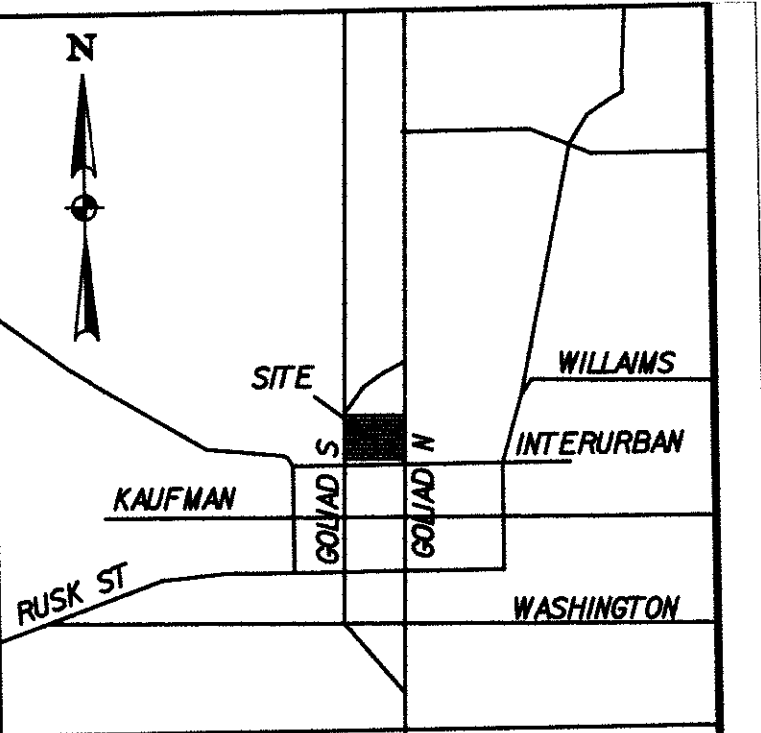




LINE LEGEND:

----	PROPERTY LINE
▶	DRAINAGE FLOW
----	PROPOSED WATER LINE
----	ROAD CENTER LINE
----	PROPOSED STORM SEWER
----	PROPOSED STREET
-610-	EXISTING CONTOUR LINE
-610-	PROPOSED CONTOUR LINE
----	BUILDING SETBACK LINE
----	DRAINAGE EASEMENT
----	DRAINAGE DIVIDE LINE
----	ROW / LOT LINE
----	PROPOSED FENCE



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ENGINEER:
HELMBERGER ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLIE, TEXAS 75098
MR. STEPHEN A. HELMBERGER, P.E.
(972) 442-7459



④ WEST ELEVATION
SCALE: 1/8" = 1'-0"



③ SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



② NORTH ELEVATION
SCALE: 1/8" = 1'-0"



① EAST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
A	FIELD BRICK - ACME BRICK #1
B	CAST STONE WATER TABLE - DALLAS CAST STONE
C	8" WOOD LAP SIGHTING, PAINTED TAUPE
D	HARDIE BOARD SIDING & FASCIA, PAINTED WHITE
E	STANDING SEAM ROOF PANEL SYSTEM
F	PREFINISHED ALUMINUM FLASHING
G	ENTRY DOORS AS SELECTED
#	WINDOW TYPE NUMBER, REF: WINDOW SCHEDULE A701
H	EXTERIOR HOLLOW METAL DOOR & FRAME. PAINT
J	COMPOSITION ROOF, TYP
K	4"x6" GUTTER - PREFINISHED COLOR AS SELECTED
L	4"x 6" DOWNSPOUT - PREFINISHED, COLOR AS SELECTED, TIE INTO UG. SYSTEM (REF-CIVIL)
M	GABLE END, 8" DECOR. WOOD TRIM PAINTED WHITE
N	FLASHING, TYP
P	FRIEZE, 1 x BOARD TYP
Q	8" TRIM PAINTED WHITE

