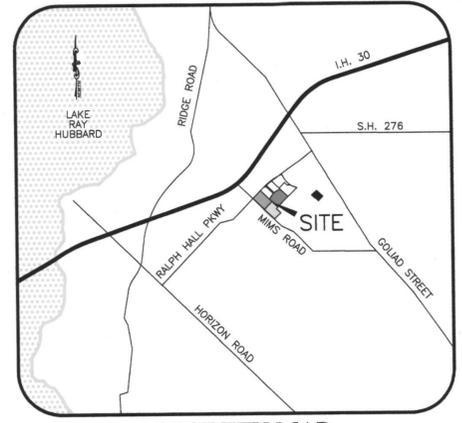


**TREE NOTE:**

1. REFERENCE TREE PRESERVATION PLAN FOR MORE INFORMATION.

**GENERAL NOTES:**

- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, CANOPIES, ACCESSIBLE RAMPS & SIDEWALK DETAILS FROM BACK OF CURB TO PROPOSED BUILDING & ROOF DRAIN LOCATIONS.
- ALL PARKING SPACES TO BE 9'x18', UNLESS OTHERWISE NOTED.
- ALL INTERIOR FIRE LANE RADI ARE TO BE A MINIMUM OF 20 FEET, UNLESS OTHERWISE NOTED.
- ALL DIMENSION ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADI ARE 2' UNLESS OTHERWISE NOTED.
- TOPOGRAPHIC AND BOUNDARY SURVEY PROVIDED BY LANE'S SOUTHWEST SURVEYING INC.:
- REFERENCE PHOTOMETRIC PLAN FOR EXACT LIGHT POLE LOCATIONS & HEIGHTS.
- PERSONS USING THESE DRAWINGS SHOULD CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS OF UNDERGROUND UTILITIES.
- ALL ACCESSIBLE ROUTES, RAMPS, SIDEWALK, AND ACCESSIBLE PARKING TO COMPLY WITH ADA STANDARDS.
- CONSTRUCT EIGHT FOOT TALL MASONRY SCREEN WALL AROUND DUMPSTER TO MATCH BUILDINGS. REFERENCE DETAIL ON SHEET.
- ALL PAVEMENT MATERIAL THRU-OUT SITE WILL BE REINFORCED CONCRETE WITH SPECIFIC THICKNESS SPECIFIED IN CIVIL PAVING PLAN.
- A SEPERATE SIGN PERMIT IS REQUIRED FOR APPROVAL OF ANY SIGNAGE ON SITE.



VICINITY MAP  
N.T.S.

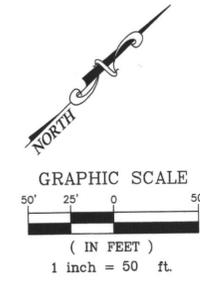
**SITE DATA TABLULATIONS**

Lot 4		Lot 6	
EXISTING ZONING	PD-54	EXISTING ZONING	PD-54
PROPOSED USE	MEMORY CARE CENTER	PROPOSED USE	OFFICE
TOTAL LOT AREA	1.77 ACRE (77,120 SF)	TOTAL LOT AREA	1.62 ACRE (70,387 SF)
BUILDING SQUARE FEET	15,955 S.F.	BUILDING SQUARE FEET	24,707 S.F.
BUILDING HEIGHT	ONE STORY - 28'-2"	BUILDING HEIGHT	TWO STORY - 35'
F.A.R.	0.21	F.A.R.	0.35
IMPERVIOUS COVER	43,561 S.F.	IMPERVIOUS COVER	55,156 S.F.
LANDSCAPING	33,569 S.F.	LANDSCAPING	15,231 S.F.
PARKING REQUIRED (1 SP. FOR EVERY 6 BEDS + 1 SP. PER EMPLOYEE MAX. SHIFT) (40 BEDS TOTAL)	20 SPACES	PARKING REQUIRED (1 SP. FOR EVERY 250 S.F. OF BUILDING)	99 SPACES
PARKING PROVIDED (FUTURE DEVELOPMENT TO PROVIDE 2 ADDITIONAL SPACES)	24 SPACES	PARKING PROVIDED	99 SPACES
PROP. CONST. TYPE	Masonry Walls	PROP. CONST. TYPE	Masonry Walls

Lot 7	
EXISTING ZONING	PD-60
PROPOSED USE	DAY CARE CENTER
TOTAL LOT AREA	1.29 ACRE (56,342 SF)
BUILDING SQUARE FEET	12,502 S.F.
BUILDING HEIGHT	ONE STORY - 25'-6"
F.A.R.	0.22
IMPERVIOUS COVER	34,122 S.F.
LANDSCAPING	22,220 S.F.
PARKING REQUIRED (1 SP. FOR EVERY 300 S.F. + 1 DRIVE LOADING AREA MIN. 4 SP.)	46 SPACES
PARKING PROVIDED	49 SPACES
PROP. CONST. TYPE	Masonry Walls

ZONING: PD-54  
TRACT 13-5  
J.D. McFARLAND SURVEY



**BOUNDARY CURVE DATA TABLE**

NUMBER	DELTA ANGLE	RADIUS	TANGENT	ARC LENGTH	CHORD BRNG.	CHORD
C-1	00°54'22"	1137.00'	8.99'	17.98'	N 45°35'47" E	17.98'
C-2	00°54'52"	1137.00'	9.02'	18.04'	N 47°42'53" E	18.04'
C-3	11°56'40"	188.00'	19.11'	38.09'	N 30°08'56" E	38.02'
C-4	18°24'19"	312.00'	50.55'	100.23'	N 33°30'51" E	99.79'
C-5	20°08'57"	312.00'	55.43'	109.72'	N 57°12'01" E	109.16'
C-6	09°15'48"	188.00'	15.23'	30.40'	N 62°38'36" E	30.35'

**BOUNDARY TANGENT DATA TABLE**

NUMBER	BEARING	DISTANCE
T-1	N 44°51'24" W	20.00'
T-2	N 41°49'51" W	20.00'

**LEGEND**

- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING POWER POLE w/ GUY ANCHOR
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING SANITARY SEWER
- EXISTING WATER
- PROPOSED SANITARY SEWER
- EXISTING WATER
- C.I. PROPOSED CURB INLET
- G.I. PROPOSED GRATE INLET
- ▬ PROPOSED FIRE LANE
- Ⓢ PROPOSED PARKING COUNTS



**OWNER / DEVELOPER**  
LSC FLAGSTONE CORNERS PARTNERS, LTD  
16980 DALLAS PARKWAY STE. 101 PHOEN: 972-267-2715  
DALLAS, TEXAS 75248 FAX: 972-267-2778  
CONTACT: MR. LARRY CROSBY x13

**Walls & Associates**  
Consulting Civil Engineers - Designers - Planners  
530 S. Center Freeway, Ste. 200 Dallas, Texas 75201  
Phone: 214-724-0983 Fax: 972-267-2778  
Email: david@wallsandassociates.com

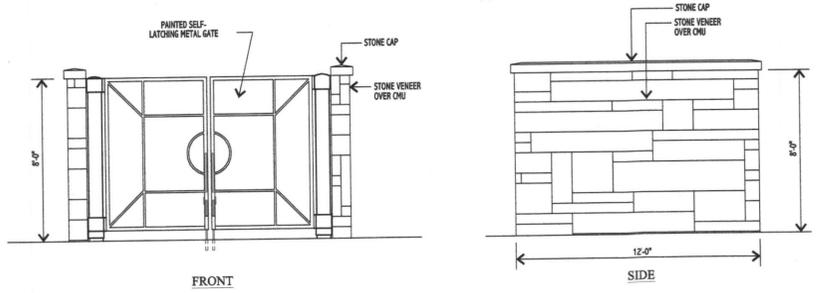
**SITE PLAN OF LOTS 4, 6 & 7, BLOCK A FLAGSTONE CORNERS**

BEING OUT OF A 8.428 ACRES TRACT SITUATED IN THE J.D. McFARLAND SURVEY, ABSTRACT No. 145 LOCATED IN THE CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS DECEMBER 18, 2009

