



## PLANNING AND ZONING CASE CHECKLIST

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

P&Z CASE # SL2019007 P&Z DATE \_\_\_\_\_ CC DATE \_\_\_\_\_

APPROVED/DENIED ARB DATE \_\_\_\_\_ HPAB DATE \_\_\_\_\_ PARK BOARD DATE \_\_\_\_\_

### ZONING APPLICATION

- ☐ SPECIFIC USE PERMIT
- ☐ ZONING CHANGE
- ☐ PD CONCEPT PLAN
- ☐ PD DEVELOPMENT PLAN

### SITE PLAN APPLICATION

- ☐ SITE PLAN
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN
- ☐ PHOTOMETRIC PLAN
- ☐ BUILDING ELEVATIONS
- ☐ MATERIAL SAMPLES
- ☐ COLOR RENDERING

### PLATTING APPLICATION

- ☐ MASTER PLAT
- ☐ PRELIMINARY PLAT
- ☐ FINAL PLAT
- ☐ REPLAT
- ☐ ADMINISTRATIVE/MINOR PLAT
- ☐ VACATION PLAT
- ☐ LANDSCAPE PLAN
- ☐ TREESCAPE PLAN

- ☐ COPY OF ORDINANCE (ORD.# \_\_\_\_\_)
- ☒ APPLICATIONS
- ☐ RECIEPT
- ☐ LOCATION MAP
- ☐ HOA MAP
- ☐ PON MAP
- ☐ FLU MAP
- ☐ NEWSPAPER PUBLIC NOTICE
- ☐ 500-FT. BUFFER PUBLIC NOTICE
- ☐ PROJECT REVIEW
- ☐ STAFF REPORT
- ☐ CORRESPONDENCE
- ☐ COPY-ALL PLANS REQUIRED
- ☐ COPY-MARK-UPS
- ☐ CITY COUNCIL MINUTES-LASERFICHE
- ☐ MINUTES-LASERFICHE
- ☐ PLAT FILED DATE \_\_\_\_\_
  - ☐ CABINET # \_\_\_\_\_
  - ☐ SLIDE # \_\_\_\_\_

NOTES: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ZONING MAP UPDATED \_\_\_\_\_



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING &amp; ZONING

CASE NO.

SP2018-007

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request (Resolution No. 05-22) [SELECT ONLY ONE BOX]:

**Platting Application Fees:**

- ☐ Master Plat (\$100.00 + \$15.00 Acre)<sup>1</sup>
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)<sup>1</sup>
- ☐ Final Plat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- ☐ Replat (\$300.00 + \$20.00 Acre)<sup>1</sup>
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

**Site Plan Application Fees:**

- ☒ Site Plan (\$250.00 + \$20.00 Acre)<sup>1</sup>
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

**Zoning Application Fees:**

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)<sup>1</sup>
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)<sup>1</sup>
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)<sup>1</sup>

**Other Application Fees:**

- ☐ Tree Removal (\$75.00)

**Notes:**

<sup>1</sup> In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.

**PROPERTY INFORMATION [PLEASE PRINT]**

Address TBD

Subdivision J.H.B. Jones Survey No. 124, City of Rockwall, Rockwall Co.

Lot

3

Block

A

General Location Southwest Corner of State Highway 205 and

**ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]**

Current Zoning General Retail (GR) District



Current Use No vertical improvements

Proposed Zoning Same



Proposed Use Free Standing Starbucks

Acreage +/-0.8

Lots [Current]

1

Lots [Proposed]

1

- ☐ **Required for Plats:** By checking the box at the left you agree to waive the statutory time limit for plat approval in accordance with Section 212.009 of the Local Government Code.

**OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]**☒ Owner Moore Worth Investment, LLC☒ Applicant Same

Contact Person Worth Williams

Contact Person

Address 8445 Freeport Parkway

Address

Suite 175

City, State &amp; Zip Irving, TX 75063

City, State &amp; Zip

Phone 2144159993

Phone

E-Mail wrw@teamwwp.com

E-Mail

**NOTARY VERIFICATION [REQUIRED]**

Before me, the undersigned authority, on this day personally appeared Worth Williams [Owner/Applicant Name] the undersigned, who stated the information on this application to be true and certified the following:

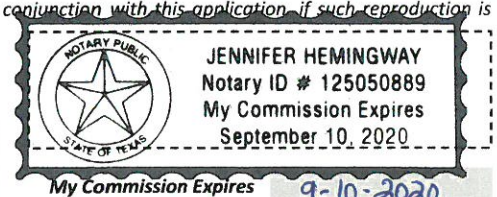
"I hereby certify that I am the owner, or duly authorized agent of the owner, for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 270.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 16th day of February, 20 18. By signing this application I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of February, 20 18.

Owner's/Applicant's Signature

Notary Public in and for the State of Texas

Jennifer Hemingway







**DEVELOPMENT REVIEW COMMITTEE (DRC)**  
**CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT**

Phone: (972) 771-7745

Email: [Planning@Rockwall.com](mailto:Planning@Rockwall.com)

External Review: Wayne Carter, Charter Communications  
Jim Friske, Charter Communications  
Dinah Wood, Atmos  
Randy Voight, Oncor  
Phillip Dickerson, Oncor  
Brian Duncan, AT&T  
Javier Fernandez, RISD  
Brenda Callaway, TXDOT  
Stephen Geiger, Farmer's Electric  
Frank Spataro, Farmer's Electric

Internal Review: Amy Williams, Engineering  
John Shannon, Building Inspections  
Ariana Hargrove, Fire  
Andy Hesser, Parks  
Andy Villarreal, Police

From: Planning & Zoning Department

Date: 3/19/2018

To assist the Planning Department in evaluating the attached request, we are sending it to you for your review and comments. Please return any comments and/or plan mark-ups to us within five (5) days. Internal staff will also be required to have all comments input into CRW no later than Friday, 03/23/2018. Planning staff will assemble all comments received in time for our regularly scheduled DRC meeting on 3/27/2018 at 2:00 p.m. The Planning and Zoning Commission work session will be held on 3/27/2018 at 6:00 p.m. You are welcome to attend both meetings. If you have any questions, please contact us at (972) 771-7745.

**Project Number:** SP2018-007  
**Project Name:** Starbucks  
**Project Type:** SITE PLAN  
**Applicant Name:** MOORE WORTH INVESTMENTS, LLC  
**Owner Name:** MOORE WORTH INVESTMENTS, LLC  
**Project Description:**





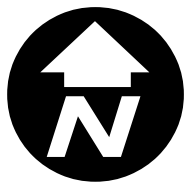
SP2018-007 - SITE PLAN FOR STARBUCKS  
SITE PLAN- LOCATION MAP =



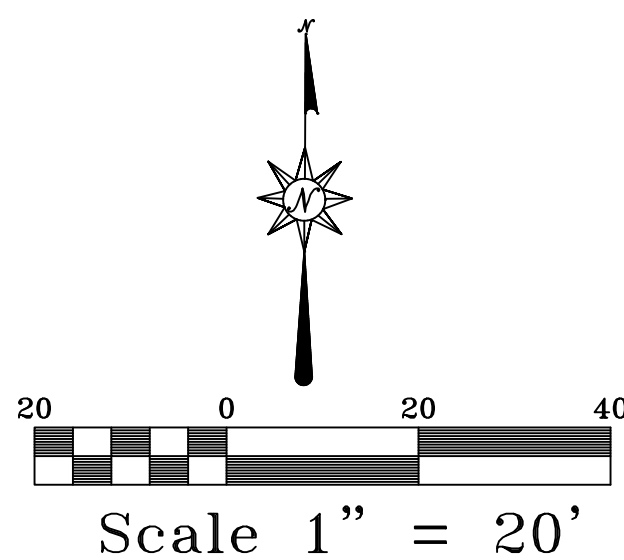
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

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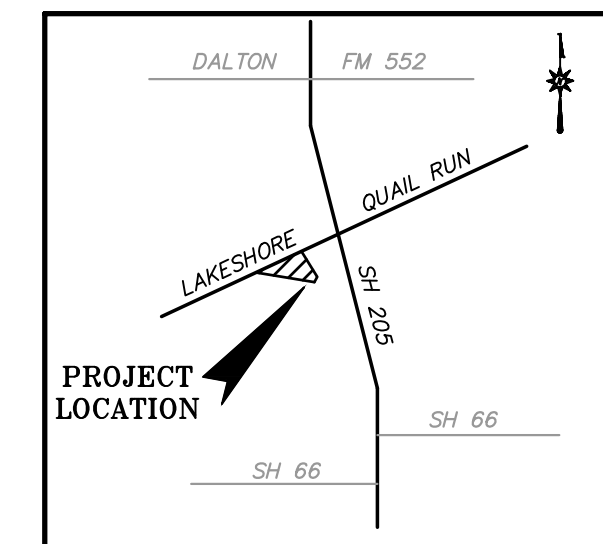


NOTES:

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
- SEE NCTCOG 3RD EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

Course	Bearing	Distance
L 1	N 16°39'03" E	56.72'
L 2	S 47°14'05" E	22.78'
L 3	S 72°06'04" E	46.17'
L 4	N 42°07'52" E	17.76'

Scale 1" = 20'



NOTE:  
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS.

OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD.  
ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205.  
ELEVATION = 480.51'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 470' WEST OF STATE HIGHWAY NO. 205.  
ELEVATION = 468.05'

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ADA BARRIER-FREE RAMP REQUIREMENTS:

1 TEXTURE: SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPS, OR TRUNCATED DOMES (SEE TAS/ADS STDS FOR ADDITIONAL OPTIONS). SURFACE MUST BE DETECTABLE UNDER FOOT. SURFACES THAT ARE RAISED OR ETCHED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE

2 CONTRAST: FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.

3 RAMPS WITHIN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY STD. PROHIBITED DOMES AT PLATFORM BOARDING EDGES SHALL BE A MIN OF 24" WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.

ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<5% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
TAS PARKING & ACCESS AISLE	<2% SLOPE IN ANY DIRECTION
CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS	

NOTE:  
PARKING & ACCESSIBLE ROUTES FOR DISABLED PERSONS SHALL BE DESIGNATED, DESIGNED & CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

LEGEND	
PROPOSED	EXISTING
500 - PROPOSED CONTOURS	POWER POLE
515.00 - SPOT ELEVATION AT FINISHED GRADE	ANCHOR
514.00 - INDICATES TOP OF STRUCTURE	WATER METER
513.50 - INDICATES FLOW LINE ELEVATION	WATER VALVE
W - PROPOSED WATER LINE	IRRIGATION CONTROL VALVE
SS - PROPOSED SANITARY SEWER LINE	TELEPHONE PEDESTAL
SD - PROPOSED STORM DRAIN LINE	GAS METER
BL - BUILDING LINE	MAILBOX
UE - UTILITY EASEMENT	LIGHT POLE
DUE - DRAINAGE & UTILITY EASEMENT	FIRE HYDRANT
FCS - FIBER OPTIC CABLE MARKER	UTILITY EASEMENT
GAS - GAS SIGN	DUE = DRAINAGE & UTILITY EASEMENT
SSSB - SUB SURFACE SERVICE BOX	BCS - BURIED CABLE SIGN
BCS - BURIED CABLE SIGN	T = TRAFFIC SIGNAL
U.E. = UTILITY EASEMENT	U.E. = UTILITY EASEMENT
ATMOS FLAG	ATMOS FLAG

SITE PLAN NOTES:

- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CITY REQUIREMENTS. SEE BLDG PLANS.

SITE LAYOUT NOTES:

- ALL FIRE LANES ARE 24' WIDE WITH MIN 20' INSIDE RADIUS AND MIN 44' OUTSIDE RADIUS. FIRE LANES SHALL BE CONSTRUCTED AND STRIPED PER CITY OF ROCKWALL FIRE DEPT REQUIREMENTS.
- ALL PARKING STALLS, UNLESS SHOWN OTHERWISE, SHALL BE 9' WIDE x 18' DEEP EXCEPT STALLS IN FRONT OF BLDG SHALL BE 9' WIDE x 20' DEEP.  
VAN ACCESSIBLE AREA SHALL BE 9' MIN WIDE x 18' (OR 20') DEEP. OTHER ACCESS AISLES ADJACENT TO H/C PARKING SHALL BE 5' WIDE x 18' (OR 20') DEEP. ALL PARKING STALLS SHALL BE CONSTRUCTED PER PAVING PLAN.
- ALL OTHER DRIVING LANES SHALL BE MIN 24' WIDE AND CONSTRUCTED PER THE PAVING.

SITE SUMMARY - LOT 1	
ZONED	PD-65 (FOR GR USES)
PROPOSED USE	RESTAURANT
LOT AREA	0.81 AC (35,478.55 SF)
BUILDING AREA	2418 SF
PARKING	
RESTAURANT = 2200 SF	
REQUIRED TOTAL	22 SPACES
1/100	2200/100=22
REQUIRED TOTAL	22 SPACES (21 REG; 1 H/C)
PROVIDED TOTAL	31 SPACES (29 REG; 2 H/C)
LOT COVERAGE	6.2% (2200 SF)
IMPERVIOUS AREA	65% (23,178 SF)
PERVIOUS AREA	35% (12,301 SF)

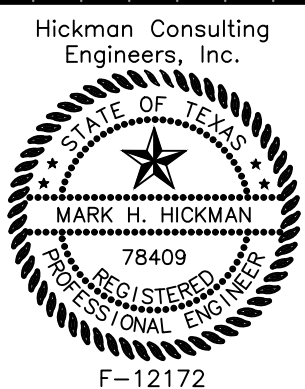
This document is released for the purpose of REVIEW under the authority of Mark H. Hickman, P.E. 78409 on 03-15-18. It is not to be used for construction bidding permit purposes.

Hickman Consulting Engineers, Inc.  
3094 County Road 1024  
Farmersville, Texas 75442  
Ph (972)764-2499  
markredhick@gmail.com  
Engineers  
Planners

HCE

SITE PLAN  
LAKESHORE COMMONS  
LOT 3; LAKESHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1"=20'  
DATE: FEB/2018  
DRAWN BY: FP  
CHK'D BY: MHH  
JOB NO: 1701-357  
FILE: 239-L2-WO  
SUBMITTAL: 03/16/18(1)



REVISION	DATE	DESCRIPTION

SHEET  
1 of 1

LANDSCAPE TABULATIONS		
	Required	Provided
10 ft. Landscape Buffer Strip 1 tree per 50 ft. of Street Frontage (133.75 FT)	3 Trees	3 Trees
Parking and Maneuvering Space (16,840 SF) 1 tree per 10 Req. Parking Spaces (31 req. spaces)	3 Trees	4 Trees
Amount of Landscaping Commercial / General Retail	15% (5321 SF)	31.7% (11,256 SF)

Landscape Notes

1. CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. IT IS THE RESPONSIBTY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
4. ALL SHRUB AND GROUNDCOVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH.
5. LANDSCAPE EDGING SHALL BE LOCATED AS NOTED ON PLAN.
6. TREES SHALL BE PLANTED A LEAST FIVE (5') FEET FROM ANY UTILITY LINE, AND OUTSIDE ALL UTILITY EASEMENTS AND A THREE (3') CLEAR DIAMETER AROUND FIRE HYDRANTS, UNLESS PRIOR APPROVAL IS GRANTED.
7. TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
8. TREES OVERHANGING VISIBILITY EASEMENTS OF RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
9. TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
10. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
12. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- 13.AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
14. ALL HYDROSEEDED AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RATE.

TRACT 1

ARKOMA DEVELOPMENT, L.L.C.  
TO  
CITY OF ROCKWALL, TEXAS  
VOL. 5670, PG. 162  
R.P.R.R.C.T.

Landscape					
Quantity	Symbol	Description	Height	Spread	Spacing
Shrubs Under 4 Feet					
27		Abelia 'Sherwood' 5 Gallon	15in - 18in	15 in	36 in
27		Cotoneaster glaucophyllus 5 Gallon	15in - 18in	15 in	36 in
25		Rhaphiolepis indica 'Clara' 5 Gallon	12in - 15in	12in - 15in	36 in
16		Juniperus procumbens 'nana' 3 Gallon	N/A	12in - 15in	36 in
Trees					
6		Lagerstroemia indica 'Pink Velour' 15 Gallon	36 in	36 in	Per Plan
2		Quercus shumardii 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
2		Quercus virginiana 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
3		Taxodium distichum 3 to 3 1/2 in cal	14ft - 16ft	4ft - 6ft	Per Plan
Grass					
13236		Eragrostis curvula - Sq. Ft. - hydroseed at 50 lbs per acre			

COMPANY:

M.C.R. Environmental Services, Inc.  
214-790-4497 Office  
940-762-9307 cell  
5520 State Hwy 78 S  
Nevada, Tx. 75173

SHEET DESCRIPTION:

LANDSCAPE PLAN

PROJECT:

LAKESHORE COMMONS  
Lot 3; Lakeshore Commons  
Rockwall, Rockwall County, Texas  
PROVIDENT REALTY ADVISORS, INC.  
10210 N. Central Expy., Ste 300  
Dallas, TX 75231 PH. 214-415-9993

REVISIONS:  
3-12-2018

DATE:  
3-12-2018

JOB NUMBER:  
180212

DRAWN BY:  
David G

CHECKED BY:  
N/A

SCALE:  
1" = 20'

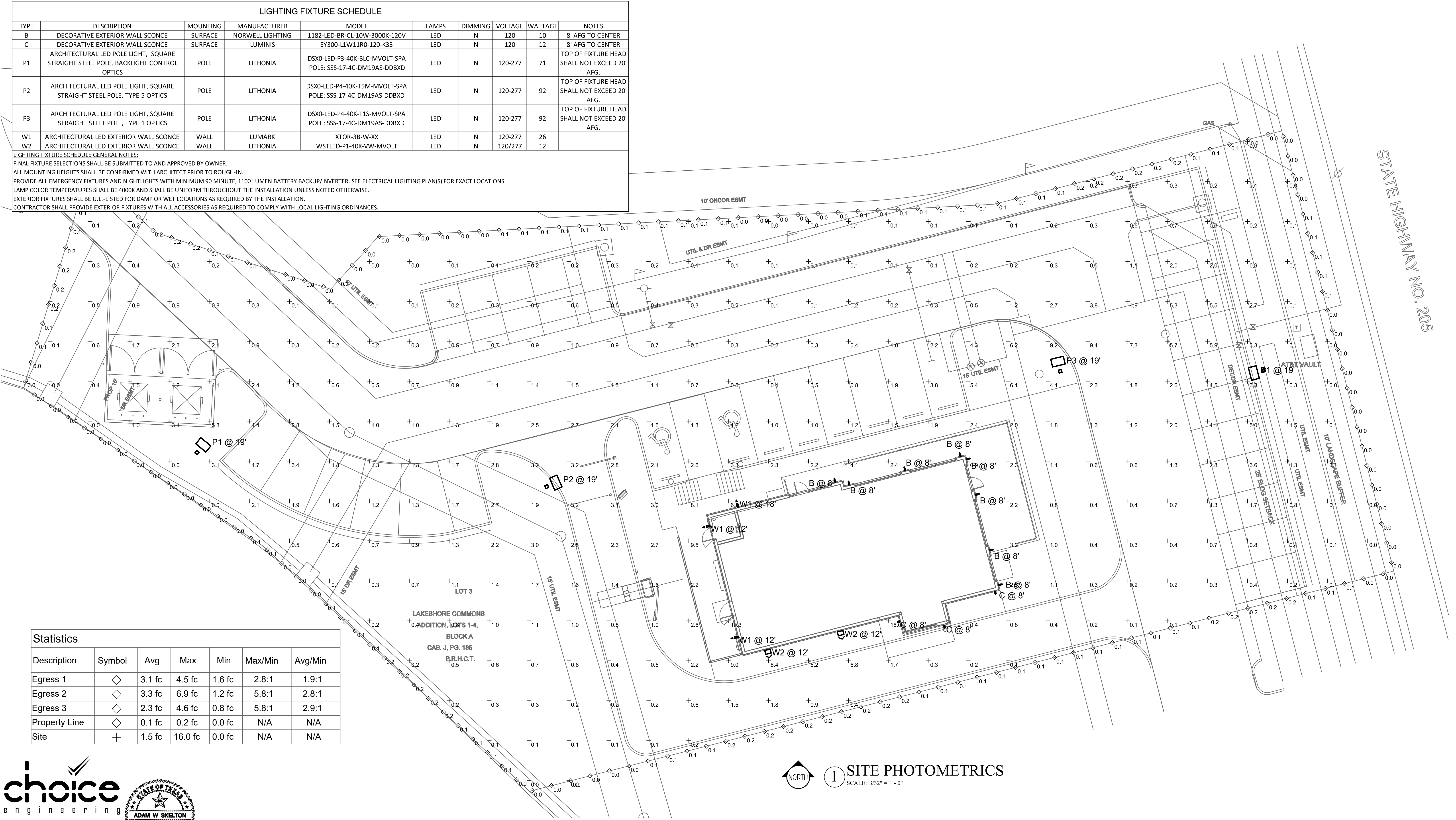
SHEET:  
L-1



"Making a difference in tomorrow - Today"



LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	MODEL	LAMPS	DIMMING	VOLTAGE	WATTAGE	NOTES
B	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	NORWELL LIGHTING	1182-LED-BR-CL-10W-3000K-120V	LED	N	120	10	8' AFG TO CENTER
C	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	LUMINIS	SY300-L1W11R0-120-K35	LED	N	120	12	8' AFG TO CENTER
P1	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, BACKLIGHT CONTROL OPTICS	POLE	LITHONIA	DSX0-LED-P3-40K-BLC-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DBBXD	LED	N	120-277	71	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P2	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 5 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T5M-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DBBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P3	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 1 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T1S-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DBBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
W1	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LUMARK	XTOR-3B-W-XX	LED	N	120-277	26	
W2	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LITHONIA	WSTLED-P1-40K-VW-MVOLT	LED	N	120/277	12	
LIGHTING FIXTURE SCHEDULE GENERAL NOTES: FINAL FIXTURE SELECTIONS SHALL BE SUBMITTED TO AND APPROVED BY OWNER. ALL MOUNTING HEIGHTS SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE ALL EMERGENCY FIXTURES AND NIGHTLIGHTS WITH MINIMUM 90 MINUTE, 1100 LUMEN BATTERY BACKUP/INVERTER. SEE ELECTRICAL LIGHTING PLAN(S) FOR EXACT LOCATIONS. LAMP COLOR TEMPERATURES SHALL BE 4000K AND SHALL BE UNIFORM THROUGHOUT THE INSTALLATION UNLESS NOTED OTHERWISE. EXTERIOR FIXTURES SHALL BE U.L.-LISTED FOR DAMP OR WET LOCATIONS AS REQUIRED BY THE INSTALLATION. CONTRACTOR SHALL PROVIDE EXTERIOR FIXTURES WITH ALL ACCESSORIES AS REQUIRED TO COMPLY WITH LOCAL LIGHTING ORDINANCES.									



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Egress 1	◇	3.1 fc	4.5 fc	1.6 fc	2.8:1	1.9:1
Egress 2	◇	3.3 fc	6.9 fc	1.2 fc	5.8:1	2.8:1
Egress 3	◇	2.3 fc	4.6 fc	0.8 fc	5.8:1	2.9:1
Property Line	◇	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
Site	+	1.5 fc	16.0 fc	0.0 fc	N/A	N/A

CHOICE ENGINEERING, LLC    SACHSE, TEXAS    PHONE: (469) 606-1265  
TEXAS FIRM REG. NUMBER F-15676    WWW.CHOICEENGINEERING.COM

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DALLAS, TX    972.385.9651  
www.GSOarchitects.com

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1 SITE PHOTOMETRICS  
SCALE: 3/32" = 1' - 0"

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

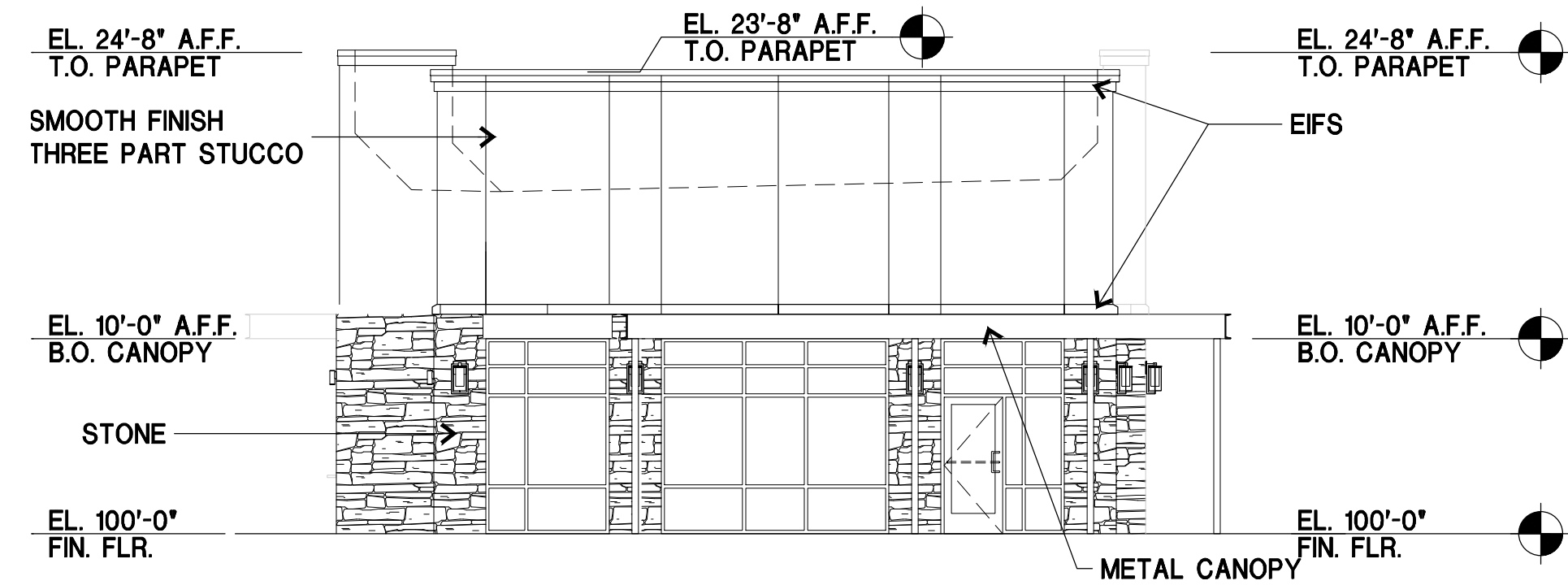
PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**E1**

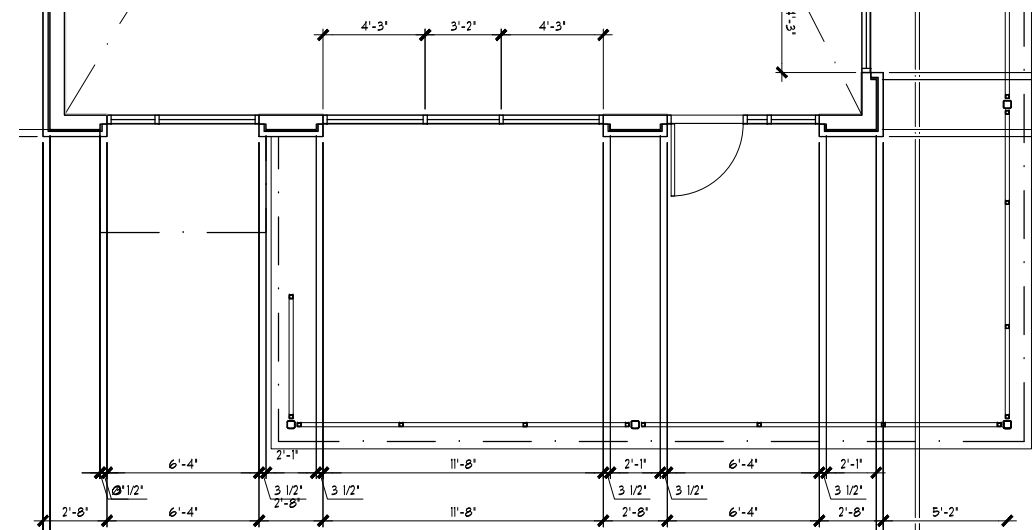
JOB NO: 16-147  
ISSUE DATE: 3/16/18  
SCALE: AS NOTED