ISSUE: PERMIT REVIEW
JAN 26, 2017

SEPT 30, 2016

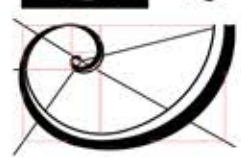
REGISTERED ARCHITECT
STATE OF TEXAS

SEPT 30, 2016

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PROPOSED OFFICE BUILDING
for
DIRKSE & ASSOCIATES
Rockwall, TX

CARROLL
architects



address
Site
Rockwall, TX 75032
(###) ###-####

750 E. Interstate 30
Suite 110
Rockwall, TX 75087
t: 972-732-6085
f: 972-732-8058

EXTERIOR
ELEVATIONS

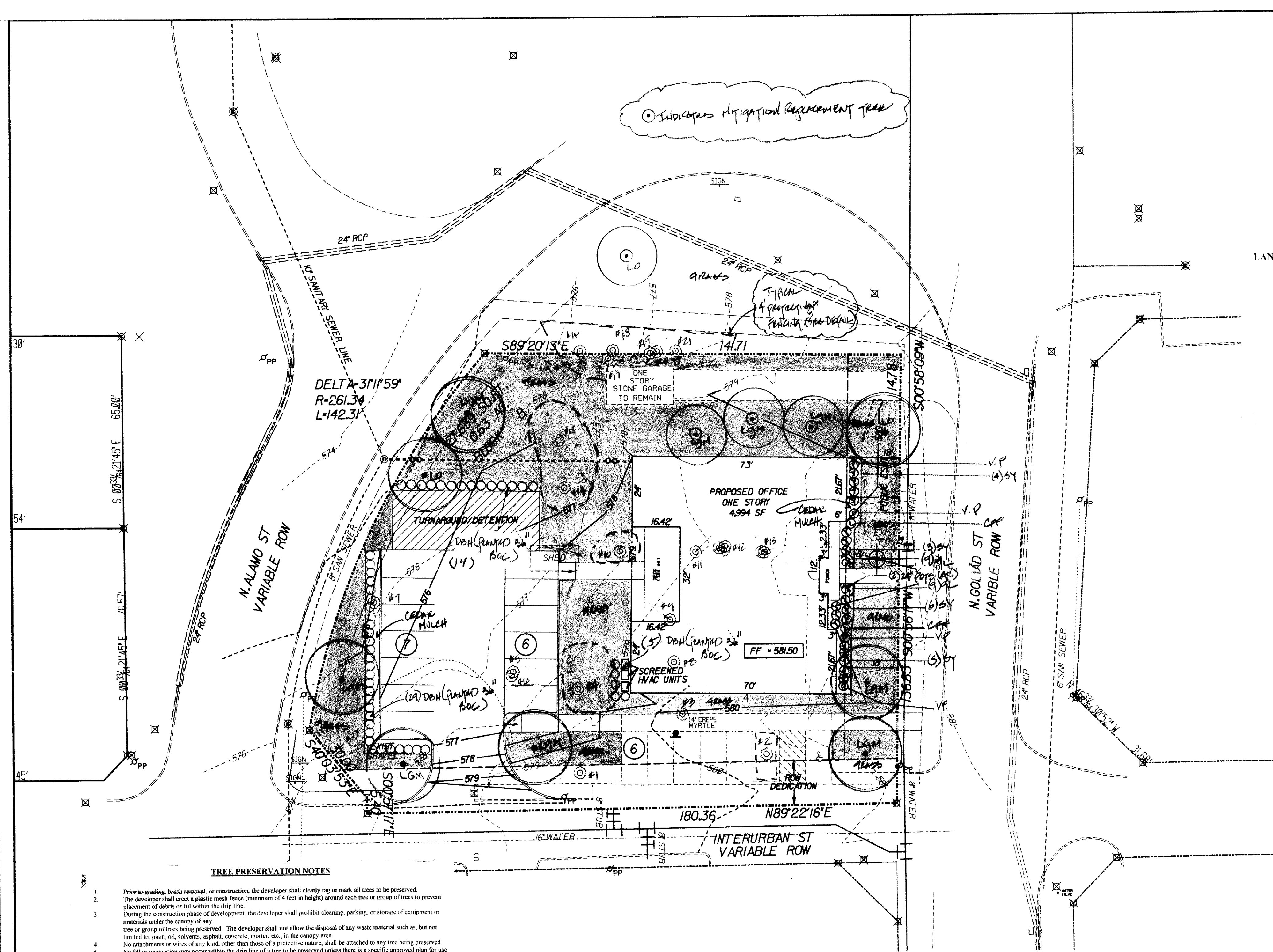
DATE: JAN 2017

SHEET NO: A501

PROJECT NO: 2016049

DRAWN BY: sk

CHECKED BY: JC



LANDSCAPE NOTES:

With the exception of drainage areas, all disturbed grass areas are to be solid sod Palisades Zoysia grass. Grass in detention ponds and flow lines is to be solid sod Bermuda grass.

Grass and bed areas are to be separated by 1"x6" plastic-wood edging.

All trees & shrubs are to be planted minimum of 5' from impermeable surfaces & utility lines.

Contractor to verify plant material quantities and notify owner of any conflicts.

Bed preparation shall consist of incorporating one 4 cubic foot bale of spagnum peat moss and one 3 cubic foot bag of landscapers mix per 75 sq. ft. into the top six inches of existing soil.