2009 011



FILE COPY



TYPICAL DUMPSTER ENCLOSURE



5906 Dolores SUITE 100 HOUSTON, TX. 77057  
713 783 8040 FAX 713 783 7774

drawing chronology

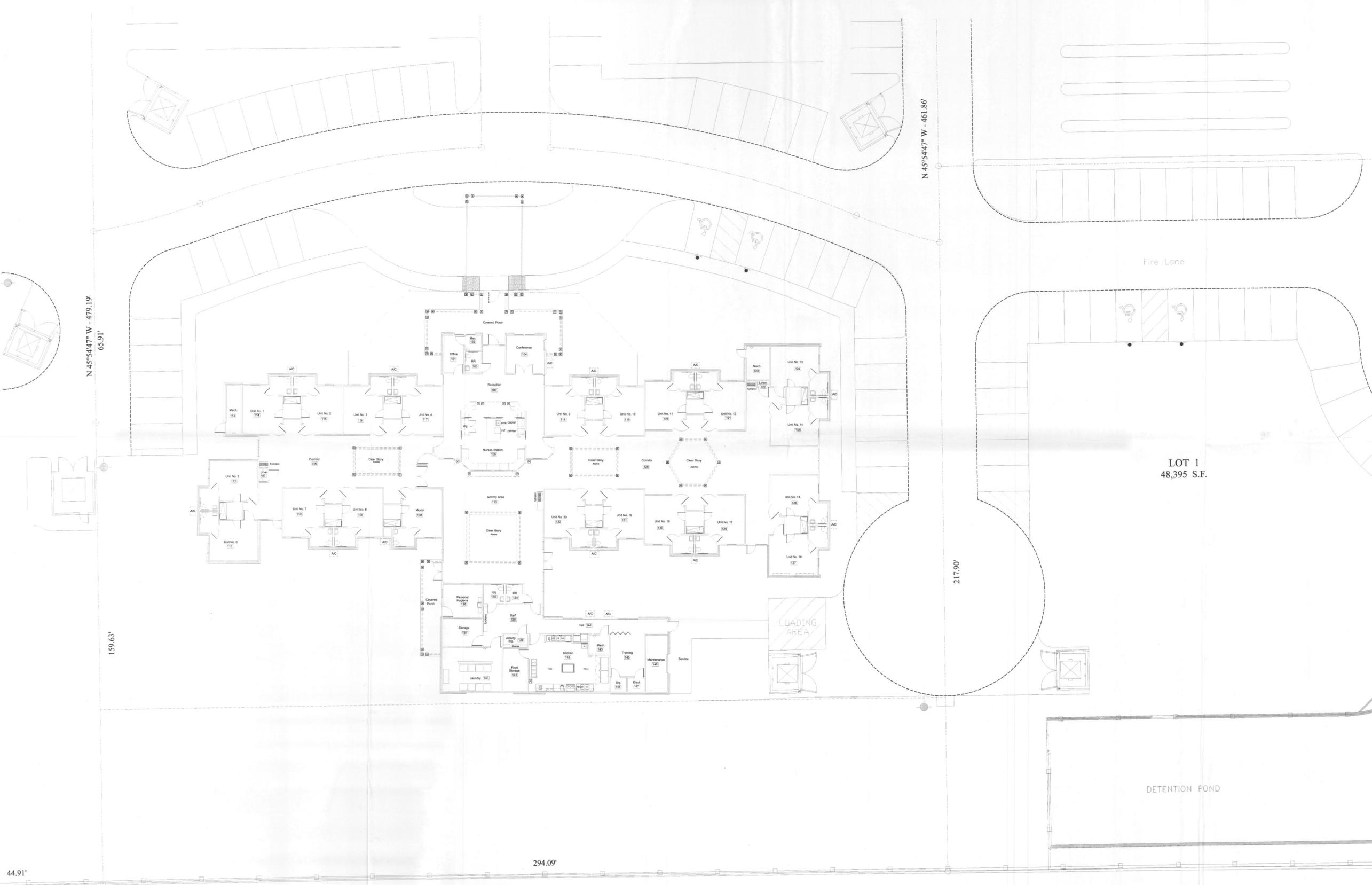
01 01-04-10 ISSUED FOR REVIEW

The Architect has made every effort to set forth in the Contract Documents the complete scope of the work. The Contractor is never less cautioned that minor omissions and discrepancies in the drawings shall not excuse the Contractor from providing a complete facility and improvements in accordance with the intent of these documents. It will be the responsibility of the Contractor to bring any conflicts, omissions, or discrepancies to the attention of the Architect in writing, prior to submissions of proposals or to commencement of construction.

In accordance with the rules and regulations of the Texas Board of Architectural Examiners these documents may not be used for construction unless the Seal of the Architect has been properly numbered and signed by the Architect of Record.

The drawings prepared by Carlin / White for this project are instruments of the Architect's service for the use solely with respect to this Project and, unless otherwise provided, the Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.

general notes



LOT 1  
48,395 S.F.

DETENTION POND

FILE COPY

sheet name

Site Plan

2009 01



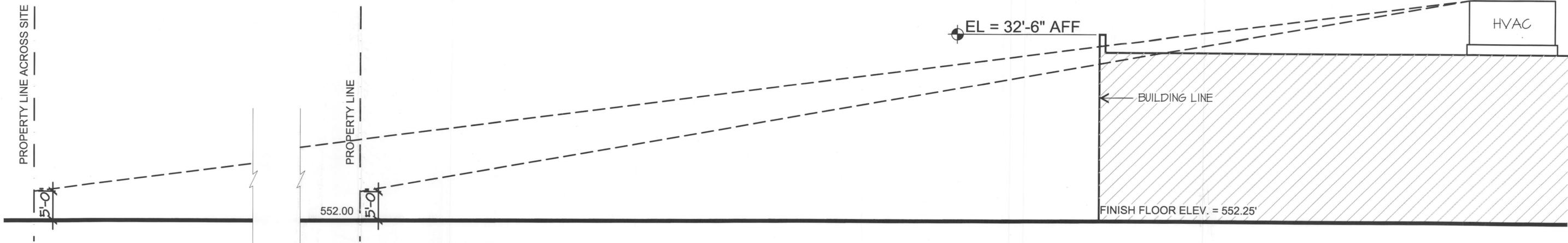
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Project No.:

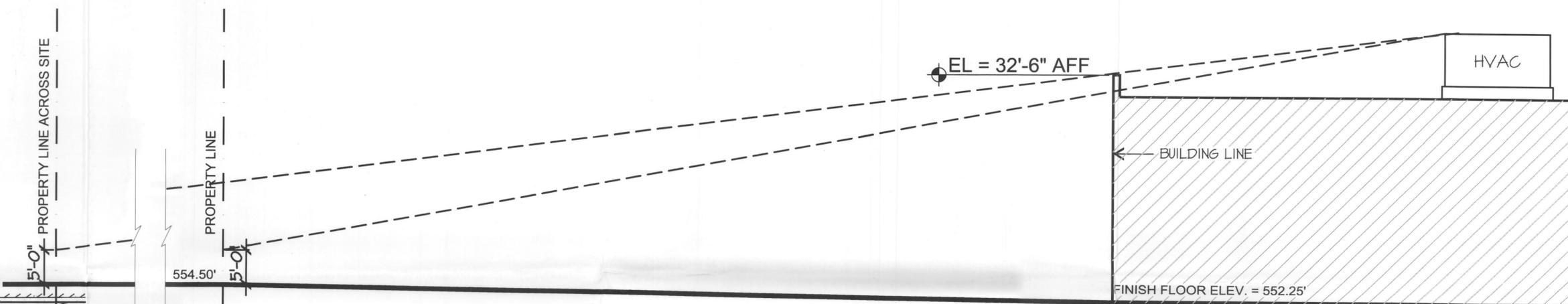
Reviewed:

A-1.2

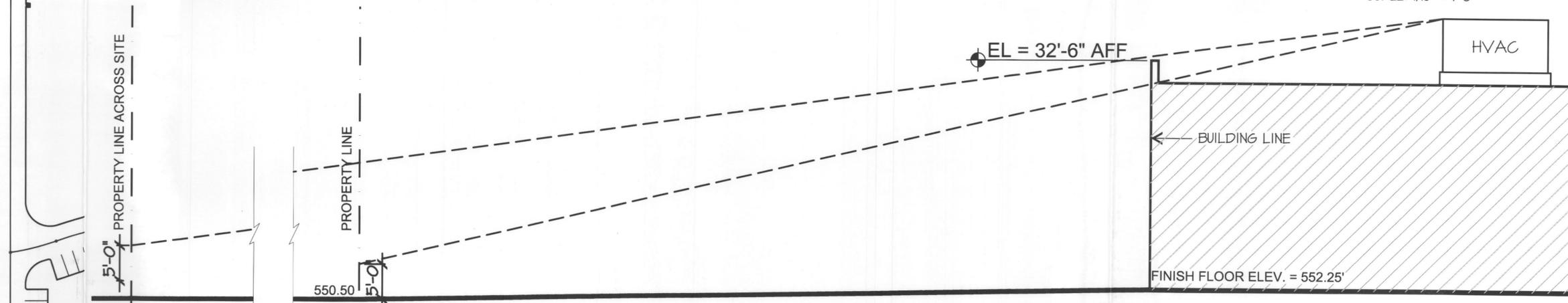




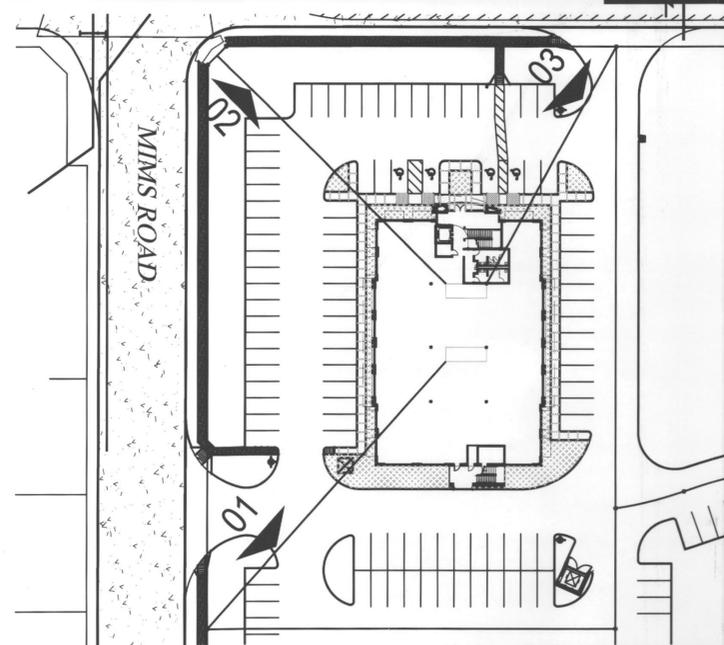
**01 SITE SECTION**  
SCALE: 1/16" = 1'-0"



**02 SITE SECTION**  
SCALE: 1/16" = 1'-0"



**03 SITE SECTION**  
SCALE: 1/16" = 1'-0"



**04 SITE PLAN**  
SCALE: NTS  
NORTH

ROCKWALL OFFICE BUILDING

ROCKWALL, TEXAS

**BLDG SITE LINE**

SCALE: AS NOTED ■ JOB#: 29115 ■ ISSUE DATE: 01-07-2010  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

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O'BRIEN

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JAN 07 2010  
By \_\_\_\_\_



P2008-036  
 Preliminary Plat  
 Approved Landscape Plan  
 Screening and Detention Landscaping  
 Approved April 6, 2009

Date MAR 18, 2009  
 Drawn By JRF  
 Checked By  
 Revisions



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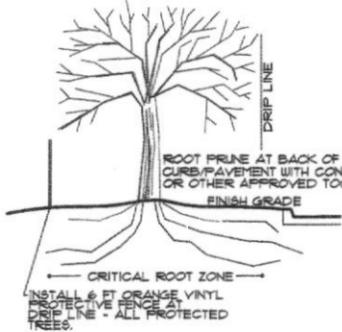
FLAGSTONE CORNERS  
 NEC E. RALPH HALL PARKWAY, AND MIMS RD  
 ROCKWALL, TEXAS

Sheet No.  
**L-1**  
 OF 2

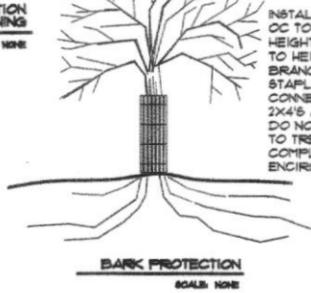


VICINITY MAP  
 N.T.S.