CASE NO: Z2018-011



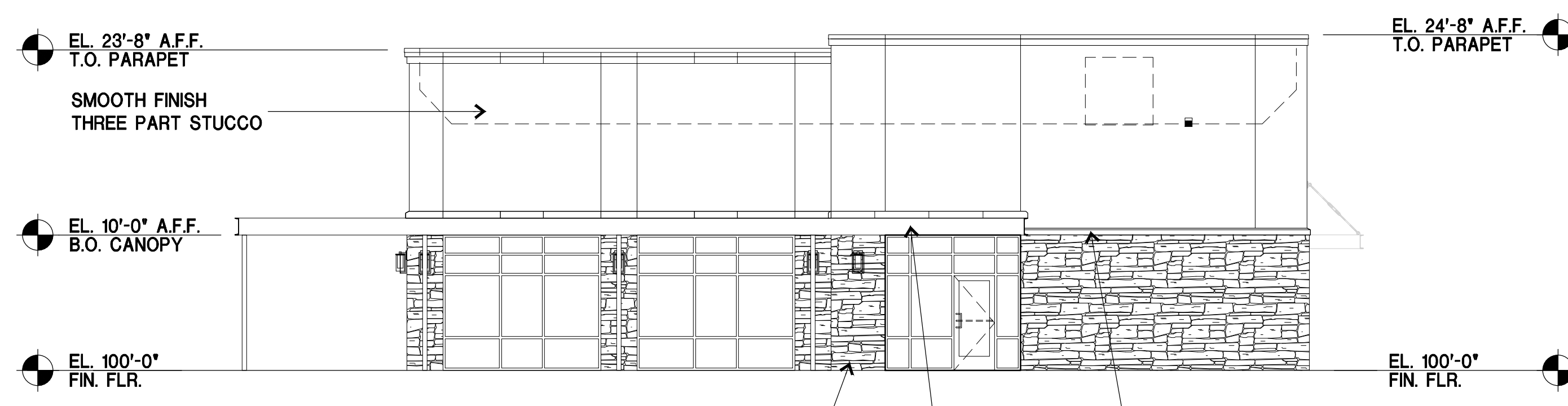


EAST	SF	TOTAL %	TOTAL %
METAL	42	5.6%	91.4%
STONE	181	24.2%	
STUCCO	461	61.6%	
EIFS	64	8.6%	
TOTAL	748	100.0%	100.0%

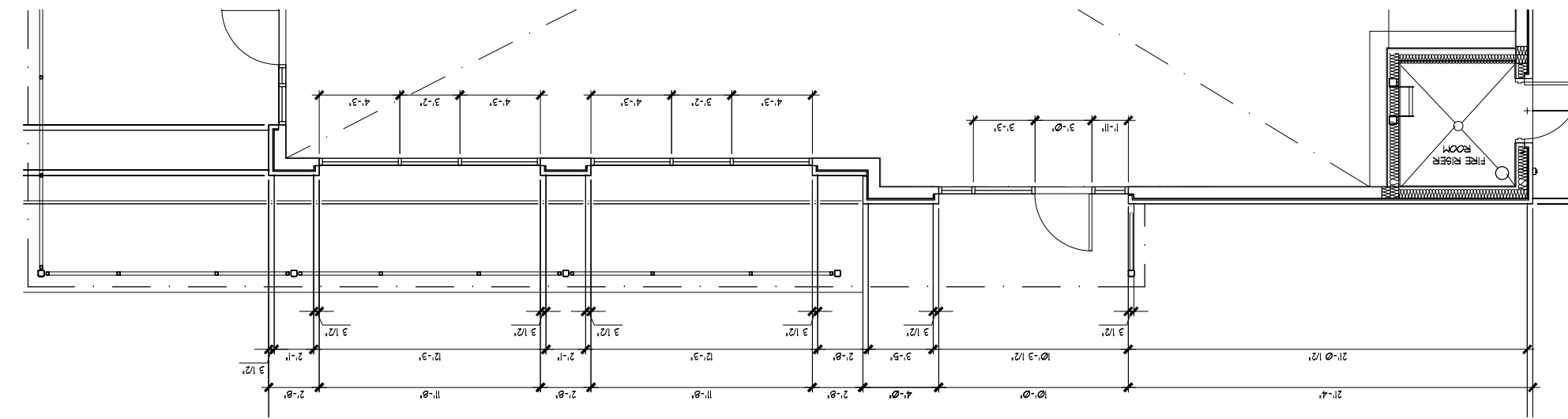


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

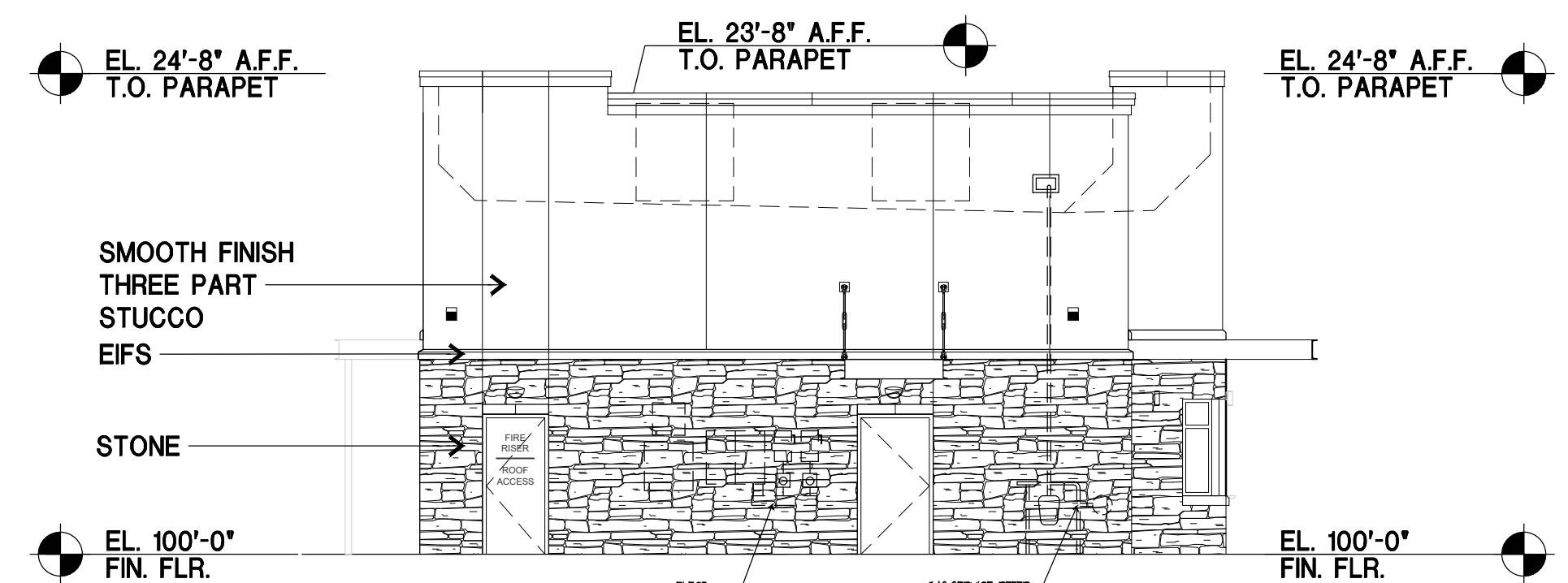


NORTH	SF	TOTAL %	TOTAL %
METAL	57	4.4%	90.0%
STONE	333	25.9%	
STUCCO	767	59.7%	
EIFS	128	10.0%	
TOTAL	1285	100.0%	100.0%

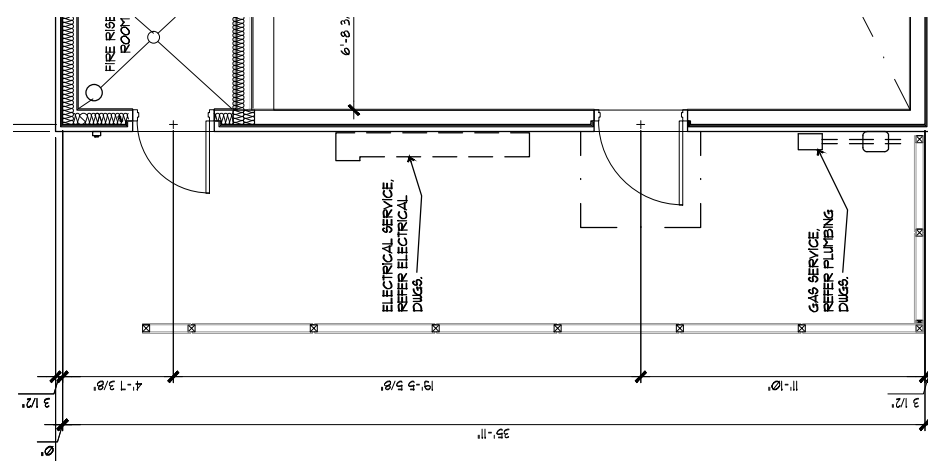


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"

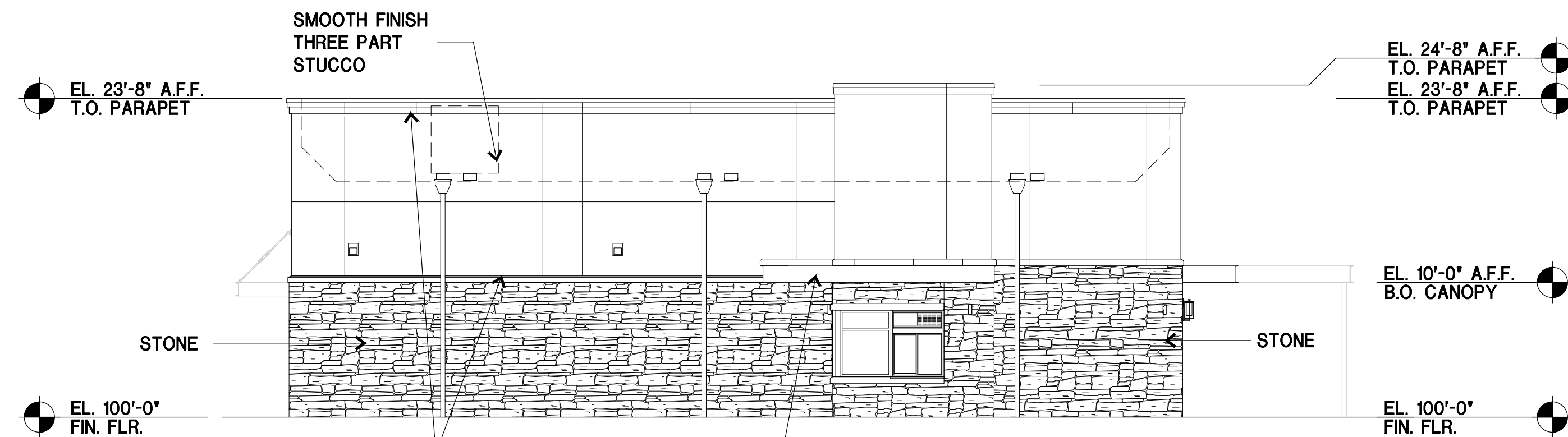


WEST	SF	TOTAL %	TOTAL %
METAL	5	0.5%	91.5%
STONE	344	36.9%	
STUCCO	505	54.1%	
EIFS	79	8.5%	
TOTAL	933	100.0%	100.0%

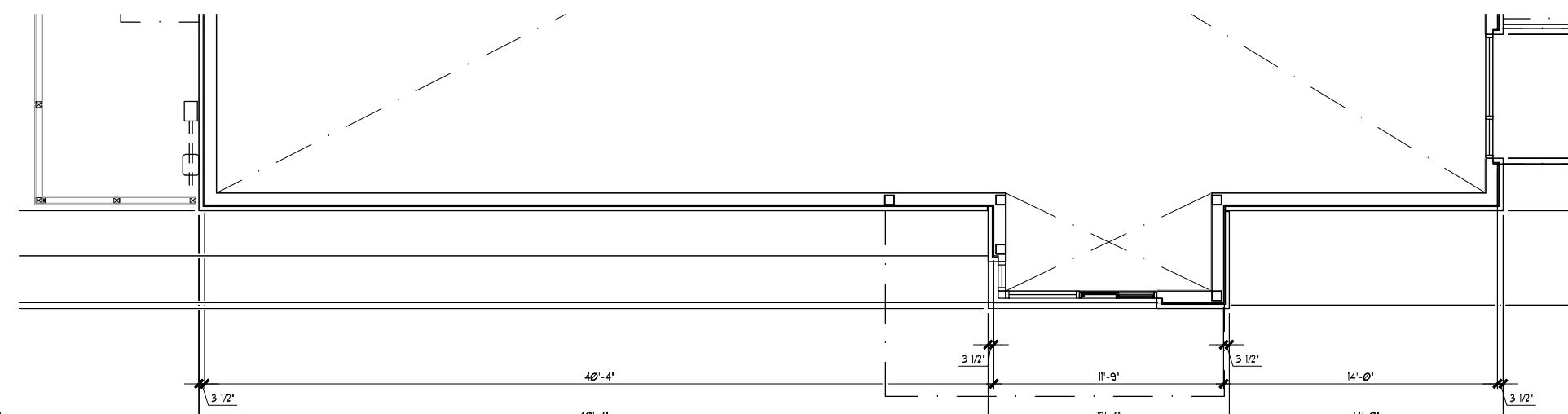


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



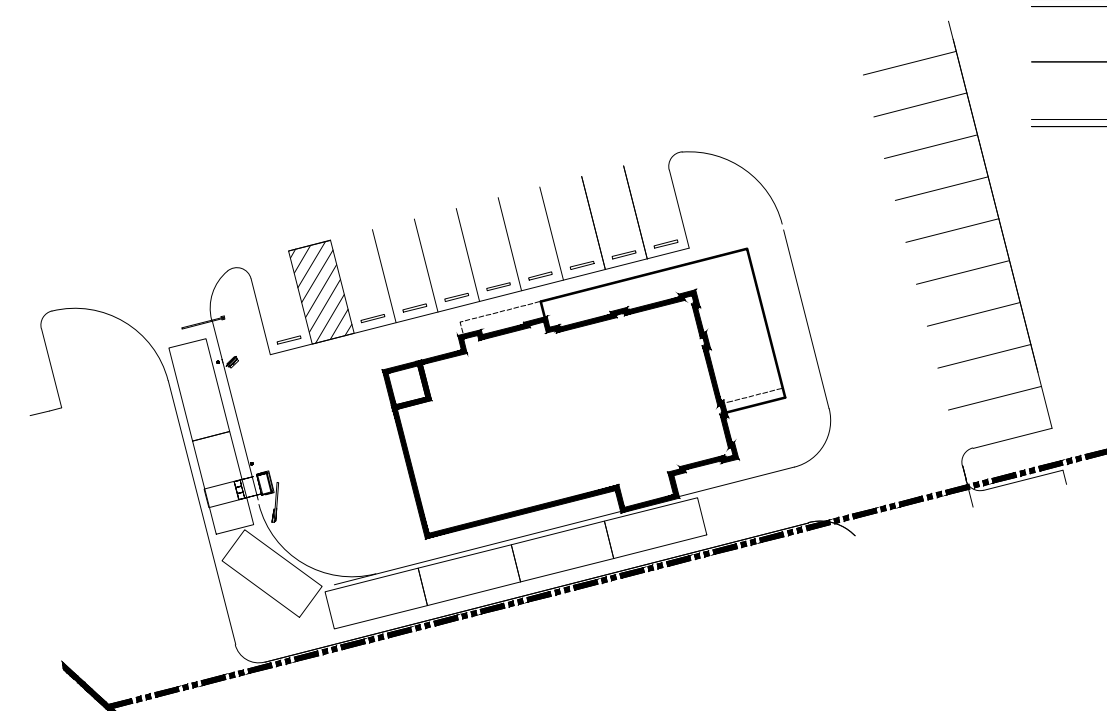
SOUTH	SF	TOTAL %	TOTAL %
METAL	21	1.4%	93.1%
STONE	636	41.2%	
STUCCO	780	50.5%	
EIFS	107	6.9%	
TOTAL	1544	100.0%	100.0%



04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:  
STONE: KONI- MOUNTAIN LEDGE COUNTY  
COLOR TO MATCH SW 7030 ANEW GRAY  
EIFS: COLOR TO MATCH SW 7744 ZEUS  
STUCCO (PRIMARY): COLOR TO MATCH SW 9168 ELEPHANT EAR  
STUCCO (SECONDARY): COLOR TO MATCH SW 9168 ELEPHANT EAR  
METAL CANOPIES: COLOR TO MATCH BERRIDGE LEAD COTE  
STOREFRONT: CLEAR ANODIZED



KEY PLAN  
NOT TO SCALE



DALLAS, TX 972.385.9651  
www.GSOarchitects.com

APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**ELEV04**

JOB NO: 16-147  
ISSUE DATE: 03/05/18  
SCALE: AS NOTED

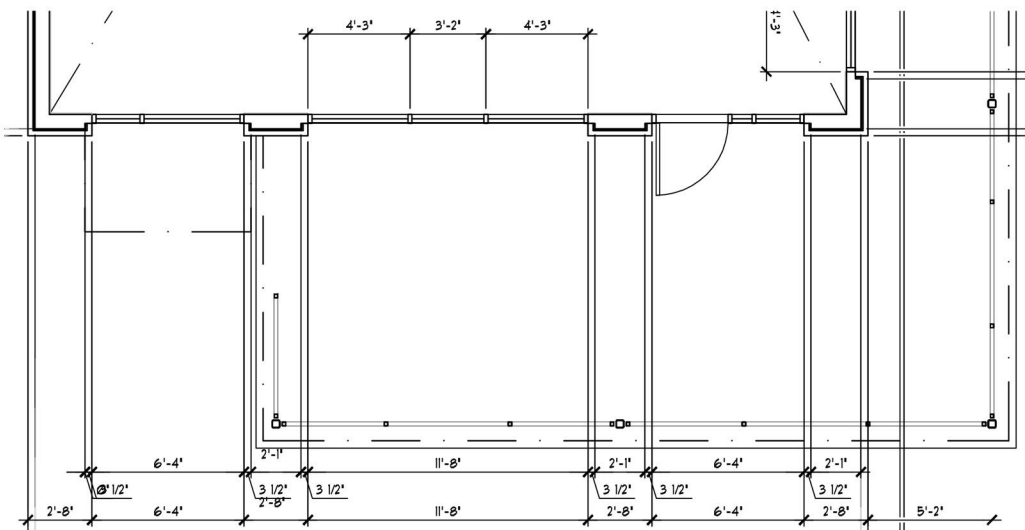
CASE #: Z2018-001

THESE DRAWINGS, OR PARTS THEREOF, MAY NOT BE REPRODUCED IN ANY FORM, BY ANY METHOD, FOR ANY PURPOSE, WITHOUT PRIOR WRITTEN CONSENT FROM GSO ARCHITECTS, INC.





EAST	SF	TOTAL %	TOTAL %
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STONE	181	24.2%	
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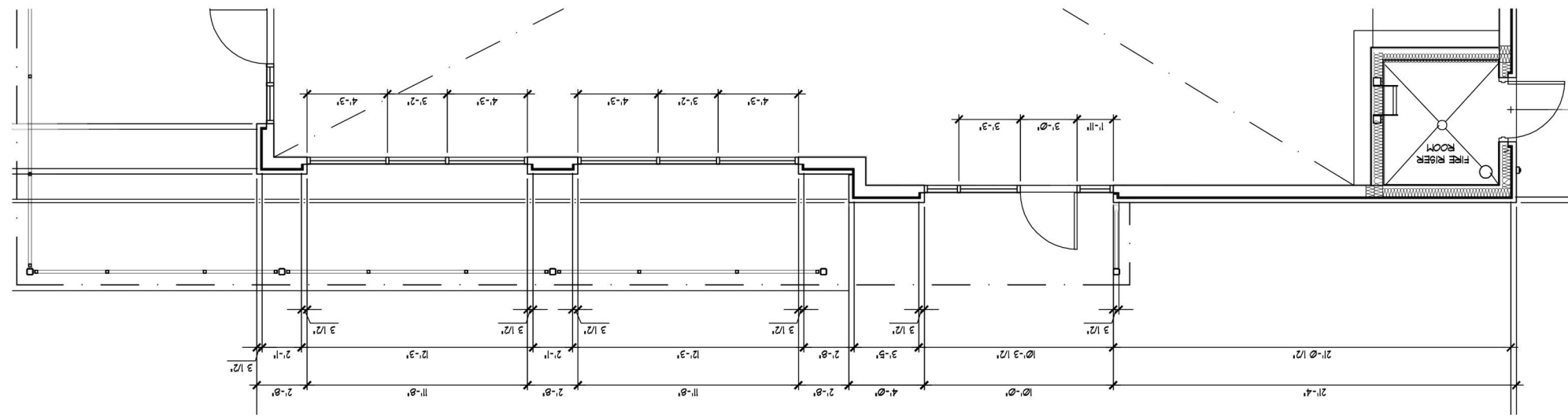


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

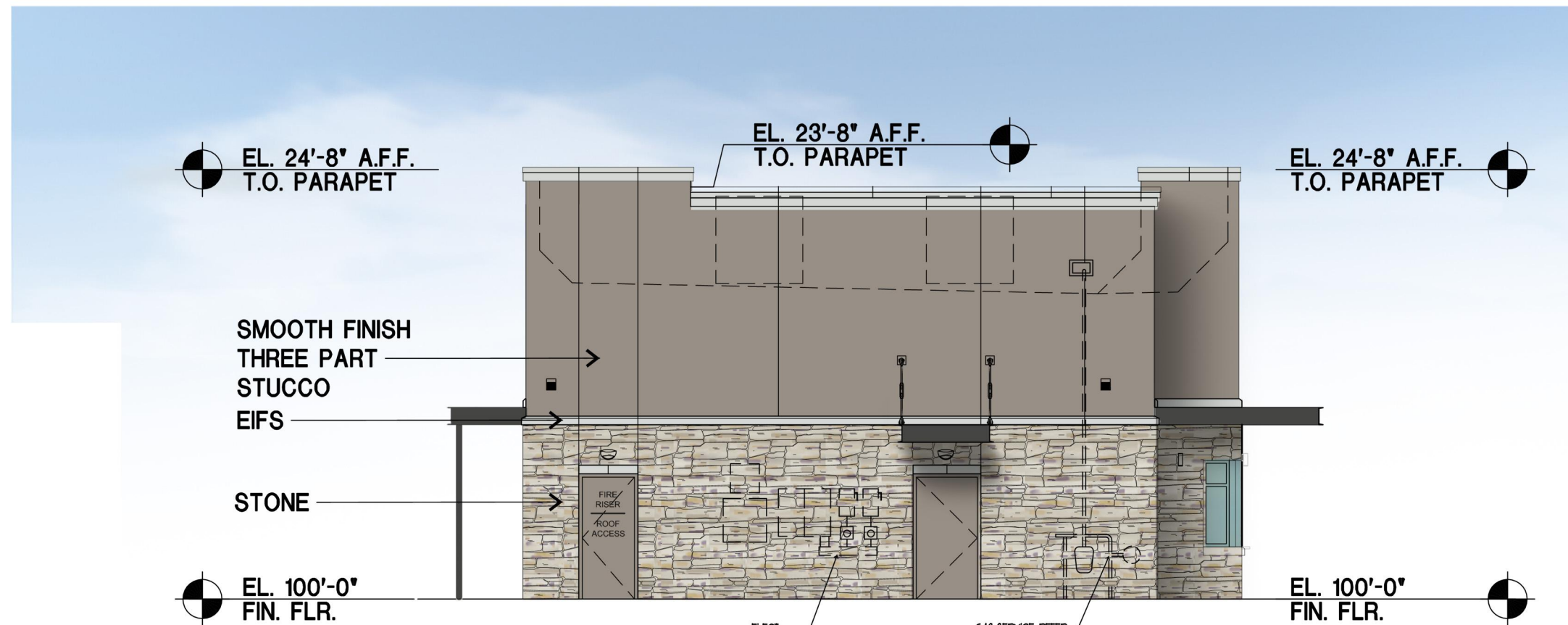


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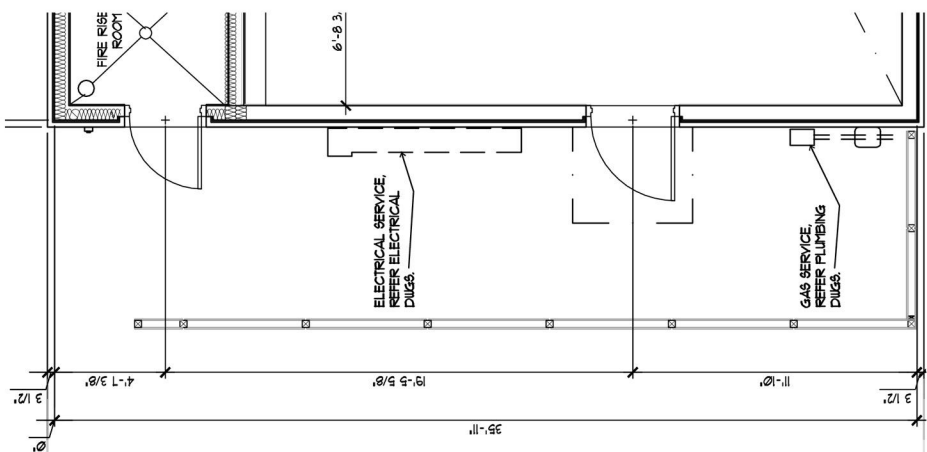


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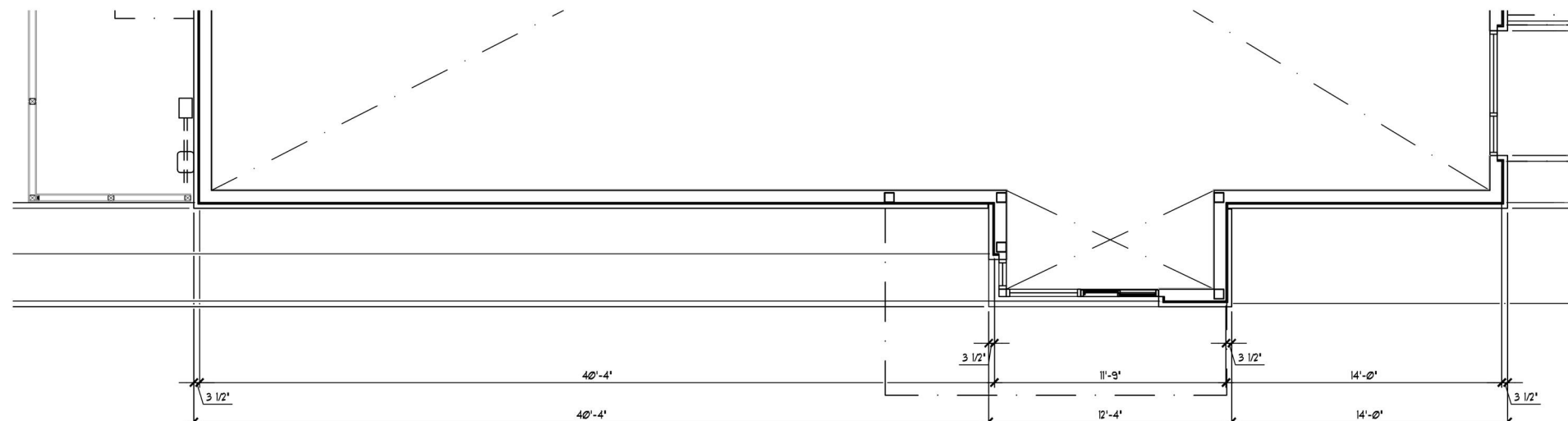


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



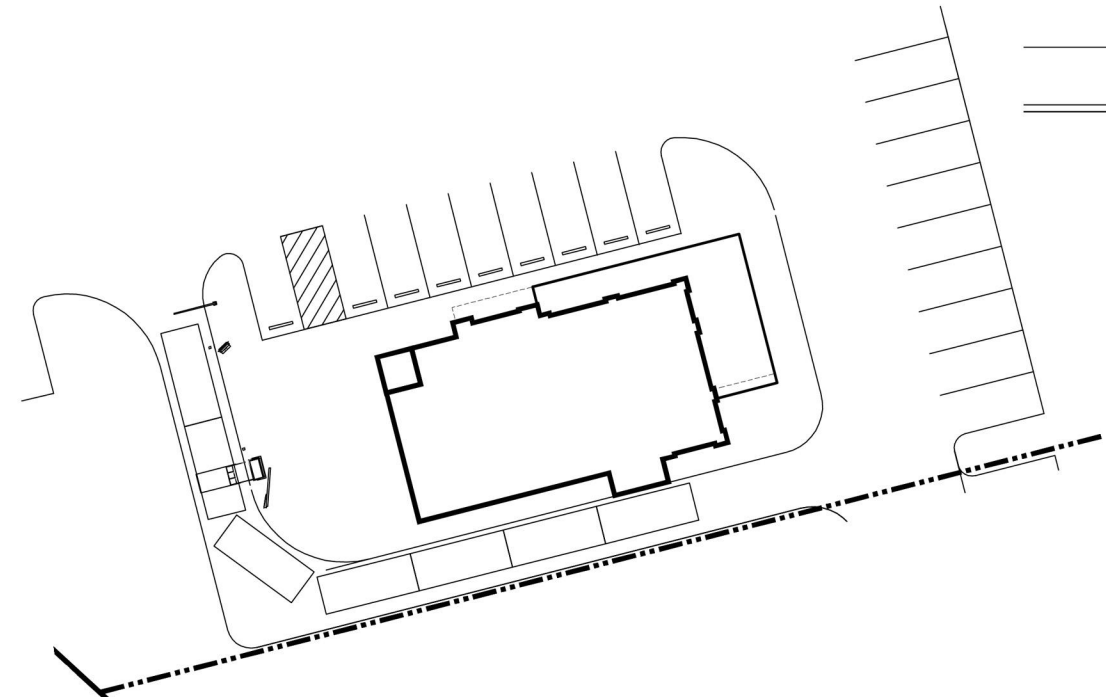
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METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

NOT TO SCALE



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APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
LAKESHORE COMMONS - LOT 3  
ROCKWALL, TEXAS  
MOORE WORTH INVESTMENTS, LLC

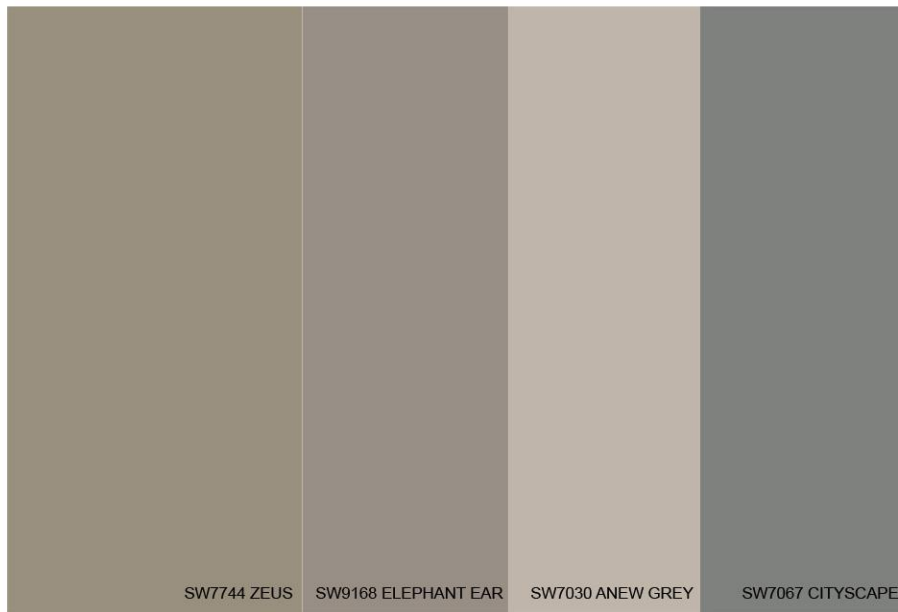
PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

ELEV04

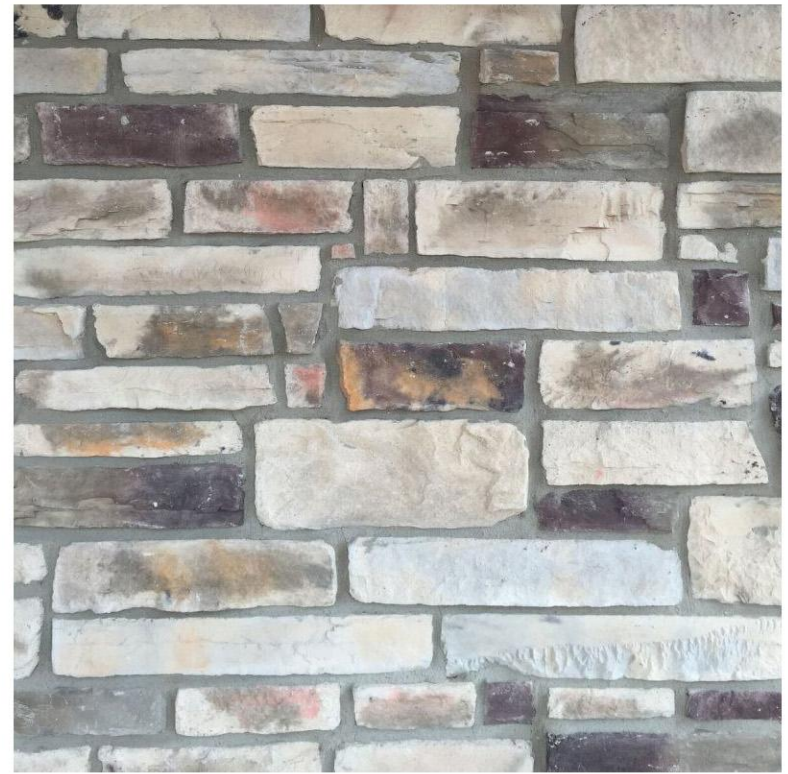
JOB NO: 16-147  
ISSUE DATE: 03/05/18  
SCALE: AS NOTED

