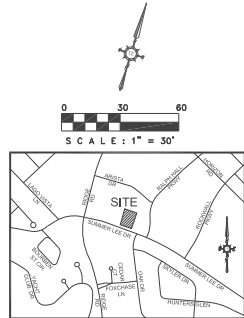


OFFICE BUILDING SITE DEVELOPMENT

1.082 ACRES OF LAND BEING LOT 6, BLOCK A OF TEMUNOVIC ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

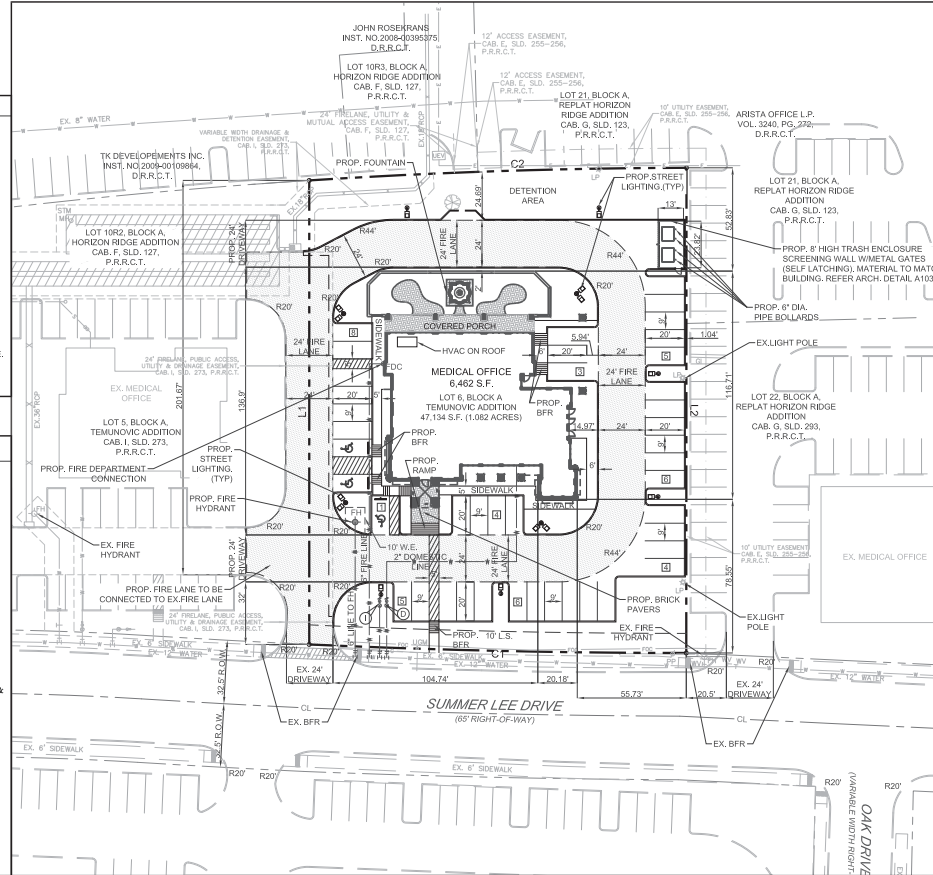


WATER METER & SANITARY SEWER SCHEDULE				
ID	TYPE	SIZE	NO.	SAN. SEW.
①	DOM.	2"	1	6"
②	IRR.	1"	1	N/A

LEGEND	
UTILITY EASEMENT	U.E.
SANITARY SEWER EASEMENT	S.S.E.
DRAINAGE EASEMENT	D.E.
WATERLINE EASEMENT	W.E.
VISIBILITY EASEMENT	V.E.
SIDEWALK EASEMENT	S.E.
ELECTRICAL EASEMENT	E.E.
CLEAN OUT	C.O.
GAS METER	GM
ELECTRICAL VAULT	EV
LIGHT POLE	LP
TRAFFIC SIGN	TS
ELECTRICAL TRANSFORMER	ET
SANITARY SEWER MANHOLE	SSMH
STORM SEWER MANHOLE	SSMMH
BUILDING SET BACK	B.S.
LANDSCAPE BUFFER	L.B.
PRESSURE REDUCING VALVE	PRV
FIRE DEPARTMENT CONNECTION	F.D.C.
PEDESTRIAN SIGHT & VISIBILITY EASEMENT	P.S.&V.E.
BARRIER FREE RAMP	BFR