All landscape areas shall be watered by a fully automatic irrigation system meeting the minimum standards of the American Society of Irrigation Consultants, and the current building code(s) for the City of Rockwall.

All plant material shall meet American Nursery Standards for height and width in each container size. With the exception of ground cover beds, all plant material shall be mulched with 2" of cedar mulch (minimum).

Trees shall have a root ball of a minimum of 10 inches of diameter for each inch of caliper.

Contractor shall be responsible for locating all utilities and obtaining permits as required by City.

The property owner, his successors, assigns or a designated Homeowners Association (H.O.A.) agrees to: 1) maintain all common areas and buffer yards, 2) keep all required landscaped areas maintained in a weed free, trash free condition, 3) is responsible for maintaining a temporary irrigation system as long as necessary in order to transition plants over to natural sources. Any plant materials that die in transition, for any reason, shall be replaced in accordance with Section 13-2-14, Maintenance, and 4) replace any dead plant material within 90 days.

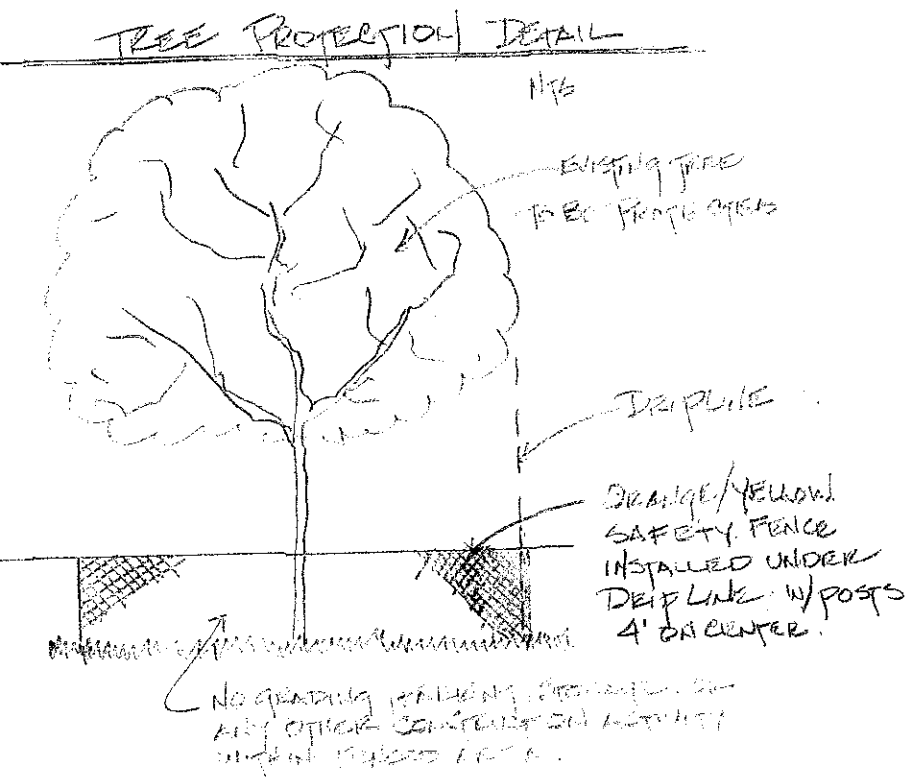
Trees and shrubs are to be a minimum of 2.5 feet from all impermeable surfaces and 5' from utility lines.