CASE #: Z2018-001





STUCCO: MATCH TO SW7744 ZEUS AND SW9168 ELEPHANT EAR  
 EIFS: MATCH TO SW7030 ANEW GREY  
 METAL CANOPIES: MATCH TO SW7067 CITYSCAPE



STONE: KONI MOUNTAIN LEDGE COUNTY



FRONT ELEVATION (FACING SH 205)



SIDE ELEVATION (MAIN ENTRY)



APPLICANT:  
 MOORE WORTH INVESTMENTS, LLC  
 10210 N CENTRAL EXPY SUITE 300  
 DALLAS TX 75231  
 CONTACT: WORTH WILLIAMS  
 214. 415. 9993

LOT 3, BLOCK A  
 LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
 ROCKWALL, TEXAS  
 MOORE WORTH INVESTMENTS, LLC



3/23/2018

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2018-007	<b>Owner</b>	MOORE WORTH INVESTMENTS, LLC	<b>Applied</b>	3/13/2018	LM
<b>Project Name</b>	Starbucks	<b>Applicant</b>	MOORE WORTH INVESTMENTS, LLC	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
1945 N GOLIAD ST	ROCKWALL, TX 75087	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	8-4	NULL	8-4	0124-0000-0008-04-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	3/13/2018	3/20/2018	3/19/2018	6	APPROVED	
ENGINEERING (3/21/2018 9:47 AM SH) See markups Parking spaces not facing the building must be 18' by 9' wide at the smallest point. The fireline min. interior curb radius is 20'. Why does the curb terminate in the northeast corner of the site? 4% Engineering Inspection Fees Impact Fees Dumpster area to drain to oil/water separator or grease trap Show and label flood plain with cross sections and elevations Signage can't be in an easement or right-of-way Engineering plans will not be approved until the Lakeshore Commons infrastructure has been finished and accepted by the City Show that all shrubs planted adjacent to 18' parking spaces to be planted 4' from back of curb	Amy Williams	3/13/2018	3/20/2018	3/21/2018	8	COMMENTS	See Comments
FIRE	Ariana Hargrove	3/13/2018	3/20/2018	3/23/2018	10	APPROVED	
GIS	Lance Singleton	3/13/2018	3/20/2018	3/20/2018	7	APPROVED	
PLANNING	Korey Brooks	3/13/2018	3/20/2018	3/23/2018	10	COMMENTS	Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2018-008 Starbucks: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1	This is a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81-acre parcel of land identified as Lot 3, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street.					
I.2	For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.					
M.3	For reference, include the case number (SP2018-007) in the lower right hand corner of all pages on future submittals.					
I.4	This property will be required to be plated prior to the issuance of a building permit.					
M.5	Please note that this site is situated in the North SH-205 Overlay District. Please review those standards, specifically for landscaping. Please include the overlay district in the site summary table of each page.					
M.6	Site Plan. Please provide floor area ratio in site summary table of each page.					
M.7	Site Plan. The restaurant shows 2,418 SF, but the site summary table shows 2,200 SF. Please provide the correct SF.					
M.8	Site Plan. Dumpsters cannot face the street.					
M.9	Site Plan. No structures in any easements. The dumpsters seem to clip an easement.					
M.10	Site Plan. Please provide width (at the smallest point) for the 6 parking spaces adjacent to the dumpsters.					
M.11	Site Plan. Please provide the radio for the curb on the east side of the row of parking that includes the accessible spaces. (Where it says "EX Water Meters" and "15' Utility Easement").					
M.12	Site Plan. Please dimension all walls of the building.					
M.13	Site Plan. Please show distance from the property line to the building for each side.					
M.14	Site Plan. Please note that the LS buffer is 20-feet not 10-feet as indicated on the site plan (unless you are requesting a variance).					
M.15	Site Plan. There seems to be a patio on the north and east side of the building. Will outdoor seating be provided?					
M.16	Site Plan. Please provide paving material and thickness.					
M.17	Site Plan. Please show centerline of SH-205.					
M.18	Landscape Plan. Please provide the same Site Data Table as provided on the Site Plan.					
M.19	Landscape Plan. Dumpster seems to encroach easement.					
M.20	Landscape Plan. Please note that no parking space shall be more than 80-feet from a canopy tree. Please provide 80-foot buffers to ensure coverage.					
M.21	Landscape Plan. Please note that in the overlay district the landscaping requirement is 2 canopy trees and 4 accent trees per 100-feet.					
M.22	Landscape Plan. Please note that canopy trees are a min of 4 caliper-inches and not 3-3.5 caliper-inches as shown.					
M.23	Landscape Plan. Please note that the LS buffer is 20-feet not 10-feet.					
M.24	Photometric Plan. Please darken property line on photometric plan.					
M.25	Photometric Plan. Please provide some clarification on the symbols for "Egress 1, 2, 3, and Property Line"					
M.26	Photometric Plan. Please label cut sheet so that I can determine which cut sheet matches the fixture type on the photometric plan.					
M.27	Photometric Plan. Please note that any light over 15-watts shall be directed downward with a partial or full cutoff					
M.28	Photometric Plan. Please provide site data table as shown in site plan.					
M.29	Photometric Plan. Please show centerline of SH-205					
M.30	Building Elevations. Please note that the overlay district requires 8-foot dumpster enclosure. Please provide elevations of dumpster enclosure.					
M.31	Building Elevations. Please note in an overlay district, natural or quarried stone is required. You are proposing cultured stone which would require approval of a variance.					
M.32	Building Elevations. Please remove metal canopies from building façade material percentages and re-calculate.					
M.33	Building Elevations. Please note that EIFS is a secondary material. Secondary materials over 10% per façade require a variance.					
M.34	Building Elevations. Please indicate the elevation that faces the street.					
M.35	Building Elevations. Note that stucco over 50% per façade will require a variance.					



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.36	Building Elevations.	Please note that this will require a variance to the pitched roof requirement. According to the UDC, any building less than 6,000 SF shall be constructed of a pitched roof system.				
M.37	Building Elevations.	Please provide a materials sample board.				
M.38	Building Elevations.	If the building elevations are scalable, please provide scale.				
I.39	The Architectural Review Board (ARB) meeting for this case will be held on March 27, 2018 at 5:00 p.m.					
I.40	Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 3, 2018. The Planning and Zoning Worksession for this case will be March 27, at 6:00 p.m. The Planning and Zoning Meeting will be April 10, 2018. A representative is required to attend all meetings.					
I.41	If necessary the projected City Council meeting date for this case will be April 16, 2018.					





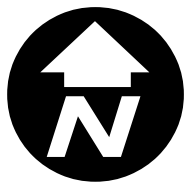
SP2018-007 - SITE PLAN FOR STARBUCKS  
SITE PLAN- LOCATION MAP =



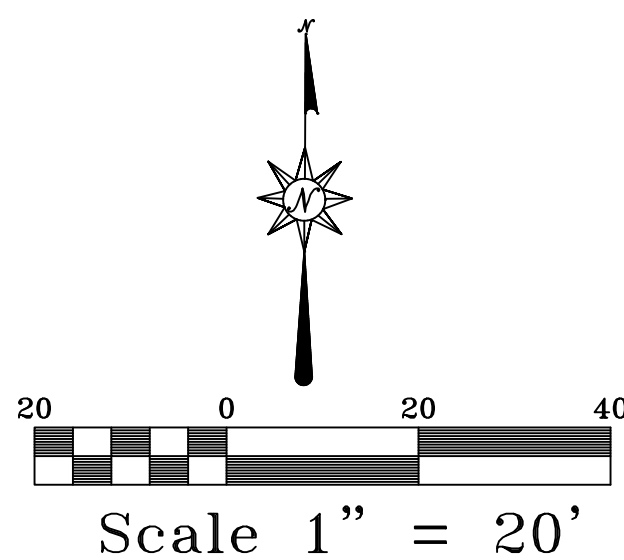
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







BEFORE YOU DIG CALL:  
1-800-245-4545



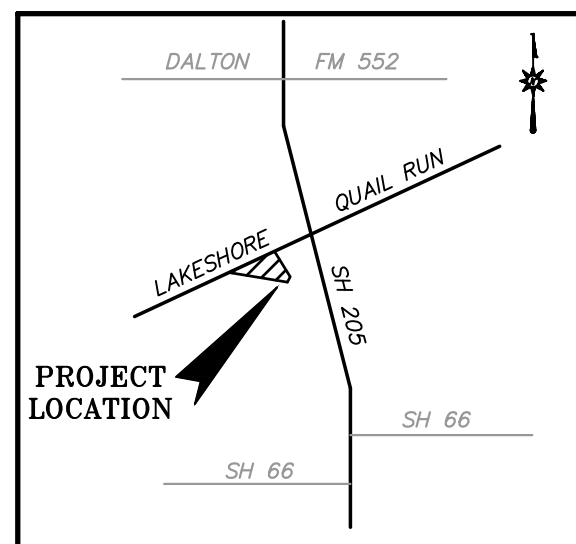
TEXAS ONE CALL SYSTEM

NOTES:

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
- SEE NCTCOG 3RD EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

Course	Bearing	Distance
L 1	N 16°39'03" E	56.72'
L 2	S 47°14'05" E	22.78'
L 3	S 72°06'04" E	46.17'
L 4	N 42°07'52" E	17.76'

Scale 1" = 20'



VICINITY MAP

NOTE:  
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL  
LOCATION OF ALL EXISTING UTILITIES PRIOR  
TO BEGINNING ANY CONSTRUCTION/EXCAVATION  
AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES  
EXISTING UTILITIES SHOWN ON THESE PLANS  
ARE BASED ON COMBINATION OF FIELD SURVEY  
& CITY RECORD DRAWINGS

OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE  
INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE  
WEST LINE OF THE AIRPORT ACCESS ROAD.  
ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE  
INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE  
OF STATE HIGHWAY NO. 205.  
ELEVATION = 480.51'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE  
DRIVE ± 470' WEST OF STATE HIGHWAY NO. 205.  
ELEVATION = 468.05'

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by any other means, or stored, processed or transmitted in or by any  
computer or other systems without the prior written permission of Hickman  
Consulting Engineers, Inc. Copies of this plan without an original signature  
and seal are not valid.

ADA BARRIER-FREE RAMP REQUIREMENTS:

- TEXTURE: SHALL CONSIST OF EXPOSED CRUSHED STONE  
AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE  
STRIPS, OR TRUNCATED DOMES (SEE TAS/ADS STDS FOR ADDITIONAL OPTIONS).  
SURFACE MUST BE DETECTABLE UNDER FOOT. SURFACES  
THAT ARE RAISED OR ETCHED  
IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE
- CONTRAST: FOR PURPOSES OF WARNING, THE FULL WIDTH AND  
DEPTH OF CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND  
TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING  
PEDESTRIAN ROUTES.
- RAMPS WITHIN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY STD.  
PROHIBITED DOMES AT PLATFORM BOARDING EDGES SHALL BE A MIN OF 24" WIDE  
AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.

ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<5% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
TAS PARKING & ACCESS AISLE	<2% SLOPE IN ANY DIRECTION
CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS	

NOTE:  
PARKING & ACCESSIBLE ROUTES FOR DISABLED  
PERSONS SHALL BE DESIGNATED, DESIGNED &  
CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

This document is released for the purpose of  
REVIEW  
under the authority of Mark H. Hickman, P.E. 78409 on  
03-15-18  
It is not to be used for  
construction bidding permit  
purposes.

LEGEND	
PROPOSED	EXISTING
500 - PROPOSED CONTOURS	POWER POLE
515.00 - SPOT ELEVATION AT FINISHED GRADE	ANCHOR
514.00 - INDICATES TOP OF STRUCTURE	WATER METER
513.50 - INDICATES FLOW LINE ELEVATION	WATER VALVE
W - PROPOSED WATER LINE	IRRIGATION CONTROL VALVE
SS - PROPOSED SANITARY SEWER LINE	TELEPHONE PEDESTAL
SD - PROPOSED STORM DRAIN LINE	GAS METER
BL - BUILDING LINE	MAILBOX
UE - UTILITY EASEMENT	LIGHT POLE
DUE - DRAINAGE & UTILITY EASEMENT	FIRE HYDRANT
FCS - FIBER OPTIC CABLE MARKER	UTILITY EASEMENT
GAS - GAS SIGN	DUE = DRAINAGE & UTILITY EASEMENT
SSSB - SUB SURFACE SERVICE BOX	BCS - BURIED CABLE SIGN
BCS - BURIED CABLE SIGN	T = TRAFFIC SIGNAL
U.E. = UTILITY EASEMENT	U.E. = UTILITY EASEMENT
1 - WATER SERVICE TAP NO	T = ATMOS FLAG

SITE PLAN NOTES:

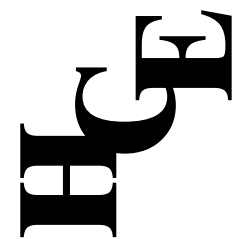
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CITY REQUIREMENTS. SEE BLDG PLANS.

SITE LAYOUT NOTES:

- ALL FIRE LANES ARE 24' WIDE WITH MIN 20' INSIDE RADIUS AND MIN 44' OUTSIDE RADIUS. FIRE LANES SHALL BE CONSTRUCTED AND STRIPED PER CITY OF ROCKWALL FIRE DEPT REQUIREMENTS.
- ALL PARKING STALLS, UNLESS SHOWN OTHERWISE, SHALL BE 8' WIDE x 18' DEEP EXCEPT STALLS IN FRONT OF BLDG SHALL BE 9' WIDE x 20' DEEP.  
VAN ACCESSIBLE AREA SHALL BE 9' MIN WIDE x 18' (OR 20') DEEP. OTHER ACCESS AISLES ADJACENT TO H/C PARKING SHALL BE 5' WIDE x 18' (OR 20') DEEP. ALL PARKING STALLS SHALL BE CONSTRUCTED PER PAVING PLAN.
- ALL OTHER DRIVING LANES SHALL BE MIN 24' WIDE AND CONSTRUCTED PER THE PAVING.

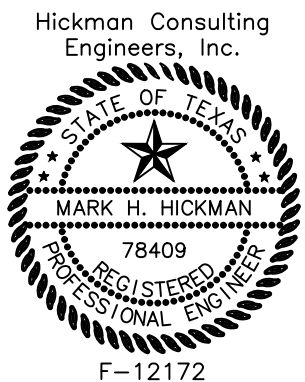
SITE SUMMARY - LOT 1	
ZONED	PD-65 (FOR GR USES)
PROPOSED USE	RESTAURANT
LOT AREA	0.81 AC (35,478.55 SF)
BUILDING AREA	2418 SF
PARKING	
RESTAURANT = 2200 SF	
REQUIRED TOTAL	22 SPACES
1/100	2200/100=22
REQUIRED TOTAL	22 SPACES (21 REG; 1 H/C)
PROVIDED TOTAL	31 SPACES (29 REG; 2 H/C)
LOT COVERAGE	
IMPERVIOUS AREA	6.2% (2200 SF)
PERVIOUS AREA	65% (23,178 SF)
PERVIOUS AREA	35% (12,301 SF)

Hickman Consulting Engineers, Inc.  
3004 County Road 1024  
Farmersville, Texas 75442  
Ph (972)764-2499  
markredhick@gmail.com  
Engineers  
Planners



SITE PLAN  
LAKESHORE COMMONS  
LOT 3; LAKESHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1"=20'  
DATE: FEB/2018  
DRAWN BY: FP  
CHK'D BY: MHH  
JOB NO: 1701-357  
FILE: 239-L2-WO  
SUBMITTAL: 03/16/18(1)



REVISION	DATE	DESCRIPTION

SHEET  
1 of 1



LANDSCAPE TABULATIONS		
	Required	Provided
10 ft. Landscape Buffer Strip 1 tree per 50 ft. of Street Frontage (133.75 FT)	3 Trees	3 Trees
Parking and Maneuvering Space (16,840 SF) 1 tree per 10 Req. Parking Spaces (31 req. spaces)	3 Trees	4 Trees
Amount of Landscaping Commercial / General Retail	15% (5321 SF)	31.7% (11,256 SF)

Landscape Notes

1. CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. IT IS THE RESPONSIBTY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
4. ALL SHRUB AND GROUNDCOVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH.
5. LANDSCAPE EDGING SHALL BE LOCATED AS NOTED ON PLAN.
6. TREES SHALL BE PLANTED A LEAST FIVE (5') FEET FROM ANY UTILITY LINE, AND OUTSIDE ALL UTILITY EASEMENTS AND A THREE (3') CLEAR DIAMETER AROUND FIRE HYDRANTS, UNLESS PRIOR APPROVAL IS GRANTED.
7. TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
8. TREES OVERHANGING VISIBILITY EASEMENTS OF RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
9. TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
10. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
12. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- 13.AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
14. ALL HYDROSEEDED AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RATE.

TRACT 1

ARKOMA DEVELOPMENT, L.L.C.  
TO  
CITY OF ROCKWALL, TEXAS  
VOL. 5670, PG. 162  
R.P.R.R.C.T.

Landscape					
Quantity	Symbol	Description	Height	Spread	Spacing
Shrubs Under 4 Feet					
27		Abelia 'Sherwood' 5 Gallon	15in - 18in	15 in	36 in
27		Cotoneaster glaucophyllus 5 Gallon	15in - 18in	15 in	36 in
25		Rhaphiolepis indica 'Clara' 5 Gallon	12in - 15in	12in - 15in	36 in
16		Juniperus procumbens 'nana' 3 Gallon	N/A	12in - 15in	36 in
Trees					
6		Lagerstroemia indica 'Pink Velour' 15 Gallon	36 in	36 in	Per Plan
2		Quercus shumardii 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
2		Quercus virginiana 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
3		Taxodium distichum 3 to 3 1/2 in cal	14ft - 16ft	4ft - 6ft	Per Plan
Grass					
13236		Eragrostis curvula - Sq. Ft. - hydroseed at 50 lbs per acre			

COMPANY:

M.C.R. Environmental Services, Inc.  
214-790-4497 Office  
940-762-9307 cell  
5520 State Hwy 78 S  
Nevada, Tx. 75173

SHEET DESCRIPTION:

LANDSCAPE PLAN

PROJECT:

LAKESHORE COMMONS  
Lot 3; Lakeshore Commons  
Rockwall, Rockwall County, Texas  
PROVIDENT REALTY ADVISORS, INC.  
10210 N. Central Expy., Ste 300  
Dallas, TX 75231 PH. 214-415-9993

REVISIONS:  
3-12-2018

DATE:  
3-12-2018

JOB NUMBER:  
180212

DRAWN BY:  
David G

CHECKED BY:  
N/A

SCALE:  
1" = 20'

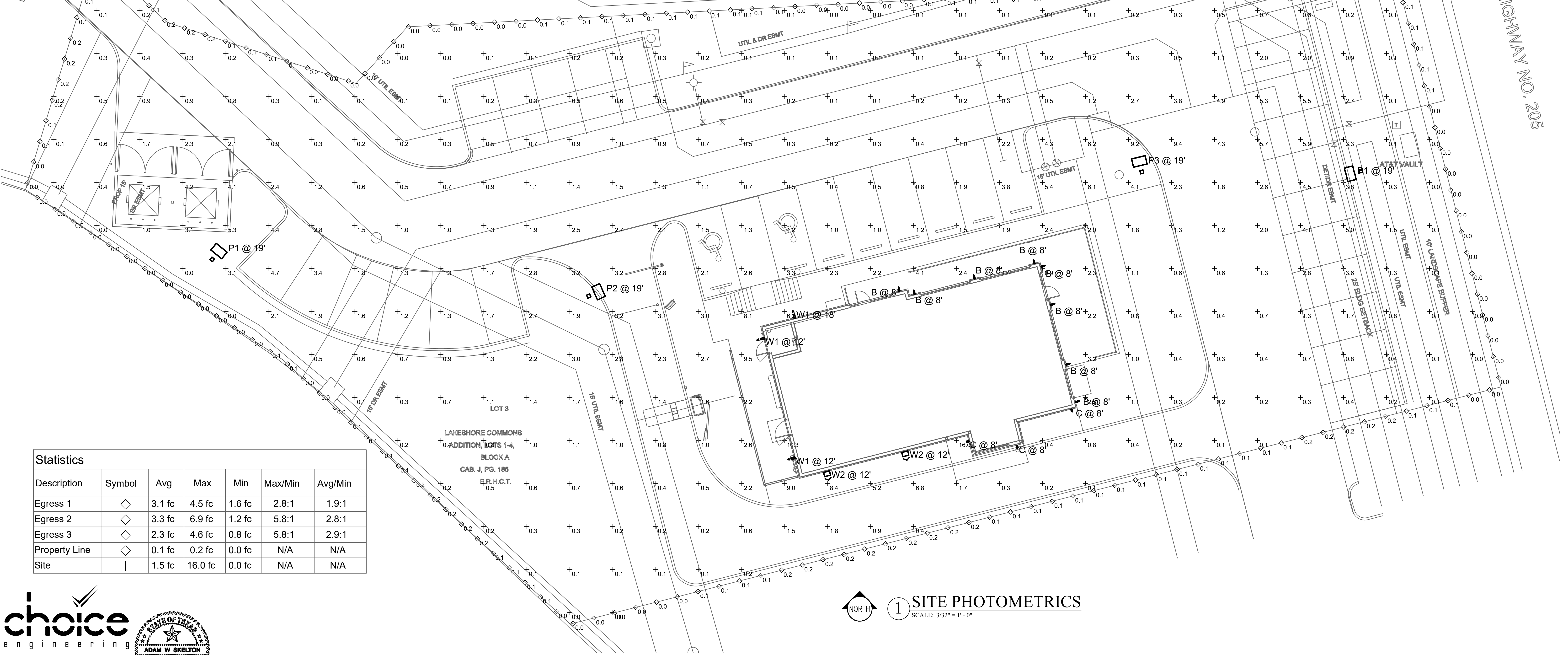
SHEET:  
L-1



"Making a difference in tomorrow - Today"



LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	MODEL	LAMPS	DIMMING	VOLTAGE	WATTAGE	NOTES
B	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	NORWELL LIGHTING	1182-LED-BR-CL-10W-3000K-120V	LED	N	120	10	8' AFG TO CENTER
C	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	LUMINIS	SY300-L1W11R0-120-K35	LED	N	120	12	8' AFG TO CENTER
P1	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, BACKLIGHT CONTROL OPTICS	POLE	LITHONIA	DSX0-LED-P3-40K-BLC-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	71	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P2	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 5 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T5M-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P3	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 1 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T1S-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
W1	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LUMARK	XTOR-3B-W-XX	LED	N	120-277	26	
W2	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LITHONIA	WSTLED-P1-40K-VW-MVOLT	LED	N	120/277	12	
LIGHTING FIXTURE SCHEDULE GENERAL NOTES: FINAL FIXTURE SELECTIONS SHALL BE SUBMITTED TO AND APPROVED BY OWNER. ALL MOUNTING HEIGHTS SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE ALL EMERGENCY FIXTURES AND NIGHTLIGHTS WITH MINIMUM 90 MINUTE, 1100 LUMEN BATTERY BACKUP/INVERTER. SEE ELECTRICAL LIGHTING PLAN(S) FOR EXACT LOCATIONS. LAMP COLOR TEMPERATURES SHALL BE 4000K AND SHALL BE UNIFORM THROUGHOUT THE INSTALLATION UNLESS NOTED OTHERWISE. EXTERIOR FIXTURES SHALL BE U.L.-LISTED FOR DAMP OR WET LOCATIONS AS REQUIRED BY THE INSTALLATION. CONTRACTOR SHALL PROVIDE EXTERIOR FIXTURES WITH ALL ACCESSORIES AS REQUIRED TO COMPLY WITH LOCAL LIGHTING ORDINANCES.									



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Egress 1	◇	3.1 fc	4.5 fc	1.6 fc	2.8:1	1.9:1
Egress 2	◇	3.3 fc	6.9 fc	1.2 fc	5.8:1	2.8:1
Egress 3	◇	2.3 fc	4.6 fc	0.8 fc	5.8:1	2.9:1
Property Line	◇	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
Site	+	1.5 fc	16.0 fc	0.0 fc	N/A	N/A

CHOICE ENGINEERING, LLC    SACHSE, TEXAS    PHONE: (469) 606-1265  
TEXAS FIRM REG. NUMBER F-15576    WWW.CHOICEENGINEERING.COM

5/16/18

DALLAS, TX    972.385.9651  
www.GSOarchitects.com

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1 SITE PHOTOMETRICS  
SCALE: 3/32" = 1' - 0"

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214. 415. 9993

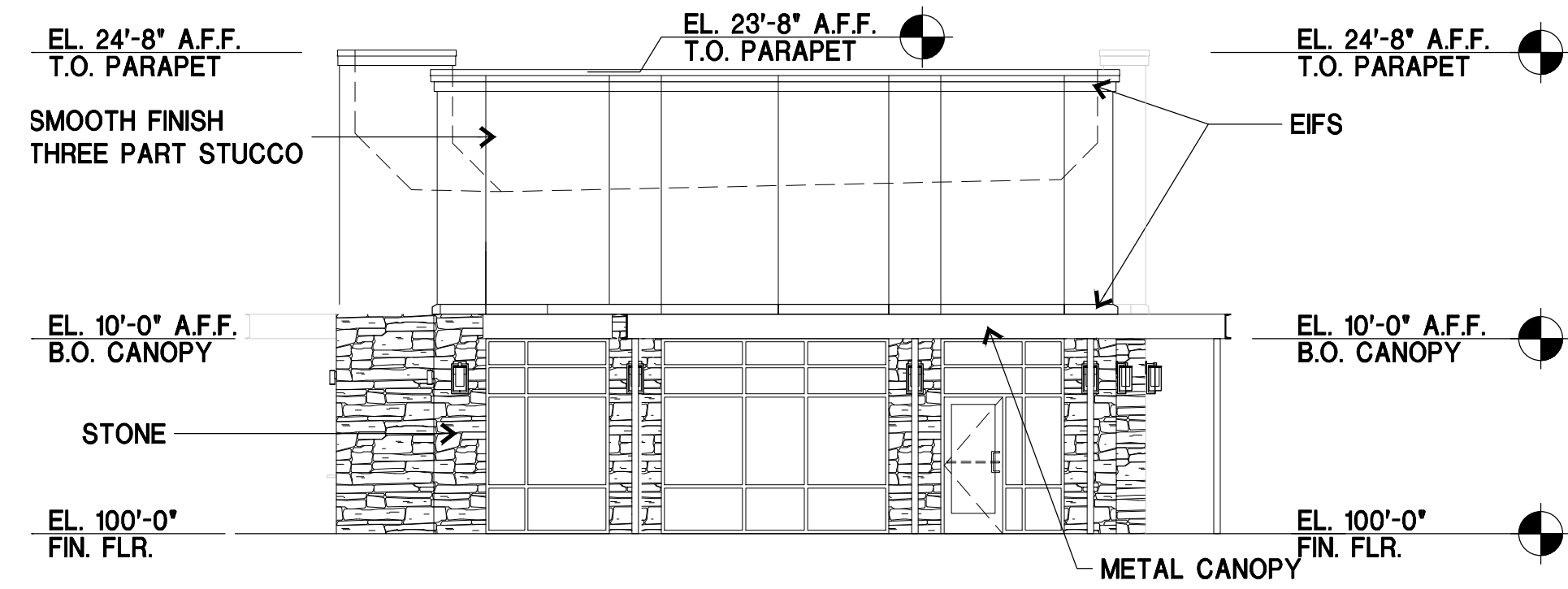
PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**E1**

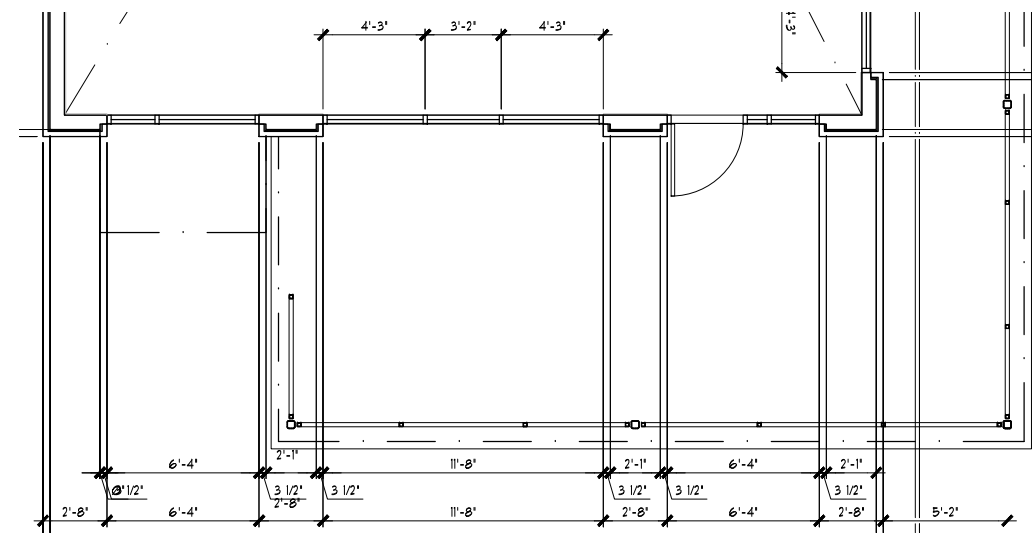
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ISSUE DATE: 3/16/18  
SCALE: AS NOTED