LEGENDS

<ul style="list-style-type: none"> PROPERTY LINE EXISTING WATER LANE PROPOSED WATER LANE EX. SANITARY SEWER LINE PROP. SANITARY SEWER LINE PROPOSED STORM SEWER PROPOSED FIRE HYDRANT PROPOSED FIRE CONNECTION PROPOSED WATER METERS PROPOSED BACK FLOW PREVENTER P.S.&V.E. U.E. W.E. S.S.E. D.E. F.A.W.E. V.E. PROPOSED FIRE LANE FRONT SET BACK LANDSCAPE SET BACK BARRIER FREE RAMP EXISTING STORM SEWER 	<ul style="list-style-type: none"> EXISTING PAVEMENT/CURB EXISTING SEWER MANHOLE PROPOSED HANDICAP PARKING SPACE EXISTING POWER POLE EXISTING STORM INLETS EXISTING FIRE HYDRANT EXISTING WATER VALVE PROPOSED BOLLARDS PROPOSED CAR STACKING PROP. 6" HIGH WROUGHT IRON FENCE EXISTING TREE TRANSFORMER F.A.U.E. GREASE TRAP SAMPLING WELL SINGLE CLEAN OUT DOUBLE CLEAN OUT MONUMENT/POLE SIGN PROPOSED WHEEL STOP PROPOSED HANDICAP SIGN BRICK PAVERS/STAMPED CONCRETE
---	--



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.
- A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
- THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
- WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
- ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS," VOL. 29, SUBPART P, PG. 128-137, AND ANY AMENDMENTS THERETO.
- ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
- THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
- ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
- THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

SITE DATA SUMMARY TABLE

PHYSICAL ADDRESS	TO BE DETERMINED
GROSS SITE AREA	1.082 ACRES (47,134 S.F.)
NET AREA	1.082 ACRES (47,134 S.F.)
ZONING	PD-9
CURRENT USE	VACANT
PROPOSED USE	MEDICAL OFFICE
LOT COVERAGE DATA	
BUILDING COVERAGE	6,454 S.F. (13.69%)
IMPERVIOUS COVERAGE	35,199 S.F. (74.68%)
PERVIOUS COVERAGE	11,935 S.F. (25.32%)
PARKING SUMMARY	
PARKING REQUIREMENT	REQUIRED PROVIDED
1 SPACE PER 200 GFA	33 43
TOTAL PARKING	43 43
BUILDING DATA	
BUILDING	1
PEAK HEIGHT	30'-0"
TOTAL SQUARE FOOTAGE	6,454 S.F.

NOTE

- ALL EXTERIOR SIGNAGE REQUIRES SUBMITTAL AND APPROVAL OF SEPARATE BUILDING PERMIT THROUGH THE BUILDING INSPECTION DEPARTMENT.
- THE PROPOSED BUILDING IS EQUIPPED WITH AUTOMATIC FIRE SPRINKLER SYSTEM.

OWNER/DEVELOPER 1305 SUMMER LEE LLC 1020 W. RALPH PKWY, #101 ROCKWALL, TX 75087 CONTACT: MICHAEL FISHER TEL: (972) 771-4000	ENGINEER TRIANGLE ENGINEERING LLC 1333 McDERMOTT ROAD STE 200 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL TEL: (214) 609-0271	SURVEYOR ASW SURVEYORS INC. P.O. BOX 870029 MESQUITE, TEXAS 75157 CONTACT: JOHN TURNER P.L.S. TEL: (972) 881-4975	ARCHITECT THE STENS AND GROUP 5151 BENT TREE FOREST DR, SUITE 560 DALLAS, TEXAS 75248 CONTACT: ROBERT STENS AND TEL: (214) 680-1287
--	---	--	--