**CAUTION!!!**  
 UNDEGROUND UTILITIES ARE LOCATED IN THIS AREA. 48 HOURS PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL LOCATE FOR FRANCHISE UTILITY INFO. CALL BEFORE YOU DIG. TEXAS EDUCATION SAFETY SYSTEM (TESS) 1-800-344-8377 TEXAS ONE CALL SYSTEM 1-800-368-5868 LONG STAR NOTIFICATION CENTER 1-800-684-6844 EXT. 3  
**BEFORE YOU DIG.**



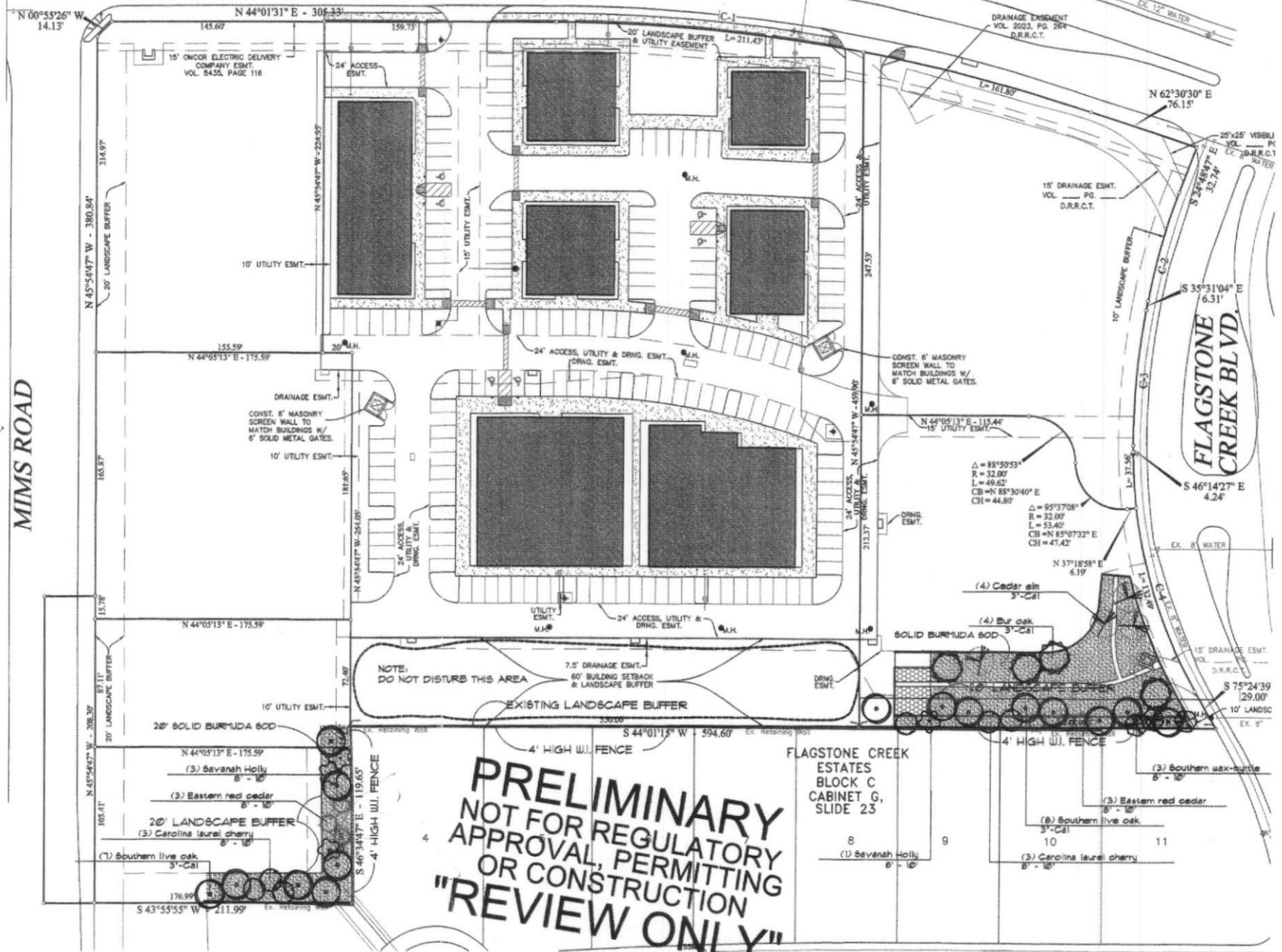
DO NOT MODIFY GRADE BENEATH DRIP LINE UNLESS APPROVED BY CITY ENGINEER.  
 DO NOT WASH OUT CONCRETE TRUCKS OR STORE ANY CONSTRUCTION MATERIALS BENEATH DRIP LINE.



**PLANTING NOTES:**

1. PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
2. ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
3. CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
4. ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
5. ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
6. CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
7. MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
8. PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPEC'S. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 3 FT.
9. SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
10. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
11. IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
12. QUANTITIES ARE PROVIDED AS A COURTESY AND NOT INTENDED FOR BID PURPOSES. CONTRACTOR TO VERIFY PRIOR TO PRICING.
13. INSTALL EDGING BETWEEN LAWN AND PLANTING BEDS. REFER TO SPECIFICATIONS, FILE ALL CORNERS SMOOTH.
14. INSTALL CURLEX BLANKET (OR EQUAL) PER MANUFACTURER'S INSTRUCTIONS ON ALL GROUND COVER/SHRUB BEDS WITH A SLOPE OF 4:1 OR GREATER.
15. AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B4B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B4B PLANTS FOR LATE SEASON INSTALLATION.

**E. RALPH HALL PARKWAY**  
 (65' R.O.W.)



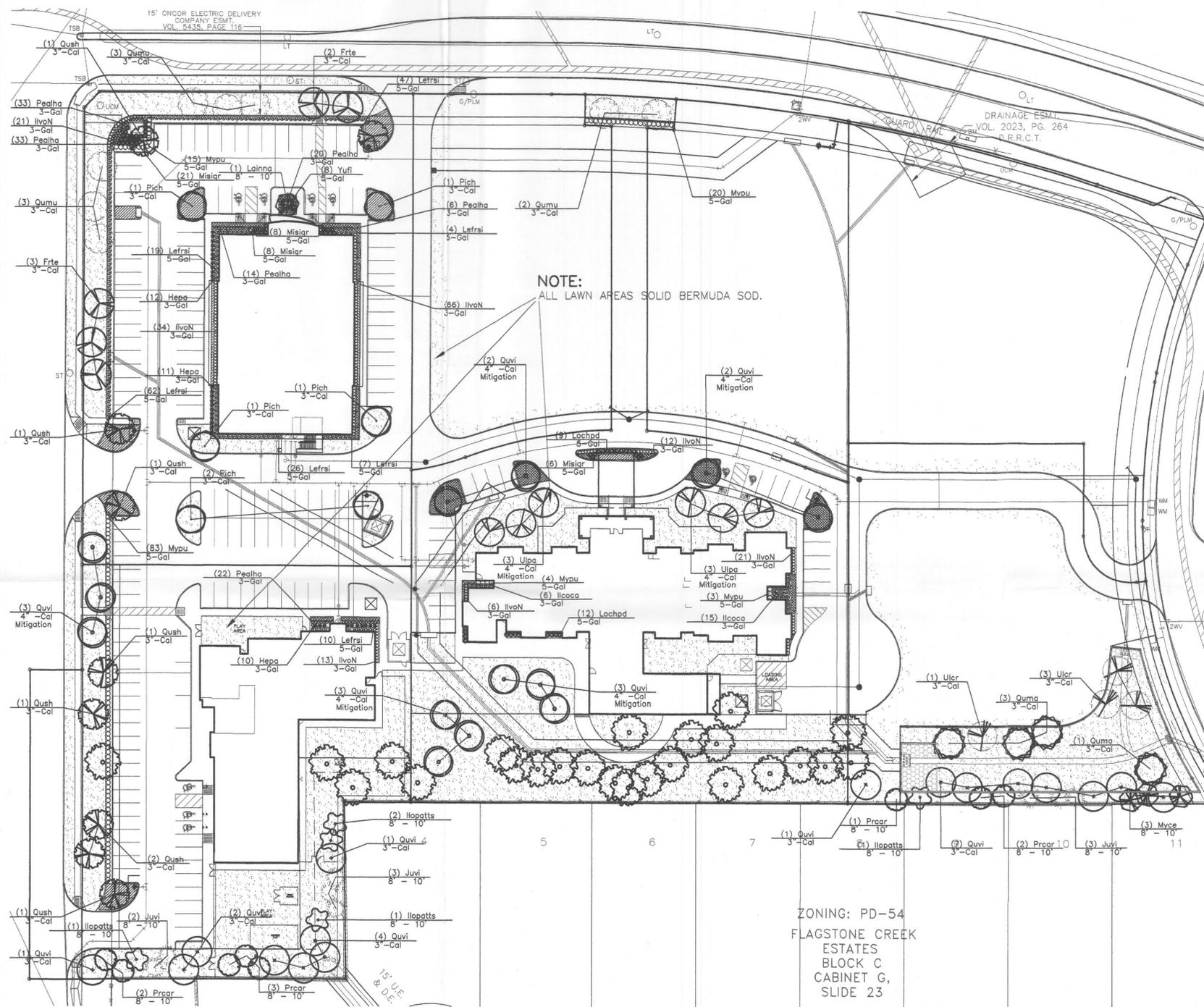
**PLANT LIST**

Qty	Sym	Scientific Name	Common Name	Code	Size
4	○	Quercus macrocarpa	Bur oak	Qma	3'-Cal
4	⊗	Ulmus crassifolia	Cedar elm	Ucr	3'-Cal
3	⊗	Myrica cerifera	Southern wax-myrtle	Myce	8' - 10'
6	○	Prunus caroliniana	Caroline laurel cherry	Prcar	8' - 10'
15	○	Quercus virginiana	Southern live oak	Qvvi	3'-Cal
6	○	Juniperus virginiana	Eastern red cedar	Juvi	8' - 10'
4	☆	Ilex opaca x attenuata Savannah	Savannah Holly	Ilopat	8' - 10'

LOT 3, BLOCK A  
 FOR  
 FLAGSTONE CORNERS  
 NEC E. RALPH HALL PARKWAY, AND MIMS RD.  
 ROCKWALL, TEXAS  
 Lone Star Companies Of Dallas  
 16980 Dallas Parkway, Ste. 101  
 Dallas, Texas 75248



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- NOTE:**
- THE SITE WILL BE IRRIGATED WITH A BELOW GROUND AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE SENSOR, THAT IS CAPABLE OF PROVIDING THE PROPER AMOUNT OF WATER FOR THE PARTICULAR TYPE OF PLANT MATERIAL USED.
  - THE PROPERTY OWNER IS RESPONSIBLE FOR REGULAR WEEDING, MOWING, IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE OF ALL PLANTINGS. THE REQUIRED LANDSCAPING MUST BE MAINTAINED IN A HEALTHY, GROWING CONDITION AT ALL TIMES AS DEFINED IN ARTICLE VIII, SECTION 9.
  - ALL LANDSCAPING WITHIN THE VISIBILITY TRIANGLES SHALL COMPLY WITH THE VISIBILITY TRIANGLE REQUIREMENTS AS STATED IN THE CITY LANDSCAPE ORDINANCE, ARTICLE VIII, SECTION 8.
  - ALL LANDSCAPE AREAS ARE PROTECTED FROM VEHICULAR TRAFFIC BY CONCRETE CURBING.
  - VISIBILITY TRIANGLES ARE SHOWN AND PROTECTED.