CASE NO: Z2018-011



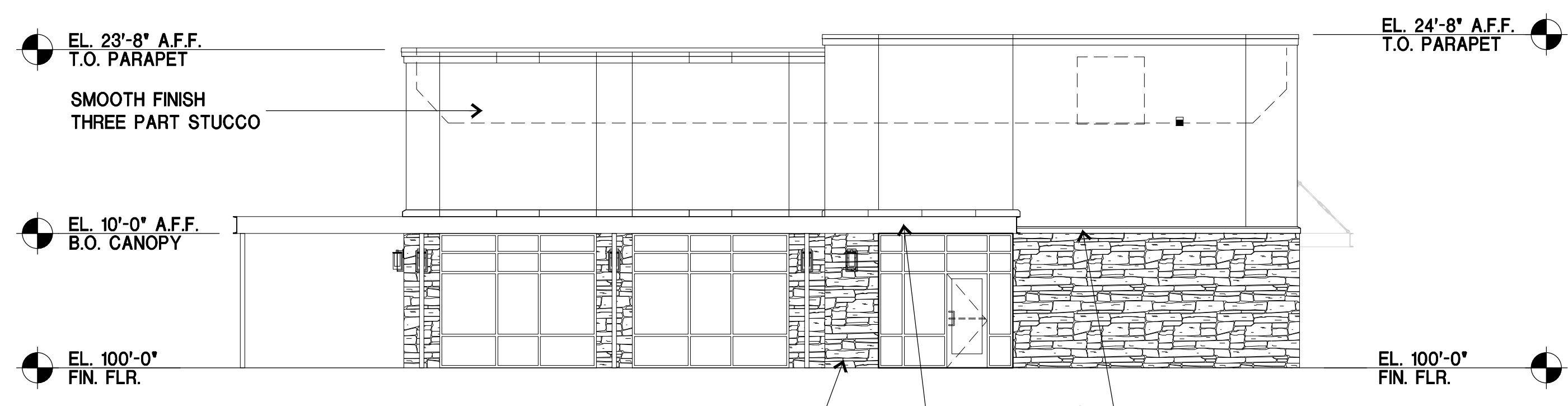


EAST	SF	TOTAL %	TOTAL %
METAL	42	5.6%	91.4%
STONE	181	24.2%	
STUCCO	461	61.6%	
EIFS	64	8.6%	
TOTAL	748	100.0%	100.0%

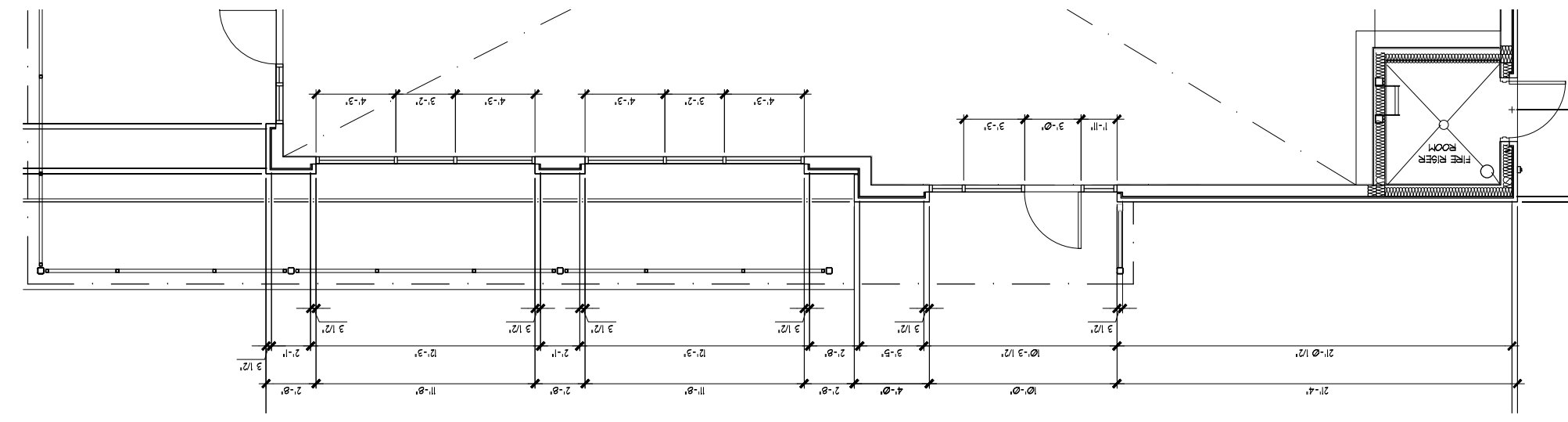


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

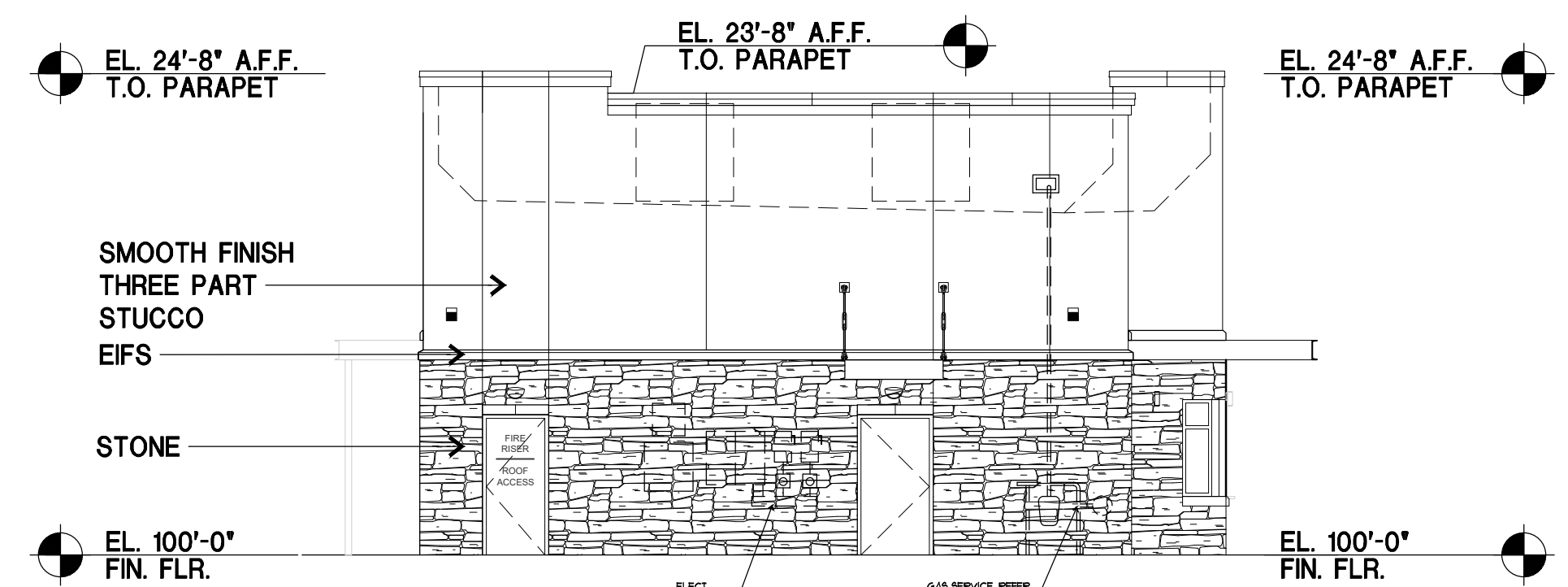


NORTH	SF	TOTAL %	TOTAL %
METAL	57	4.4%	90.0%
STONE	333	25.9%	
STUCCO	767	59.7%	
EIFS	128	10.0%	
TOTAL	1285	100.0%	100.0%

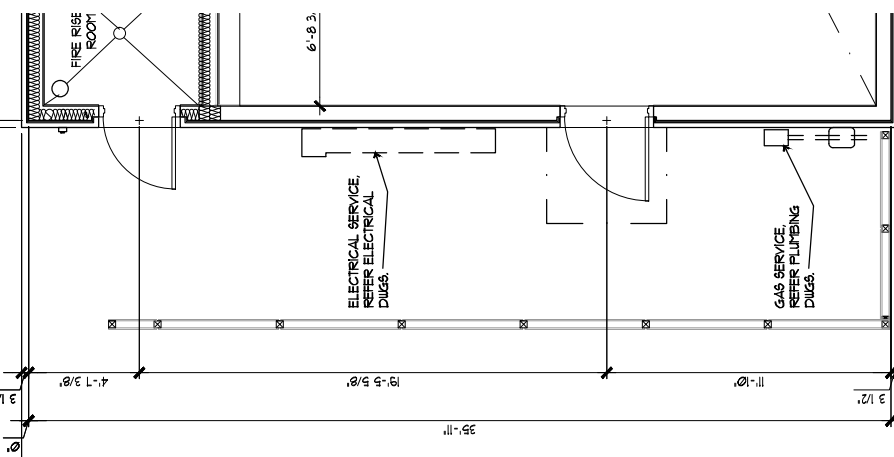


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"

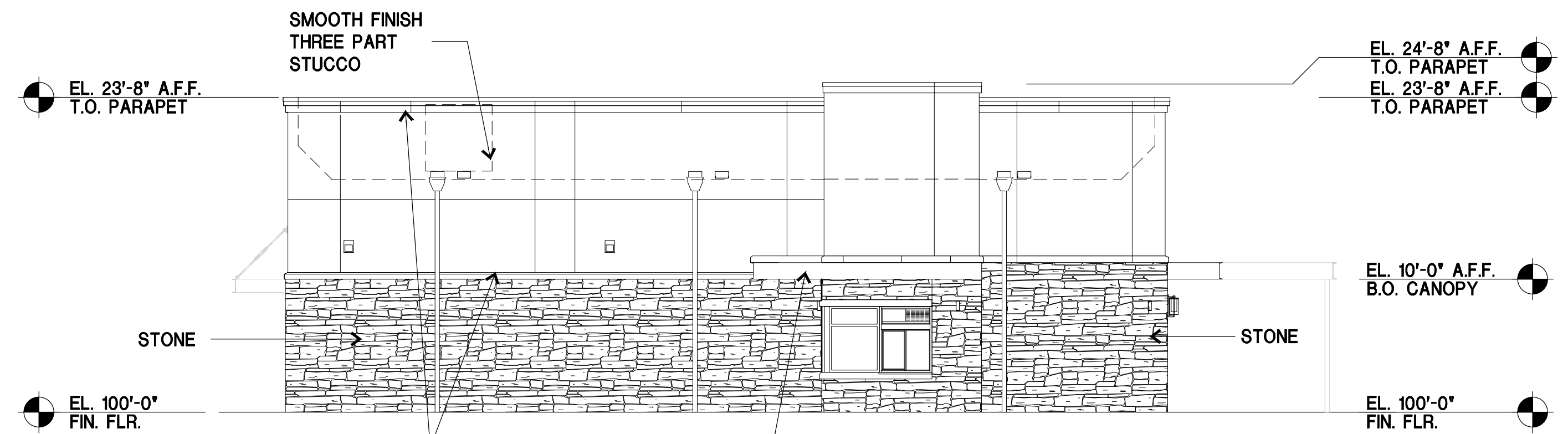


WEST	SF	TOTAL %	TOTAL %
METAL	5	0.5%	91.5%
STONE	344	36.9%	
STUCCO	505	54.1%	
EIFS	79	8.5%	
TOTAL	933	100.0%	100.0%

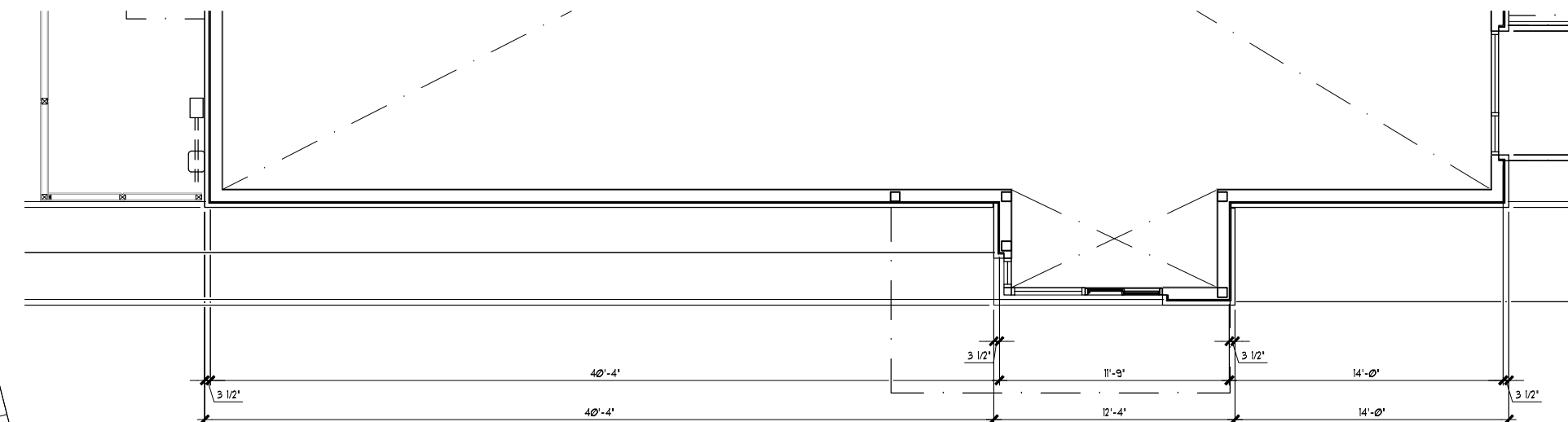


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



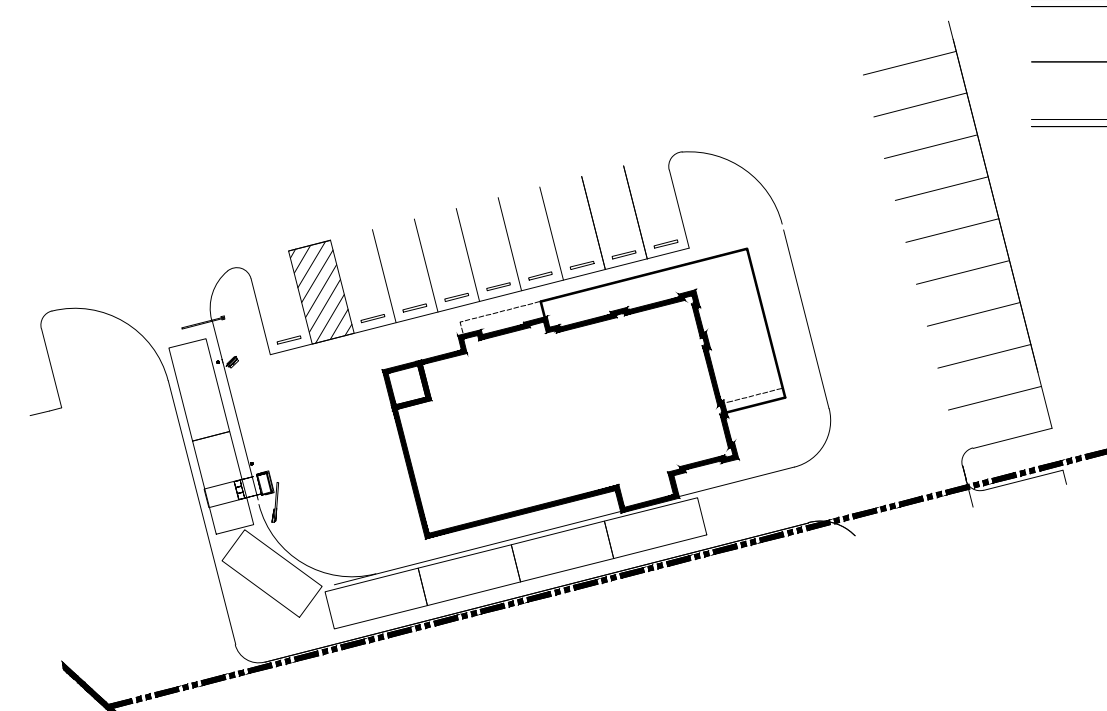
SOUTH	SF	TOTAL %	TOTAL %
METAL	21	1.4%	93.1%
STONE	636	41.2%	
STUCCO	780	50.5%	
EIFS	107	6.9%	
TOTAL	1544	100.0%	100.0%



04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:	
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO (PRIMARY):	COLOR TO MATCH SW 7744 ZEUS
STUCCO (SECONDARY):	COLOR TO MATCH SW 9168 ELEPHANT EAR
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN  
NOT TO SCALE



DALLAS, TX 972.385.9651  
www.GSOarchitects.com

APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**ELEV04**

JOB NO: 16-147  
ISSUE DATE: 03/05/18  
SCALE: AS NOTED

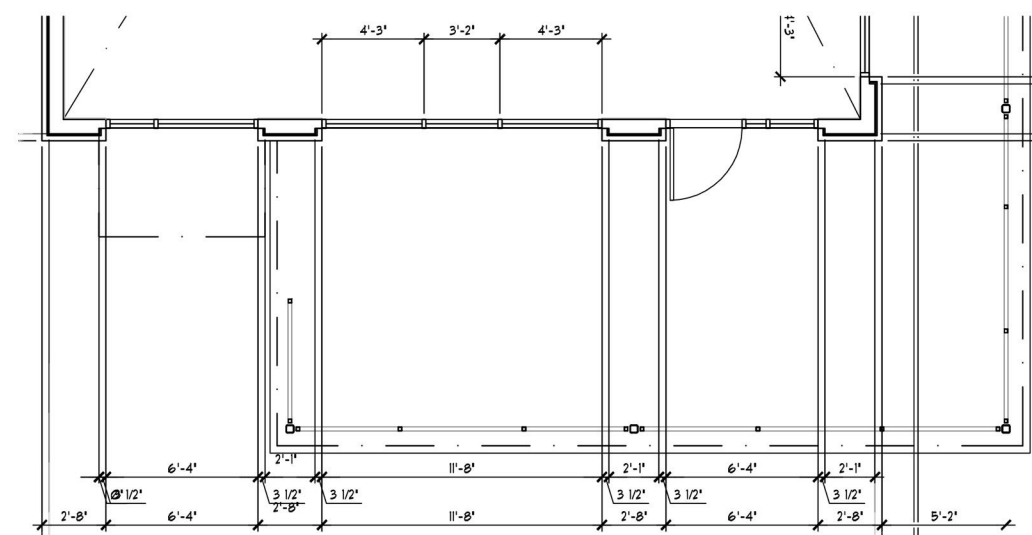
CASE #: Z2018-001

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METHOD, FOR ANY PURPOSE, WITHOUT PRIOR WRITTEN CONSENT FROM GSO ARCHITECTS, INC.





EAST	SF	TOTAL %	TOTAL %
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STONE	181	24.2%	
STUCCO	461	61.6%	
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TOTAL	748	100.0%	100.0%

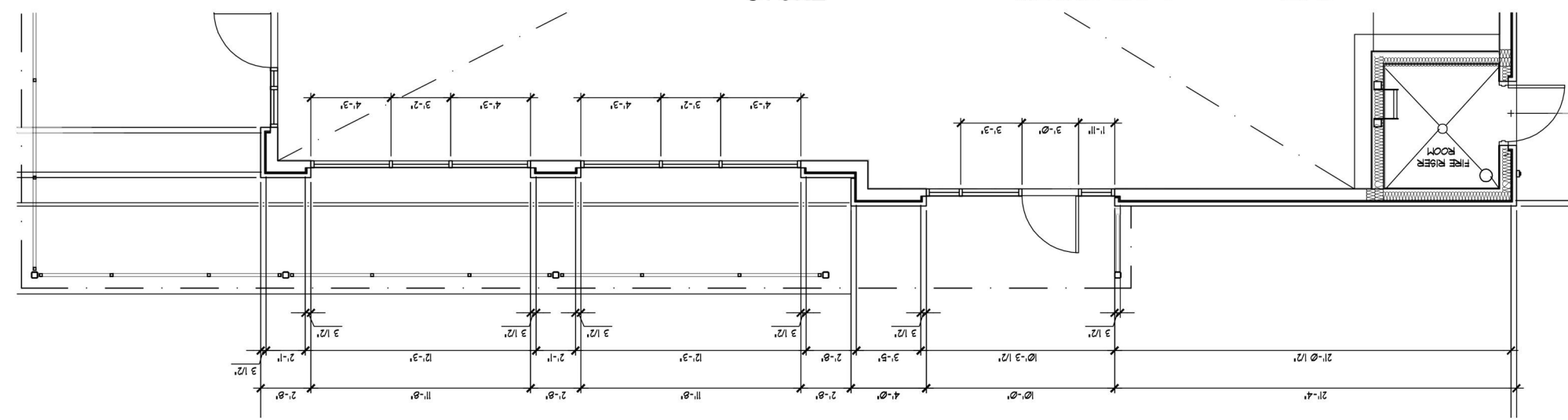


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

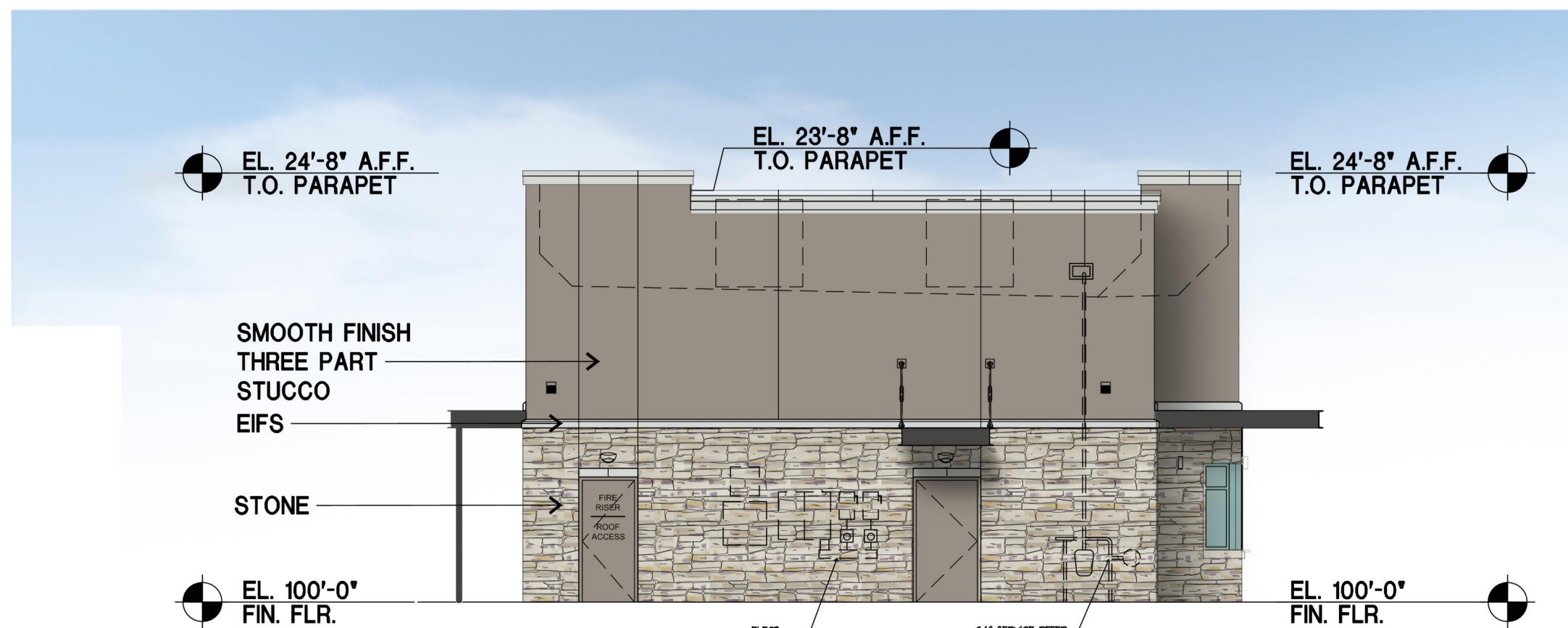


NORTH	SF	TOTAL %	TOTAL %
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STUCCO	767	59.7%	
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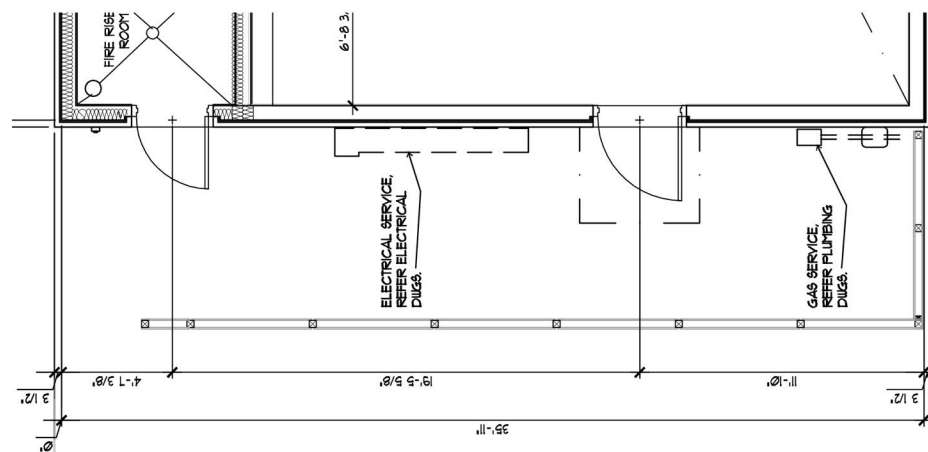


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"



WEST	SF	TOTAL %	TOTAL %
METAL	5	0.5%	91.5%
STONE	344	36.9%	
STUCCO	505	54.1%	
EIFS	79	8.5%	
TOTAL	933	100.0%	100.0%

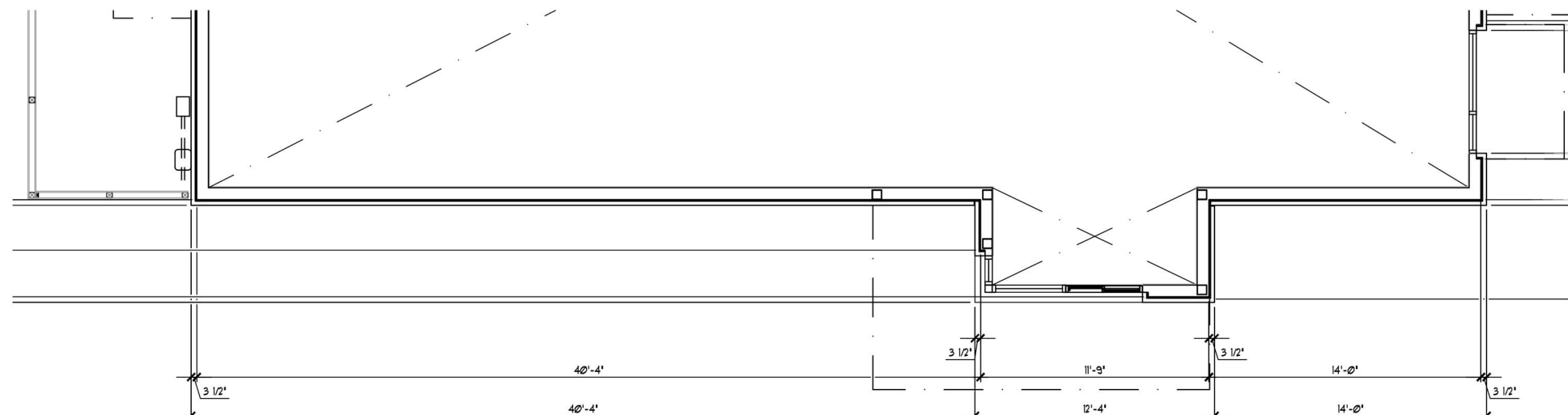


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



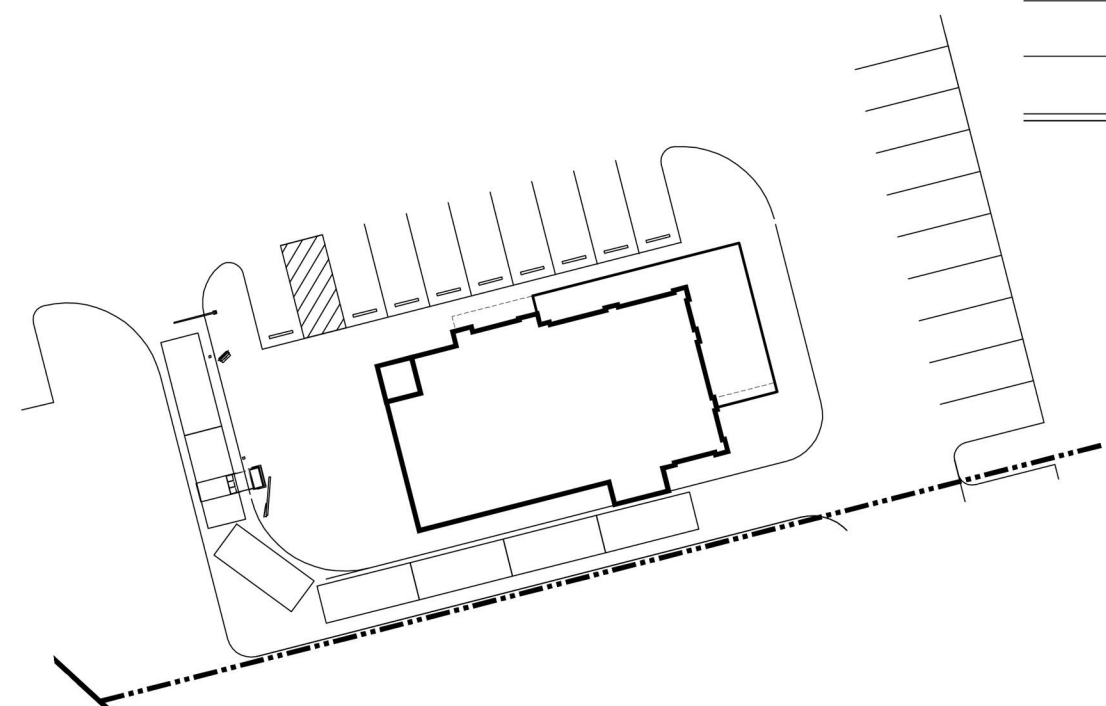
SOUTH	SF	TOTAL %	TOTAL %
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TOTAL	1544	100.0%	100.0%



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METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

NOT TO SCALE



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APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

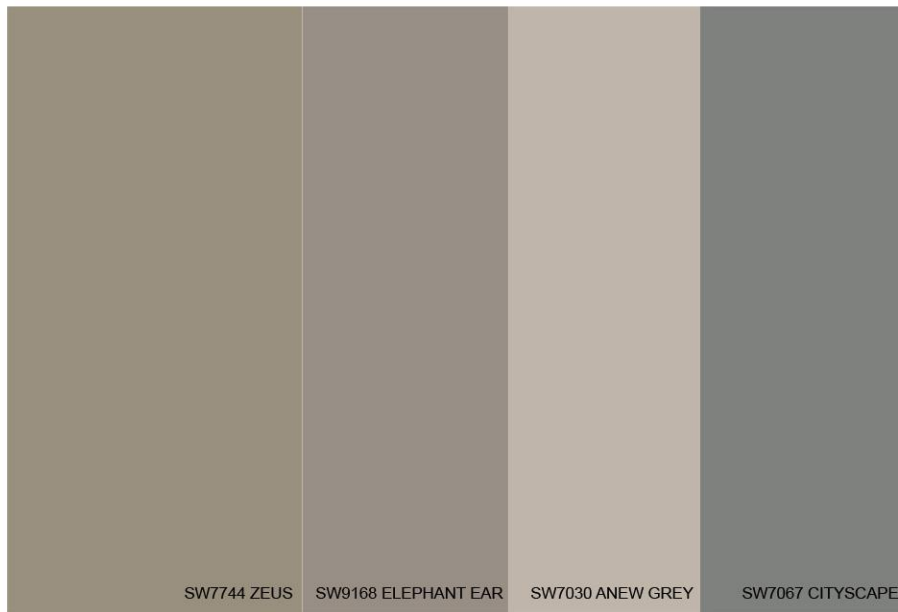
LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
LAKESHORE COMMONS - LOT 3  
ROCKWALL, TEXAS  
MOORE WORTH INVESTMENTS, LLC

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

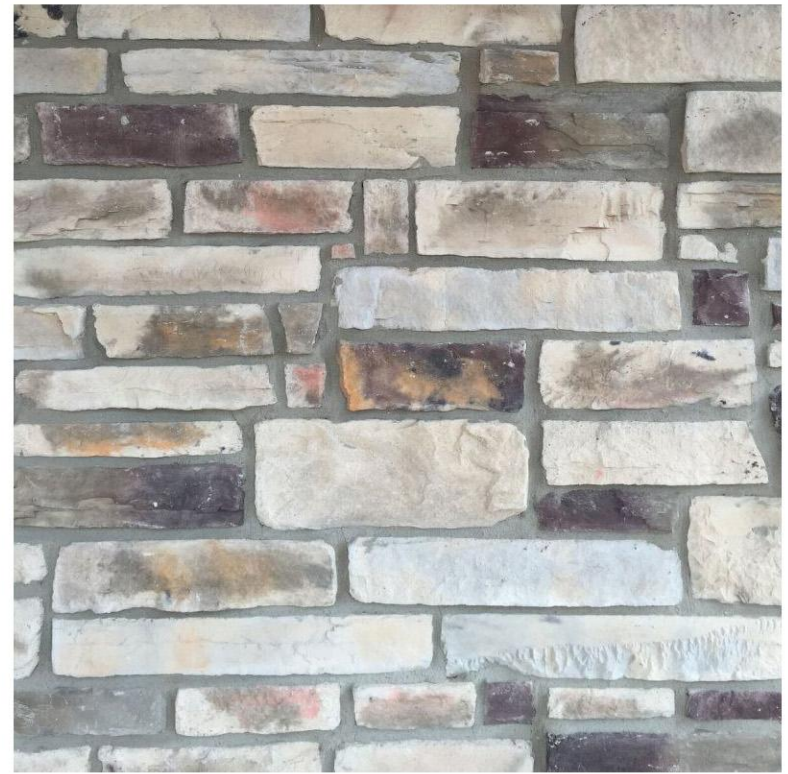
ELEV04

JOB NO: 16-147  
ISSUE DATE: 03/05/18  
SCALE: AS NOTED  
CASE #: Z2018-001





STUCCO: MATCH TO SW7744 ZEUS AND SW9168 ELEPHANT EAR  
 EIFS: MATCH TO SW7030 ANEW GREY  
 METAL CANOPIES: MATCH TO SW7067 CITYSCAPE



STONE: KONI MOUNTAIN LEDGE COUNTY



FRONT ELEVATION (FACING SH 205)



SIDE ELEVATION (MAIN ENTRY)



APPLICANT:  
 MOORE WORTH INVESTMENTS, LLC  
 10210 N CENTRAL EXPY SUITE 300  
 DALLAS TX 75231  
 CONTACT: WORTH WILLIAMS  
 214. 415. 9993

LOT 3, BLOCK A  
 LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
 ROCKWALL, TEXAS  
 MOORE WORTH INVESTMENTS, LLC



**CITY OF ROCKWALL**  
**PLANNING AND ZONING COMMISSION MEMO**

**AGENDA DATE:** 04/10/2018

**APPLICANT:** Worth Williams; *Moore Worth Investment, LLC*

**AGENDA ITEM:** SP2018-007; Starbucks

---

**SUMMARY:**

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81-acre parcel of land identified as Lot 3, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street, and take any action necessary.