CURVE DATA TABLE

NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	192.85'	4243.50'	02°36'14"	S 71°44'41" E	192.83'
C2	193.04'	3074.27'	03°35'52"	N 74°57'15" W	193.01'

BOUNDARY LINE DATA

LINE	BEARING	DISTANCE
L1	N 16°57'35" E	237.27'
L2	S 16°59'12" W	248.08'

NO.	DATE	DESCRIPTION	BY
1	07/13/2017	1st CITY SUBMITTAL	KP
2	08/16/2017	PER CITY COMMENTS	



CASE # SP2017-023

SITE PLAN

OFFICE BUILDING

1310 SUMMER LEE DRIVE

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

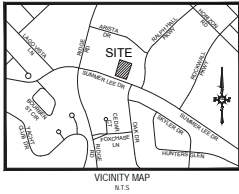
TRIANGLE ENGINEERING LLC

T: 214.680.5771 F: 469.203.6759 E: info@triangle-engineering.com
W: triangle-engineering.com I: 1333 McDermott Drive, Suite 200, Allen, TX 75013

Planning | CM Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	DS	07/04/17	018-17	SP

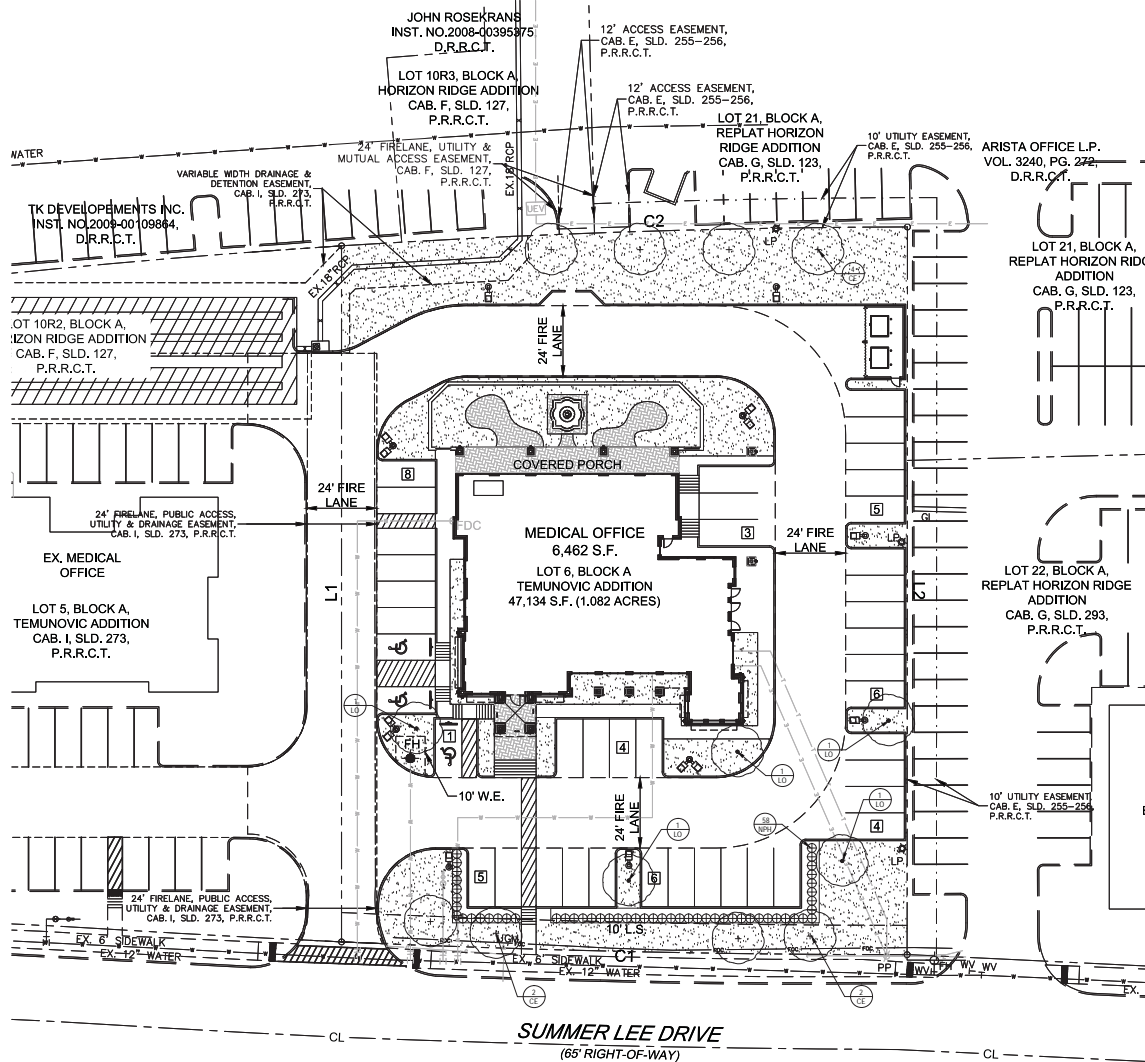
TX PE FIRM #11525



OFFICE BUILDING SITE DEVELOPMENT

1.082 ACRES OF LAND BEING LOT 6, BLOCK A OF TEMUNOVIC ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

NOTE: "NO TREES SHALL BE WITHIN 5 FEET OF ANY UTILITY"



GENERAL LAWN NOTES

- ONE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDED AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TONS, SUBSTANCES, ROCKS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, BRIGATION TRENCHES COMPLETELY SETTLED, AND FRESH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPILLS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
- CONTRACTOR SHALL PROVIDE (1) ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- THE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED, LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDED AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. PRODUCE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL JOINTS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO, MOOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEED WITH WINTER RYEGRASS AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT MATERIAL SCHEDULE

TABLE TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CE	8	Cedar Elm	Ulmus crassifolia	3" cal.	8' B, 12' H, 5' spread min., 5' clear trunk
LO	5	Cow Oak	Quercus virginiana	3" cal.	8' B, 12' H, 4' spread min., 5' clear trunk
SHRUBS					
NPH	62	Needlepoint Holly	Ilex cornuta 'Needlepoint'	5 gal.	container, 24" H, 20" spread
GROUNDCOVERS					
	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
	1419	Bermudagrass	Cynodon dactylon 'W'		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

CURVE DATA TABLE

NO.	LENGTH	RADIUS	DELTA	CH BEARING	CH LENGTH
C1	192.85	4243.50	02°36'14"	S 71°44'41" E	192.83
C2	193.04	3074.27	03°35'52"	N 74°57'15" W	193.01

BOUNDARY LINE DATA

LINE	BEARING	DISTANCE
L1	N 16°57'35" E	237.27
L2	S 16°59'12" W	248.06

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% BRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (site area 47,134 s.f.)

Re: lawns: 15% - site area to be landscaped

Re: lawns: 7,070 s.f. (15%) 11,068 s.f.

FRONT YARD REQUIREMENTS

Re: lawns: 50% - of re-lawned landscape must be located in front yard

Re: lawns: 3,328 s.f. (50%) 4,435 s.f.

STREET REQUIREMENTS

Re: lawns: (1) tree 3" cal. per 50 L.F. of frontage

Re: lawns: (1) tree 3" cal. per 50 L.F. of frontage

SUMMER LEE DRIVE (193 L.F.)