**TREE MITIGATION NOTE:**

- REF. SHEET L-1 FOR TREE MITIGATION TABLE.

**NOTE:**  
ALL 4" CALIPER TREES ARE USED TO FULFILL MITIGATION REQUIREMENTS

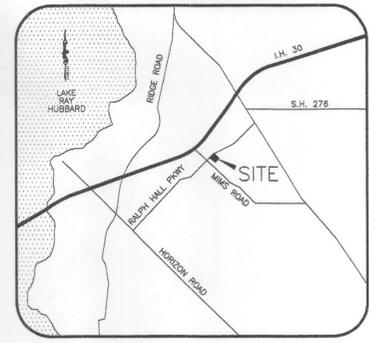
**NOTE:**  
REF NOTE 11 FOR ALL PRESERVED TREES.

**CITY OF ROCKWALL LANDSCAPE REQUIREMENTS**

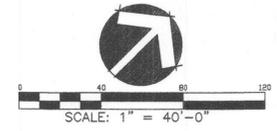
LOT 4	
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER
	REQUIRED PROVIDED
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE
	REQUIRED PROVIDED
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING
	REQUIRED PROVIDED
PARKING LOT TREES	14,316 X 5% = 716 SF 1636
	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES
PARKING LOT TREES	N/A
	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA
	REQUIRED PROVIDED
LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD
	REQUIRED PROVIDED
LANDSCAPE AREA	77,090 X 15% = 11,564 SF 36,369
	11,564 X 50% = 5,782 SF 8,437

LOT 6	
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER
	REQUIRED PROVIDED
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE
	REQUIRED PROVIDED
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING
	REQUIRED PROVIDED
PARKING LOT TREES	38,966 X 5% = 1,948 SF 2,052
	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES
PARKING LOT TREES	100 SPACES/10 = 10 TREES 10 TREES
	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA
	REQUIRED PROVIDED
LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD
	REQUIRED PROVIDED
LANDSCAPE AREA	70,387 X 15% = 10,558 SF 11,574
	10,558 X 50% = 5,279 SF 9,552

LOT 7	
LANDSCAPE BUFFER	10' LANDSCAPE BUFFER STRIP REQUIRED ALONG PERIMETER
	REQUIRED PROVIDED
STREET LANDSCAPING	1 CANOPY TREE FOR EACH 50' OF STREET FRONTAGE
	REQUIRED PROVIDED
PARKING LOT LANDSCAPING	5% OR 200 SF (WHICHEVER IS GREATER) IN INTERIOR LANDSCAPING
	REQUIRED PROVIDED
PARKING LOT TREES	18,279 X 5% = 1,045 SF 1,786
	IF PARKING EXCEEDS 20,000 SF THEN 1 TREE PER 10 SPACES
PARKING LOT TREES	N/A
	ALL PARKING SPACES SHALL BE WITHIN 80' OF A TREE
LANDSCAPE AREA	REQUIRED 15% OF TOTAL SITE IN LANDSCAPE AREA
	REQUIRED PROVIDED
LANDSCAPE AREA	50% OF REQUIRED LANDSCAPE AREA IN FRONT YARD
	REQUIRED PROVIDED
LANDSCAPE AREA	56,342 X 15% = 8,452 SF 21,143
	8,452 X 50% = 4,226 SF 4,950



- PLANTING NOTES:**
- PLANT SIZE, TYPE, AND CONDITION SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
  - ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK.
  - CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF ALL PLANT MATERIAL UNTIL PROJECT ACCEPTANCE.
  - ALL CONTAINER GROWN PLANTS TO HAVE FULL, VIGOROUS ROOT SYSTEM, COMPLETELY ENCOMPASSING CONTAINER.
  - ALL PLANTS WELL ROUNDED AND FULLY BRANCHED. ALL TREES WITH SPREAD 2/3 OF HEIGHT.
  - CONTRACTOR TO PROVIDE OWNER WITH PREFERRED MAINTENANCE SCHEDULE OF ALL PLANTS AND LAWNS.
  - MAINTAIN/PROTECT VISIBILITY TRIANGLE WITH PLANT MATERIAL PER CITY STANDARDS AT ALL ENTRANCES TO SITE.
  - PREP ENTIRE WIDTH OF ALL DEFINED PLANTING BEDS WITH MIX AS OUTLINED IN SPECS. WHERE SHRUBS ARE LOCATED ALONG CURB, SET SHRUBS BACK FROM CURB 4 FT.
  - SEE DETAIL SHEET FOLLOWING FOR PLANTING DETAILS.
  - CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL UTILITIES, INCLUDING BUT NOT LIMITED TO TELEPHONE, TELECABLE, ELECTRIC, GAS, WATER AND SEWER. ANY DAMAGE TO UTILITIES TO BE REPAIRED BY CONTRACTOR AT NO COST TO OWNER.
  - IF EXISTING TREES ARE SHOWN TO REMAIN, CONTRACTOR SHALL PRUNE AS DIRECTED BY OWNER'S REPRESENTATIVE. WORK TO INCLUDE REMOVAL OF ALL SUCKER GROWTH; DEAD AND DISEASED BRANCHES AND LIMBS; VINES, BRIARS AND OTHER INVASIVE GROWTH; AND ALL INTERFERING BRANCHES. MAKE ALL CUTS FLUSH TO REMAINING LIMB. RETAIN NATURAL SHAPE OF PLANT. ALL WORK SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
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  - AT TIME OF PLAN PREPARATION, SEASONAL PLANT AVAILABILITY CANNOT BE DETERMINED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE AND RESERVE ALL B&B PLANTS WHEN AVAILABLE IN CASE ACTUAL INSTALLATION OCCURS DURING THE OFF-SEASON. PURCHASE AND HOLD B&B PLANTS FOR LATE SEASON INSTALLATION.
  - ALL TREES TO BE PLANTED MIN. 5' FROM ANY UTILITIES.



**LANDSCAPE PLAN**

Date Jan 05, 2010  
Drawn By GAC  
Checked By JRF  
Revisions



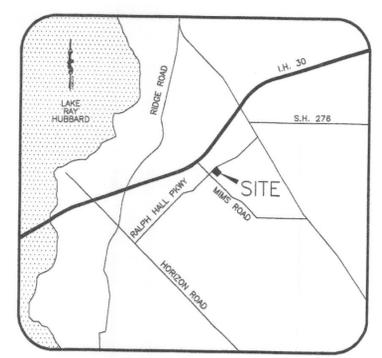
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**FLAGSTONE CORNERS**  
LOTS 4, 6 AND 7  
ROCKWALL, TEXAS

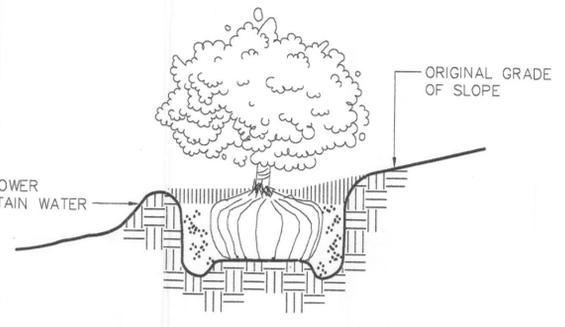


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**FLAGSTONE CORNERS**  
 LOTS 4, 6 AND 7  
 ROCKWALL, TEXAS

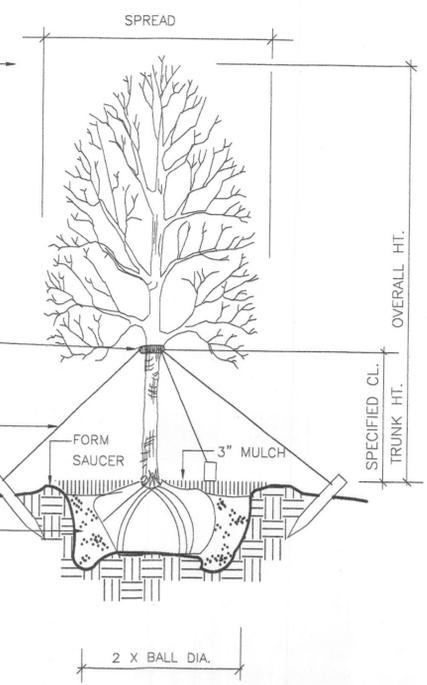


VICINITY MAP  
N.T.S.



