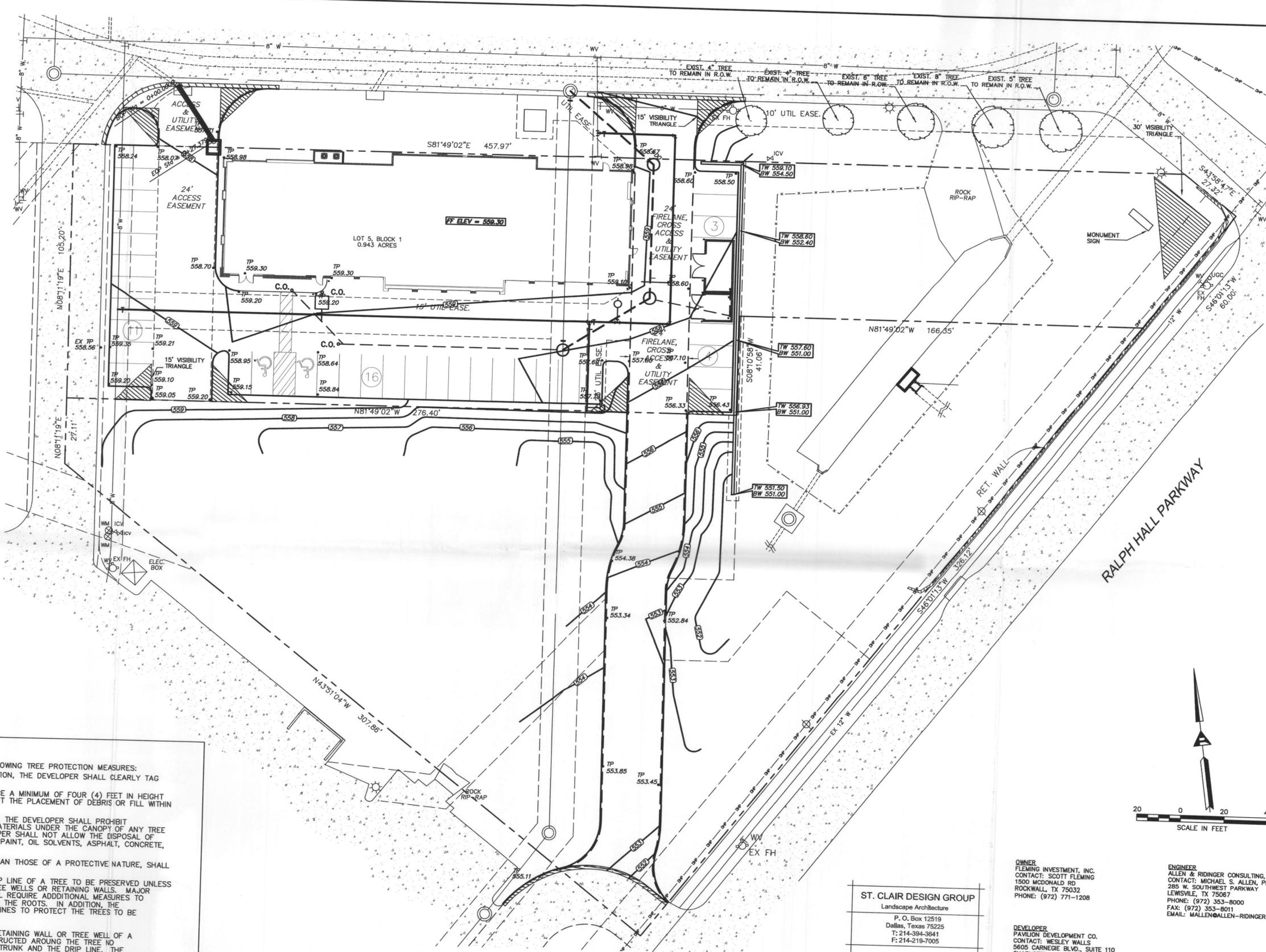
**DUMPSTER AND USED TIRE ENCLOSURE DETAIL**

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 SEP 26 2009  
 By

FILE COPY *SP* 2009 006



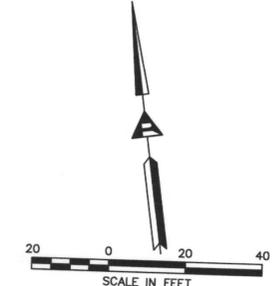
VICINITY MAP  
N.T.S.



