

SITE SUMMARY TABLE

Address	3611 N. GOLIAD STREET
Project Name	FREDDY'S FROZEN CUSTARD
Zoning District	SR N, SR 205 OVERLAY DISTRICT
Proposed use	RESTAURANT WITH DRIVE THRU
Site Area	0.857 Acres 37,346 S.F.
Building Area	2,822 S.F. (TOTAL)
Building Height	20' 2" - 1 STORY
Lot Coverage	2,822/37,346 = 7.6%
Floor Area Ratio	2,822/37,346 = 1:07.6
Parking Required	2,822 SF (REST)/100 SF/SPC = 28 SPACES
Parking Provided	28
Parking Ratio	28/28 = 1.0
Parking Spacing	10' x 10' = 100 S.F.
Parking Area	2,822 S.F.
Impervious Area	30,568 / 37,346 SF = 81.9%
Permeous Area	6,778 / 37,346 SF = 18.1%

GENERAL LAWN NOTES

EROSION CONTROL AND SOIL PREPARATION
 THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING TOP SOIL AT THE CORRECT GRADES. CONTRACTOR TO FINE GRADE AREAS TO REACH FINAL GRADES. ALL AREAS ALL CONTOURS SHOULD ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES. WATER SHOULD BE DIRECTED TO NEAREST DRAINAGE CHANNELS OR TO NEAREST EXISTING DRAINAGE FACILITY SUCH AS UTILITY MANNING OR OPEN WEAVE TO BE USED WHERE AVAILABLE.
 ANY LOSS OF TOPSOIL OR GRASS DUE TO EROSION IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL IT IS 100% ESTABLISHED.
 CONTRACTOR TO REMOVE ANY ROCKS 3/4" AND LARGER, STICKS AND DEBRIS FROM INSTALLATION OF TOPSOIL AND SOIL.
 FOUR (4) OF TOPSOIL SHALL BE APPLIED TO AREAS DISTURBED BY CONSTRUCTION RECEIVING SOIL. TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL AS APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.

TOPSOIL SHALL BE FERTILE, NATURAL LOAM FREE OF ROCKS, WEEDS, BRUSH, CLAY LUMPS, ROOTS, TWIGS, LITTER AND ENVIRONMENTAL CONTAMINANTS.
 CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL UNTIL ACCEPTANCE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO: MOISTURE, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN VIGOROUS, HEALTHY CONDITION. SOIL SHALL BE REPLACED IF NECESSARY.

SOIL SOD

SOIL SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES. AT A MINIMUM THIS SHALL INCLUDE CURBS, WALKS, INLETS, MANHOLES AND PLANTING BED AREAS. SOIL SOD SHALL COVER OTHER AREAS COMPLETELY AS INDICATED BY PLAN.
 SOIL SOD SHALL BE STRONGLY ROOTED DROUGHT RESISTANT SOIL, NOT LESS THAN 2 YEARS OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES AND MACHINE CUT TO A THICKNESS OF 3/4" IN LAYERS. EXCLUDING TOP GROWTH AND TATCH. PROVIDE ONLY SOIL CAPABLE OF VIGOROUS GROWTH AND DEVELOPMENT WHEN PLANTED.

DO NOT INSTALL SOIL IF IT IS DORMANT OR GROUND IS FROZEN. LAY SOIL WITH TIGHT FITTING JOINTS, NO OVERLAPS WITH STAGGERED STRIPS TO OFFSET JOINTS.
 SOIL SHALL BE ROLLED TO CREATE A SMOOTH EVEN SURFACE. SOIL SHOULD BE WATERED THOROUGHLY DURING INSTALLATION PROCESS.
 SHOULD INSTALLATION OCCUR BETWEEN OCTOBER 1ST AND MARCH 1ST, SOIL SHALL INCLUDE AN OVER SEED OF ANNUAL RYE OR WINTER REGRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET FOR A GROWN-IN APPEARANCE. CONTRACTOR SHALL ENSURE CONFORMANCE TO THE 15.0 D OF TITLE 9 PART 103, HORTICULTURE COMMISSION CHAPTER 1.

HYDROMULCH

SCAFFY SURFACE TO A MINIMUM OF 2" DEPTH PRIOR TO THE IMPORT TOPSOIL APPLICATION. TOP SOIL SHALL BE PLACED 2" IN DEPTH IN ALL AREAS TO BE SEED. CONTRACTOR TO SUPPLY HIGH QUALITY IMPORTED TOPSOIL WITH INORGANIC AND ORGANIC CONTENT FROM A LOCAL SUPPLIER. IMPORTED TOPSOIL SHALL BE REASONABLY FREE OF CLAY LUMPS, COARSE SANDS, STONES, ROOTS AND OTHER FOREIGN DEBRIS.
 IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.