Re: lawns: (1) tree 3" cal. per 20 parking spaces

Re: lawns: (1) tree 3" cal. per 20 parking spaces

PARKING LOT (43 spaces)

Re: lawns: (1) tree 3" cal. per 20 parking spaces

Re: lawns: (1) tree 3" cal. per 20 parking spaces



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1333 W. MACDONALD DR.
ALLEN, TEXAS 75013
(409) 369-4448
CHRIS@STUDIOGREENSPOT.COM



OFFICE BUILDING
1320 SUMMER LEE DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

ISSUE:
FOR CONSTRUCTION 07.13.2017
CITY COMMENTS: 08.09.2017

DATE:
08.09.2017

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:
L.2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Foot-Candle	+	1.9	10.0	0.0	N/A	N/A

Schedule						
Symbol	Label	QTY	Catalog Number	Description	Lamp	Notes
L1	35		GEO-91-40W	CUSTOM WALL MOUNTED, ALUMINUM HOUSING, WHITE (R) AGYRIC LENS	41 ALTA P/N1100-11" LED BURNERS	1 3000 1 40
S2	4		SACL-PS-41-64750-50-120	Ceiling aluminum housing / housing, clear specular aluminum reflectors, clear glass enclosure above flat black post-top mount	30 white LED with clear polycarbonate optic lens	1 9000 1 60.5
S1	6		GL18-4-10SLA-4875-48W-10	PHILIPS GULLWING LED GL18 WITH INTERNAL SHEETING	35 LEDGISE 3.1 LIGHT ARRAYS OF 18 LEDs (LUMEN T) DRIVEN AT 700MA	1 9350 1 105

24' FIRELANE, PUBLIC ACCESS, UTILITY & DRAINAGE EASEMENT, CAB. I, SLD. 273, P.R.R.C.T.