Streetscape:		
N. Goliad St. (136.5 l.f. excluding drives and access)		3 trees
Required 1 tree per 50 linear foot (136.5/50=2.7)		3 trees
Provided		
N. Alamo St. (145 l.f. excluding drives and access)		3 trees
Required 1 tree per 50 linear foot (145/50=2.9)		3 trees
Provided		

Parking Lot Landscaping:
Trees - no required parking space further than 80' from tree
Parking Lot Screening Provided

TREE PRESERVATION NOTES

- Prior to grading, brush removal, or construction, the developer shall clearly tag and mark all trees to be preserved.
 - The developer shall erect a plastic mesh fence (minimum of 4 feet in height) around each tree or group of trees to prevent placement of debris or fill within the drip line.
 - During the construction phase of development, the developer shall prohibit cleaning, parking, or storage of equipment or materials under the canopy of any tree or group of trees being preserved. The developer shall not allow the disposal of any waste material such as, but not limited to, paint, oil, solvents, asphalt, concrete, mortar, etc., in the canopy area.
 - No attachments or wires of any kind, other than those of a protective nature, shall be attached to any tree being preserved.
 - No fill or excavation may occur within the drip line of a tree to be preserved unless there is a specific approved plan for use of fine wells or retaining walls.
- Major changes of grade (six (6) inches or greater) will require additional measures to maintain proper oxygen and water exchange with the roots. In addition, the developer should adhere to the following guidelines to protect the trees to be preserved:
- With major grade changes, a reinforced retaining wall or tree well of a design approved by the City should be constructed around the tree no closer than half the distance between the trunk and the drip line. The retaining wall should be constructed so as to maintain the existing grades around a tree or group of trees.
 - At no time should a wall, pavement, or porous pavement be placed closer than five (5) feet or one (1) foot for every two (2) inches in caliper, whichever is greater, to the trunk of the tree.
 - Root pruning may be necessary when the critical root zone is to be disturbed.
 - If a patio, sidewalk, drive, parking lot, or other paved surface must be placed within the drip line of an existing tree, material such as a



TREE #	TREE SPECIES	CALIPER (INCHES)	REMOVED (Y/N)	MITIGATION INCHES REMOVED	CONDITION OF TREE / COMMENTS
1	Hackberry	13	N	0	
2	Mulberry	22	N	0	
3	Crape Myrtle	11	Y	0	No mitigation required for species
4	Pecan	20	N	0	
5	Hackberry	6.5	Y	0	Exempt by species size
6	Hackberry	10.9	Y	0	Exempt by species size
7	Hackberry	10.5	Y	0	Exempt by species size
8	Crape Myrtle	5.5	Y	0	No mitigation required for species
9	Crape Myrtle	14	Y	0	No mitigation required for species
10	Hackberry	11	N	0	
11	Hackberry	12	Y	6	(50% due to species)
12	Hackberry	24	Y	0	Poor Condition Cavities Dead Branches
13	Hackberry	17	Y	8.5	(50% due to species)
14	Pecan	24	N	0	
15	Pecan	29	N	0	
16	Hackberry	9	N	0	
17	Red Bud	9	N	0	Poor Condition 1/2 Dead
18	Hackberry	9	N	0	
19	American Elm	13	N	0	
20	Red Bud	10	N	0	Poor Condition 1/2 Dead
21	Hackberry	7	N	0	
TOTAL		287.4		14.5	