ALL SEED SHALL BE HIGH QUALITY, TREATED LAWN TYPE SEED AND IS FREE OF NOXIOUS GRASS SEEDS. THE SEED APPLICATION SHALL BE UNIFORMLY DISTRIBUTED ON THE AREAS INDICATED ON PLANS. HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF TWO POUNDS PER ONE THOUSAND SQUARE FEET.
 IF INSTALLATION OCCURS BETWEEN OCTOBER 1ST AND APRIL 1ST, ALL HYDROMULCH AREAS SHALL BE OVER SEED WITH ANNUAL RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR TO RE HYDROMULCH WITH BERMUDA GRASS AT THE END OF THE ANNUAL RYE GROWING SEASON.

AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDS AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
 ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

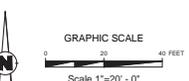
PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
7	LE	Lacebark Elm	<i>Ulmus parviflora 'Sempervirens'</i>	4" cal.	12' ht., 4' spread
4	SO	Shumard Oak	<i>Quercus shumardii</i>	4" cal.	12' ht., 5' spread
ORNAMENTAL TREES					
5	RB	Oklahoma Redbud	<i>Cercis reticulata 'Oklahoma'</i>	30 gal.	8' ht., 4' spread, 3 trunk min.
SHRUBS					
9	AS	Autumn Sage	<i>Salvia greggii</i>	5 gal.	N/L, 30" o.c.
34	DBH	Dwarf Burford Holly	<i>Ilex cornuta 'Burford Nana'</i>	5 gal.	N/L, 20" spread, 36" o.c.
17	LM	Lindheimer Muley Grass	<i>Alopecurus 'Lindheimer'</i>	5 gal.	N/L, 24" spread, 36" o.c.
33	LGR	Lionopodium Purple Plume	<i>Lionopodium chinensis 'Purple Plume'</i>	5 gal.	N/L, 18" spread, 24" o.c.
3	NRS	Nellee R Stevens Holly	<i>Ilex 'Nellee R. Stevens'</i>	7 gal.	N/L, 40" o.c., 5' ht.
10	TS	Texas Sage 'Green Cloud'	<i>Leucophyllum frutescens 'Green Cloud'</i>	7 ft. ht.	N/L, 24" spread, 36" o.c.
GROUNDCOVER/VINES/GRASS					
20	BBL	Big Blue Linopie	<i>Linopie muscari 'Big Blue'</i>	1 gal.	N/L, 18" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

IRRIGATION NOTE

IRRIGATION WILL CONFORM TO THE REGULATIONS SET BY THE MDC.



ENGINEER:
 VASQUEZ ENGINEERING, L.L.C.
 1919 S. SHILOH ROAD, SUITE 440
 DALLAS, TEXAS 75202
 PHONE: 972-272-4610
 CONTACT: JUAN J. VASQUEZ, P.E.

OWNER:
 ROCKWALL 205-552, LLC
 1408 QUORUM DRIVE, SUITE 160
 DALLAS, TEXAS 75224
 PHONE: 214-402-8702
 CONTACT: JAY HOLMAN

DEVELOPER:
 MCCLURE PARTNERS
 P.O. BOX 802047
 DALLAS, TEXAS 75280
 PHONE: 214-384-3470
 CONTACT: JOHN MCCLURE

LANDSCAPE NOTES

REFERENCE NETWORK AND SPECIFICATIONS FOR INFORMATION NEEDED FOR LANDSCAPE WORK.
 CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.
 CONTRACTOR SHALL CALL #11 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE FROM TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS.
 A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES. LANDSCAPE AREAS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.

ALL PLANTING AREAS SHALL BE GRADUALLY SMOOTH TO ACHIEVE FINAL CONTOUR AS INDICATED ON PLANS AND TOPSOIL, AND 2" OF COMPOST STRUCTURE TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING STRUCTURES, NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN.
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QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
 CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURL PLANT MATERIAL CAN BE SUBSTITUTED IF NEEDED AND IS APPROPRIATE TO THE SIZE AND QUANTITY INDICATED ON THE PLANT MATERIAL LIST.
 TREES SHALL BE PLANTED AT A MINIMUM OF 1' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 1' CLEAR FROM FIRE HYDRANTS.