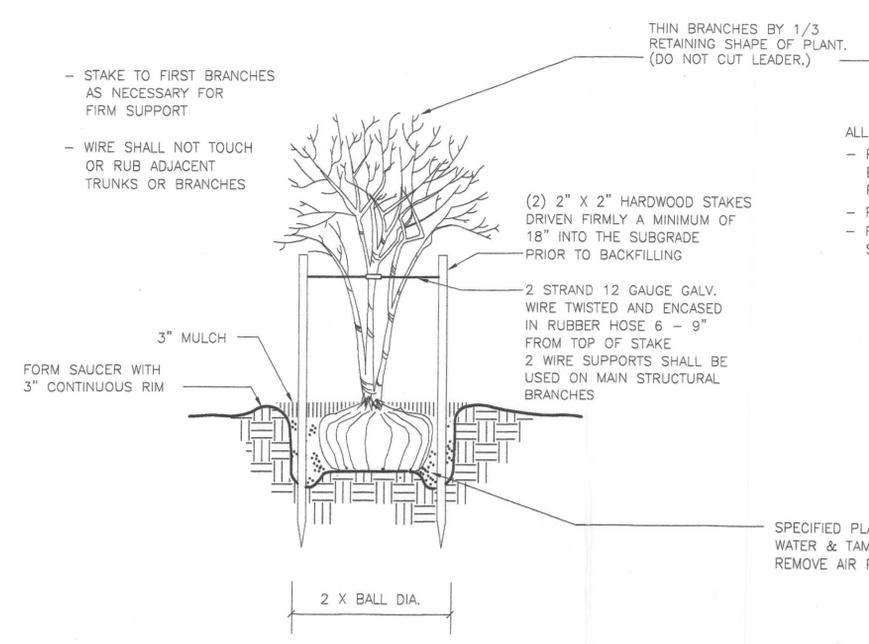
TREE/SHRUB PLANTING ON SLOPES

SCALE: NOT TO SCALE



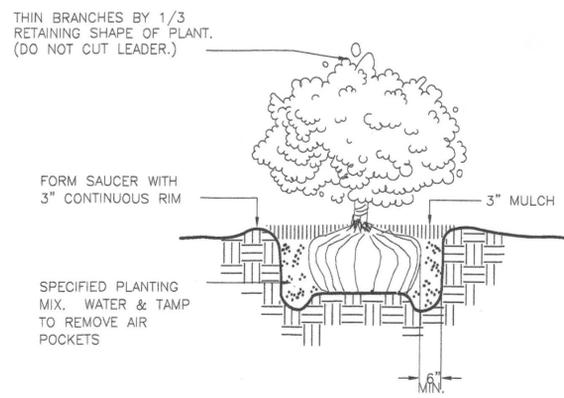
TREE PLANTING - GUY WIRES  
OVER 2" CALIPER

SCALE: NOT TO SCALE



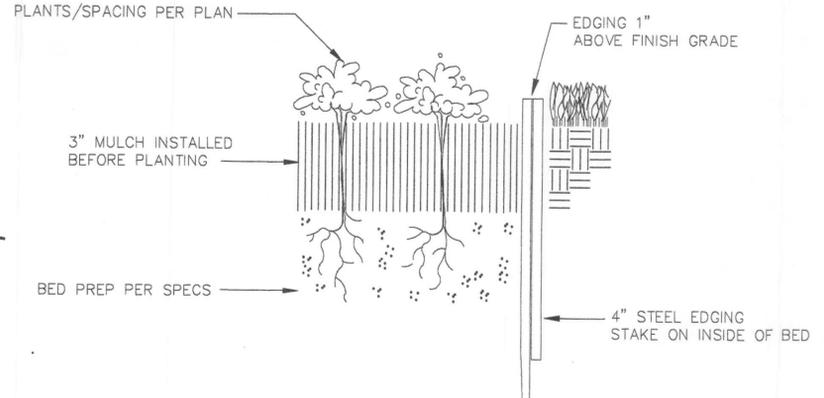
STAKING FOR MULTI-TRUNK TREES &  
TREES 2" CAL. & UNDER

SCALE: NOT TO SCALE



SHRUB PLANTING

SCALE: NOT TO SCALE



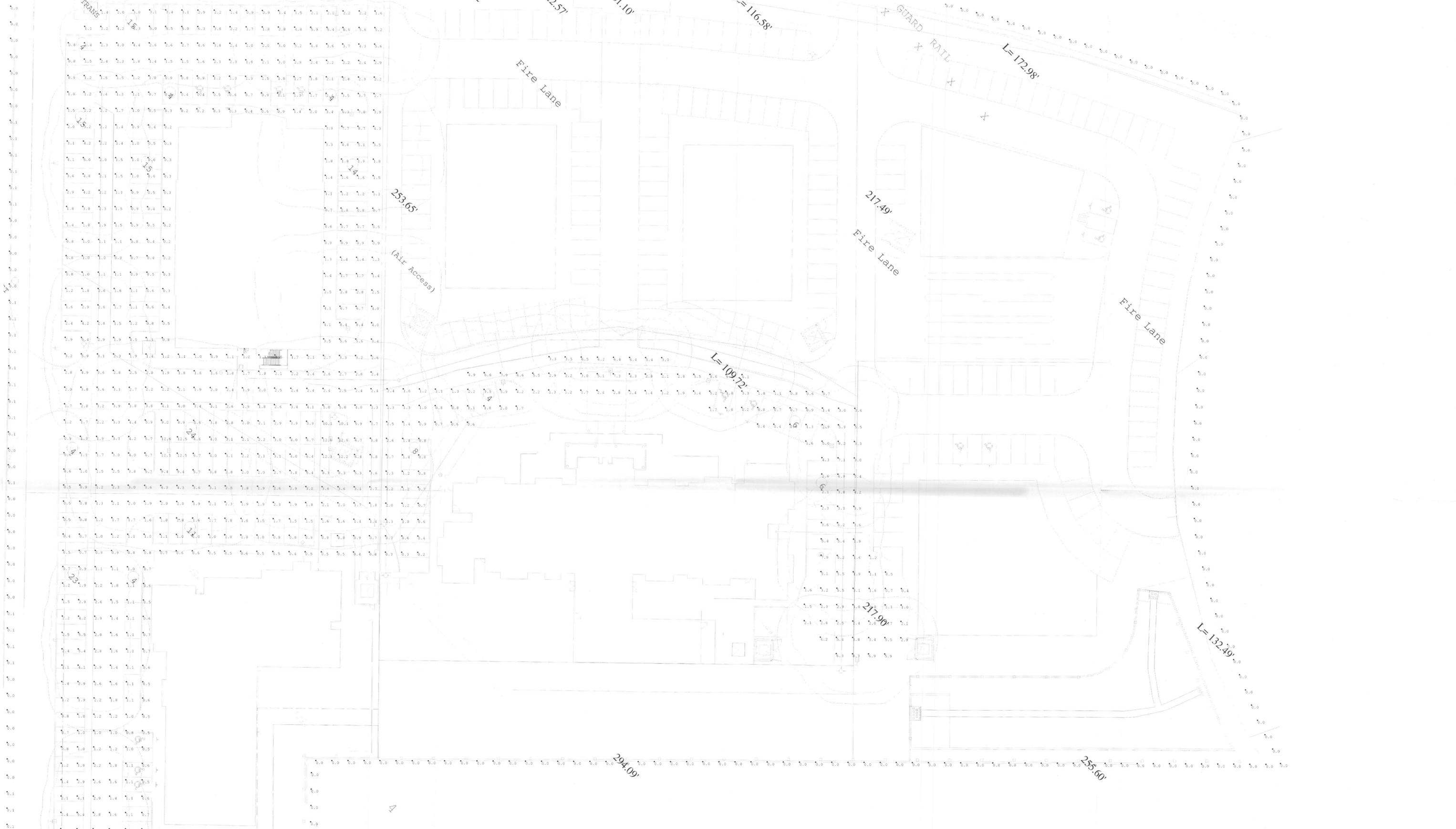
BEDDING PLANTS/  
EDGING DETAIL

SCALE: NOT TO SCALE

PLANT LIST

Symbol	Quantity	Code Name	Scientific Name	Common Name	Planting Size	Comments
○	8	Prcar	Prunus caroliniana	Carolina laurel cherry	8' - 10'	B & B
☆	8	Juvi	Juniperus virginiana	Eastern red cedar	8' - 10'	B & B
★	5	Ilopatts	Ilex opaca x attenuata 'Savannah	Savannah Holly	8' - 10'	B & B
⊙	9	Qush	Quercus shumardii	Shumard oak	3"-Cal	B & B
⊙	4	Ultr	Ulmus crassifolia	Cedar elm	3"-Cal	B & B
⊙	5	Frte	Fraxinus texensis	Texas ash	3"-Cal	B & B
⊙	8	Qumu	Quercus Muhlenbergii	Chinquapin Oak	3"-Cal	B & B
⊙	13	Quvi	Quercus virginiana	Southern live oak	4"-Cal	B & B
⊙	16	Quvi	Quercus virginiana	Southern live oak	3"-Cal	B & B
⊙	175	Lefrsi	Leucophyllum frutescens 'Silverado'	Silverado sage	5-Gal	36" OC
⊙	125	Mypu	Myrica pusilla	Dwarf Wax Myrtle	5-Gal	36" OC
⊙	173	IlvoN	Ilex vomitoria 'Nana'	Dwarf yaupon	3-Gal	24" OC
⊙	43	Misigr	Miscanthus sinensis 'Gracillimus'	Maiden grass	5-Gal	36" OC
⊙	95	Pealha	Pennisetum alopecuroides 'Hamelin'	Dwf Fountain Grass	3-Gal	24" OC
⊙	3	Myce	Myrica cerifera	Southern wax-myrtle	8' - 10'	B & B
⊙	4	Quma	Quercus macrocarpa	Bur oak	3"-Cal	B & B
⊙	6	Pich	Pistacia chinensis	Chinese pistache	3"-Cal	B & B
⊙	6	Ulpa	Ulmus parvifolia	Lacebark elm	4"-Cal	B & B
⊙	1	Lainna	Lagerstroemia indica 'Natchez'	Crape myrtle 'Natchez'	8' - 10'	3 or 5 canes
⊙	33	Hepa	Hesperaloe parviflora	Red yucca	3-Gal	36" OC
⊙	8	Yufi	Yucca filamentosa	Softleaf yucca	5-Gal	36" OC
⊙	21	Lochpd	Loropetalum chinense 'Plum Delight'	Chinese Fringe Flower	5-Gal	36" OC
⊙	21	Ilcoca	Ilex cornuta 'Carissa'	Carissa holly	3-Gal	36" OC
⊙	2215	Tras	Trachelospermum asiaticum	Asian jasmine	4" pot	12" OC
⊙	1950	Limu	Liriope muscari 'Big Blue'	'Big Blue' liriope	4" pot	12" OC

PLANTING DETAILS



Luminaire Schedule						
Symbol	Qty	Label	Description	Lumens	LLF	Watts
☐	2	SA3HS	KIM - WP9L3_400PMH-ED28_HS	40000	0.720	400
☐	2	SA4	KIM - WP9L4_400PMH-ED28	40000	0.720	400
☐	4	SA4HS	KIM - WP9L4_400PMH-ED28_HS	40000	0.720	400
☐	2	2SA4	KIM - WP9L4_400PMH-ED28	40000	0.720	400
☐	6	SA3-250	KIM - WP9L3-250PMH-ED28	22500	0.720	250

- NOTES
1. Calc at grade level
  2. Mounted on 17.5' pole on a 30" base  
Except Type SA3-250 - 12.5' pole on a 30" base

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Prop Line	Illuminance	Fc	0.01	0.1	0.0	N.A.	N.A.
Calc Zone 1	Illuminance	Fc	2.44	12.6	0.2	12.20	63.00