* Tree Credit for Pecans - 24.29/20 inches (73 inches total) (20% of 14.5= 2.9 inches)
Mitigation Inches Require = 11.6

ZONING: DT - DOWNTOWN DISTRICT

PARKING REQUIREMENTS:
USE: OFFICE 1 SPACE PER 300 SF
4994 SF/300 = 17 SPACES
REQUIRED PARKING = 17 SPACES
PARKING PROVIDED: 19 SPACES
HANDICAP PARKING REQUIRED: 1 SPACE
HANDICAP PARKING PROVIDED: 1 SPACE

PLANT #	PLANT NAME	SIZE	SPACING	HEIGHT	WIDTH	QUANTITY
DBH	Dwarf Burford Holly (Ilex cornuta burfordi nana)	3 gal	36"	18"	12"	48
VP	Variegated Pittosporum (Pittosporum tobira variegata)	3 gal	36"	24"	16"	9
SY	Spreading Yew (Taxus cuspidata)	3 gal	36"	10"	14"	18
CF	Chinese Fringe Flower (Loropetalum 'Purple Diamond')	3 gal	36"	14"	14"	2
GL	Giant Linopoe (Linopoe Gigita)	1 gal	12"	8"	8"	18
AC	Annual Color	4" pot	Varies	varies	varies	12
LO	Live Oak (Quercus virginiana)	3" cal	All	12'	4'	3
LGM	Little Gem Magnolia (Magnolia grandiflora Little Gem)	3" cal	All	8'	3'	9
	Plastic Pots	24"				2

(#) - INDICATES QUANTITY OF PLANT MATERIAL All - AS INDICATED

OWNER:
DIRKSE AND ASSOCIATES, LTD
3077 NORTH GOLIAD
ROCKWALL, TEXAS 75087
MR. RICK DIRKSE
(972) 771-1040

ENGINEER:
HELMBERGER ASSOCIATES, INC.
1525 BOZMAN ROAD
WYLIE, TEXAS 75098
MR. STEPHEN A. HELMBERGER, P.E.
(972) 442-7459

"CASE NO. SP2017-010"