**PURPOSE AND BACKGROUND:**

On January 3, 2006, the City Council adopted *Ordinance No. 06-02*, establishing the development requirements for Planned Development District 65 (PD-65), which allows a *restaurant with drive-through facilities* with a Specific Use Permit (SUP). Subsequently, the Planned Development District 65 (PD-65) ordinance was amended in 2008, 2010, and in 2017. On March 19, 2018, the City Council approved a Specific Use Permit (SUP) [*Ordinance No. 18-21*] to allow a restaurant with drive-through facilities on the subject property. The applicant is requesting approval of a site plan for a restaurant with drive-through facilities [*i.e. Starbucks*]. The proposed restaurant is ~2,418 SF and situated on a 0.81-acre tract of land [*i.e. Lot 3, Block A, Lakeshore Commons Addition*], is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N SH-205 OV) District and is addressed as 1945 N. Goliad Street.

**DENSITY AND DIMENSIONAL REQUIREMENTS:**

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. a restaurant with drive-through facilities*) is permitted with a Specific Use Permit (SUP) in Planned Development District 65 (PD-65). There is currently an approved Specific Use Permit (SUP) [*Ordinance No. 18-21*] permitting a restaurant with drive-through facilities on the subject property. The submitted site plan, landscape plan, photometric plan, and building elevations conform to the technical requirements contained within the UDC and the approved Specific Use Permit (SUP) ordinance. A summary of the density and dimensional requirements of the subject property is as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	6,000 SF	X=25,478 SF; In Conformance
<i>Minimum Lot frontage</i>	60-Feet	X=~ 113-154-Feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=~ 113-385-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X=25-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X=~25-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X=~25-75-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet <sup>1</sup>	X=~25-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	40%	X=~6.2%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	X= 100%; In Conformance
<i>Minimum Number of Parking Spaces</i>	25	31 Provided; In Conformance
<i>Minimum Stone Requirement (IH-30 OV)</i>	20% ea facade	X=42-49%-In Conformance



<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Landscaping Percentage</i>	15%	X=41%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=65%; In Conformance

NOTES: 1. Any structure over 36-feet shall require a Specific Use Permit (SUP).

According to the submitted site plan, the restaurant will be constructed utilizing a flat roof design. The purpose of this design is to match the existing retail strip center located on the adjacent property located to the northeast. The site plan shows stacking for six (6) vehicles which is in conformance with the Unified Development Code (UDC). Additionally, the proposed restaurant will have access to North Lakeshore Drive via a cross-access easement with the parcel located to the north and SH-205 via a cross-access easement with the parcel located to the south [*i.e. lot will not have direct access to North Lakeshore Drive or SH-205*].

### **VARIANCES:**

Based on the applicant's submittal, staff has identified the following variances:

#### *A) North SH 205 Corridor Overlay (N SH-205 OV) District Standards.*

- a. *Pitched Roof.* According to Subsection 2, *Roof Design Standards*, of Subsection C, *Architectural Standards*, of Section 6.11, *North SH 205 Corridor Overlay (N SH-205 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) structures having a footprint of 6,000 SF or less shall be constructed with a pitched roof system. In this case, the applicant is proposing to utilize a flat roof design to match the existing retail strip center located on the adjacent property. This request shall require a variance to be approved by the City Council.
- b. *Architectural Standards.* According to Subsection C, *Architectural Standards*, of Section 6.11, *SH North SH 205 Corridor Overlay (N SH-205 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) each exterior wall of a structure shall consist of 90% masonry including a minimum of 20% natural of quarried stone on each façade. In this case, the applicant is providing ~40-49% stone on each facade, however, the applicant is proposing to utilize cultured stone to match the cultured stone on the existing retail strip center located on the adjacent property. This request shall require a variance to be approved by the City Council.

All variances will require a  $\frac{3}{4}$  majority vote of the City Council members present to be approved.

### **ARCHITECTURAL REVIEW BOARD**

On March 27, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant raise the stone on the building façade. IN addition, the Architectural Review Board (ARB) expressed agreement with the requested variances to the pitched roof requirement and the natural stone requirement. The Architectural Review Board (ARB) will review the revised building elevations and forward a recommendation to the Planning and Zoning Commission at the April 10, 2018 meeting.

### **RECOMMENDATIONS:**

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:



- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, Planned Development District 65 (PD-65), Specific Use Permit No. S-188 [Ordinance No. 18-21], the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



3/23/2018

# City of Rockwall

## Project Plan Review History



<b>Project Number</b>	SP2018-007	<b>Owner</b>	MOORE WORTH INVESTMENTS, LLC	<b>Applied</b>	3/13/2018	LM
<b>Project Name</b>	Starbucks	<b>Applicant</b>	MOORE WORTH INVESTMENTS, LLC	<b>Approved</b>		
<b>Type</b>	SITE PLAN			<b>Closed</b>		
<b>Subtype</b>				<b>Expired</b>		
<b>Status</b>	Staff Review			<b>Status</b>		

<b>Site Address</b>	<b>City, State Zip</b>	<b>Zoning</b>
1945 N GOLIAD ST	ROCKWALL, TX 75087	

<b>Subdivision</b>	<b>Tract</b>	<b>Block</b>	<b>Lot No</b>	<b>Parcel No</b>	<b>General Plan</b>
	8-4	NULL	8-4	0124-0000-0008-04-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	John Ankrum	3/13/2018	3/20/2018	3/19/2018	6	APPROVED	
ENGINEERING (3/21/2018 9:47 AM SH) See markups Parking spaces not facing the building must be 18' by 9' wide at the smallest point. The fireline min. interior curb radius is 20'. Why does the curb terminate in the northeast corner of the site? 4% Engineering Inspection Fees Impact Fees Dumpster area to drain to oil/water separator or grease trap Show and label flood plain with cross sections and elevations Signage can't be in an easement or right-of-way Engineering plans will not be approved until the Lakeshore Commons infrastructure has been finished and accepted by the City Show that all shrubs planted adjacent to 18' parking spaces to be planted 4' from back of curb	Amy Williams	3/13/2018	3/20/2018	3/21/2018	8	COMMENTS	See Comments
FIRE	Ariana Hargrove	3/13/2018	3/20/2018	3/23/2018	10	APPROVED	
GIS	Lance Singleton	3/13/2018	3/20/2018	3/20/2018	7	APPROVED	
PLANNING	Korey Brooks	3/13/2018	3/20/2018	3/23/2018	10	COMMENTS	Comments



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
SP2018-008 Starbucks: Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1	This is a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81-acre parcel of land identified as Lot 3, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street.					
I.2	For questions or comments concerning this case please contact Korey Brooks in the Planning Department at (972) 772-6434 or email kbrooks@rockwall.com.					
M.3	For reference, include the case number (SP2018-007) in the lower right hand corner of all pages on future submittals.					
I.4	This property will be required to be plated prior to the issuance of a building permit.					
M.5	Please note that this site is situated in the North SH-205 Overlay District. Please review those standards, specifically for landscaping. Please include the overlay district in the site summary table of each page.					
M.6	Site Plan. Please provide floor area ratio in site summary table of each page.					
M.7	Site Plan. The restaurant shows 2,418 SF, but the site summary table shows 2,200 SF. Please provide the correct SF.					
M.8	Site Plan. Dumpsters cannot face the street.					
M.9	Site Plan. No structures in any easements. The dumpsters seem to clip an easement.					
M.10	Site Plan. Please provide width (at the smallest point) for the 6 parking spaces adjacent to the dumpsters.					
M.11	Site Plan. Please provide the radio for the curb on the east side of the row of parking that includes the accessible spaces. (Where it says "EX Water Meters" and "15' Utility Easement").					
M.12	Site Plan. Please dimension all walls of the building.					
M.13	Site Plan. Please show distance from the property line to the building for each side.					
M.14	Site Plan. Please note that the LS buffer is 20-feet not 10-feet as indicated on the site plan (unless you are requesting a variance).					
M.15	Site Plan. There seems to be a patio on the north and east side of the building. Will outdoor seating be provided?					
M.16	Site Plan. Please provide paving material and thickness.					
M.17	Site Plan. Please show centerline of SH-205.					
M.18	Landscape Plan. Please provide the same Site Data Table as provided on the Site Plan.					
M.19	Landscape Plan. Dumpster seems to encroach easement.					
M.20	Landscape Plan. Please note that no parking space shall be more than 80-feet from a canopy tree. Please provide 80-foot buffers to ensure coverage.					
M.21	Landscape Plan. Please note that in the overlay district the landscaping requirement is 2 canopy trees and 4 accent trees per 100-feet.					
M.22	Landscape Plan. Please note that canopy trees are a min of 4 caliper-inches and not 3-3.5 caliper-inches as shown.					
M.23	Landscape Plan. Please note that the LS buffer is 20-feet not 10-feet.					
M.24	Photometric Plan. Please darken property line on photometric plan.					
M.25	Photometric Plan. Please provide some clarification on the symbols for "Egress 1, 2, 3, and Property Line"					
M.26	Photometric Plan. Please label cut sheet so that I can determine which cut sheet matches the fixture type on the photometric plan.					
M.27	Photometric Plan. Please note that any light over 15-watts shall be directed downward with a partial or full cutoff					
M.28	Photometric Plan. Please provide site data table as shown in site plan.					
M.29	Photometric Plan. Please show centerline of SH-205					
M.30	Building Elevations. Please note that the overlay district requires 8-foot dumpster enclosure. Please provide elevations of dumpster enclosure.					
M.31	Building Elevations. Please note in an overlay district, natural or quarried stone is required. You are proposing cultured stone which would require approval of a variance.					
M.32	Building Elevations. Please remove metal canopies from building façade material percentages and re-calculate.					
M.33	Building Elevations. Please note that EIFS is a secondary material. Secondary materials over 10% per façade require a variance.					
M.34	Building Elevations. Please indicate the elevation that faces the street.					
M.35	Building Elevations. Note that stucco over 50% per façade will require a variance.					



Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
M.36	Building Elevations.	Please note that this will require a variance to the pitched roof requirement. According to the UDC, any building less than 6,000 SF shall be constructed of a pitched roof system.				
M.37	Building Elevations.	Please provide a materials sample board.				
M.38	Building Elevations.	If the building elevations are scalable, please provide scale.				
I.39	The Architectural Review Board (ARB) meeting for this case will be held on March 27, 2018 at 5:00 p.m.					
I.40	Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 3, 2018. The Planning and Zoning Worksession for this case will be March 27, at 6:00 p.m. The Planning and Zoning Meeting will be April 10, 2018. A representative is required to attend all meetings.					
I.41	If necessary the projected City Council meeting date for this case will be April 16, 2018.					





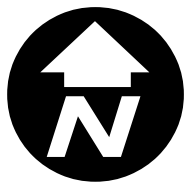
SP2018-007 - SITE PLAN FOR STARBUCKS  
SITE PLAN- LOCATION MAP =



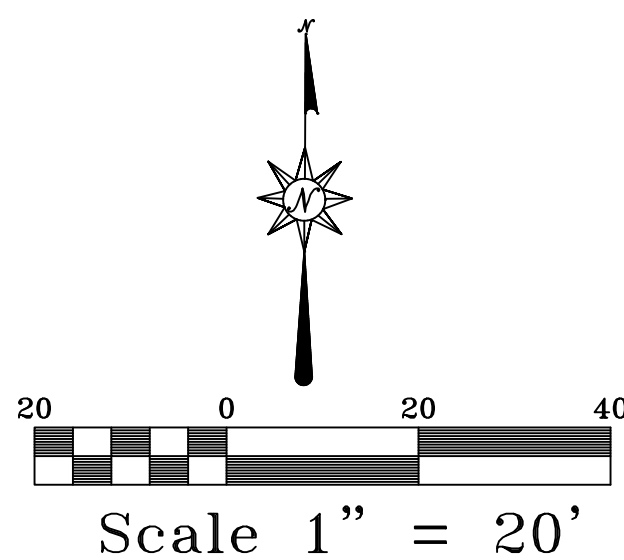
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







BEFORE YOU DIG CALL:  
1-800-245-4545



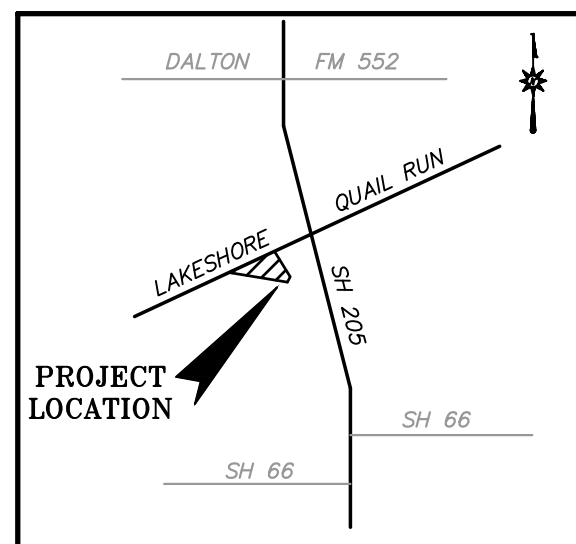
TEXAS ONE CALL SYSTEM

NOTES:

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
- SEE NCTCOG 3RD EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

Course	Bearing	Distance
L 1	N 16°39'03" E	56.72'
L 2	S 47°14'05" E	22.78'
L 3	S 72°06'04" E	46.17'
L 4	N 42°07'52" E	17.76'

Scale 1" = 20'



VICINITY MAP

NOTE:  
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL  
LOCATION OF ALL EXISTING UTILITIES PRIOR  
TO BEGINNING ANY CONSTRUCTION/EXCAVATION  
AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES  
EXISTING UTILITIES SHOWN ON THESE PLANS  
ARE BASED ON COMBINATION OF FIELD SURVEY  
& CITY RECORD DRAWINGS

OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE  
INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE  
WEST LINE OF THE AIRPORT ACCESS ROAD.  
ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE  
INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE  
OF STATE HIGHWAY NO. 205.  
ELEVATION = 480.51'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE  
DRIVE ± 470' WEST OF STATE HIGHWAY NO. 205.  
ELEVATION = 468.05'

Note: Copyright © Hickman Consulting Engineers, Inc. All rights reserved.  
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by any other means, or stored, processed or transmitted in or by any  
computer or other systems without the prior written permission of Hickman  
Consulting Engineers, Inc. Copies of this plan without an original signature  
and seal are not valid.

ADA BARRIER-FREE RAMP REQUIREMENTS:

- TEXTURE: SHALL CONSIST OF EXPOSED CRUSHED STONE  
AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE  
STRIPS, OR TRUNCATED DOMES (SEE TAS/ADS STDS FOR ADDITIONAL OPTIONS).  
SURFACE MUST BE DETECTABLE UNDER FOOT. SURFACES  
THAT ARE RAISED OR ETCHED  
IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE
- CONTRAST: FOR PURPOSES OF WARNING, THE FULL WIDTH AND  
DEPTH OF CURB RAMP SHALL HAVE A LIGHT REFLECTIVE VALUE AND  
TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING  
PEDESTRIAN ROUTES.
- RAMP WITHIN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY STD.  
PROHIBITED DOMES AT PLATFORM BOARDING EDGES SHALL BE A MIN OF 24" WIDE  
AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.

ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<5% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
TAS PARKING & ACCESS AISLE	<2% SLOPE IN ANY DIRECTION
CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS	

NOTE:  
PARKING & ACCESSIBLE ROUTES FOR DISABLED  
PERSONS SHALL BE DESIGNATED, DESIGNED &  
CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

This document is released for the purpose of  
REVIEW  
under the authority of Mark H. Hickman, P.E. 78409 on  
03-15-18  
It is not to be used for  
construction bidding permit  
purposes.

LEGEND	
PROPOSED	EXISTING
500 - PROPOSED CONTOURS	POWER POLE
515.00 - SPOT ELEVATION AT FINISHED GRADE	ANCHOR
514.00 - INDICATES TOP OF STRUCTURE	WATER METER
513.50 - INDICATES FLOW LINE ELEVATION	WATER VALVE
W - PROPOSED WATER LINE	IRRIGATION CONTROL VALVE
SS - PROPOSED SANITARY SEWER LINE	TELEPHONE PEDESTAL
SD - PROPOSED STORM DRAIN LINE	GAS METER
BL - BUILDING LINE	MAILBOX
UE - UTILITY EASEMENT	LIGHT POLE
DUE = DRAINAGE & UTILITY EASEMENT	FIRE HYDRANT
FCS = FIBER OPTIC CABLE MARKER	UTILITY EASEMENT
GAS = GAS SIGN	SSSB = SUB SURFACE SERVICE BOX
SSSB = SUB SURFACE SERVICE BOX	BCS = BURIED CABLE SIGN
BCS = BURIED CABLE SIGN	T = TRAFFIC SIGNAL
U.E. = UTILITY EASEMENT	U.E. = UTILITY EASEMENT
1 - WATER SERVICE TAP NO	T = ATMOS FLAG

SITE PLAN NOTES:

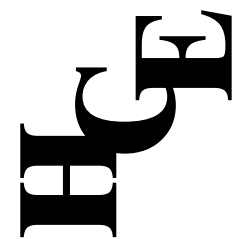
- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CITY REQUIREMENTS. SEE BLDG PLANS.

SITE LAYOUT NOTES:

- ALL FIRE LANES ARE 24' WIDE WITH MIN 20' INSIDE RADIUS AND MIN 44' OUTSIDE RADIUS. FIRE LANES SHALL BE CONSTRUCTED AND STRIPED PER CITY OF ROCKWALL FIRE DEPT REQUIREMENTS.
- ALL PARKING STALLS, UNLESS SHOWN OTHERWISE, SHALL BE 9' WIDE x 18' DEEP EXCEPT STALLS IN FRONT OF BLDG SHALL BE 9' WIDE x 20' DEEP.  
VAN ACCESSIBLE AREA SHALL BE 9' MIN WIDE x 18' (OR 20') DEEP. OTHER ACCESS AISLES ADJACENT TO H/C PARKING SHALL BE 5' WIDE x 18' (OR 20') DEEP. ALL PARKING STALLS SHALL BE CONSTRUCTED PER PAVING PLAN.
- ALL OTHER DRIVING LANES SHALL BE MIN 24' WIDE AND CONSTRUCTED PER THE PAVING.

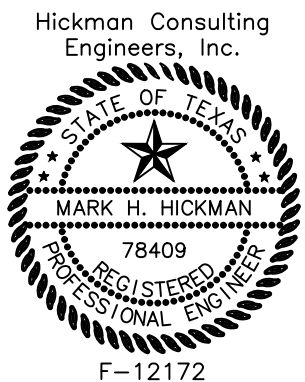
SITE SUMMARY - LOT 1	
ZONED	PD-65 (FOR GR USES)
PROPOSED USE	RESTAURANT
LOT AREA	0.81 AC (35,478.55 SF)
BUILDING AREA	2418 SF
PARKING	
RESTAURANT = 2200 SF	
REQUIRED TOTAL	22 SPACES
1/100	2200/100=22
REQUIRED TOTAL	22 SPACES (21 REG; 1 H/C)
PROVIDED TOTAL	31 SPACES (29 REG; 2 H/C)
LOT COVERAGE	
IMPERVIOUS AREA	6.2% (2200 SF)
PERVIOUS AREA	65% (23,178 SF)
PERVIOUS AREA	35% (12,301 SF)

Hickman Consulting Engineers, Inc.  
3004 County Road 1024  
Farmersville, Texas 75442  
Ph (972)764-2499  
markredhick@gmail.com  
Engineers  
Planners



SITE PLAN  
LAKESHORE COMMONS  
LOT 3; LAKESHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1"=20'  
DATE: FEB/2018  
DRAWN BY: FP  
CHK'D BY: MHH  
JOB NO: 1701-357  
FILE: 239-L2-WO  
SUBMITTAL: 03/16/18(1)



REVISION	DATE	DESCRIPTION

SHEET  
1 of 1



LANDSCAPE TABULATIONS		
	Required	Provided
10 ft. Landscape Buffer Strip 1 tree per 50 ft. of Street Frontage (133.75 FT)	3 Trees	3 Trees
Parking and Maneuvering Space (16,840 SF) 1 tree per 10 Req. Parking Spaces (31 req. spaces)	3 Trees	4 Trees
Amount of Landscaping Commercial / General Retail	15% (5321 SF)	31.7% (11,256 SF)

Landscape Notes

1. CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. IT IS THE RESPONSIBTY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
4. ALL SHRUB AND GROUNDCOVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH.
5. LANDSCAPE EDGING SHALL BE LOCATED AS NOTED ON PLAN.
6. TREES SHALL BE PLANTED A LEAST FIVE (5') FEET FROM ANY UTILITY LINE, AND OUTSIDE ALL UTILITY EASEMENTS AND A THREE (3') CLEAR DIAMETER AROUND FIRE HYDRANTS, UNLESS PRIOR APPROVAL IS GRANTED.
7. TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
8. TREES OVERHANGING VISIBILITY EASEMENTS OF RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
9. TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
10. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
12. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- 13.AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
14. ALL HYDROSEEDED AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RATE.

TRACT 1  
ARKOMA DEVELOPMENT, L.L.C.  
TO  
CITY OF ROCKWALL, TEXAS  
VOL. 5670, PG. 162  
R.P.R.R.C.T.

Landscape					
Quantity	Symbol	Description	Height	Spread	Spacing
Shrubs Under 4 Feet					
27		Abelia 'Sherwood' 5 Gallon	15in - 18in	15 in	36 in
27		Cotoneaster glaucophyllus 5 Gallon	15in - 18in	15 in	36 in
25		Rhaphiolepis indica 'Clara' 5 Gallon	12in - 15in	12in - 15in	36 in
16		Juniperus procumbens 'nana' 3 Gallon	N/A	12in - 15in	36 in
Trees					
6		Lagerstroemia indica 'Pink Velour' 15 Gallon	36 in	36 in	Per Plan
2		Quercus shumardii 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
2		Quercus virginiana 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
3		Taxodium distichum 3 to 3 1/2 in cal	14ft - 16ft	4ft - 6ft	Per Plan
Grass					
13236		Eragrostis curvula - Sq. Ft. - hydroseed at 50 lbs per acre			

COMPANY:

M.C.R. Environmental Services, Inc.  
214-790-4497 Office  
940-762-9307 cell  
5520 State Hwy 78 S  
Nevada, Tx. 75173

SHEET DESCRIPTION:

LANDSCAPE PLAN

PROJECT:

LAKESHORE COMMONS  
Lot 3; Lakeshore Commons  
Rockwall, Rockwall County, Texas  
PROVIDENT REALTY ADVISORS, INC.  
10210 N. Central Expy., Ste 300  
Dallas, TX 75231 PH. 214-415-9993

REVISIONS:

3-12-2018

DATE:

3-12-2018

JOB NUMBER:

180212

DRAWN BY:

David G

CHECKED BY:

N/A

SCALE:

1" = 20'

SHEET:

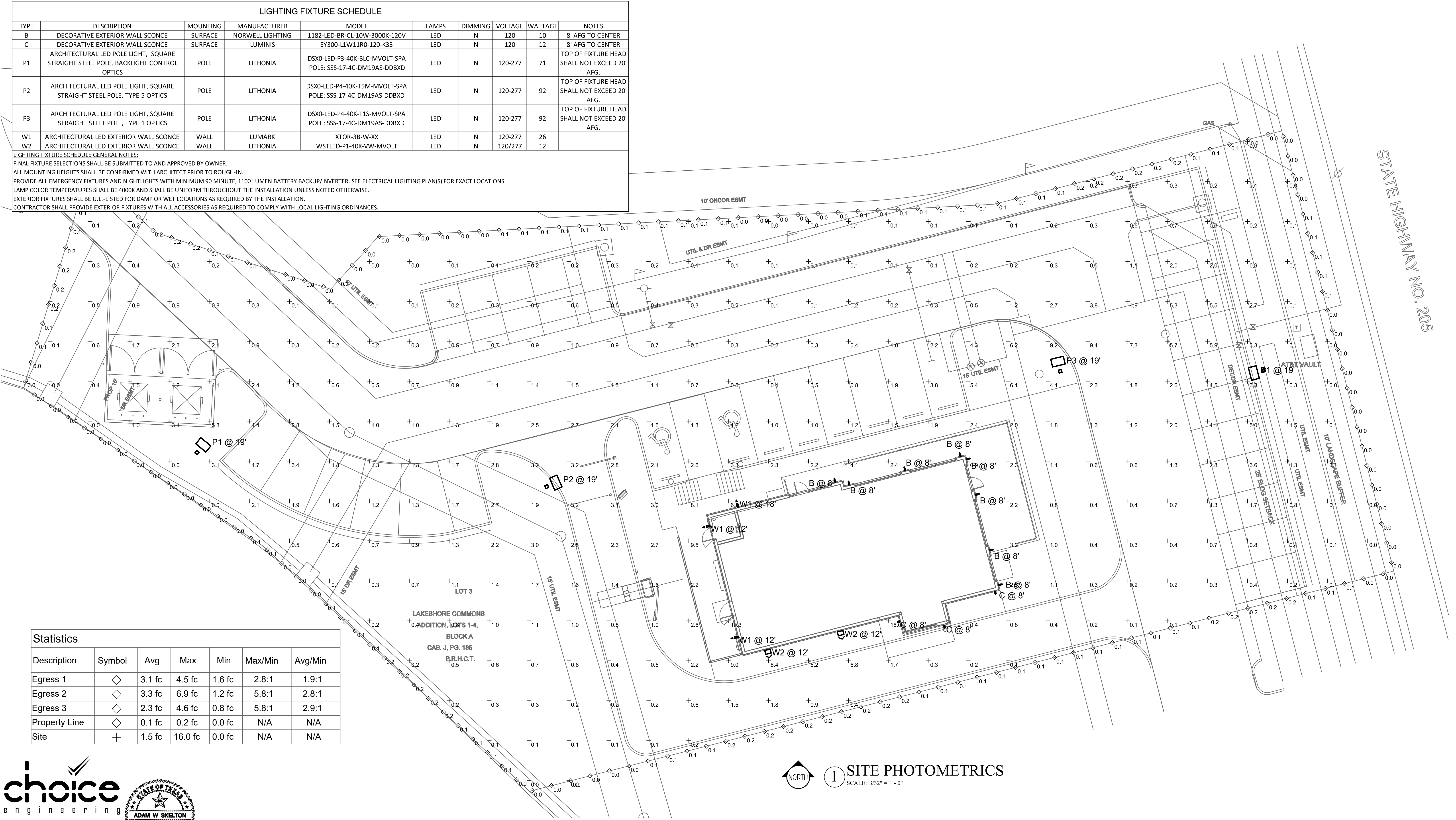
L-1



"Making a difference in tomorrow - Today"



LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	MODEL	LAMPS	DIMMING	VOLTAGE	WATTAGE	NOTES
B	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	NORWELL LIGHTING	1182-LED-BR-CL-10W-3000K-120V	LED	N	120	10	8' AFG TO CENTER
C	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	LUMINIS	SY300-L1W11R0-120-K35	LED	N	120	12	8' AFG TO CENTER
P1	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, BACKLIGHT CONTROL OPTICS	POLE	LITHONIA	DSX0-LED-P3-40K-BLC-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	71	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P2	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 5 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T5M-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P3	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 1 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T1S-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
W1	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LUMARK	XTOR-3B-W-XX	LED	N	120-277	26	
W2	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LITHONIA	WSTLED-P1-40K-VW-MVOLT	LED	N	120/277	12	
LIGHTING FIXTURE SCHEDULE GENERAL NOTES: FINAL FIXTURE SELECTIONS SHALL BE SUBMITTED TO AND APPROVED BY OWNER. ALL MOUNTING HEIGHTS SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE ALL EMERGENCY FIXTURES AND NIGHTLIGHTS WITH MINIMUM 90 MINUTE, 1100 LUMEN BATTERY BACKUP/INVERTER. SEE ELECTRICAL LIGHTING PLAN(S) FOR EXACT LOCATIONS. LAMP COLOR TEMPERATURES SHALL BE 4000K AND SHALL BE UNIFORM THROUGHOUT THE INSTALLATION UNLESS NOTED OTHERWISE. EXTERIOR FIXTURES SHALL BE U.L.-LISTED FOR DAMP OR WET LOCATIONS AS REQUIRED BY THE INSTALLATION. CONTRACTOR SHALL PROVIDE EXTERIOR FIXTURES WITH ALL ACCESSORIES AS REQUIRED TO COMPLY WITH LOCAL LIGHTING ORDINANCES.									