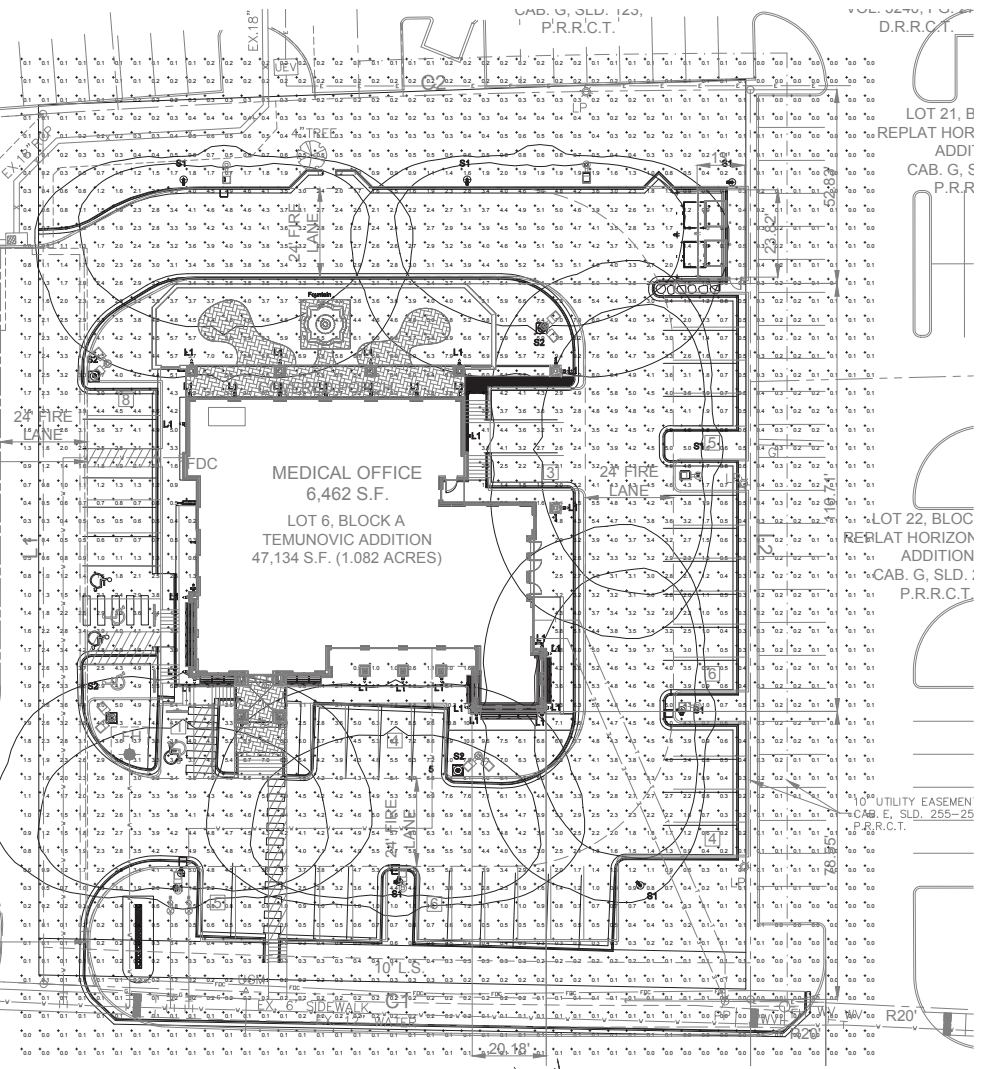
EX. MEDICAL OFFICE

LOT 5, BLOCK A, TEMUNOVIC ADDITION
CAB. I, SLD. 273, P.R.R.C.T.

24' FIRELANE, PUBLIC ACCESS, UTILITY & DRAINAGE EASEMENT, CAB. I, SLD. 273, P.R.R.C.T.

EX. 6' SIDEWALK
EX. 12" WATER

25' ROW



Site Photometric Plan

1"=1'-0"



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY WILLIAM A. LEE, P.E. 80638 ON 8/9/17