TREESCAPE/LANDSCAPE PLAN

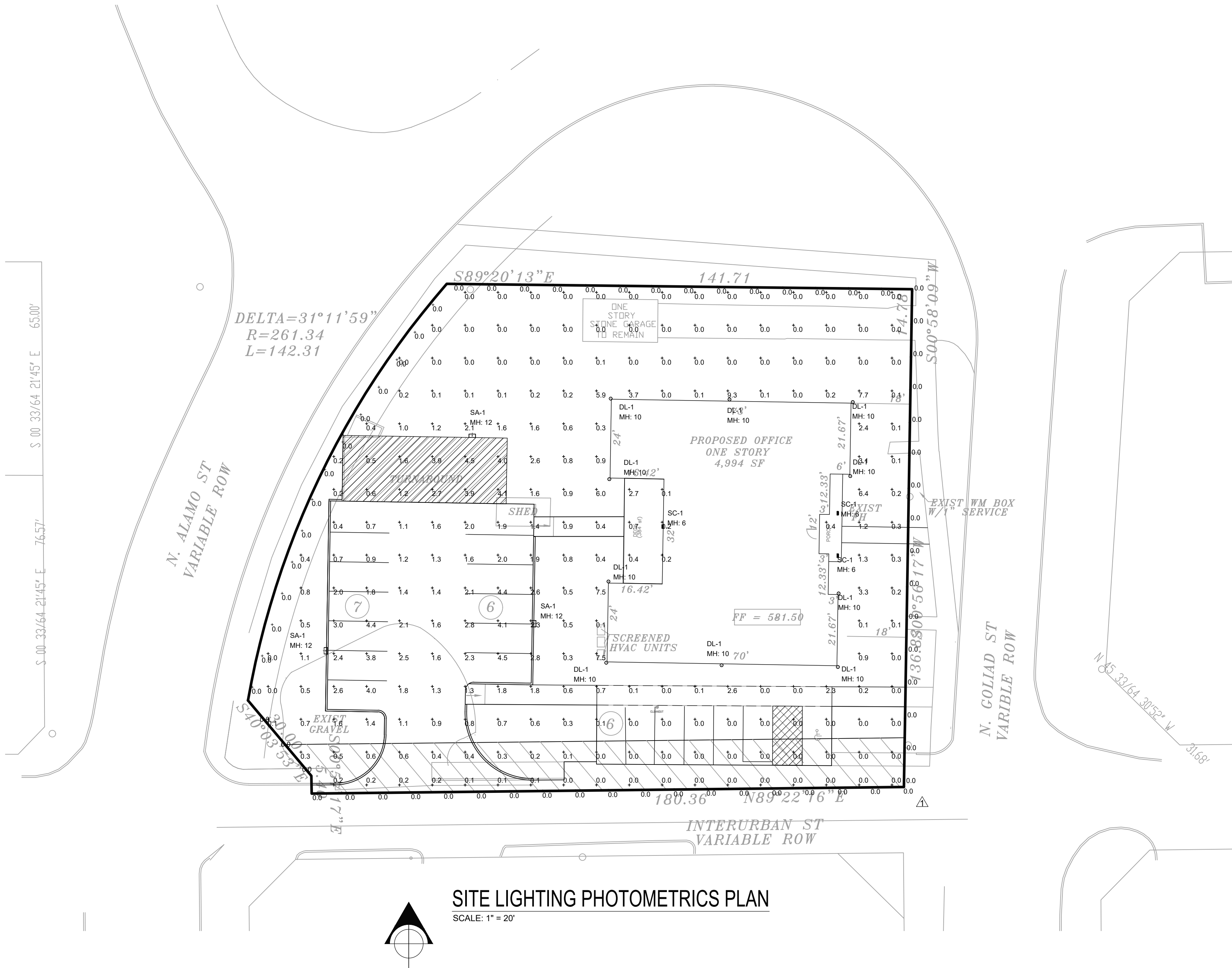
LOT 1 BLOCK A - DIRKSE ADDITION

DIRKSE AND ASSOCIATES, LTD