4" OF SHREDED HARDWOOD MULCH 2" SETTLED THICKNESS SHALL BE PLACED OVER 4" OF MOVED, WEED BARRIER FABRIC OR APPROVED EQUAL. WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE WET WEED BARRIER APPROVED EQUAL. MULCH SHALL BE SHREDED BARK OR RUBBER LANDSCAPE MULCH, PINE STRAW MULCH IS PROHIBITED.
 CONTRACTOR TO OBTAIN UNIT PRICES OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR PROVIDING ALL LANDSCAPE AND IRRIGATION PERMITS.

IN THE ABSENCE OF AN IRRIGATION SYSTEM OR AREAS BEYOND THE PERMANENT IRRIGATION SYSTEM, CONTRACTOR SHALL WATER SOIL TEMPORARILY BY ANY MEANS AVAILABLE, TO DEVELOP ADEQUATE GROWTH. TURF SHALL BE IN 100% ESTABLISHMENT AT THE TIME OF ACCEPTANCE.
 ALL PLANTING BEDS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A PRESSURE ZONE SENSOR SYSTEM SHALL ALSO HAVE AN ET WATER-BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS
 MAINTENANCE SHALL BE PERFORMED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINING IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
 MOISTURE, TREMMING, EDGING AND SUPERSEEDING WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
 ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS
 STEEL EDGING SHALL BE 3" X 1/2" X 4" X 10' DARK GREEN DURAEDEGE STEEL LANDSCAPE EDGING.

LANDSCAPE TABULATIONS
 ROCKWALL, TEXAS

GENERAL	
1. A minimum of 13% of the site shall be landscaped.	
2. No less than 50% of the required landscape shall be located in the front or side yard.	
REQUIRED	PROVIDED
5,602 s.f. (15%)	6,778 s.f. (18.1%)
2,803 s.f. (35%)	3,478 s.f.

BUFFER STRIP TREES

REQUIRED	PROVIDED
20' wide buffer	20' wide buffer
4 canopy trees, 4" cal.	4 canopy trees, 4" cal.
5 accent trees, 4" ht.	5 accent trees, 4" ht.

PARKING LOT LANDSCAPE

REQUIRED	PROVIDED
1. Surface parking shall be screened from an adjacent public streets and neighboring sites. The screen must extend along all edges and be a min. 3' in height, 80% opaque.	
2. There shall be a landscape island every 10 parking spaces. One shade tree shall be provided for every 10 cars.	
3. A minimum of 15% of the parking area shall be landscaped.	
REQUIRED	PROVIDED
30' screen	30' screen
3 canopy trees, 4" cal.	4 canopy trees, 4" cal.
775 s.f. (5%)	1597 s.f. (10%)

LANDSCAPE PLAN
 LOT 4, BLOCK A
 DALTON GOLIAD ADDITION
 CITY OF ROCKWALL, TEXAS

LANDSCAPE PLAN
 FREDDY'S FROZEN CUSTARD
 LOT 4, BLOCK A
 DALTON GOLIAD ADDITION
 0.857 ACRES
 ROCKWALL, ROCKWALL COUNTY, TEXAS
 JULY 07, 2017
 CASE #SP2017-024

Scale: 1" = 20'
 Designed by: AWR
 Drawn by: AWR
 Checked by: AWR
 Date: 07/07/2017

VASQUEZ ENGINEERING, L.L.C.
 1919 S. Shiloh Road
 Garland, Texas 75042
 Ph: 972-272-2348
 TX Registration # F-12266



DEVELOPER:
 MCCLURE PARTNERS
 P.O. BOX 802047
 DALLAS, TX 75280

LANDSCAPE PLAN
 LOT 4, BLOCK A
 DALTON GOLIAD ADDITION
 CITY OF ROCKWALL, TEXAS

Scale: 1" = 20'
 Designed by: AWR
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SHEET
 L1.1

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.3 fc	26.1 fc	0.0 fc	N/A	N/A