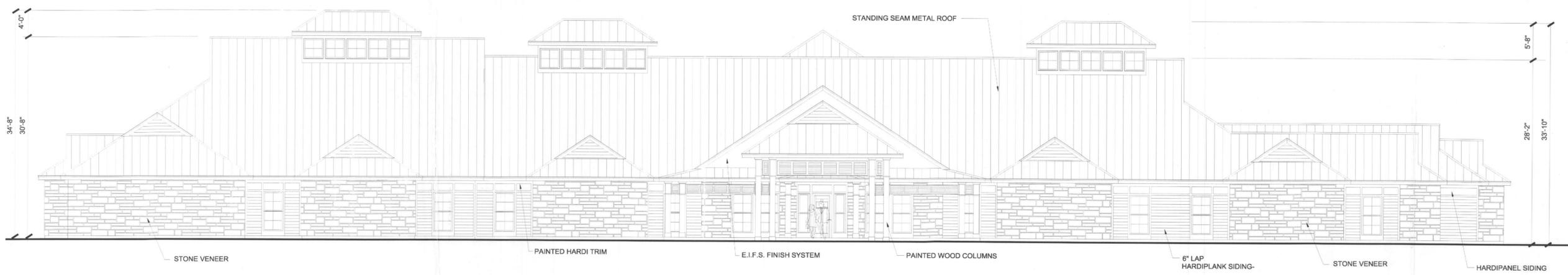
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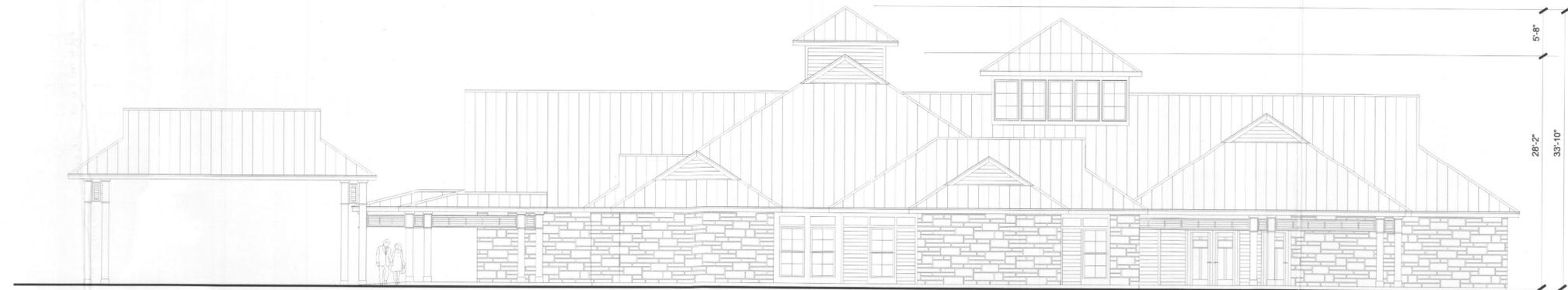




The Architect has made every effort to set forth in the Contract Documents the complete scope of the work. The Contractor is never the less cautioned that minor omissions and discrepancies in the drawings shall not excuse the Contractor from providing a complete facility and improvements in accordance with the intent of these documents. It will be the responsibility of the Contractor to bring any conflicts, omissions, or discrepancies to the attention of the Architect in writing, prior to submissions of proposals or to commencement of construction. In accordance with the rules and regulations of the Texas Board of Architectural Examiners these documents may not be used for construction unless the Seal of the Architect has been properly numbered and signed by the Architect of Record. The drawings prepared by Carlin / White for this project are instruments of the Architect's service for the use solely with respect to this Project and, unless otherwise provided, the Architect shall be deemed the author of these documents and shall retain all common law, statutory and other reserved rights, including the copyright.



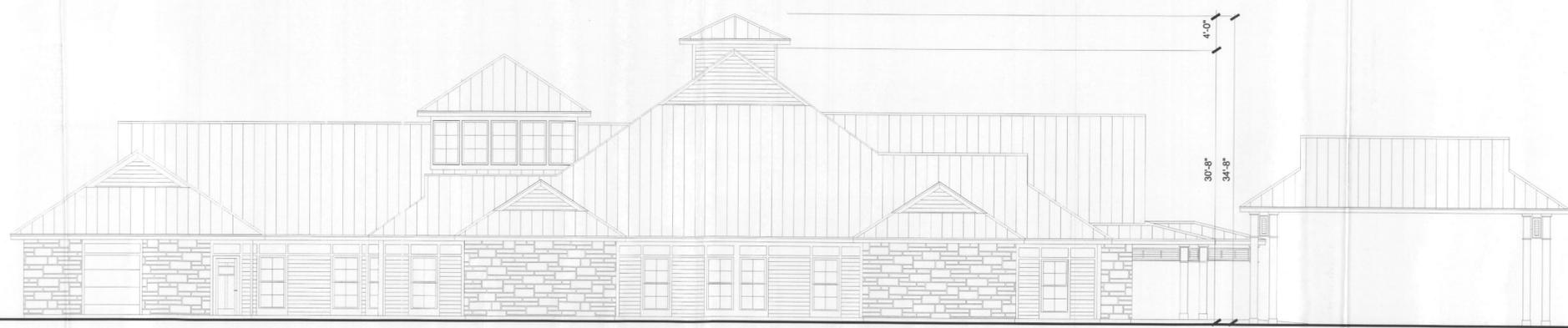
FRONT ELEVATION- NORTH 1/8"= 1'-0"



SIDE - WEST 1/8"= 1'-0"



REAR- SOUTH 1/8"= 1'-0"



SIDE - EAST 1/8"= 1'-0"

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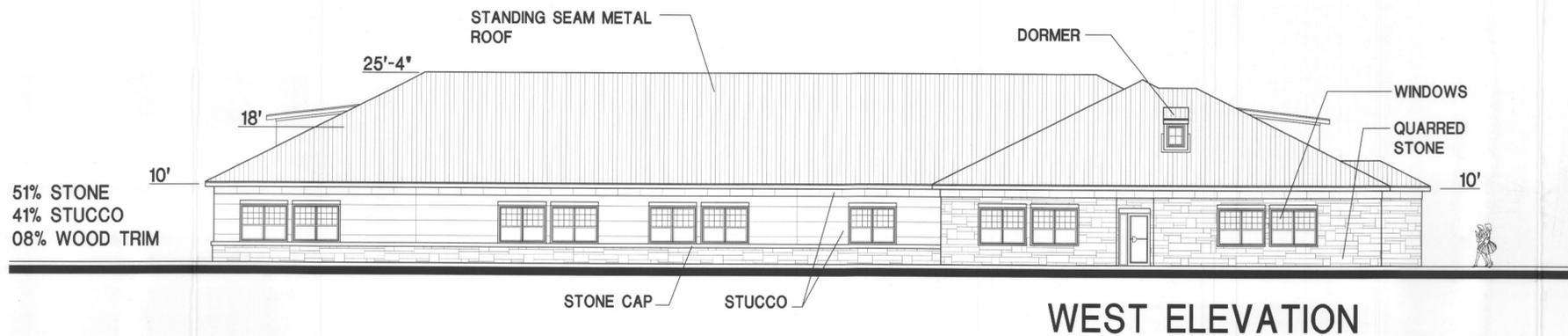
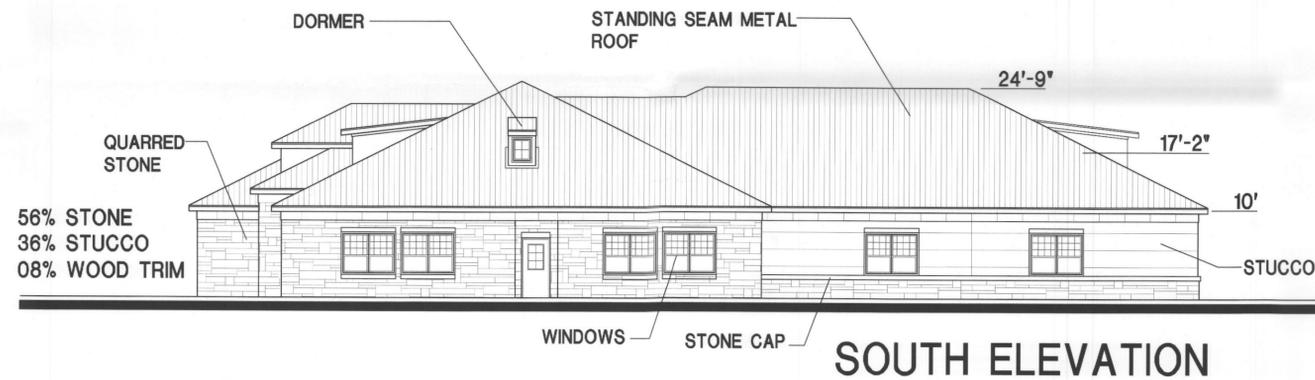
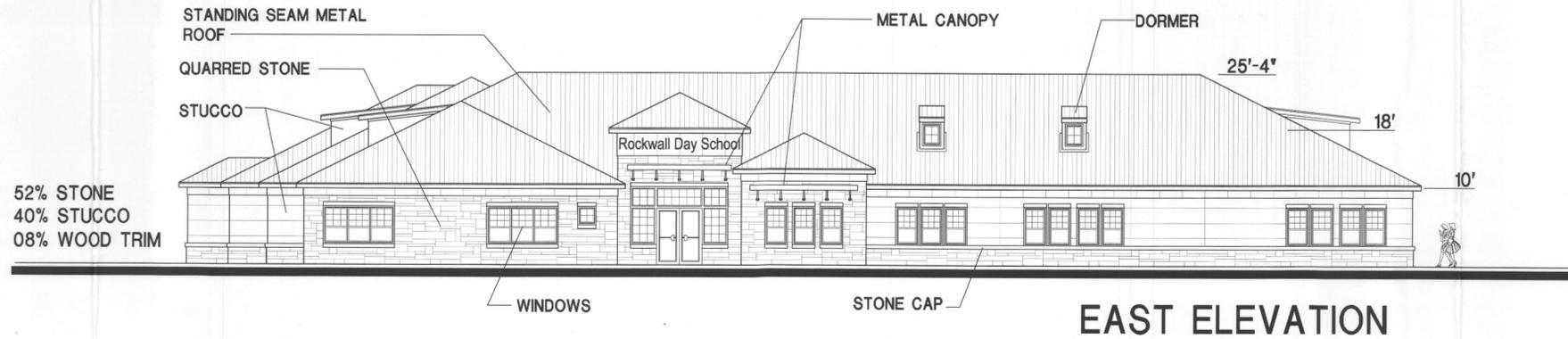
2009 01 1



project  
**ROCKWALL ALZHEIMER**  
Rockwall Texas

sheet name  
**Building Elevations**

Date: 00  
Project No.: 00  
Reviewed: CHC



BUILDING TOTALS	
STONE VENEER	53 %
STUCCO	39 %
WOOD TRIM	08 %

**ROCKWALL DAY SCHOOL**

ROCKWALL, TX  
**LONE STAR COMPANIES**

**EL-03**

SCALE: 1"=10' ■ JOB#: 29121 ■ ISSUE DATE: 01/07/10  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