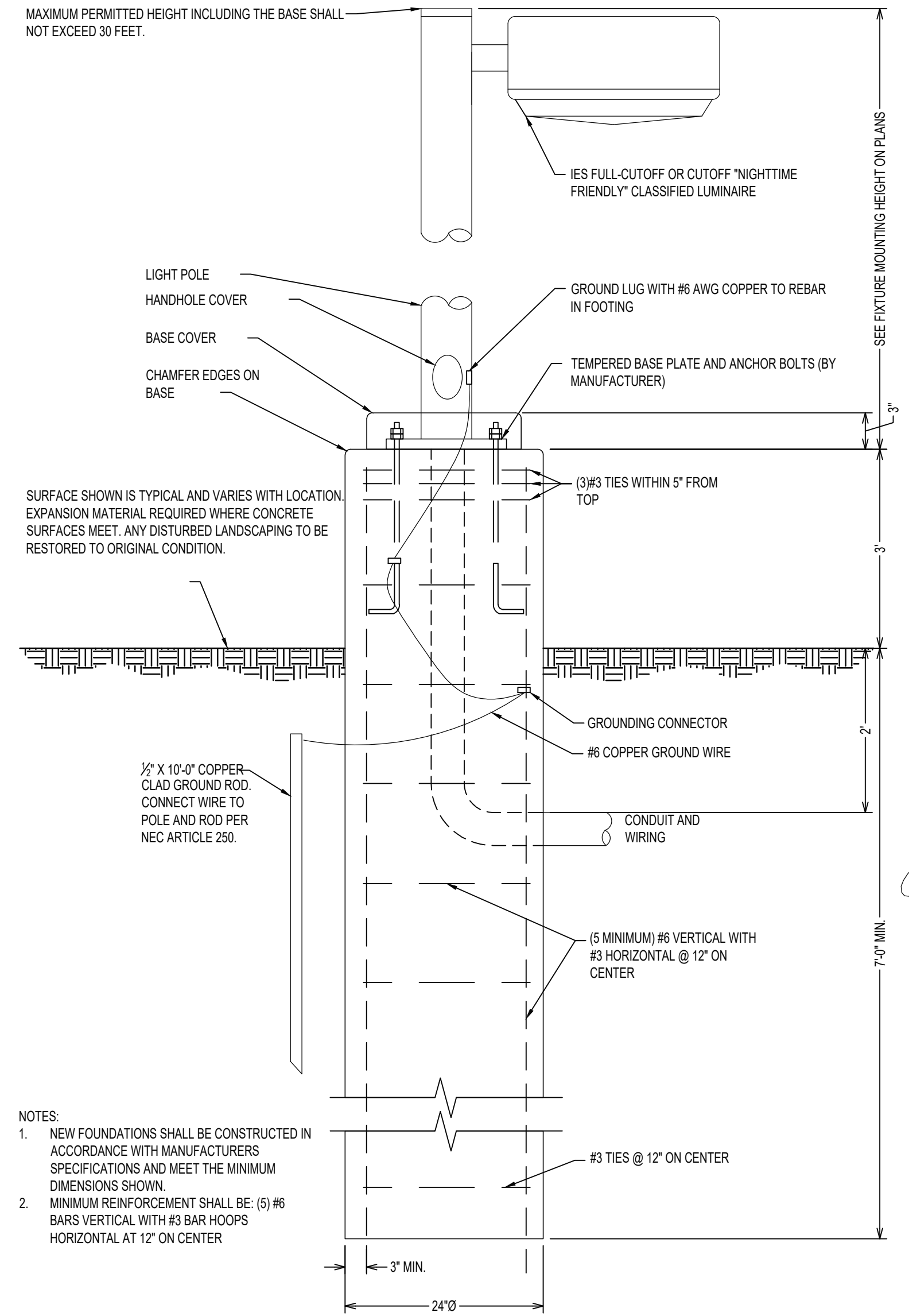
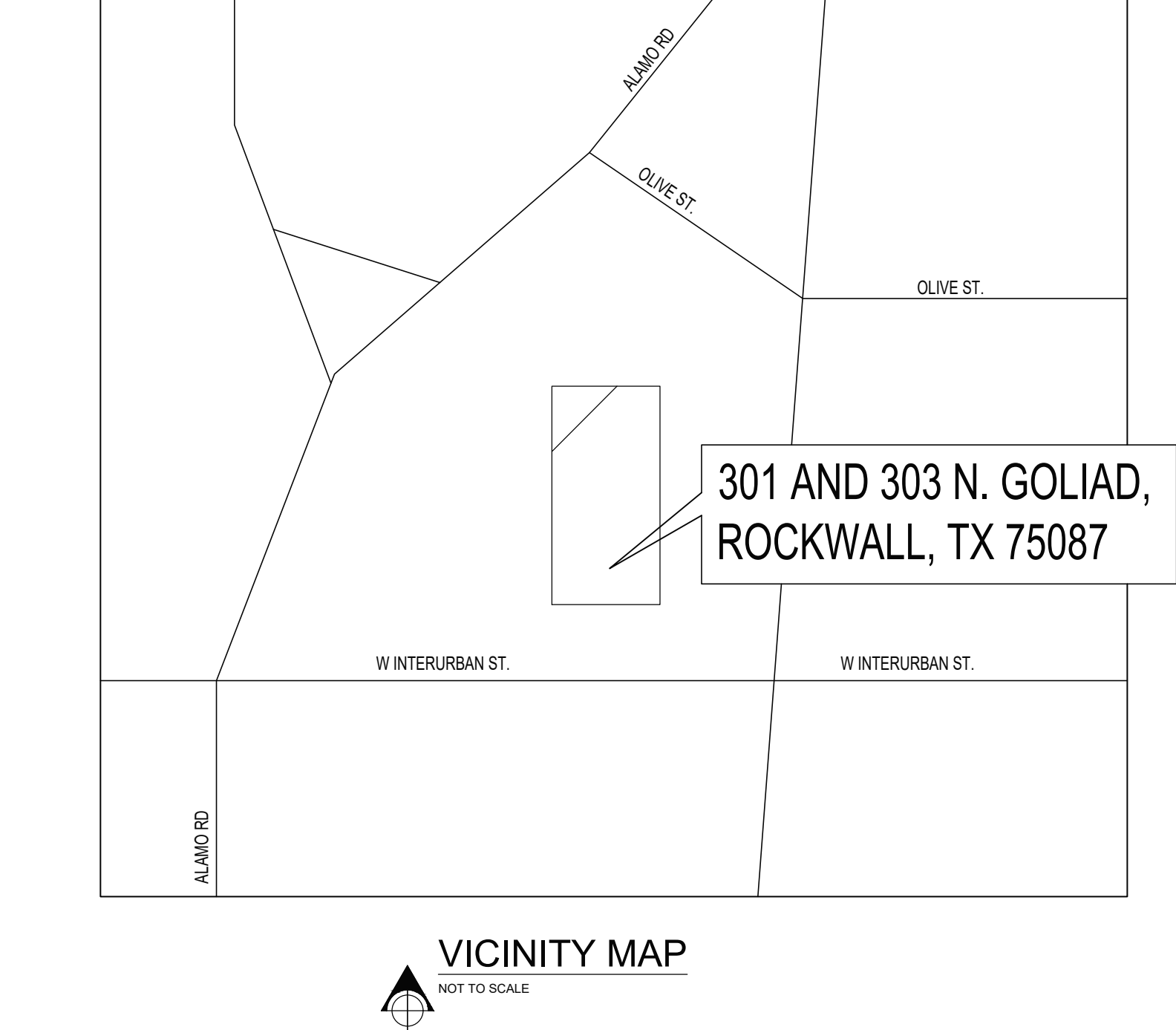
CITY OF ROCKWALL, TEXAS