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Plenum	Lumens Per Lamp	Light Loss Factor	Wattage
	SB	6	Lithonia Lighting	CSX1 LED 2 308700/40K FT WOLC1	CSX1 LED FIXTURE WITH 2 LIGHT ENGINES, 700MA DRIVER, 4000K COLOR TEMP, TYPE FT OPTIC	LED	1	CSX1_LED_2_30 8700_40K_FT_M VOL7.ies	11683	1	146
	F	10	Accent Lighting	#142-951-43 15W	EXTERIOR LED GOOSENECK SCIENCE	1, LUMINAIRE OUTPUT: 1994 Lms.	1	WSR_LED_1_10A 700_40K_SR2_M VOL7.ies	2007	1	15.0
	G	3	Lithonia Lighting	C 2 96	GENERAL PURPOSE CHANNEL 'B' LAMP T12 SLIMLINE	TWO T5-BATT T12 SLIMLINE 'B' LINEAR FLUORESCENT	2	C_2_96.ies	6300	1	172

WAREHOUSE SHADE COLLECTION The Original										
Model #	Size #	Standard	Mounting System	Mounting Color	Support	Accessories	Material/Color	LED	Voltage	Notes
W1012-PC	10"	CSX1	CSX1	Black	CSX1	CSX1	CSX1	CSX1	120V	
W1012-PC	10"	CSX1	CSX1	Black	CSX1	CSX1	CSX1	CSX1	120V	
W1012-PC	10"	CSX1	CSX1	Black	CSX1	CSX1	CSX1	CSX1	120V	
W1012-PC	10"	CSX1	CSX1	Black	CSX1	CSX1	CSX1	CSX1	120V	
W1012-PC	10"	CSX1	CSX1	Black	CSX1	CSX1	CSX1	CSX1	120V	

4 TYPE "F" FIXTURE
E0.0 NO SCALE

CSX1 LED LED Area Luminaire

FEATURES & SPECIFICATIONS

- Capable Luminaire
- LED Luminaire
- LED Luminaire

Option #	Description	Color	Material	Finish	Notes
0000	Standard	Black	Aluminum	Black	
0001	CSX1 LED 2 308700/40K FT WOLC1	Black	Aluminum	Black	

2 TYPE "SB" FIXTURE
E0.0 NO SCALE

LITHONIA LIGHTING

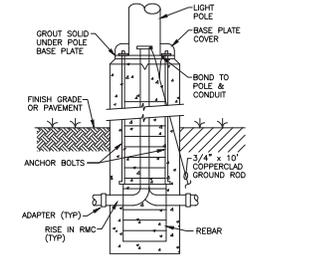
FEATURES & SPECIFICATIONS

- Capable Luminaire
- LED Luminaire
- LED Luminaire

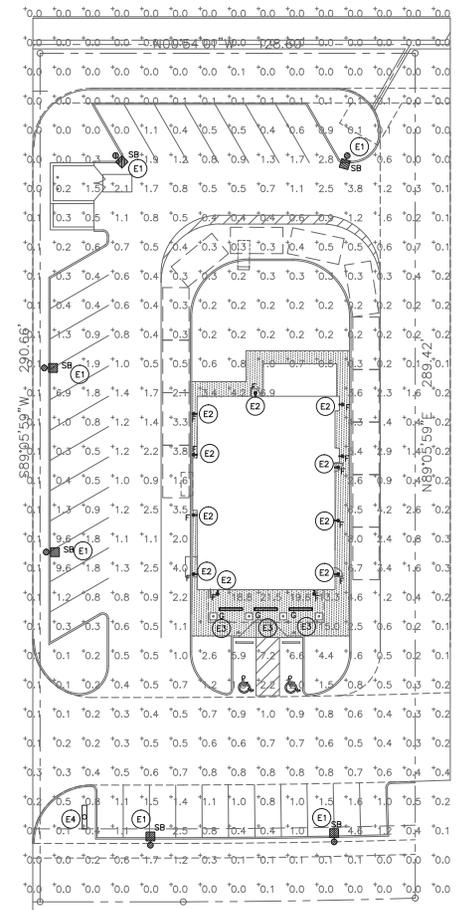
Option #	Description	Color	Material	Finish	Notes
0000	Standard	Black	Aluminum	Black	
0001	CSX1 LED 2 308700/40K FT WOLC1	Black	Aluminum	Black	

3 TYPE "G" FIXTURE
E0.0 NO SCALE

- SHADING NOTES**
- E1 TYPE "SB" POLE MOUNTED FULL CUTOFF LED FIXTURE - MAXIMUM TOTAL HEIGHT OF POLE AND FIXTURE IS 20'-0" AFG.
 - E2 TYPE "F" FULLY SHIELDED WALL SCONCE MOUNTED AT 10'-0" AFG.
 - E3 TYPE "G" SURFACE MOUNTED TYPE "G" FLUORESCENT FIXTURE MOUNTED TO FRONT PORCH SOFFIT.
 - E4 LIGHTED POLE SIGN.