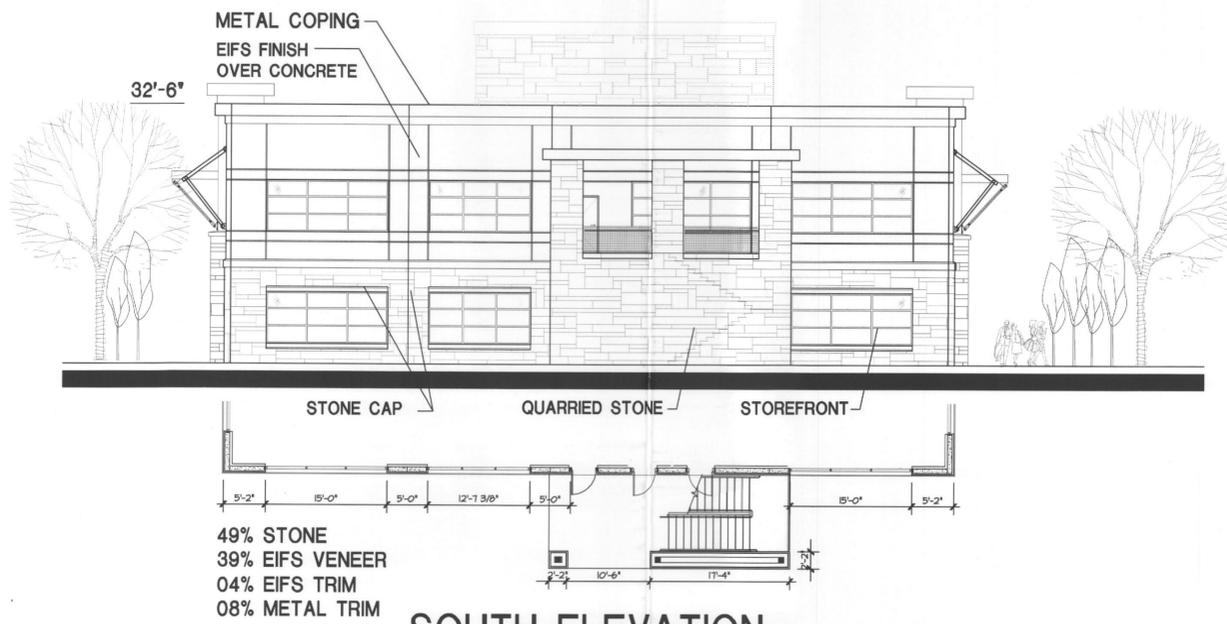
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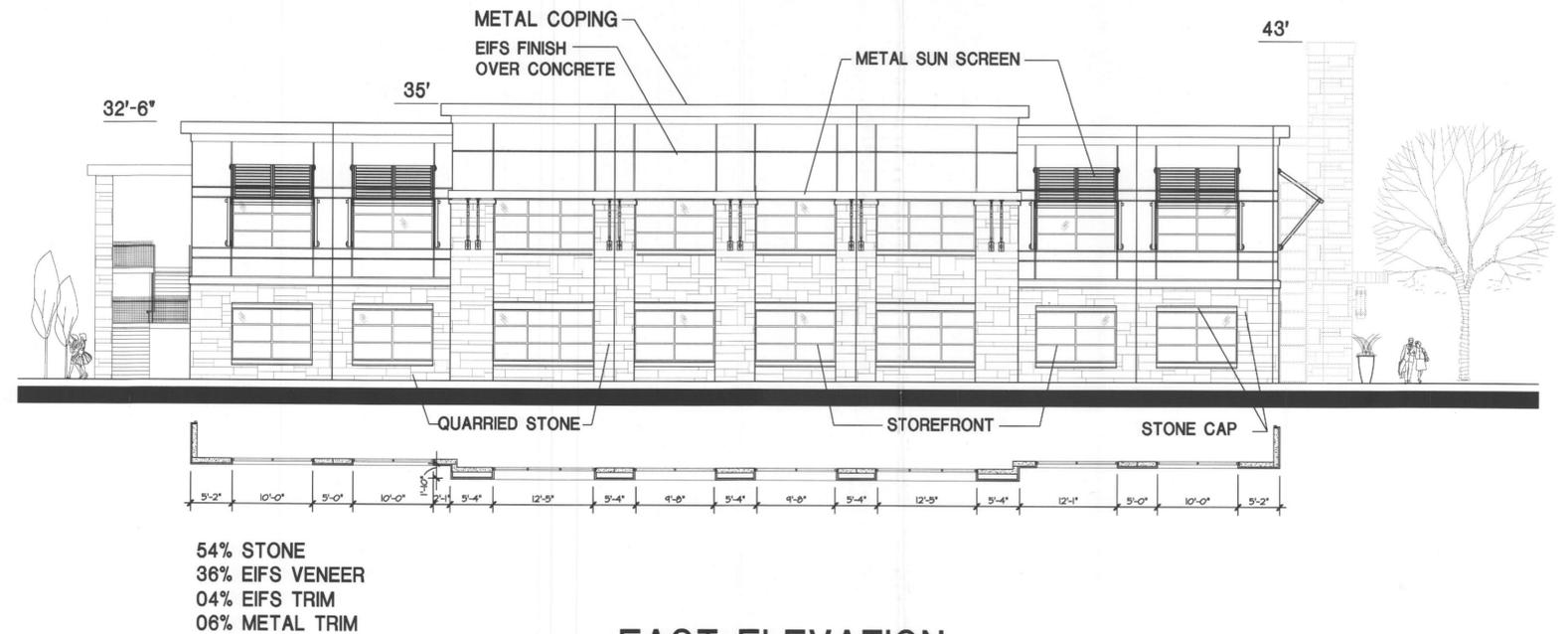
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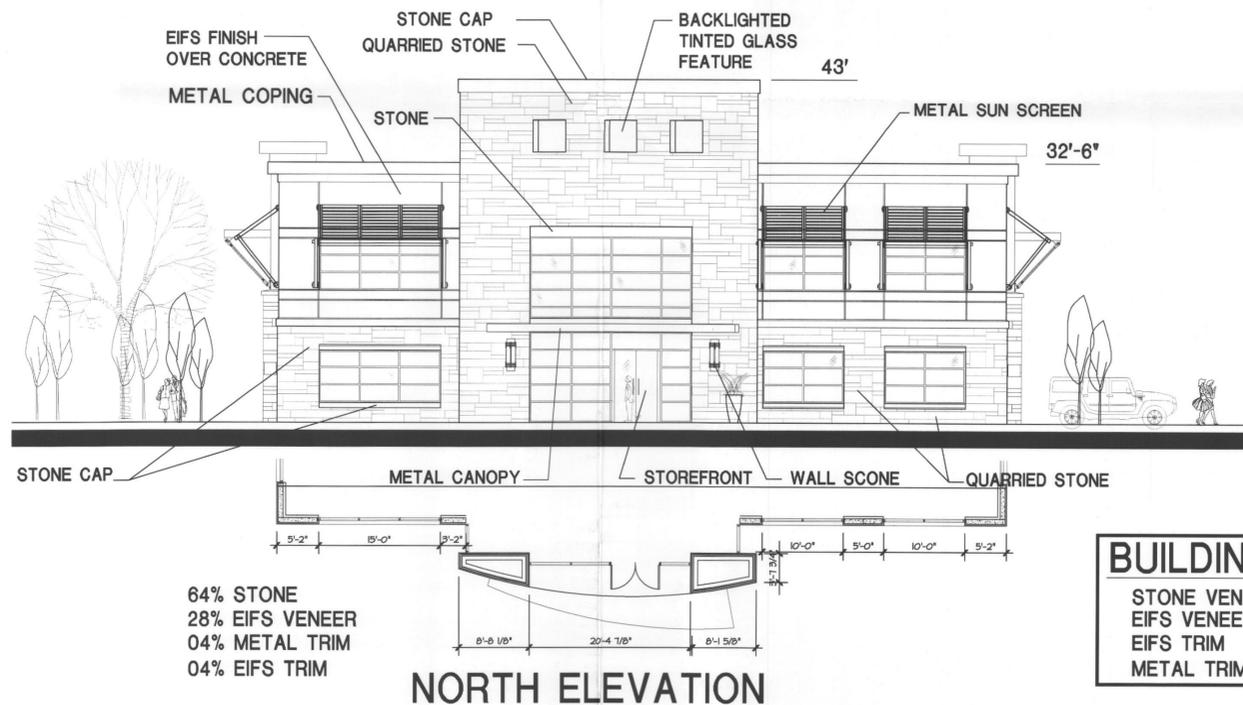
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**SOUTH ELEVATION**