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Egress 1	◇	3.1 fc	4.5 fc	1.6 fc	2.8:1	1.9:1
Egress 2	◇	3.3 fc	6.9 fc	1.2 fc	5.8:1	2.8:1
Egress 3	◇	2.3 fc	4.6 fc	0.8 fc	5.8:1	2.9:1
Property Line	◇	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
Site	+	1.5 fc	16.0 fc	0.0 fc	N/A	N/A

choice

engineering

CHOICE ENGINEERING, LLC

SACHSE, TEXAS

PHONE: (469) 606-1265

TEXAS FIRM REG. NUMBER F-15676

WWW.CHOICEENGINEERING.COM

STATE OF TEXAS

ADAM W. SKELTON

11919

5/16/18

GSO ARCHITECTS

DALLAS, TX 972.385.9651

www.GSOarchitects.com

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**1 SITE PHOTOMETRICS**  
SCALE: 3/32" = 1' - 0"

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

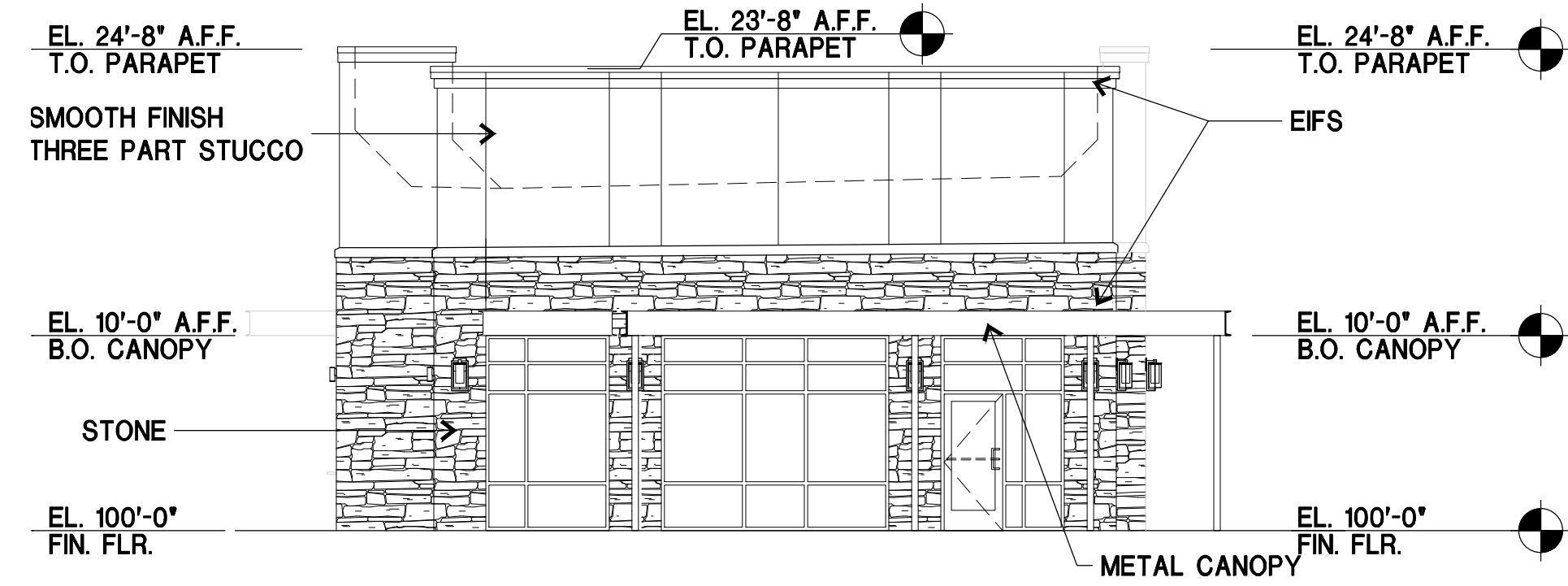
PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**E1**

JOB NO: 16-147  
ISSUE DATE: 3/16/18  
SCALE: AS NOTED

CASE NO: Z2018-011

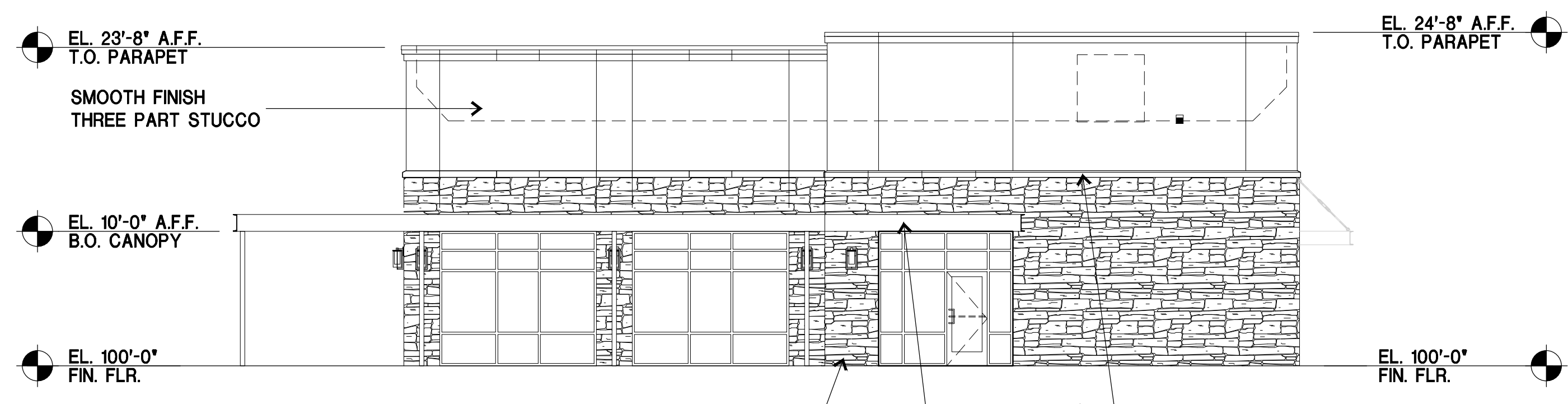




EAST	SF	TOTAL %	TOTAL %
STONE	300	42.5%	91.1%
STUCCO	343	48.6%	
EIFS	63	8.9%	8.9%
TOTAL	706	100.0%	100.0%

01 FRONT (EAST) ELEVATION

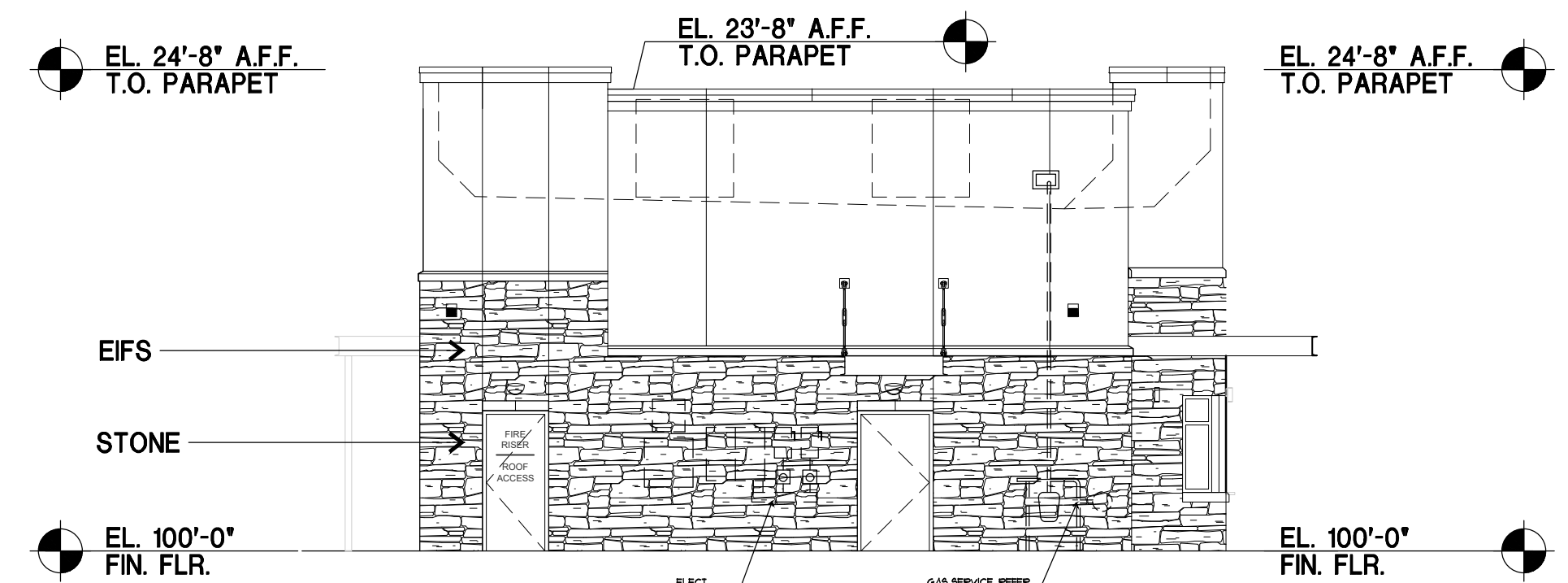
1/8" = 1'-0"



NORTH	SF	TOTAL %	TOTAL %
STONE	543	44.2%	92.1%
STUCCO	588	47.9%	
EIFS	97	7.9%	7.9%
TOTAL	1228	100.0%	100.0%

02 SIDE (NORTH) ELEVATION

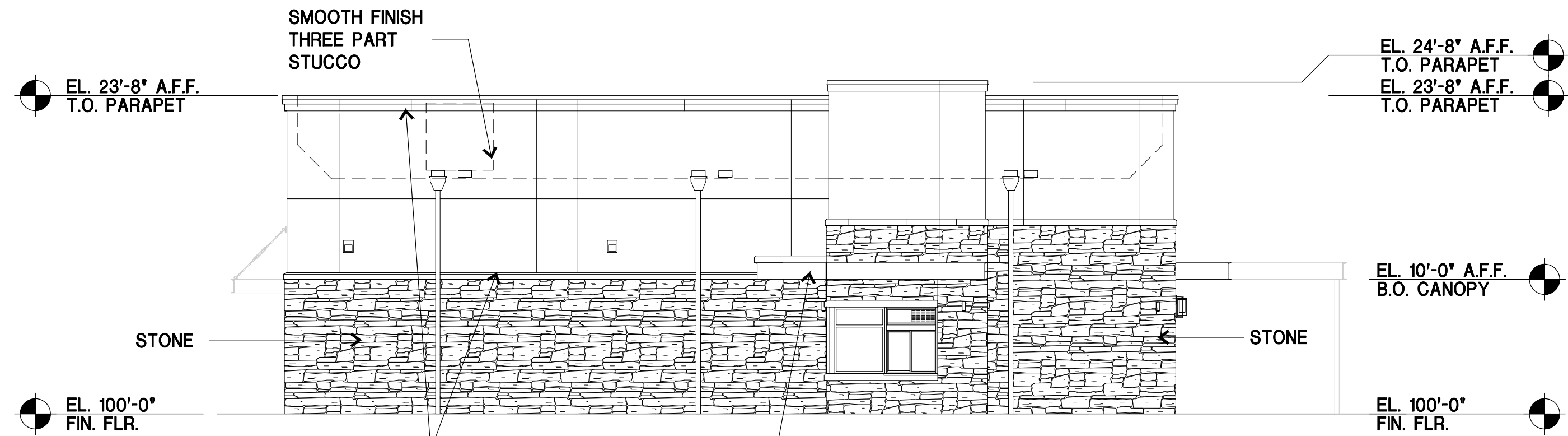
1/8" = 1'-0"



WEST	SF	TOTAL %	TOTAL %
STONE	396	42.7%	91.5%
STUCCO	453	48.8%	
EIFS	79	8.5%	8.5%
TOTAL	928	100.0%	100.0%

03 REAR (WEST) ELEVATION

1/8" = 1'-0"

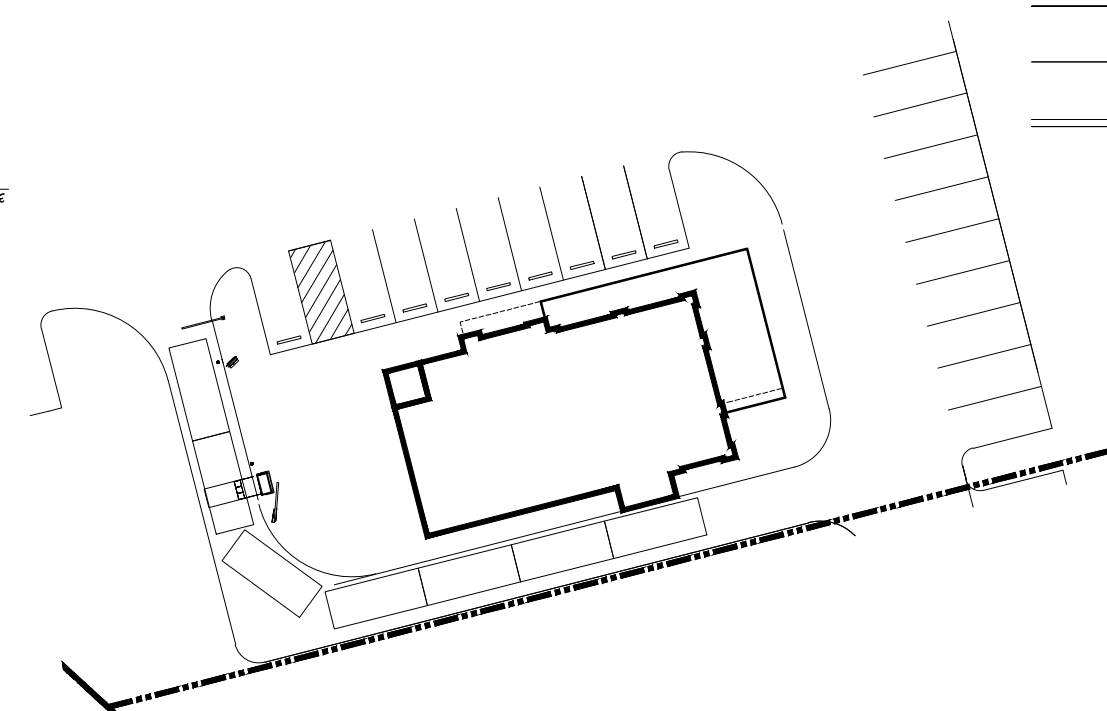


SOUTH	SF	TOTAL %	TOTAL %
STONE	753	49.4%	95.5%
STUCCO	702	46.1%	
EIFS	68	4.5%	4.5%
TOTAL	1523	100.0%	100.0%

04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:  
STONE: KONI- MOUNTAIN LEDGE COUNTY  
COLOR TO MATCH SW 7030 ANEW GRAY  
EIFS: COLOR TO MATCH SW 7744 ZEUS  
STUCCO (PRIMARY): COLOR TO MATCH SW 9168 ELEPHANT EAR  
STUCCO (SECONDARY): COLOR TO MATCH SW 9168 ELEPHANT EAR  
METAL CANOPIES: COLOR TO MATCH BERRIDGE LEAD COTE  
STOREFRONT: CLEAR ANODIZED



KEY PLAN

NOT TO SCALE

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
LAKESHORE COMMONS - LOT 3  
ROCKWALL, TEXAS  
MOORE WORTH INVESTMENTS, LLC

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

ELEV05

JOB NO: 16-147  
ISSUE DATE: 04/02/18  
SCALE: AS NOTED

CASE #: Z2018-001



DALLAS, TX 972.385.9651  
www.GSOarchitects.com

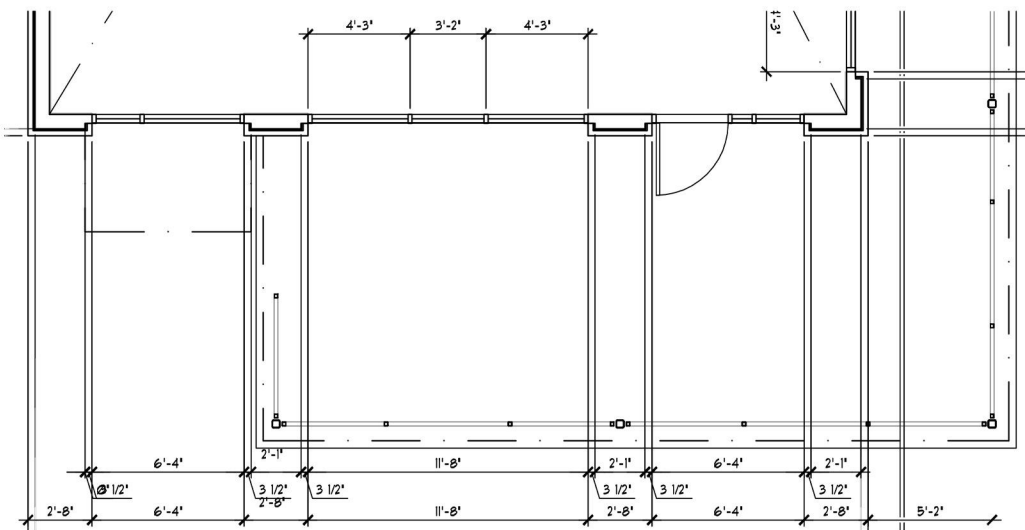
APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

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METHOD, FOR ANY PURPOSE, WITHOUT PRIOR WRITTEN CONSENT FROM GSO ARCHITECTS, INC.





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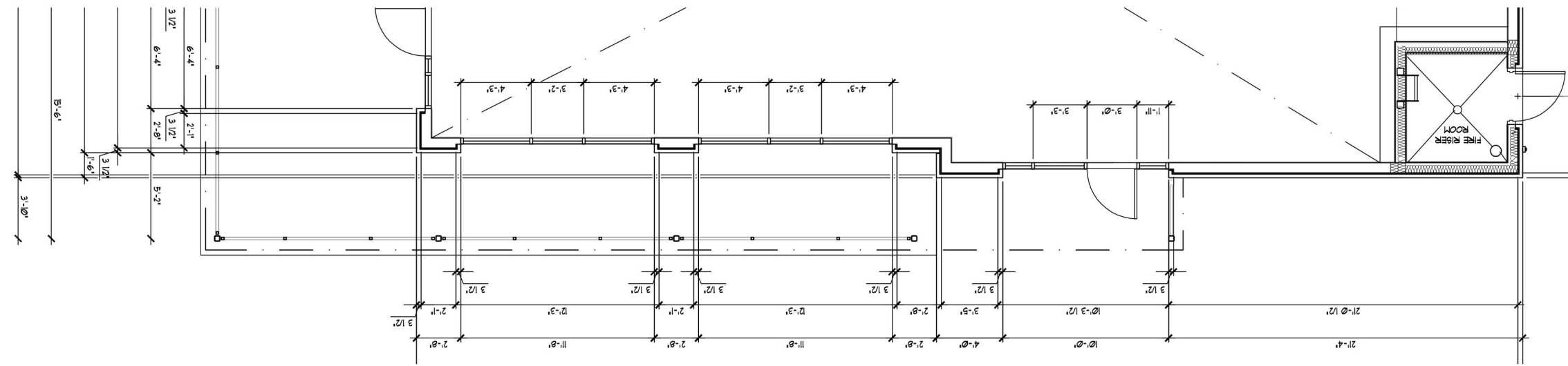


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

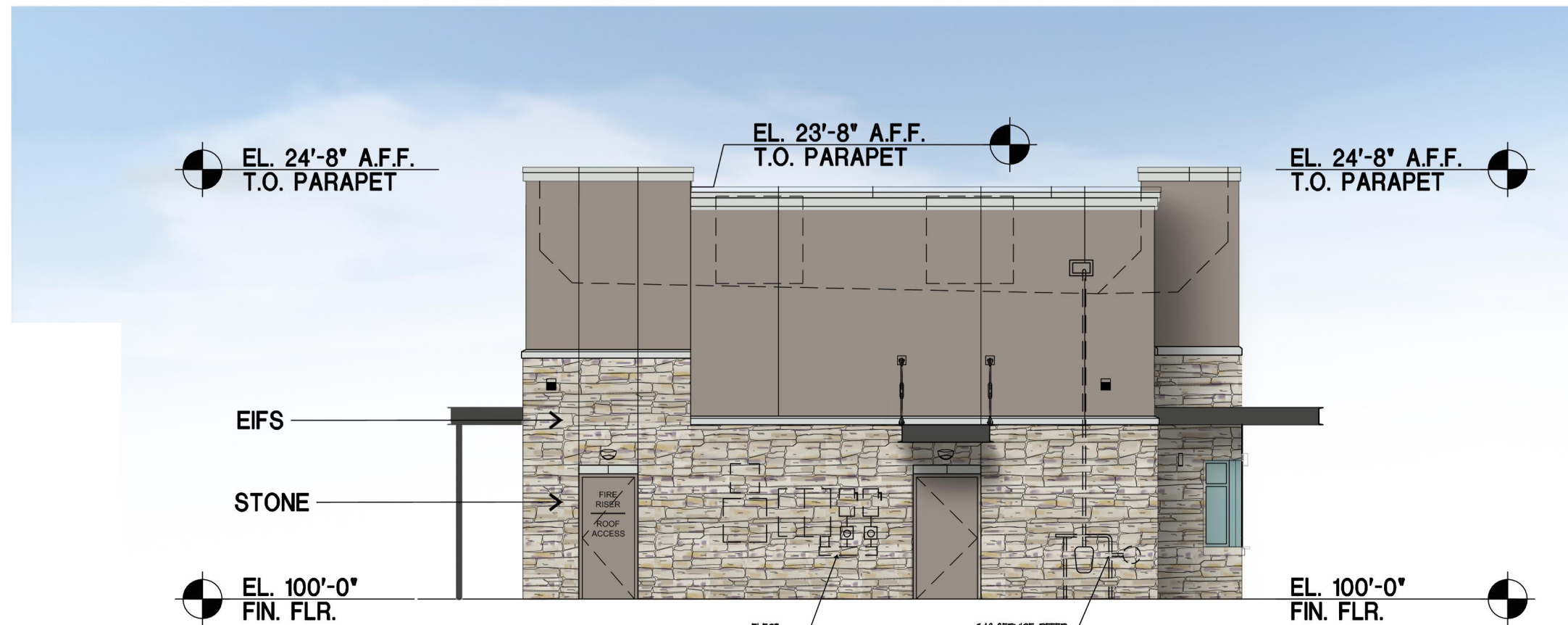


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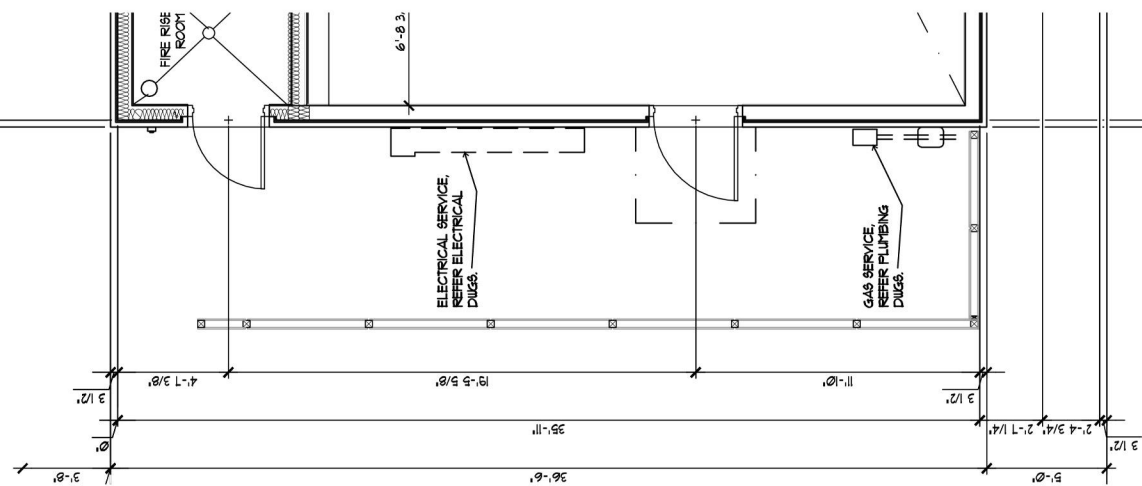


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"



WEST	SF	TOTAL %	TOTAL %
STONE	396	42.7%	91.5%
STUCCO	453	48.8%	
EIFS	79	8.5%	8.5%
TOTAL	928	100.0%	100.0%

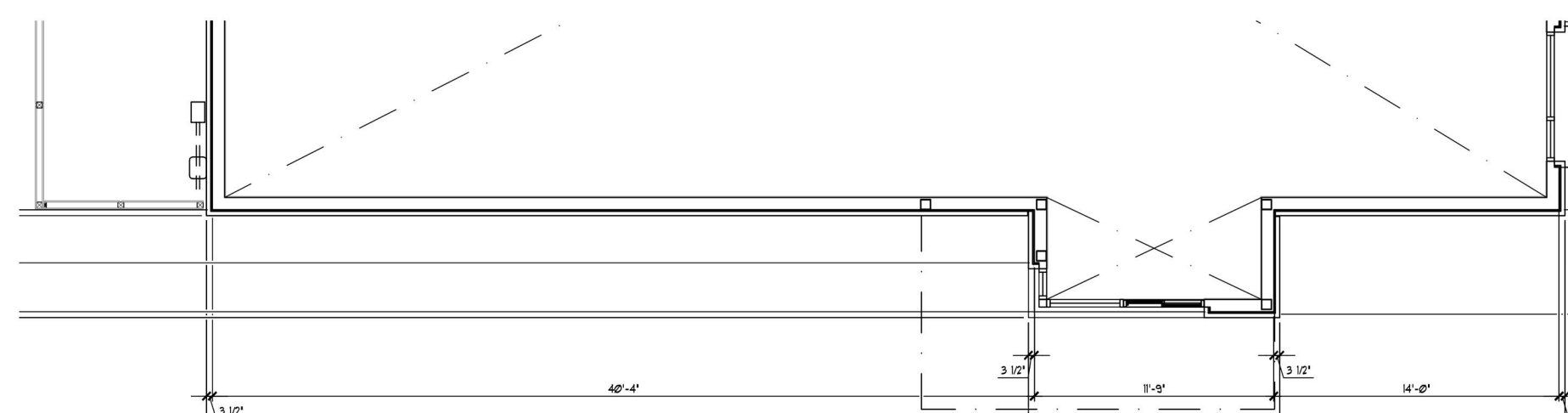


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



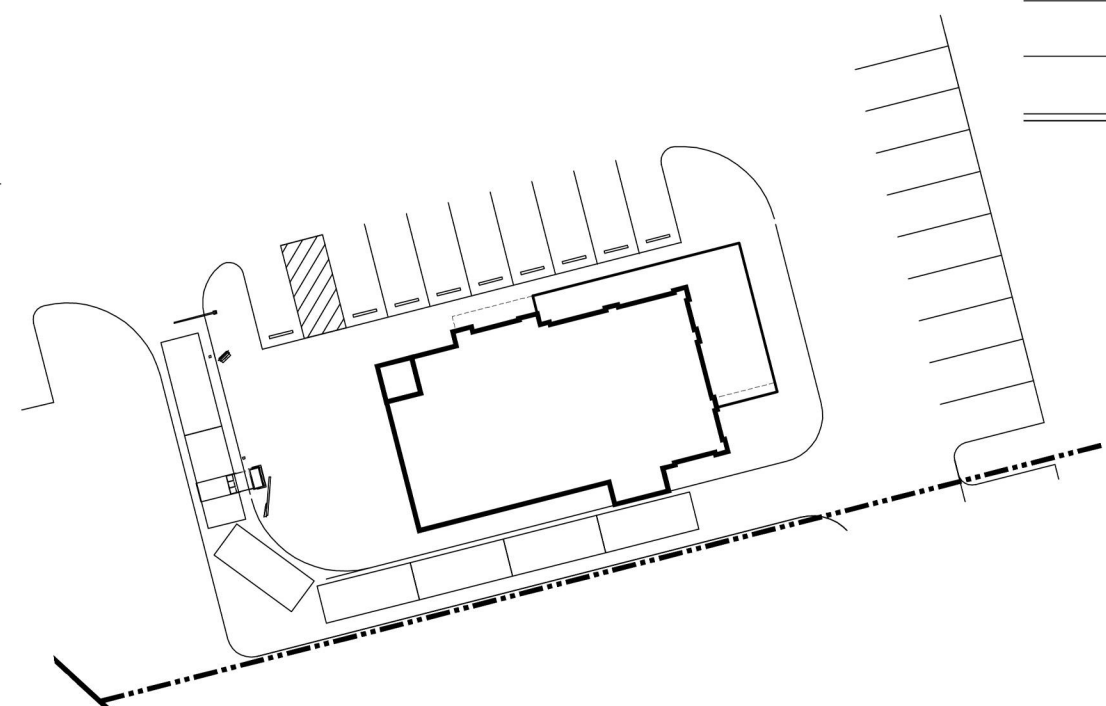
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04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:	
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO (PRIMARY):	COLOR TO MATCH SW 7744 ZEUS
STUCCO (SECONDARY):	COLOR TO MATCH SW 9168 ELEPHANT EAR
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