URBAN ENGINEERING, INC.

2700 Hancock St.
Ph: 214-432-7788
Texas Eng. Firm F-7488

Dallas Texas 75225
info@uei-inc.com
Project: 17007.000

The Stensland Group

ARCHITECTURE INTERIORS PLANNING

214-680-1387 Ph. E-mail: robertstensland@mac.com

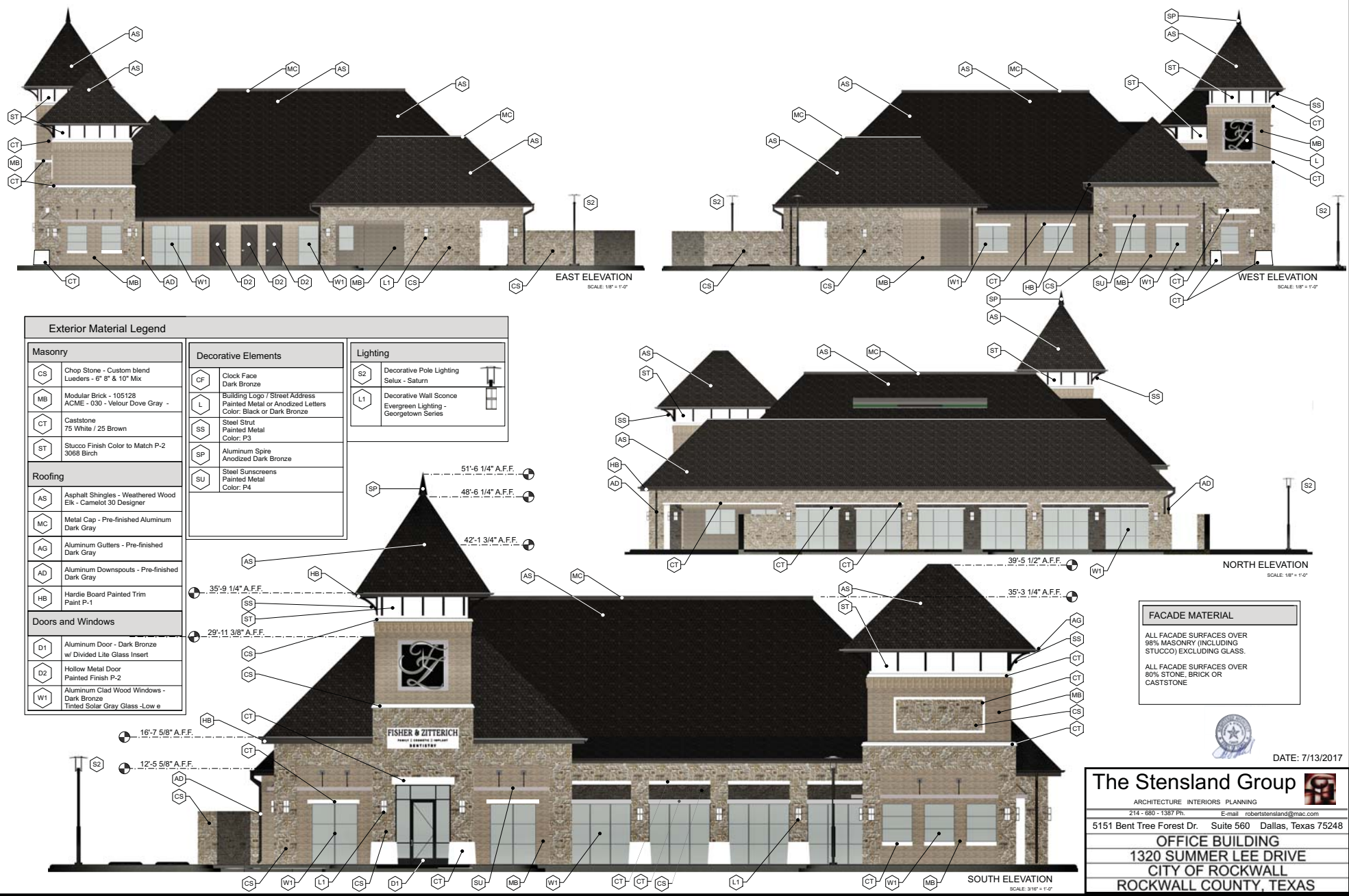
5151 Bent Tree Forest Dr. Suite 560 Dallas, Texas 75248