**TREE PRESERVATION NOTES**

- CONTRACTOR AND DEVELOPER SHALL ADHERE TO THE FOLLOWING TREE PROTECTION MEASURES:
1. PRIOR TO GRADING, BRUSH REMOVAL, OR CONSTRUCTION, THE DEVELOPER SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
  2. THE DEVELOPER SHALL ERECT A PLASTIC MESH FENCE A MINIMUM OF FOUR (4) FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE.
  3. DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE DEVELOPER SHALL PROHIBIT CLEANING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE DEVELOPER SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC., IN THE CANOPY AREA.
  4. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
  5. NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED UNLESS THERE IS A SPECIFIC APPROVED PLAN FOR USE OF TREE WELLS OR RETAINING WALLS. MAJOR CHANGES OF GRADE (SIX (6) INCHES OR GREATER) WILL REQUIRE ADDITIONAL MEASURES TO MAINTAIN PROPER OXYGEN AND WATER EXCHANGE WITH THE ROOTS. IN ADDITION, THE DEVELOPER SHOULD ADHERE TO THE FOLLOWING GUIDELINES TO PROTECT THE TREES TO BE PRESERVED:
    - a. WITH MAJOR GRADE CHANGES, A REINFORCED RETAINING WALL OR TREE WELL OF A DESIGN APPROVE BY THE CITY SHOULD BE CONSTRUCTED AROUND THE TREE NO CLOSER THAN HALF THE DISTANCE BETWEEN THE TRUNK AND THE DRIP LINE. THE RETAINING WALL SHOULD BE CONSTRUCTED SO AS TO MAINTAIN THE EXISTING GRADES AROUND A TREE OR GROUP OF TREES.
    - b. AT NO TIME SHOULD A WALL, PAVEMENT OR POROUS PAVEMENT BE PLACED CLOSER THAN FIVE (5) FEET OR ONE (1) FOOT FOR EVERY TWO (2) INCHES IN CALIPER, WHICHEVER IS GREATER, TO THE TRUNK OF THE TREE.
    - c. ROOT PRUNING MAY BE NECESSARY WHEN THE CRITICAL ROOT ZONE IS TO BE DISTURBED.
    - d. IF A PATIO, SIDEWALK, DRIVE, PARKING LOT, OR OTHER PAVED SURFACE MUST BE PLACED WITHIN THE DRIP LINE OF AN EXISTING TREE, MATERIAL SUCH AS A POROUS PAVEMENT OR OTHER APPROVED CONSTRUCTION METHOD THAT WILL ALLOW THE PASSAGE OF WATER AND OXYGEN MAY BE REQUIRED.

TREE PRESERVATION NOTE:  
ALL EXISTING TREES TO REMAIN ARE OFF-SITE AND LOCATED IN ACCESS ROAD RIGHT OF WAY.



**ST. CLAIR DESIGN GROUP**  
Landscape Architecture  
P. O. Box 12519  
Dallas, Texas 75225  
T: 214-394-3641  
F: 214-219-7005

DATE SEALED: 09-29-09

DESIGN BY: JBS  
DRAWN BY: JBS  
CHECKED BY: JBS  
DATE: AUGUST 3, 2009

**OWNER**  
FLEMING INVESTMENT, INC.  
CONTACT: SCOTT FLEMING  
1500 McDONALD RD  
ROCKWALL, TX 75032  
PHONE: (972) 771-1208

**ENGINEER**  
ALLEN & RIDINGER CONSULTING, INC.  
CONTACT: MICHAEL S. ALLEN, PE  
285 W. SOUTHWEST PARKWAY  
LEWISVILLE, TX 75067  
PHONE: (972) 353-8000  
FAX: (972) 353-8011  
EMAIL: MALLEN@ALLEN-RIDINGER.COM

**DEVELOPER**  
PAVILION DEVELOPMENT CO.  
CONTACT: WESLEY WALLS  
5605 CARNEGIE BLVD., SUITE 110  
CHARLOTTE, NC 28209  
PHONE: (704) 557-9267  
FAX: (704) 552-1159  
EMAIL: WESLEY.WALLS@PAVILIONDEVELOPMENT.COM

SP 2009 006

**NATIONAL TIRE & BATTERY**  
W. RALPH HALL PKWY.  
Lot 5, Block 1  
0.943 Acres  
Horizon Village Addition  
City of Rockwall  
Rockwall County, Texas