NOT TO SCALE



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APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

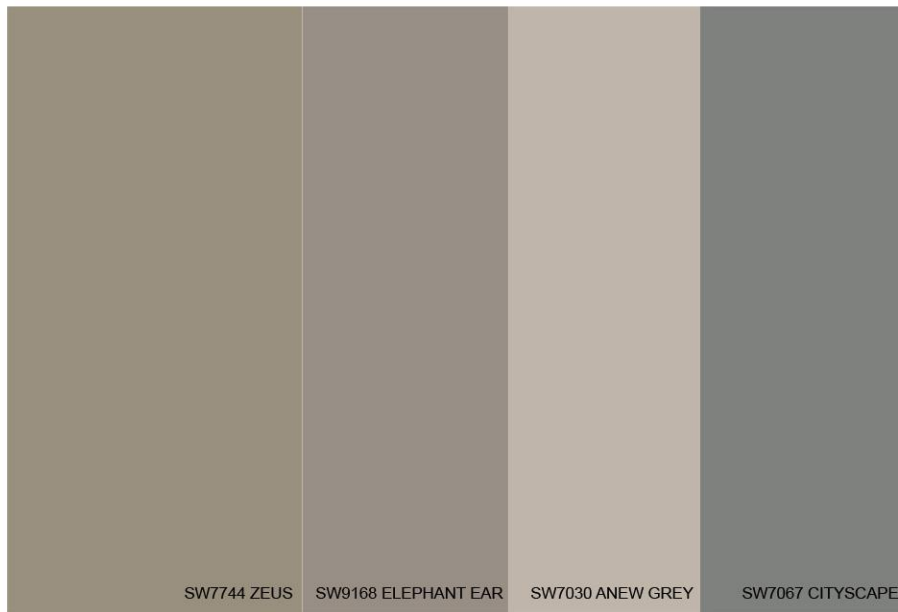
LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

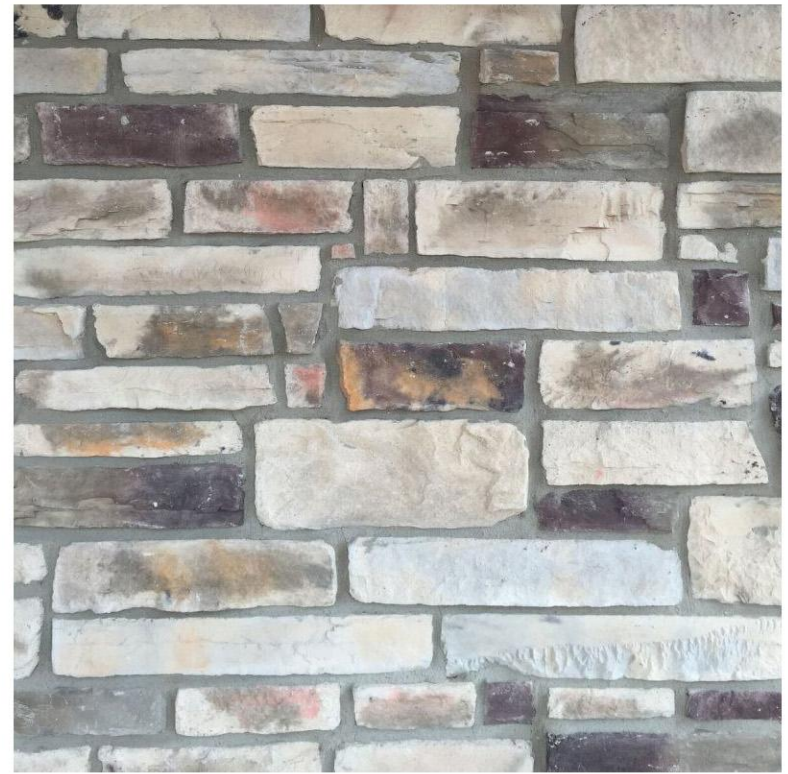
**ELEV05**

JOB NO: 16-147  
ISSUE DATE: 04/02/18  
SCALE: AS NOTED  
CASE #: Z2018-001





STUCCO: MATCH TO SW7744 ZEUS AND SW9168 ELEPHANT EAR  
 EIFS: MATCH TO SW7030 ANEW GREY  
 METAL CANOPIES: MATCH TO SW7067 CITYSCAPE



STONE: KONI MOUNTAIN LEDGE COUNTY



FRONT ELEVATION (FACING SH 205)



SIDE ELEVATION (MAIN ENTRY)



APPLICANT:  
 MOORE WORTH INVESTMENTS, LLC  
 10210 N CENTRAL EXPY SUITE 300  
 DALLAS TX 75231  
 CONTACT: WORTH WILLIAMS  
 214. 415. 9993

LOT 3, BLOCK A  
 LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
 ROCKWALL, TEXAS  
 MOORE WORTH INVESTMENTS, LLC



# CITY OF ROCKWALL

## CITY COUNCIL MEMO

**AGENDA DATE:** 04/16/2018

**APPLICANT:** Worth Williams; *Moore Worth Investment, LLC*

**AGENDA ITEM:** SP2018-007; Starbucks

---

### **SUMMARY:**

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81-acre parcel of land identified as Lot 3, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street, and take any action necessary.

### **PURPOSE AND BACKGROUND:**

The applicant is requesting approval of variances associated with an approved site plan for a restaurant with drive-through facilities [*i.e. Starbucks*]. The proposed restaurant is ~2,418 SF and situated on a 0.81-acre tract of land [*i.e. Lot 3, Block A, Lakeshore Commons Addition*], is zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N SH-205 OV) District and is addressed as 1945 N. Goliad Street.

According to the submitted site plan, the restaurant will be constructed utilizing a flat roof design and cultured stone. The purpose of this design is to match the design and building materials of the existing retail strip center located on the adjacent property located to the northeast.

### **VARIANCES:**

Based on the applicant's submittal, staff has identified the following variances:

A) *North SH 205 Corridor Overlay (N SH-205 OV) District Standards.*

- a. *Pitched Roof.* According to Subsection 2, *Roof Design Standards*, of Subsection C, *Architectural Standards*, of Section 6.11, *North SH 205 Corridor Overlay (N SH-205 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) structures having a footprint of 6,000 SF or less shall be constructed with a pitched roof system. In this case, the applicant is proposing to utilize a flat roof design to match the existing retail strip center located on the adjacent property. This request shall require a variance to be approved by the City Council.
- b. *Architectural Standards.* According to Subsection C, *Architectural Standards*, of Section 6.11, *SH North SH 205 Corridor Overlay (N SH-205 OV) District*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) each exterior wall of a structure shall consist of 90% masonry including a minimum of 20% natural of quarried stone on each façade. In this case, the applicant is providing ~40-49% stone on each facade, however, the applicant is proposing to utilize cultured stone to match the cultured stone on the



existing retail strip center located on the adjacent property. This request shall require a variance to be approved by the City Council.

All variances will require a  $\frac{3}{4}$  majority vote of the City Council members present to be approved.

### **ARCHITECTURAL REVIEW BOARD**

On March 27, the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant raise the stone on the building façade. In addition, the Architectural Review Board (ARB) expressed agreement with the requested variances to the pitched roof requirement and the natural stone requirement.

On April 10, 2018 the Architectural Review Board (ARB) reviewed the revised building elevations and made a recommendation to approve the variance to allow a flat roof and cultured stone with the condition that the applicant increase the stone to the top of the tower element containing the drive-through window and to lower the stone on the side elevations so that the stone terminates at the top of the door located on the rear elevation.

### **RECOMMENDATIONS:**

Should the City Council choose to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this *Site Plan* request must conform to the requirements set forth by the UDC, Planned Development District 65 (PD-65), Specific Use Permit No. S-188 [Ordinance No. 18-21], the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

### **PLANNING AND ZONING COMMISSION:**

On April 10, 2018, the Planning and Zoning Commission's motion to approve the site plan and recommend approval of the variance to the pitched roof requirement and the natural stone requirement passed by a vote of 5-0 with Commissioners Fishman and Moeller absent.





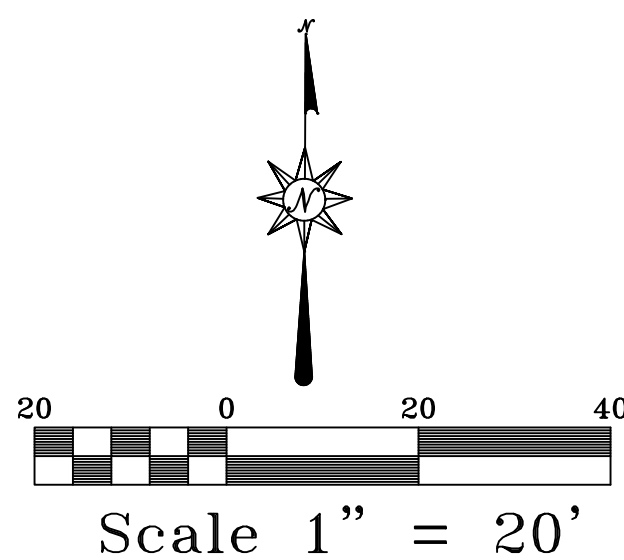
## City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75032  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





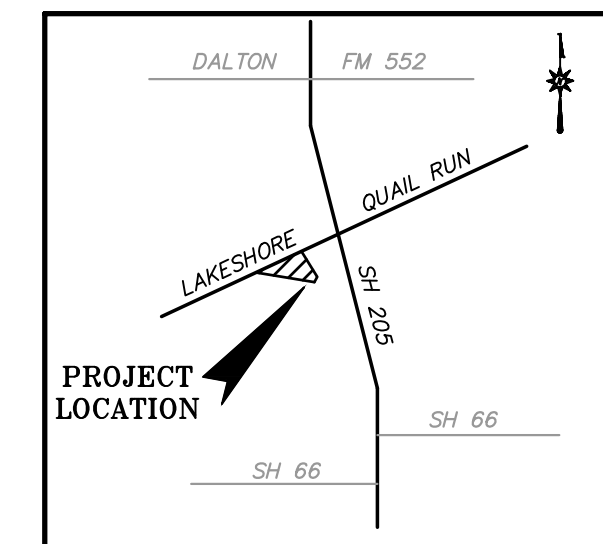


NOTES:

- BOUNDARY/TOPO SURVEY PROVIDED BY:  
STOVALL & ASSOCIATES LAND SURVEYING  
6417 WESLEY STREET  
GREENVILLE, TEXAS 75402  
903-450-1120
- SEE NCTCOG 3RD EDITION FOR ADDITIONAL DETAILS & NOTES.
- SEE BUILDING PLANS FOR BUILDING DIMENSIONS.

Course	Bearing	Distance
L 1	N 16°39'03" E	56.72'
L 2	S 47°14'05" E	22.78'
L 3	S 72°06'04" E	46.17'
L 4	N 42°07'52" E	17.76'

Scale 1" = 20'



NOTE:  
CONTRACTOR TO VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION/EXCAVATION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES EXISTING UTILITIES SHOWN ON THESE PLANS ARE BASED ON COMBINATION OF FIELD SURVEY & CITY RECORD DRAWINGS

OFFSITE BENCHMARK - STEEL ROD W/ACCESS CAP STAMPED N 1495 1986 @ THE INTERSECTION OF THE NORTH LINE OF AIRPORT ROAD WITH THE WEST LINE OF THE AIRPORT ACCESS ROAD.  
ELEVATION = 566.70' (VERTICAL DATUM: NAVD 1988)

BM#1 = 1/2" IRON ROD WITH CAP STAMPED "STOVALL TRAVERSE" LOCATED AT THE INTERSECTION OF THE NORTH LINE OF PECAN VALLEY DRIVE WITH THE WEST LINE OF STATE HIGHWAY NO. 205.  
ELEVATION = 480.51'

BM#2 = BOX CUT ON TOP OF INLET (NORTHWEST CORNER) IN THE SOUTH LINE OF LAKESHORE DRIVE ± 470' WEST OF STATE HIGHWAY NO. 205.  
ELEVATION = 468.05'

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ADA BARRIER-FREE RAMP REQUIREMENTS:

- TEXTURE: SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPS, OR TRUNCATED DOMES (SEE TAS/ADS STDS FOR ADDITIONAL OPTIONS). SURFACE MUST BE DETECTABLE UNDER FOOT. SURFACES THAT ARE RAISED OR ETCHED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED.
- CONTRAST: FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMP SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.
- RAMP WITHIN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER CITY STD. PROHIBITED DOMES AT PLATFORM BOARDING EDGES SHALL BE A MIN OF 24" WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREA OF THE PLATFORM.

ADA/TAS SLOPE REQUIREMENTS	
ACCESSIBLE ROUTE	<5% SLOPE <2% CROSS SLOPE
RAMP & CURB RAMP	<8.33% (1:12) <2% CROSS SLOPE
TAS PARKING & ACCESS AISLE	<2% SLOPE IN ANY DIRECTION
CONTRACTOR TO ENSURE THAT GRADES ALONG ADA ROUTES MEET THESE SLOPE REQUIREMENTS	

NOTE:  
PARKING & ACCESSIBLE ROUTES FOR DISABLED PERSONS SHALL BE DESIGNATED, DESIGNED & CONSTRUCTED PER CITY, TAS & ADA REQUIREMENTS

OWNER/DEVELOPER:  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

LEGEND	
PROPOSED	EXISTING
500 - PROPOSED CONTOURS	POWER POLE
515.00 - SPOT ELEVATION AT FINISHED GRADE	ANCHOR
514.00 - INDICATES TOP OF STRUCTURE	WATER METER
513.50 - INDICATES FLOW LINE ELEVATION	WATER VALVE
W - PROPOSED WATER LINE	IRRIGATION CONTROL VALVE
SS - PROPOSED SANITARY SEWER LINE	TELEPHONE PEDESTAL
SD - PROPOSED STORM DRAIN LINE	GAS METER
BL - BUILDING LINE	MAILBOX
UE - UTILITY EASEMENT	LIGHT POLE
DUE - DRAINAGE & UTILITY EASEMENT	FIRE HYDRANT
FCS - FIBER OPTIC CABLE MARKER	UTILITY EASEMENT
GAS - GAS SIGN	DUE = DRAINAGE & UTILITY EASEMENT
SSSB - SUB SURFACE SERVICE BOX	BCS - BURIED CABLE SIGN
BCS - BURIED CABLE SIGN	T = TRAFFIC SIGNAL
U.E. = UTILITY EASEMENT	U.E. = UTILITY EASEMENT
T = ATMOS FLAG	T = ATMOS FLAG

SITE PLAN NOTES:

- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- ALL SIGNAGE BY SEPARATE PERMIT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STD SPECIFICATIONS AND CONSTRUCTION STDS, AND STD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS (LATEST REVISION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
- THE LIGHTING FOR THE SUBJECT PROPERTY WILL BE CONSTRUCTED IN CONFORMANCE WITH CITY REQUIREMENTS. SEE BLDG PLANS.

SITE LAYOUT NOTES:

- ALL FIRE LANES ARE 24' WIDE WITH MIN 20' INSIDE RADIUS AND MIN 44' OUTSIDE RADIUS. FIRE LANES SHALL BE CONSTRUCTED AND STRIPED PER CITY OF ROCKWALL FIRE DEPT REQUIREMENTS.
- ALL PARKING STALLS, UNLESS SHOWN OTHERWISE, SHALL BE 9' WIDE x 18' DEEP EXCEPT STALLS IN FRONT OF BLDG SHALL BE 9' WIDE x 20' DEEP.  
VAN ACCESSIBLE AREA SHALL BE 9' MIN WIDE x 18' (OR 20') DEEP. OTHER ACCESS AISLES ADJACENT TO H/C PARKING SHALL BE 5' WIDE x 18' (OR 20') DEEP. ALL PARKING STALLS SHALL BE CONSTRUCTED PER PAVING PLAN.
- ALL OTHER DRIVING LANES SHALL BE MIN 24' WIDE AND CONSTRUCTED PER THE PAVING.

SITE SUMMARY - LOT 1	
ZONED	PD-65 (FOR GR USES)
PROPOSED USE	RESTAURANT
LOT AREA	0.81 AC (35,478.55 SF)
BUILDING AREA	2418 SF
PARKING	
RESTAURANT = 2200 SF	
REQUIRED TOTAL	22 SPACES
1/100	2200/100=22
REQUIRED TOTAL	22 SPACES (21 REG; 1 H/C)
PROVIDED TOTAL	31 SPACES (29 REG; 2 H/C)
LOT COVERAGE	
IMPERVIOUS AREA	6.2% (2200 SF)
PERVIOUS AREA	65% (23,178 SF)
PERVIOUS AREA	35% (12,301 SF)

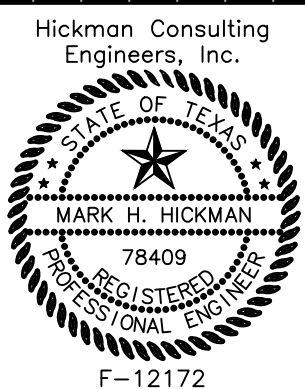
This document is released for the purpose of REVIEW under the authority of Mark H. Hickman, P.E. 78409 on 03-15-18  
It is not to be used for construction bidding permit purposes.

Hickman Consulting Engineers, Inc.  
3094 County Road 1024  
Farmersville, Texas 75442  
Ph (972)764-2499  
markredhick@gmail.com  
Engineers  
Planners

HCE

SITE PLAN  
LAKESHORE COMMONS  
LOT 3; LAKESHORE COMMONS  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
MOORE WORTH INVESTMENTS, LLC  
8445 FREEPORT PARKWAY, SUITE 175  
IRVING, TX 75063  
214-415-9993

SCALE: 1"=20'  
DATE: FEB/2018  
DRAWN BY: FP  
CHK'D BY: MHH  
JOB NO: 1701-357  
FILE: 239-L2-WO  
SUBMITTAL: 03/16/18(1)



REVISION	DATE	DESCRIPTION

SHEET  
1 of 1



LANDSCAPE TABULATIONS		
	Required	Provided
10 ft. Landscape Buffer Strip 1 tree per 50 ft. of Street Frontage (133.75 FT)	3 Trees	3 Trees
Parking and Maneuvering Space (16,840 SF) 1 tree per 10 Req. Parking Spaces (31 req. spaces)	3 Trees	4 Trees
Amount of Landscaping Commercial / General Retail	15% (5321 SF)	31.7% (11,256 SF)

Landscape Notes

1. CONTRACTOR SHALL STAKE OUT TREE LOCATIONS AND BED CONFIGURATION FOR APPROVAL BY OWNER PRIOR TO INSTALLATION.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
3. IT IS THE RESPONSIBTY OF THE CONTRACTOR TO ADVISE THE OWNERS REPRESENTATIVE OF ANY CONDITION FOUND ON-SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE PLANS.
4. ALL SHRUB AND GROUNDCOVER BEDS SHALL HAVE A MINIMUM OF (2") TWO INCHES OF HARDWOOD BARK MULCH.
5. LANDSCAPE EDGING SHALL BE LOCATED AS NOTED ON PLAN.
6. TREES SHALL BE PLANTED A LEAST FIVE (5') FEET FROM ANY UTILITY LINE, AND OUTSIDE ALL UTILITY EASEMENTS AND A THREE (3') CLEAR DIAMETER AROUND FIRE HYDRANTS, UNLESS PRIOR APPROVAL IS GRANTED.
7. TREES OVERHANGING WALKS AND PARKING AREAS SHALL HAVE A CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
8. TREES OVERHANGING VISIBILITY EASEMENTS OF RIGHT-OF-WAYS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7') FEET.
9. TREES PLANTED ON SLOPES WILL HAVE THE SOIL STAIN AT AVERAGE GRADE OF SLOPE.
10. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, IF DAMAGED, DESTROYED OR REMOVED.
12. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER AND WEEDS.
- 13.AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED TO MAINTAIN ALL LANDSCAPE AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
14. ALL HYDROSEEDED AND PLANTING BEDS TO HAVE BIOSOL FORTE 7-2-1 FERTILIZER APPLIED AT MANUFACTURERS RATE.

TRACT 1

ARKOMA DEVELOPMENT, L.L.C.  
TO  
CITY OF ROCKWALL, TEXAS  
VOL. 5670, PG. 162  
R.P.R.R.C.T.

Landscape					
Quantity	Symbol	Description	Height	Spread	Spacing
Shrubs Under 4 Feet					
27		Abelia 'Sherwood' 5 Gallon	15in - 18in	15 in	36 in
27		Cotoneaster glaucophyllus 5 Gallon	15in - 18in	15 in	36 in
25		Rhaphiolepis indica 'Clara' 5 Gallon	12in - 15in	12in - 15in	36 in
16		Juniperus procumbens 'nana' 3 Gallon	N/A	12in - 15in	36 in
Trees					
6		Lagerstroemia indica 'Pink Velour' 15 Gallon	36 in	36 in	Per Plan
2		Quercus shumardii 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
2		Quercus virginiana 3 to 3 1/2 in cal	14ft - 16ft	6ft - 8ft	Per Plan
3		Taxodium distichum 3 to 3 1/2 in cal	14ft - 16ft	4ft - 6ft	Per Plan
Grass					
13236		Eragrostis curvula - Sq. Ft. - hydroseed at 50 lbs per acre			

COMPANY:

M.C.R. Environmental Services, Inc.  
214-790-4497 Office  
940-762-9307 cell  
5520 State Hwy 78 S  
Nevada, Tx. 75173

SHEET DESCRIPTION:

LANDSCAPE PLAN

PROJECT:

LAKESHORE COMMONS  
Lot 3; Lakeshore Commons  
Rockwall, Rockwall County, Texas  
PROVIDENT REALTY ADVISORS, INC.  
10210 N. Central Expy., Ste 300  
Dallas, TX 75231 PH. 214-415-9993

REVISIONS:  
3-12-2018

DATE:  
3-12-2018

JOB NUMBER:  
180212

DRAWN BY:  
David G

CHECKED BY:  
N/A

SCALE:  
1" = 20'

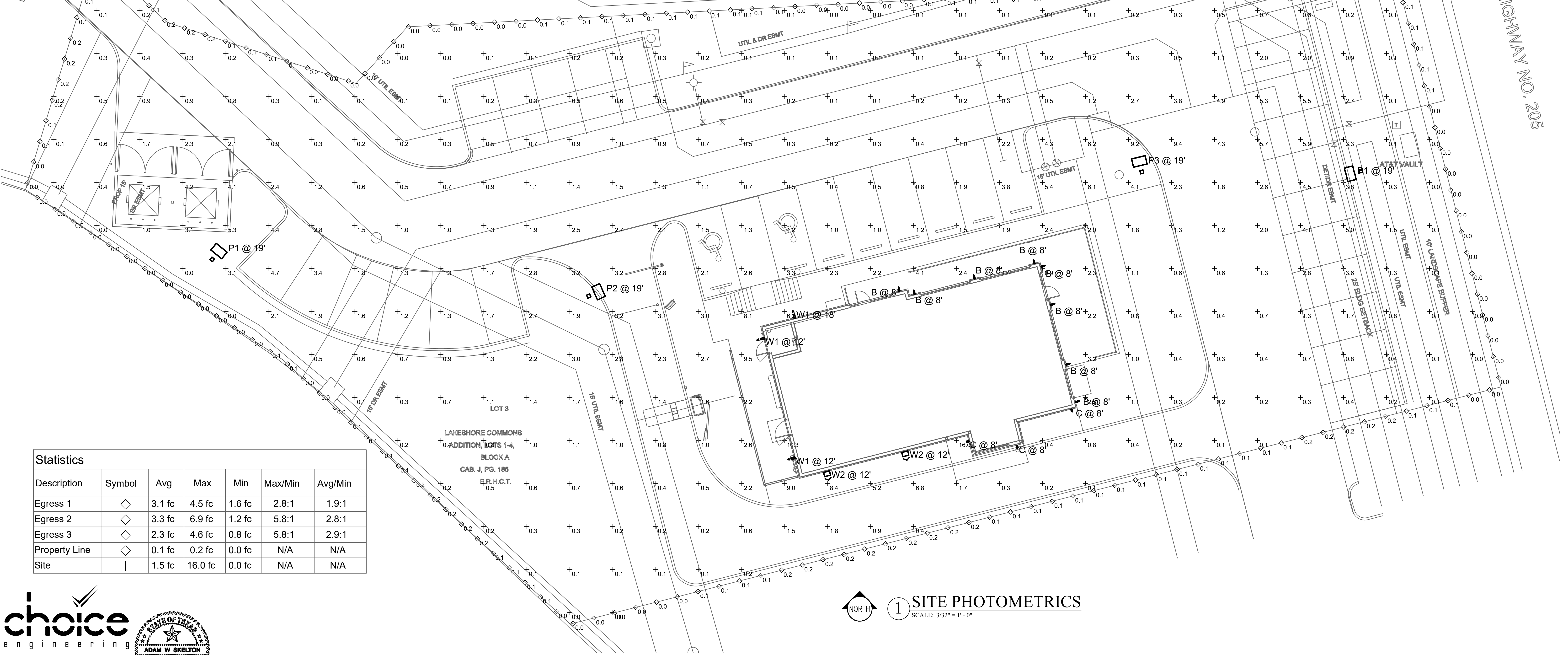
SHEET:  
L-1



"Making a difference in tomorrow - Today"



LIGHTING FIXTURE SCHEDULE									
TYPE	DESCRIPTION	MOUNTING	MANUFACTURER	MODEL	LAMPS	DIMMING	VOLTAGE	WATTAGE	NOTES
B	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	NORWELL LIGHTING	1182-LED-BR-CL-10W-3000K-120V	LED	N	120	10	8' AFG TO CENTER
C	DECORATIVE EXTERIOR WALL SCONCE	SURFACE	LUMINIS	SY300-L1W11R0-120-K35	LED	N	120	12	8' AFG TO CENTER
P1	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, BACKLIGHT CONTROL OPTICS	POLE	LITHONIA	DSX0-LED-P3-40K-BLC-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	71	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P2	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 5 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T5M-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
P3	ARCHITECTURAL LED POLE LIGHT, SQUARE STRAIGHT STEEL POLE, TYPE 1 OPTICS	POLE	LITHONIA	DSX0-LED-P4-40K-T1S-MVOLT-SPA POLE: SSS-17-4C-DM19AS-DOBXD	LED	N	120-277	92	TOP OF FIXTURE HEAD SHALL NOT EXCEED 20' AFG.
W1	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LUMARK	XTOR-3B-W-XX	LED	N	120-277	26	
W2	ARCHITECTURAL LED EXTERIOR WALL SCONCE	WALL	LITHONIA	WSTLED-P1-40K-VW-MVOLT	LED	N	120/277	12	
LIGHTING FIXTURE SCHEDULE GENERAL NOTES: FINAL FIXTURE SELECTIONS SHALL BE SUBMITTED TO AND APPROVED BY OWNER. ALL MOUNTING HEIGHTS SHALL BE CONFIRMED WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE ALL EMERGENCY FIXTURES AND NIGHTLIGHTS WITH MINIMUM 90 MINUTE, 1100 LUMEN BATTERY BACKUP/INVERTER. SEE ELECTRICAL LIGHTING PLAN(S) FOR EXACT LOCATIONS. LAMP COLOR TEMPERATURES SHALL BE 4000K AND SHALL BE UNIFORM THROUGHOUT THE INSTALLATION UNLESS NOTED OTHERWISE. EXTERIOR FIXTURES SHALL BE U.L.-LISTED FOR DAMP OR WET LOCATIONS AS REQUIRED BY THE INSTALLATION. CONTRACTOR SHALL PROVIDE EXTERIOR FIXTURES WITH ALL ACCESSORIES AS REQUIRED TO COMPLY WITH LOCAL LIGHTING ORDINANCES.									