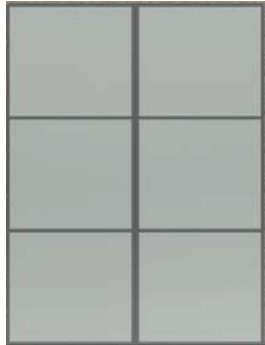
OFFICE BUILDING

1320 SUMMER LEE DRIVE

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS

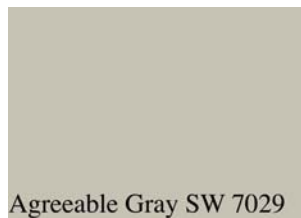




W1 - KOLBE
Alum Clad Wood
Windows
Color: Bronze



CF - Clock Face
Background - Dark Bronze



ST - Stucco
(Medium Texture)
Match SW 7029

Paint P-1, P-2, P4



HB - Hardie Board
Fascia Trim
SW 6073 Perfect Greige

Paint P-1, P-2, P4



D2 - Hollow Metal Doors
SU - Sun Screens and Supports
SW 6073 Perfect Greige

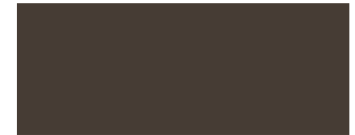
Paint P-3



SS - Steel Struits
SW 7041 Van Dyke Brown



AS - Asphalt Shingles
GAF - 30 - Weathered Wood



Rustic

AG - Aluminum Gutters
AD - Aluminum Downspout
MC - Metal Parapet Cap
Color: Match Rustic Kolbe
Metal Finish



S-2 Finish Match
Textured Bronze



L-1 Finish Textured Bronze
Lens - Frosted Acrylic



Tex. Bronze

DATE: 7/13/2017



The Stensland Group



ARCHITECTURE INTERIORS PLANNING

214 - 680 - 1387 Ph. E-mail robertstensland@mac.com

5151 Bent Tree Forest Dr. Suite 560 Dallas, Texas 75248

OFFICE BUILDING
1320 SUMMER LEE DRIVE
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS



CT - Caststone
Light Gray



MB - Modular Brick
ACME Brick - Dove Gray



CS - Chopped Stone
Lueders Custom Blend