RECEIVED  
SEP 28 2009

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No. 2	9-28-09	PER CITY COMMENTS	App.
No. 1	9-2-09	PER CITY COMMENTS	

**Allen & Ridinger Consulting, Inc.**  
285 W. Southwest Parkway  
Lewisville, Texas 75067  
Tel. No. (972) 353-8000  
Fax No. (972) 353-8011

**NATIONAL TIRE & BATTERY (NTB)**  
W. RALPH HALL PKWY.  
CITY OF ROCKWALL, TEXAS

**TREESCAPE PLAN**

Scale: 1"=20'  
Designed by: JBS  
Drawn by: JBS  
Checked by: JBS  
Date: AUGUST 3, 2009  
Project No. 082-010

SHEET  
LP-1  
OF 2



VICINITY MAP  
N.T.S.

LANDSCAPE TABULATIONS

SITE AREA: 41,056 SF  
 REQUIRED LANDSCAPING 15% = 6,158 SF  
 LANDSCAPE PROVIDED: 14,970 SF (36%)  
 MINIMUM 50% LOCATED IN FRONT OR SIDE YARD = 7,125 SF  
 FRONT AND SIDE YARD LANDSCAPE PROVIDED: 14,451 SF  
 SITE DETENTION POND AREA: 6,621 SF  
 DETENTION POND AREA TREES REQUIRED: 6,621/750 = 9 TREES  
 DETENTION POND AREA TREES PROVIDED: 9 TREES  
 STREET BUFFER LANDSCAPE REQUIRED: 10' BUFFER  
 10' BUFFER ADJACENT TO RALPH HALL PARKWAY PROVIDED  
 RALPH HALL PARKWAY FRONTAGE: 60 LF - 2 TREES REQUIRED  
 RALPH HALL PARKWAY STREET BUFFER TREES PROVIDED: 2 TREES  
 PARKING AREA LANDSCAPE: 6 ROWS PARKING ONLY  
 NO PARKING AREA REQUIREMENT APPLIES  
 3 PARKING AREA TREES REQUIRED TO MEET TREE REQUIREMENT  
 ALL REQUIRED SPACES WITHIN 80' OF LARGE CANOPY TREE

GENERAL LANDSCAPE NOTES

- All landscape areas are to be received within .1' of proposed finish grade and free from all trash and debris.
- All trees are to be planted in pits twice the diameter of the tree ball and no deeper than the depth of the ball. Scarify all tree pit sides prior to planting. All trees are to be planted plumb and at or slightly above finish grade. All tree pits are to have a 3" watering saucer formed around the perimeter of the pit. All tree pits are to be top dressed with a 2" layer of shredded hardwood mulch. Stake and / or guy trees only at the direction of the landscape architect.
- Rotavate the existing soil to a minimum depth of 6". Add a 3" layer of premium compost as supplied by Living Earth Technology and till into the top 3" of the existing soil. Install all shrubs 1" above finish grade and fertilize with Agri-form slow release fertilizer tablets at the manufacturer's recommended rates of application. Top dress all planting beds with a 2" layer of shredded hardwood mulch.
- All planting beds not formed by a concrete curb or sidewalk are to be edged with Steel Edging (1/8"x4" pointed green) or an approved equal. All edging stakes are to be placed to the inside of the bed and the top of the edging is to be no less than 1" and no more than 1.5" above proposed finish grade.
- All turf areas are to be hydromulch Bermudagrass, unless otherwise noted on the plan.
- Hydromulch with Bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. If installation occurs between September 1 and April 1, all hydromulch areas to be Winter Ryegrass at a rate of four (4) pounds per thousand square feet. Contractor shall be required to re-hydromulch with Bermudagrass the following growing season.
- All sodded areas are to receive common bermuda sod laid parallel to the contour of the land. All sod on slopes greater than 1:4 is to be pinned with 1"x12" wooden stakes. All sod is to be laid with tight joints and with all joints staggered. Roll all sod with a water ballast lawn roller upon installation and fertilize with a complete fertilizer (13-13-13) at the rate of 1.5# actual nitrogen per 1000 square feet. Water all sod thoroughly.
- All irrigation meter(s) are to be by utility contractors as per local codes. Irrigation sleeves to be installed by licensed irrigation contractor as per the plan.
- All irrigation controllers are to have mini-click freeze and rain stats installed as per manufacturer's recommendations.
- All irrigation sleeves to be by licensed irrigation contractor. All sleeves to be PVC schedule 40 with 90 degree elbows on both ends with extensions protruding 18" above proposed finish grade.
- All turf and planting beds to be zoned separately. All planting bed heads to be on 12" pop-up risers. All turf heads to be on 4" pop-up risers. All valves to be plastic valves. All equipment to be Rainbird or approved equal.
- All mainline and lateral line to have a minimum of 12" of cover and to be SDR (class 200) pipe.
- Quantities shown on plant list are landscape architect's estimate only and should be verified prior to bidding. Contractor shall be responsible for bidding and providing quantity of plants required at spacing designated for bed sizes and configurations shown on the plans regardless of quantities designated on plant list.