A DETAIL - POLE LIGHT BASE
NOTE: POLE BASE BY GENERAL CONTRACTOR, PROVIDE CONDUITS AND GROUND RODS PER DETAIL.



1 SITE PHOTOMETRIC PLAN
E0.0 1"=20'-0"

CITY COMMENTS

07/26/17

Robert D. Anderson, Inc.
1836 Jack Court
Dallas, Texas 75261

CREATING IS ENCOURAGED, AND AS SUCH, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION.

ROBERT D. ANDERSON
44887
P.O. BOX 10208

McClure Partners

DRAWN BY: PROTOTYPED ISSUE DATE: 2017
ISSUED: JAW
FIRST ISSUE DATE: 06/29/2017

PROJECT NAME: MCCLURE PARTNERS RESTAURANT
LOCATION: NEW WAYS OF RESTAURANT
PROJECT TYPE: EXTERIOR ARCHITECTURAL FINISHES
PROJECT: 101 W. BLOSSOM A., ROCKWALL, TX

E0.0

- 1/UPPER PARAPET
ELEV. + 28'-10"
- 1/LOWER PARAPET
ELEV. + 20'-0"
- 1/WATERTABLE BAND
ELEV. + 14'-0"
- 1/STONEFRONT/PREEZER
ELEV. + 10'-0"
- 1/MANSOUD
ELEV. + 4'-4"
- 1/FINISH FLOOR
ELEV. + 0'-0"



1 - NORTH ELEVATION SCALE 3/16" = 1'-0"



MONTERREY
ACME BRICK



NATURAL STONE

MATERIAL COUNTS					
ELEVATION:	BRICK (SF):	%	STONE (SF):	%	TOTAL (SF):
EAST*	528.87	72	205.55	28	734.42
WEST	604.31	77	180	23	784.31
NORTH	973.12	72	372.04	28	1345.16
SOUTH*	1203.67	75	381.29	24	1584.96

* DENOTES ELEVATION AT PUBLIC RIGHT OF WAY

- 1/UPPER PARAPET
ELEV. + 28'-10"
- 1/LOWER PARAPET
ELEV. + 20'-0"
- 1/WATERTABLE BAND
ELEV. + 14'-0"
- 1/STONEFRONT/PREEZER
ELEV. + 10'-0"
- 1/MANSOUD
ELEV. + 4'-4"
- 1/FINISH FLOOR
ELEV. + 0'-0"



2 - SOUTH ELEVATION SCALE 3/16" = 1'-0"

- 1/UPPER PARAPET
ELEV. + 28'-10"
- 1/LOWER PARAPET
ELEV. + 20'-0"
- 1/WATERTABLE BAND
ELEV. + 14'-0"
- 1/STONEFRONT
ELEV. + 10'-0"
- 1/MANSOUD
ELEV. + 4'-4"
- 1/FINISH FLOOR
ELEV. + 0'-0"



3 - EAST ELEVATION SCALE 3/16" = 1'-0"

- 1/UPPER PARAPET
ELEV. + 28'-10"
- 1/LOWER PARAPET
ELEV. + 20'-0"
- 1/WATERTABLE BAND
ELEV. + 14'-0"
- 1/PREEZER
ELEV. + 10'-0"
- 1/MANSOUD
ELEV. + 4'-4"
- 1/FINISH FLOOR
ELEV. + 0'-0"

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ELEV. + 28'-10"
- 1/LOWER PARAPET
ELEV. + 20'-0"
- 1/WATERTABLE BAND
ELEV. + 14'-0"
- 1/PREEZER
ELEV. + 10'-0"
- 1/MANSOUD
ELEV. + 4'-4"
- 1/FINISH FLOOR
ELEV. + 0'-0"



4 - WEST ELEVATION SCALE 3/16" = 1'-0"

PRELIMINARY
DESIGN



141 MAIN STREET, SUITE 300
FORSYTH, TEXAS 75126
972.333.0651 / 972.795.6164



McClure Partners

PROJECT NAME	McCLURE PARTNERS RESTAURANT	ARCHITECT	ROGUE ARCHITECTURE
DESCRIPTION	RESTAURANT	PROJECT START DATE	07/2017
PROJECT	1000 W. WOODLAND, SUITE 100, DALLAS, TX	PROJECT END DATE	04/2018