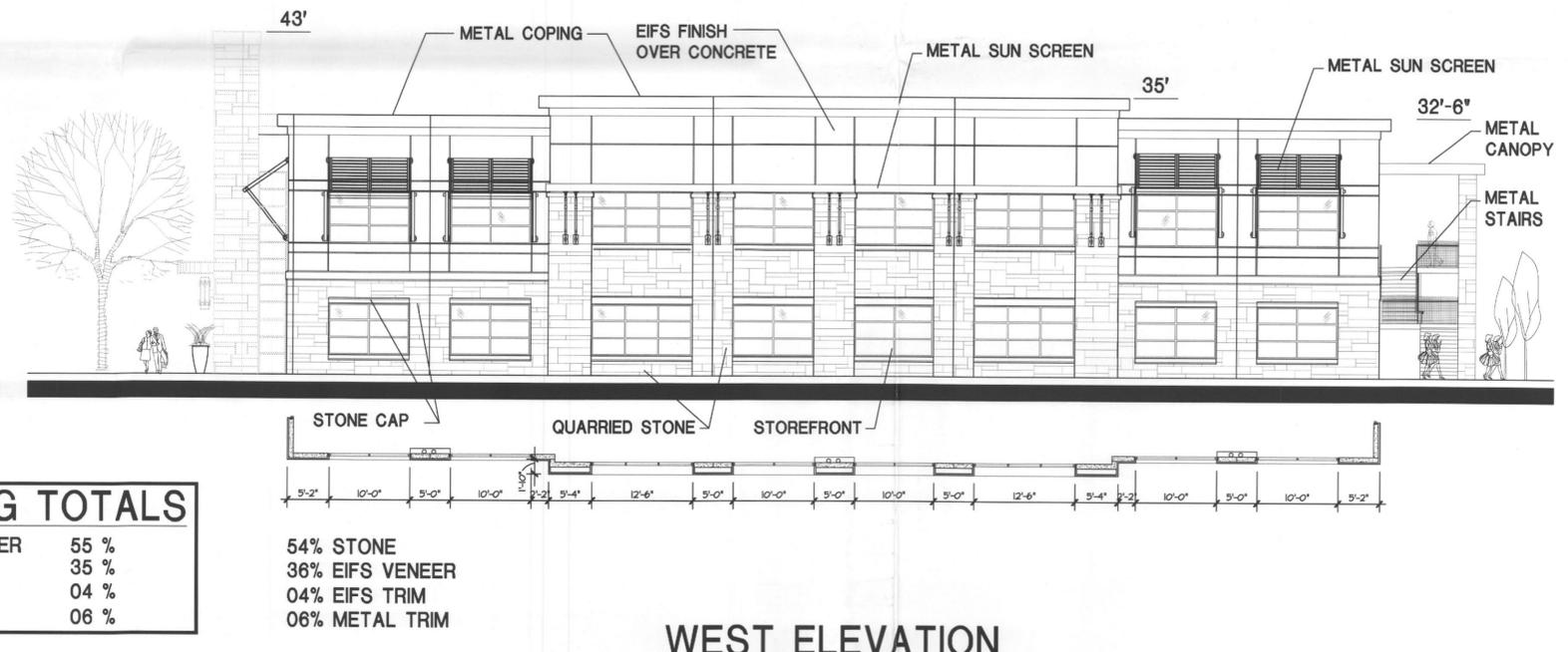


**EAST ELEVATION**



**NORTH ELEVATION**

BUILDING TOTALS	
STONE VENEER	55 %
EIFS VENEER	35 %
EIFS TRIM	04 %
METAL TRIM	06 %



**WEST ELEVATION**

**OFFICE BUILDING**

**ROCKWALL, TX  
LONE STAR COMPANIES**

**EL-07**

SCALE: 3/32"=1'-0" ■ JOB#: 29115 ■ ISSUE DATE: 01/07/10  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

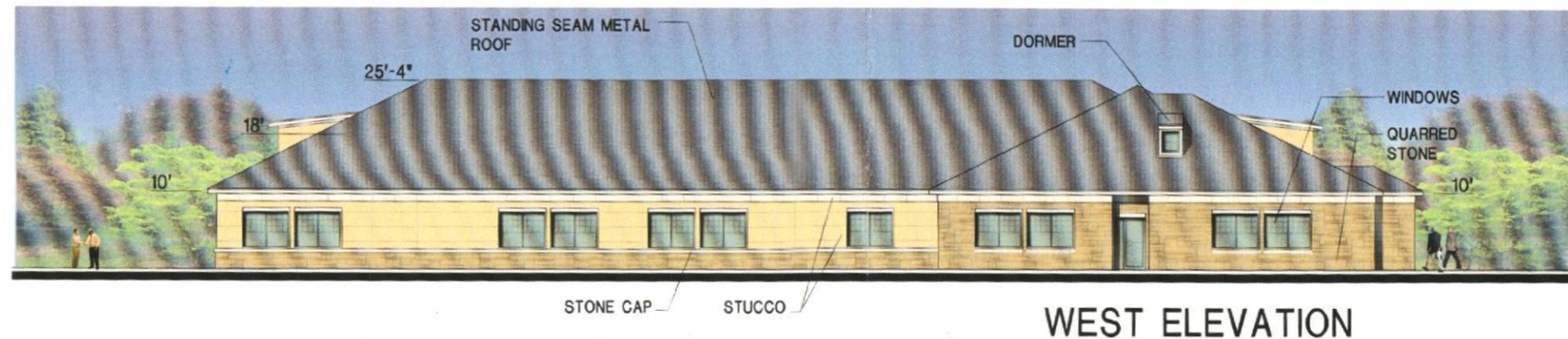
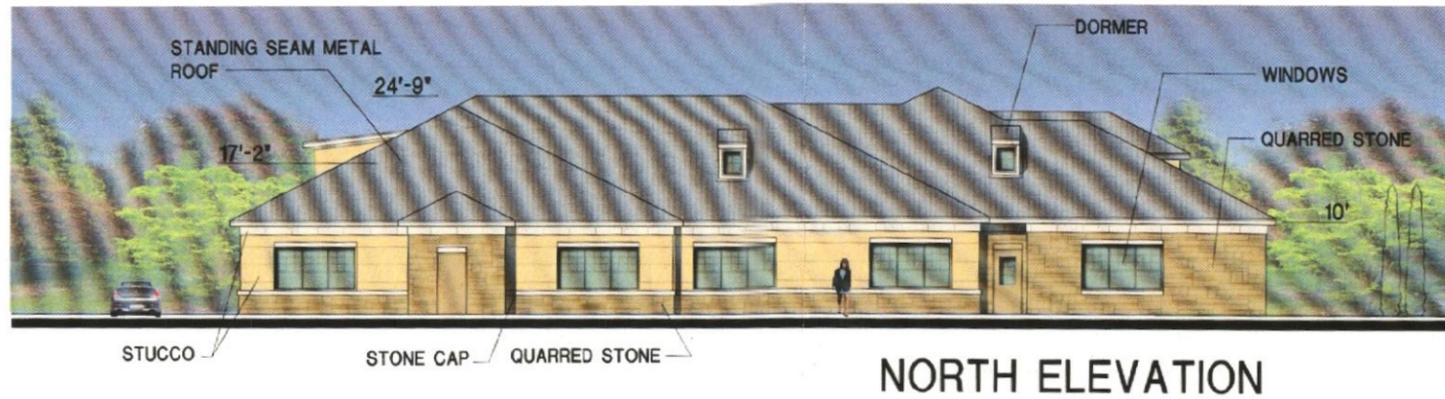
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BUILDING TOTALS	
STONE VENEER	53 %
STUCCO	39 %
WOOD TRIM	08 %

**ROCKWALL DAY SCHOOL**

ROCKWALL, TX  
**LONE STAR COMPANIES**

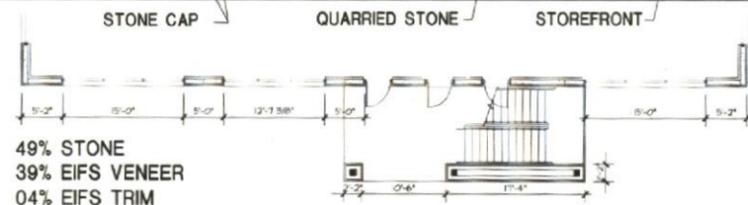
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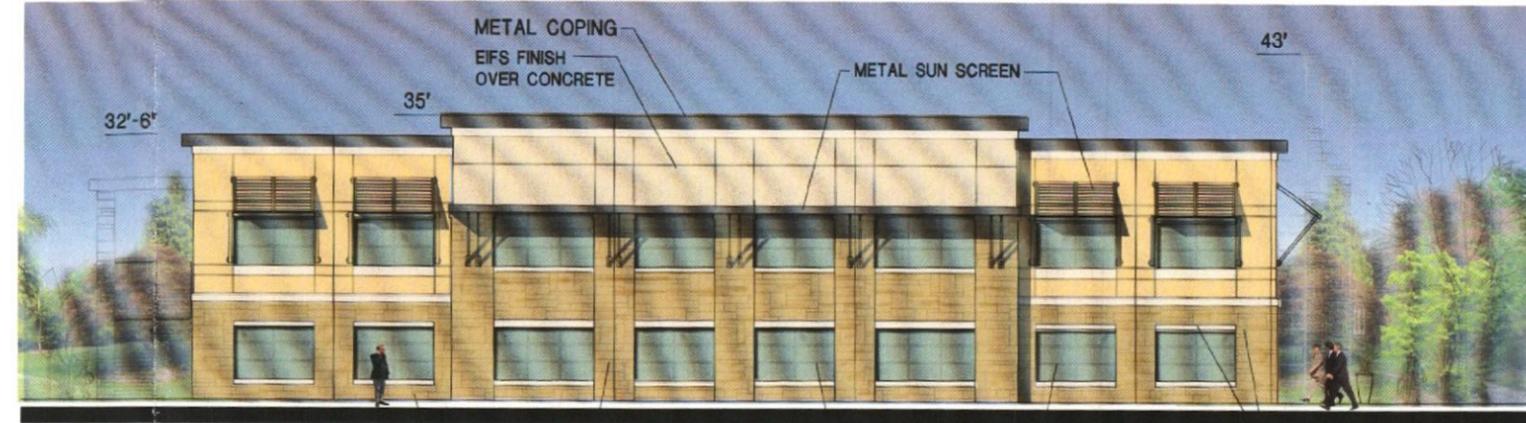


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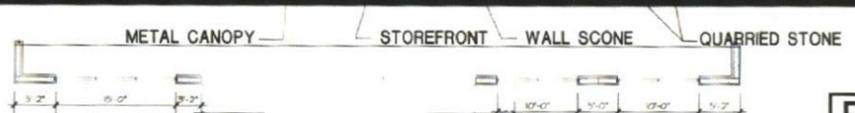
49% STONE  
39% EIFS VENEER  
04% EIFS TRIM  
08% METAL TRIM

**SOUTH ELEVATION**



54% STONE  
36% EIFS VENEER  
04% EIFS TRIM  
06% METAL TRIM

**EAST ELEVATION**



64% STONE  
28% EIFS VENEER  
04% METAL TRIM  
04% EIFS TRIM

**NORTH ELEVATION**



54% STONE  
36% EIFS VENEER  
04% EIFS TRIM  
06% METAL TRIM

**WEST ELEVATION**

BUILDING TOTALS	
STONE VENEER	55 %
EIFS VENEER	35 %
EIFS TRIM	04 %
METAL TRIM	06 %

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**OFFICE BUILDING**

**ROCKWALL, TX  
LONE STAR COMPANIES**

**EL-07**

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STANDING SEAM METAL ROOF

FRONT- NORTH

6" LAP  
HARDIPLANK SIDING

PAINTED WOOD COLUMNS

STONE VENEER

HARDIPANEL SIDING

2009 011

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