IRRIGATION NOTES:

- All landscaped areas shall be irrigated with an irrigation system capable of providing the proper amount of water for the particular for the particular type of plant material used. Irrigation will be provided by an underground sprinkler system, or a subterranean drip drip system as approved by the City Arborist.
- Automatic underground irrigation system shall be equipped with freeze guard set at 38 degrees F.
- Areas of open space which contain preserved trees need not be irrigated if the City Arborist determines irrigation would be harmful to the preserved trees.

PLANT LIST

QUANTITY	DESCRIPTION
2	BALD CYPRESS / TAXODIUM DISTICHUM
6	LIVE OAK / QUERCUS VIRGINIANA
3	TEXAS ASH / FRAXINUS TEXANSIS
3	CEDAR ELM / ULMUS CRASSIFOLIA
	BERMUDA GRASS / CYNODON DACTYLON

REMARKS

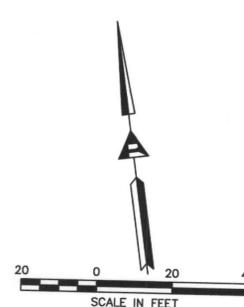
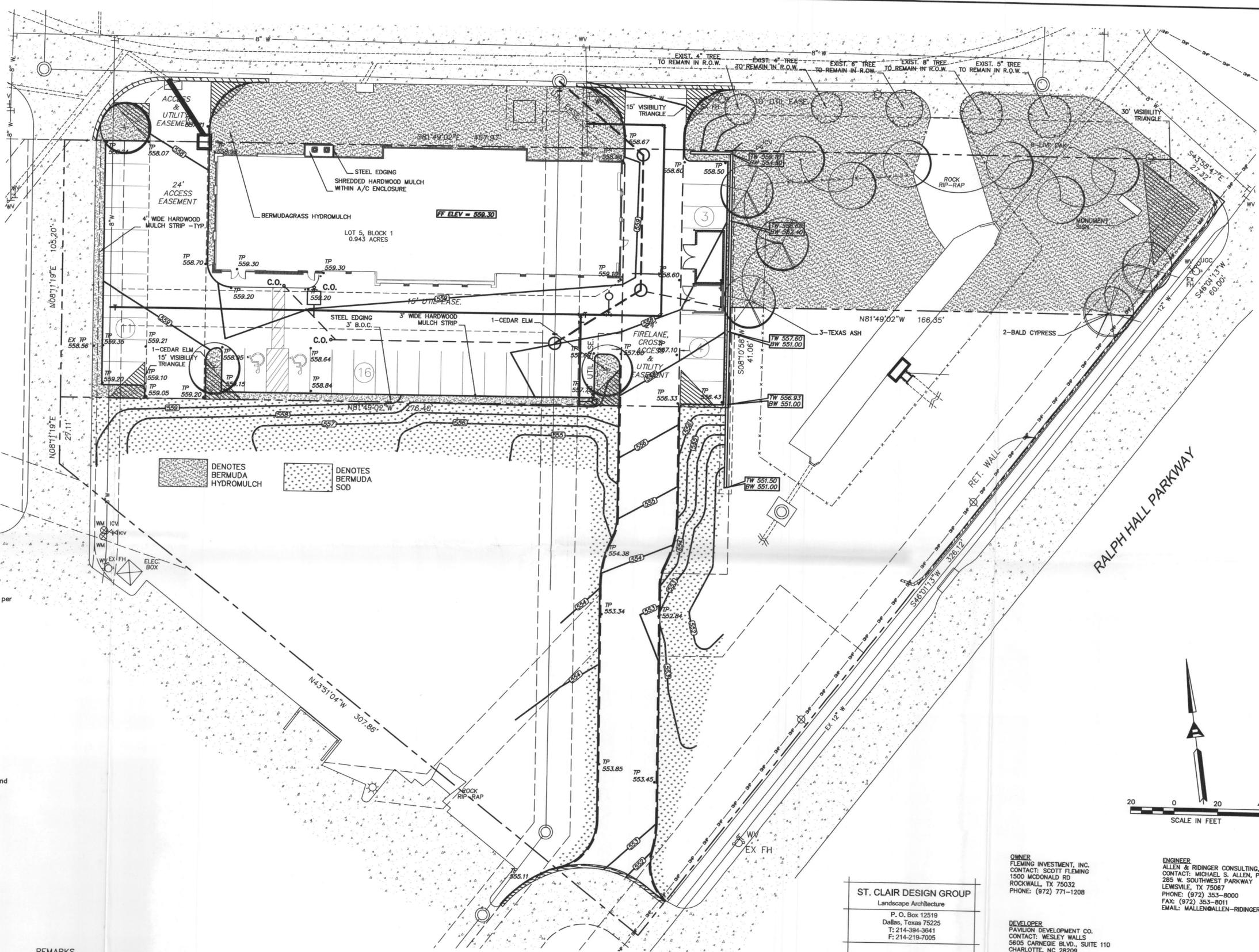
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3"	CAL. / 8' HT. / 5' SP. / CONTAINER GROWN
3"	CAL. / 8'-14' HT. / 5' SP. / CONTAINER GROWN
3"	CAL. / 8' HT. / 5' SP. / CONTAINER GROWN
	HYDROMULCH AND SOLID SOD AS NOTED ON PLAN