SHARP LANDSCAPES
1129 HUNTINGTON DR.
RICHARDSON, TEXAS 75080 (972.978.6172)

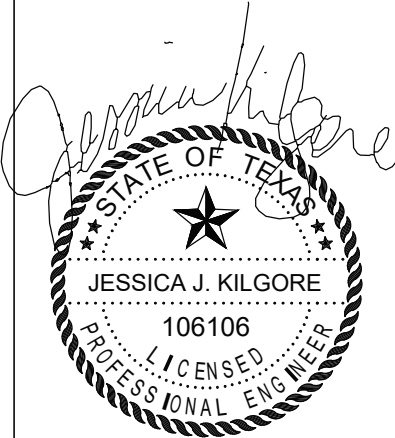
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HELM.	CADD	FEB 2017	1"=20'	LAND	1709	L1



Luminaire Schedule											
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Mounting Height (MH)	Lum. Watts	Arr. Watts	Total Watts	[MANUFAC]
	3	SA-1	SINGLE	N.A.	0.850	EANB_B4750	12	58	58	174	GE LIGHTING
	10	DL-1	SINGLE	N.A.	0.290	R6NC130K12D-C6322M-CLR	10	43.3	43.3	433	CONSERVATION TECHNOL
	3	SC-1	SINGLE	N.A.	0.850	WS085L30K12D15-S	6	15.7	15.7	47.1	CONTECH LIGHTING



1 TYPICAL LIGHT POLE AND BASE
NOT TO SCALE



The seal appearing on this document was authorized by Jessica J. Kilgore, P.E. 106106 on APRIL 24, 2017.

PROPOSED OFFICE BUILDING

301 & 303 GOLIAD STREET
ROCKWALL, TEXAS 75087

CONTACT NAME: RICK DIKSE, CFP, EA
CONTACT COMPANY: DIKSE AND ASSOCIATES
CONTACT PHONE: 972-771-1040

ISSUES

SHEET REVISIONS
CLIENT REVISIONS 06/08/2017

DESIGNED	MH
CHECKED	JKK
IBC	2015
IECC	2015
NEC	2014
SCALE	1" = 20'

PHOTOMETRIC SITE PLAN