TREE PRESERVATION NOTE:

ALL EXISTING TREES TO REMAIN ARE OFF-SITE AND LOCATED IN ACCESS ROAD RIGHT OF WAY.

TREE PLANTING NOTE:

ALL PROPOSED TREE PLANTINGS TO BE A MINIMUM OF FIVE (5) FEET FROM EXISTING AND PROPOSED UTILITIES.



ST. CLAIR DESIGN GROUP  
 Landscape Architecture  
 P. O. Box 12519  
 Dallas, Texas 75225  
 T: 214-394-3641  
 F: 214-219-7005



DATE SEALED: 09-28-09  
 DESIGN BY: JBS  
 DRAWN BY: JBS  
 CHECKED BY: JBS  
 DATE: AUGUST 3, 2009

OWNER  
 FLEMING INVESTMENT, INC.  
 CONTACT: SCOTT FLEMING  
 1500 McDONALD RD  
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SP2009 006

NATIONAL TIRE & BATTERY

W. RALPH HALL PKWY

Lot 5, Block 1  
 0.943 Acres

Horizon Village Addition  
 City of Rockwall  
 Rockwall County, Texas



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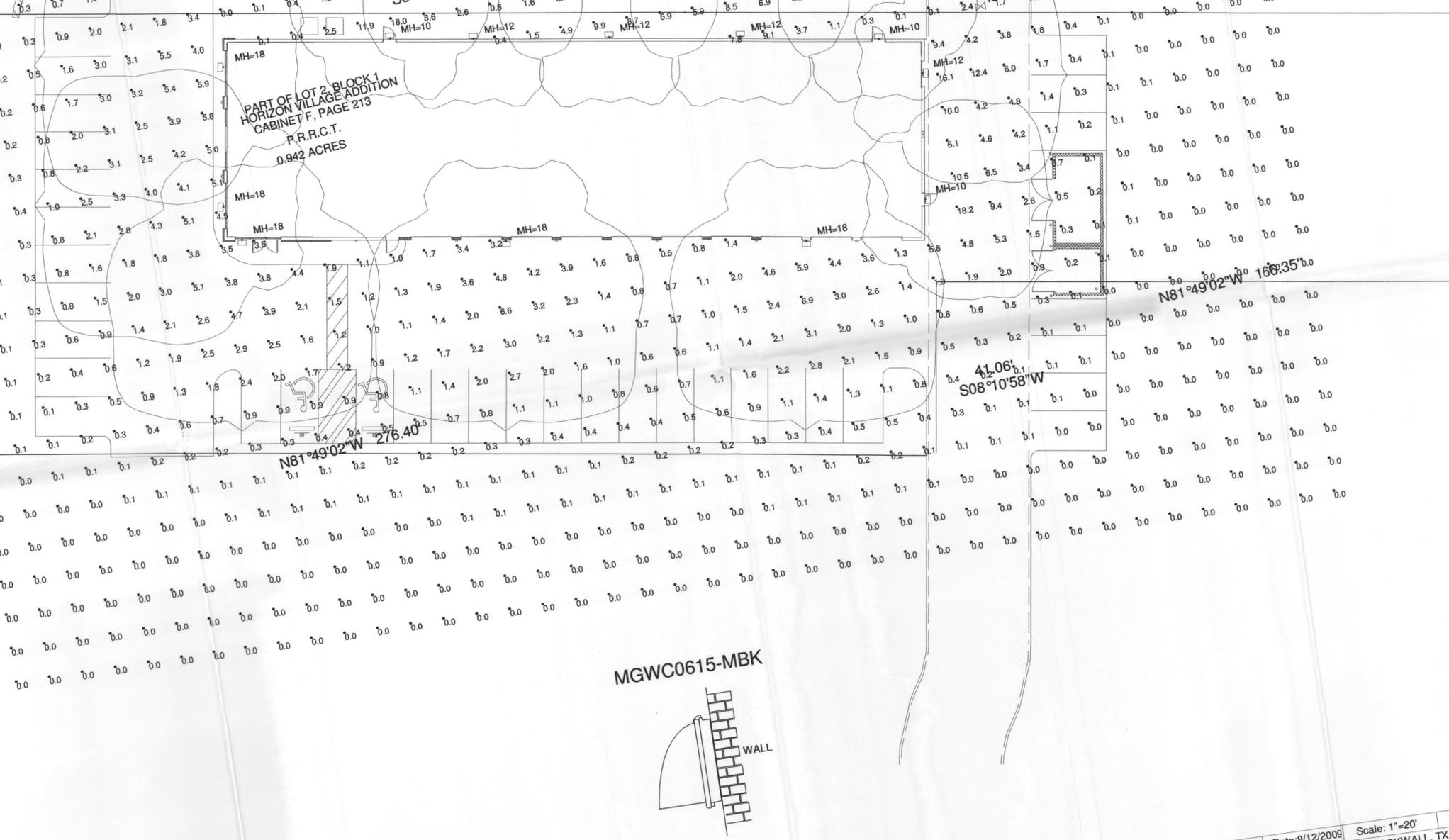
No.	Date	Comments	App.
No.2	9-28-09	PER CITY COMMENTS	
No.1	9-2-09	PER CITY COMMENTS	

Allen & Ridinger Consulting, Inc.  
 285 W. Southwest Pkwy  
 Lewisville, Texas 75067  
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 Fax No. (972) 353-8011

NATIONAL TIRE & BATTERY (NTB)  
 W. RALPH HALL PKWY.  
 CITY OF ROCKWALL, TEXAS

LANDSCAPE PLAN

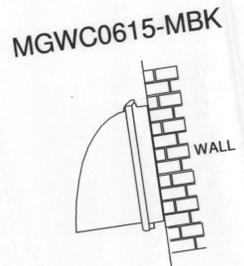
Scale:	1"=20'
Designed by:	JBS
Drawn by:	JBS
Checked by:	JBS
Date:	AUGUST 3, 2009
Project No.	082-010



PART OF LOT 2, BLOCK 1  
 HORIZON VILLAGE ADDITION  
 CABINET F, PAGE 213  
 P.R.R.C.T.  
 0.942 ACRES

FIXTURE MOUNTING HEIGHT: AS SHOWN  
 ISOLINES AT .5 FC

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
f	12	A	SINGLE	14000	0.750	MGWC0615-MBK (150W PSMH, BLACK)



# RUUD LIGHTING

800.236.7000 USA <www.ruudlighting.com> 905.671.1991 CAN

Illumination results shown on this lighting design are based on project parameters provided to Ruud Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying compliance with any applicable electrical, lighting, or energy code.

Date: 8/12/2009 Scale: 1"=20'  
 Project Name: NTB - ROCKWALL, TX  
 Filename: TK-RWTX1MDJ.AGI  
 FOOTCANDLES CALCULATED AT G

Numeric Summary	
Label	Avg
SITE	0.87