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Egress 1	◇	3.1 fc	4.5 fc	1.6 fc	2.8:1	1.9:1
Egress 2	◇	3.3 fc	6.9 fc	1.2 fc	5.8:1	2.8:1
Egress 3	◇	2.3 fc	4.6 fc	0.8 fc	5.8:1	2.9:1
Property Line	◇	0.1 fc	0.2 fc	0.0 fc	N/A	N/A
Site	+	1.5 fc	16.0 fc	0.0 fc	N/A	N/A

CHOICE ENGINEERING, LLC  
SACHSE, TEXAS  
PHONE: (469) 606-1206  
TEXAS FIRM REG. NUMBER F-15676  
WWW.CHOICEENGINEERING.COM

ADAM W. SKELTON  
119194  
12/31/19

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1 SITE PHOTOMETRICS  
SCALE: 3/32" = 1' - 0"

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

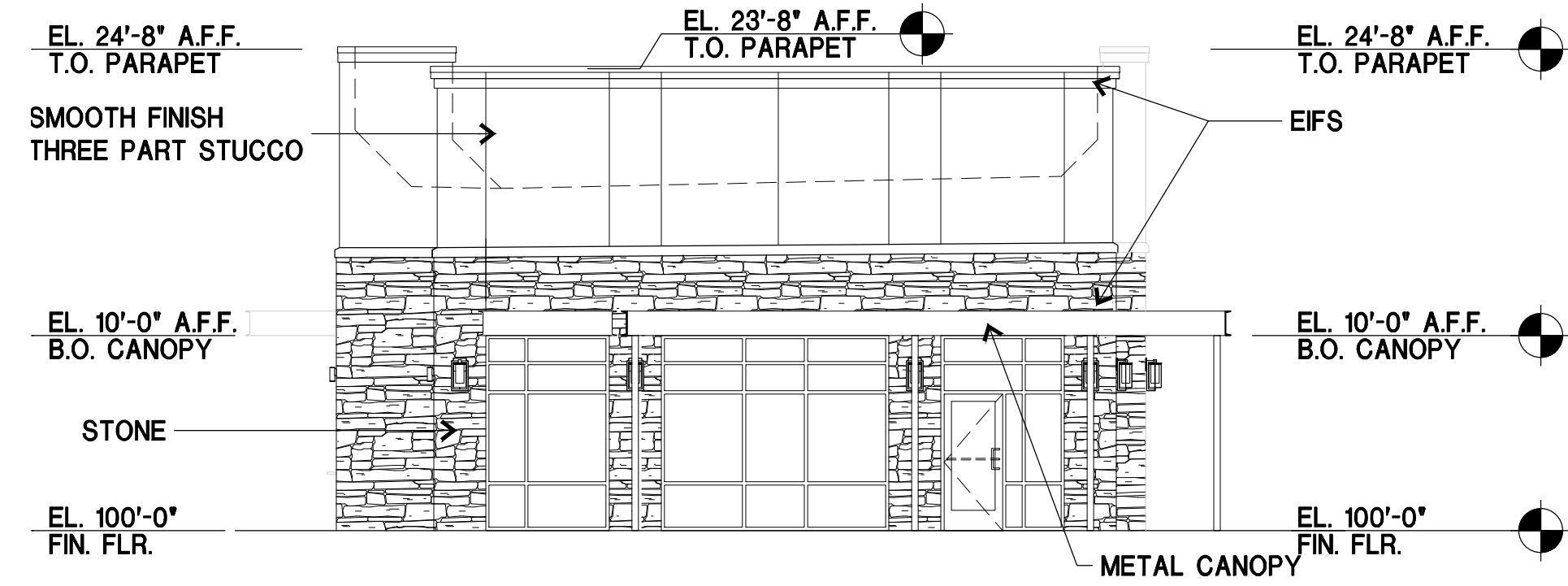
PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**E1**

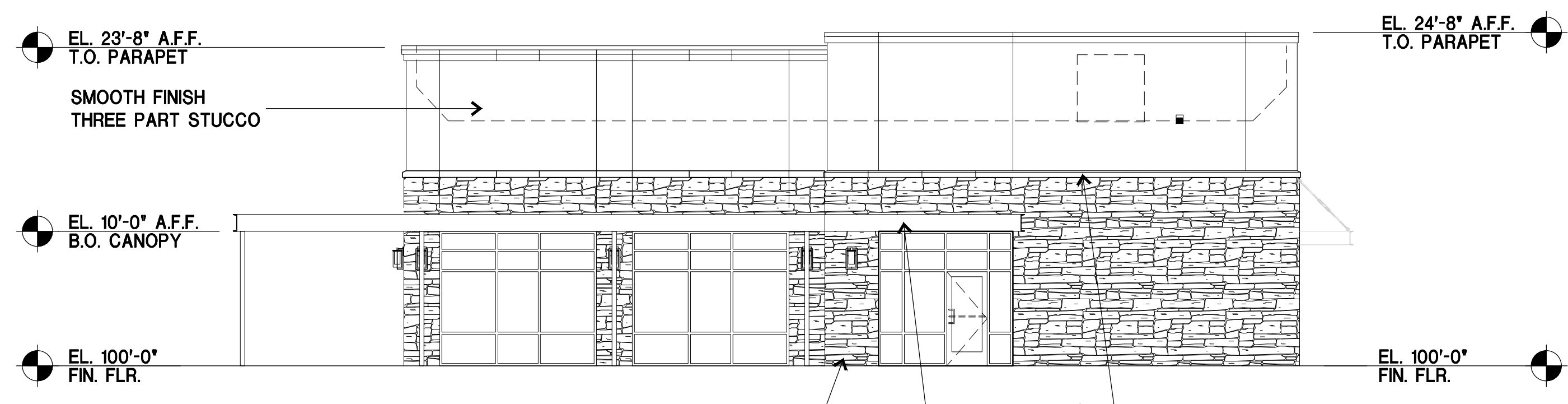
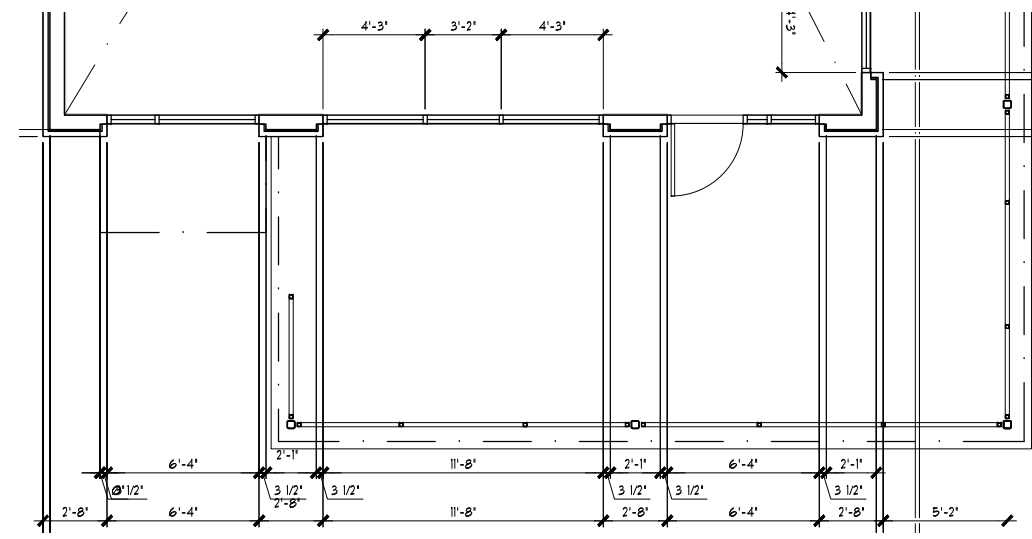
JOB NO: 16-147  
ISSUE DATE: 3/16/18  
SCALE: AS NOTED

CASE NO: Z2018-011

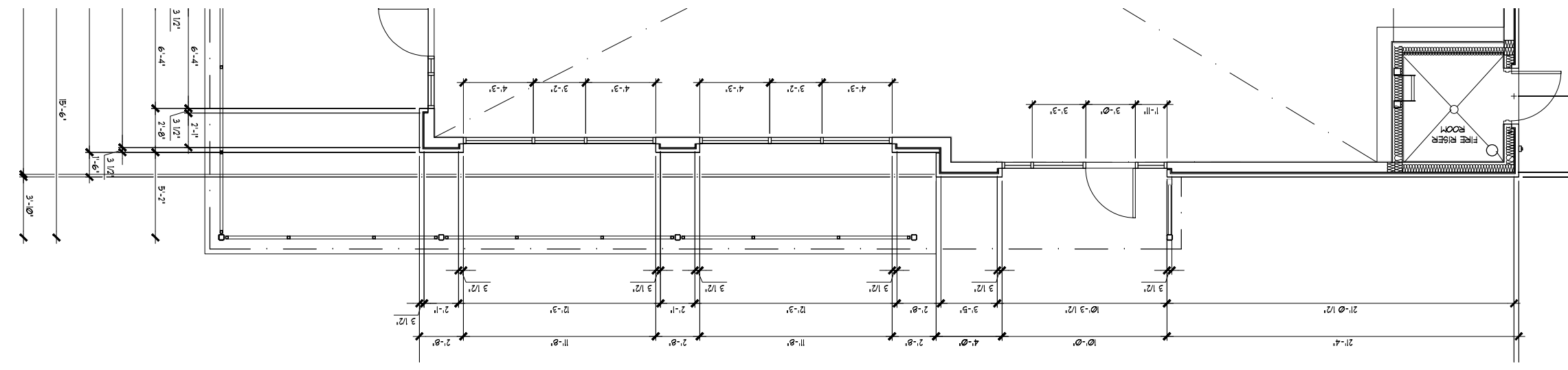




EAST	SF	TOTAL %	TOTAL %
STONE	300	42.5%	91.1%
STUCCO	343	48.6%	
EIFS	63	8.9%	8.9%
TOTAL	706	100.0%	100.0%



NORTH	SF	TOTAL %	TOTAL %
STONE	543	44.2%	92.1%
STUCCO	588	47.9%	
EIFS	97	7.9%	7.9%
TOTAL	1228	100.0%	100.0%

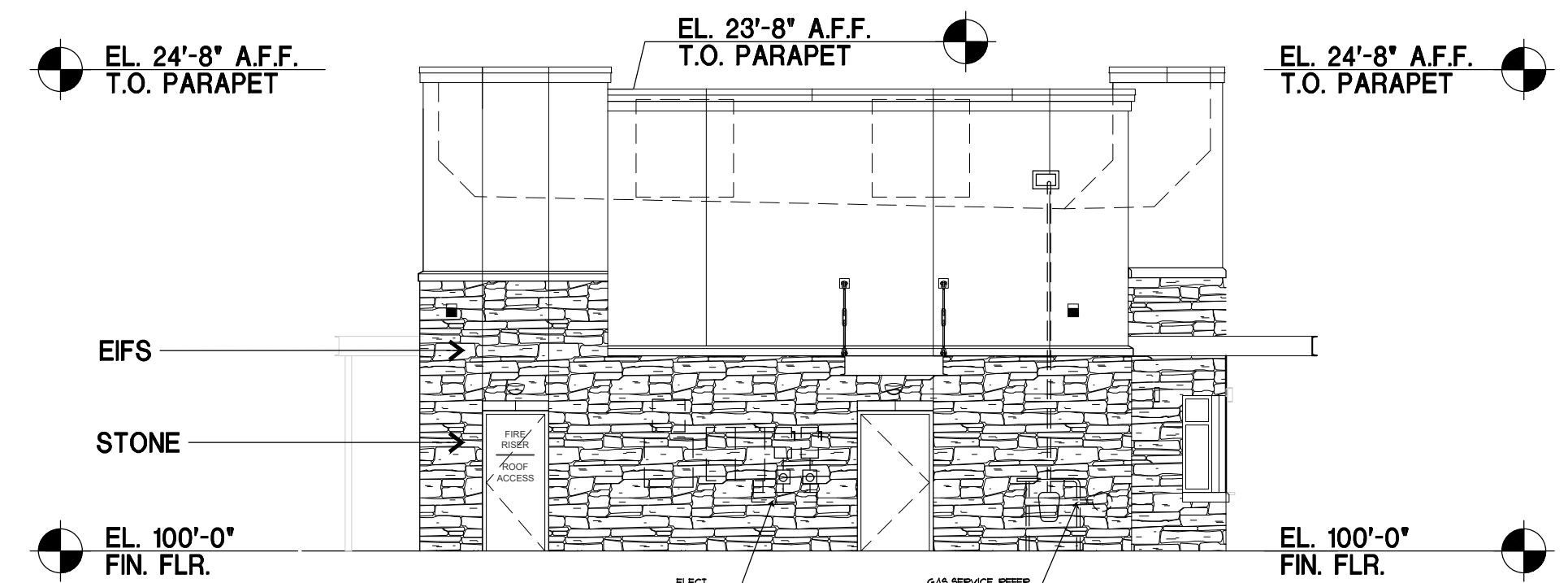


01 FRONT (EAST) ELEVATION

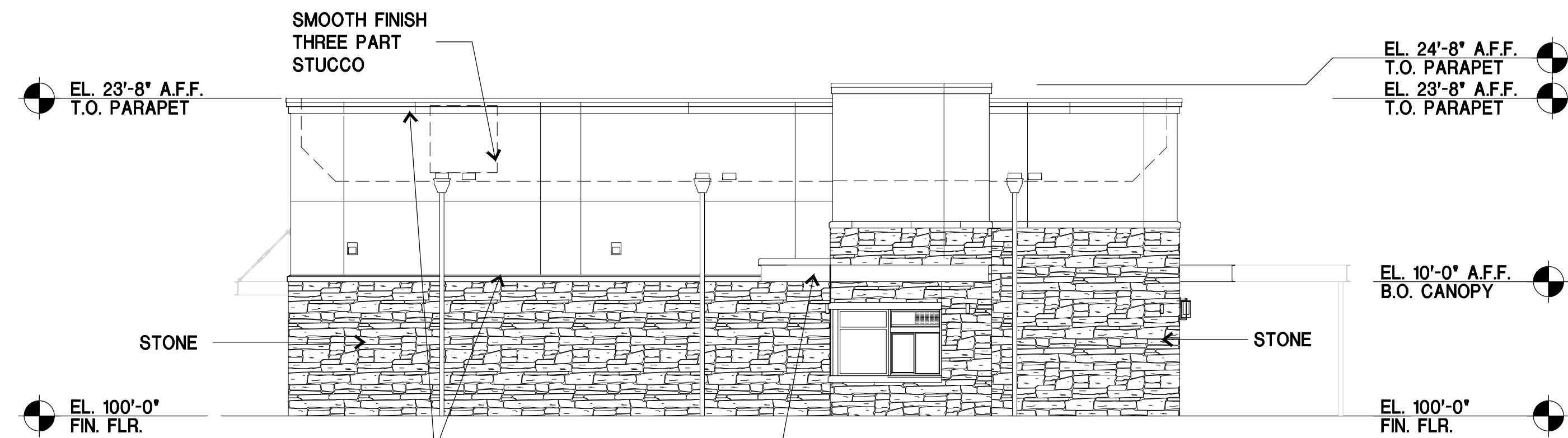
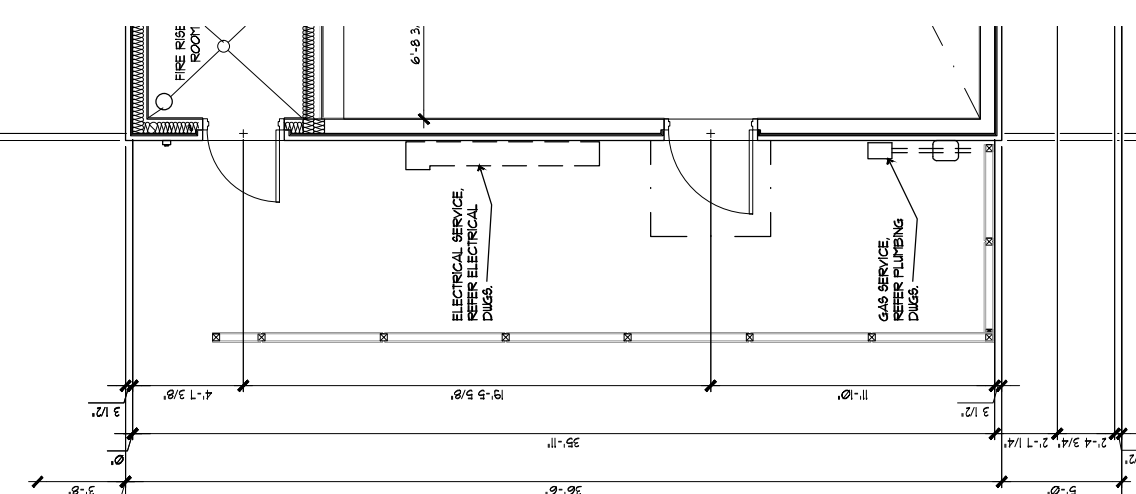
1/8" = 1'-0"

02 SIDE (NORTH) ELEVATION

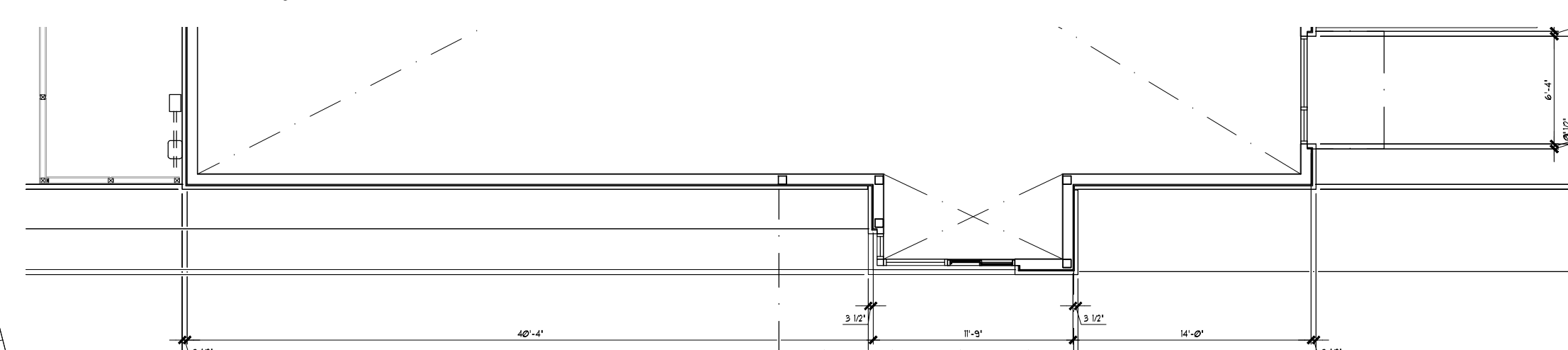
1/8" = 1'-0"



WEST	SF	TOTAL %	TOTAL %
STONE	396	42.7%	91.5%
STUCCO	453	48.8%	
EIFS	79	8.5%	8.5%
TOTAL	928	100.0%	100.0%



SOUTH	SF	TOTAL %	TOTAL %
STONE	753	49.4%	95.5%
STUCCO	702	46.1%	
EIFS	68	4.5%	4.5%
TOTAL	1523	100.0%	100.0%



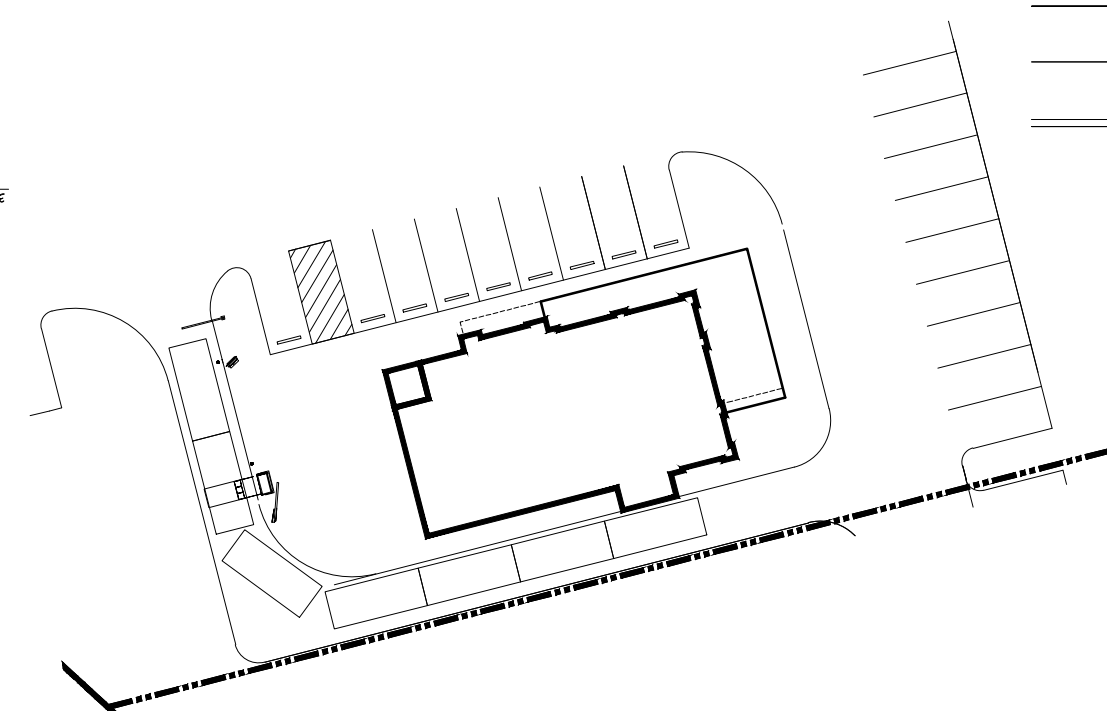
03 REAR (WEST) ELEVATION

1/8" = 1'-0"

04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:	
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO (PRIMARY):	COLOR TO MATCH SW 7744 ZEUS
STUCCO (SECONDARY):	COLOR TO MATCH SW 9168 ELEPHANT EAR
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

NOT TO SCALE



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www.GSOarchitects.com

APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

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LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**ELEV05**

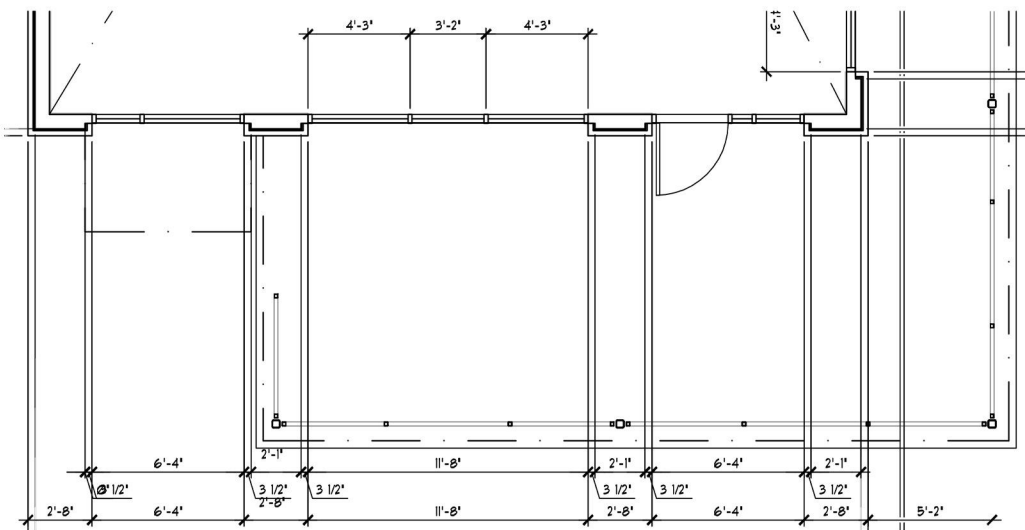
JOB NO: 16-147  
ISSUE DATE: 04/02/18  
SCALE: AS NOTED

CASE #: Z2018-001





EAST	SF	TOTAL %	TOTAL %
STONE	300	42.5%	91.1%
STUCCO	343	48.6%	
EIFS	63	8.9%	8.9%
TOTAL	706	100.0%	100.0%

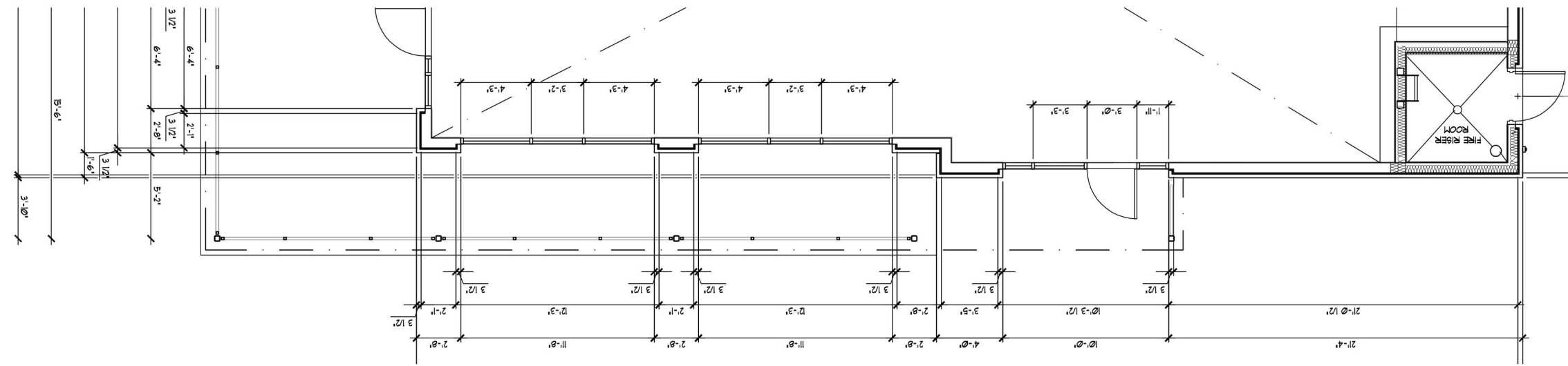


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

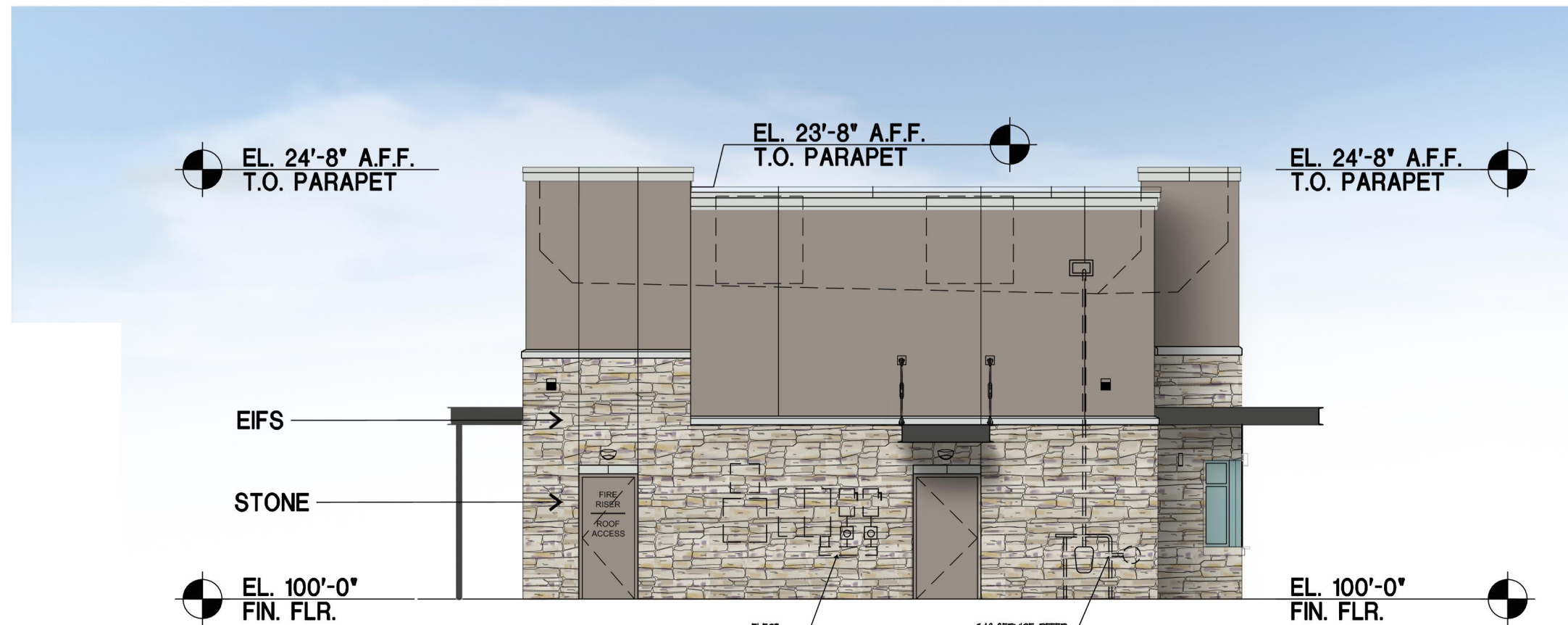


NORTH	SF	TOTAL %	TOTAL %
STONE	543	44.2%	92.1%
STUCCO	588	47.9%	
EIFS	97	7.9%	7.9%
TOTAL	1228	100.0%	100.0%

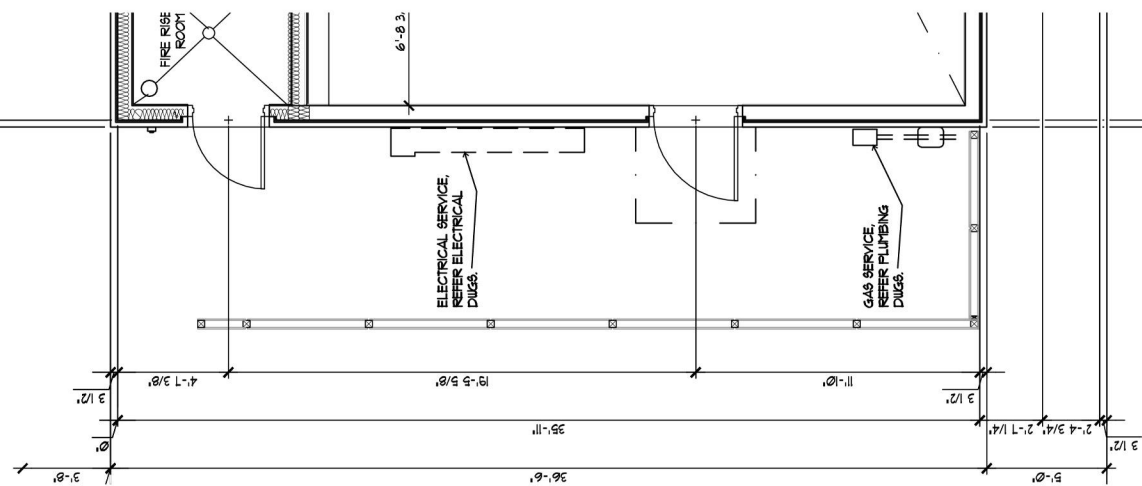


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"



WEST	SF	TOTAL %	TOTAL %
STONE	396	42.7%	91.5%
STUCCO	453	48.8%	
EIFS	79	8.5%	8.5%
TOTAL	928	100.0%	100.0%

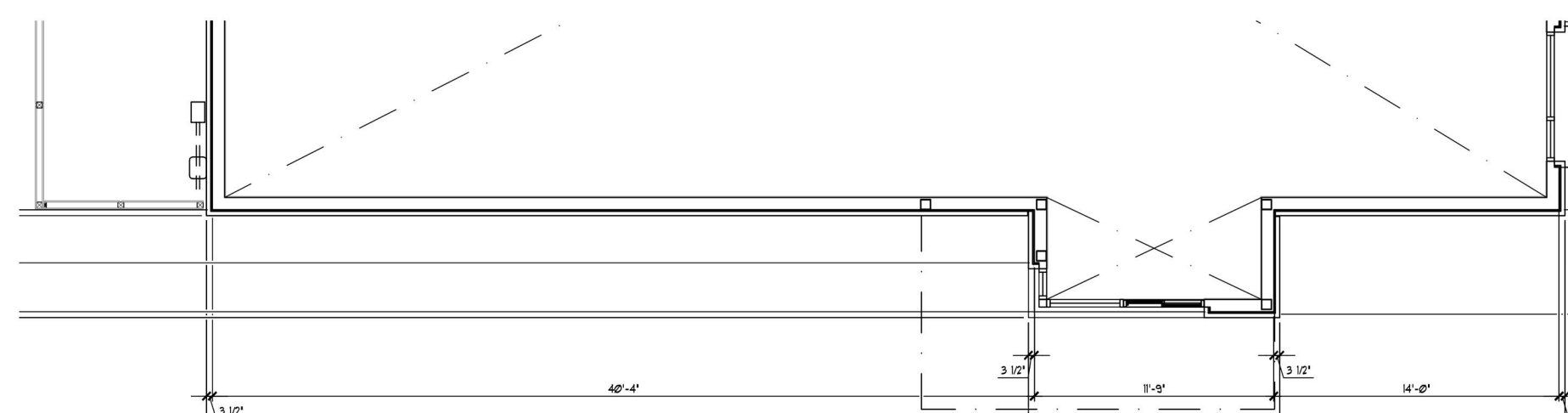


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



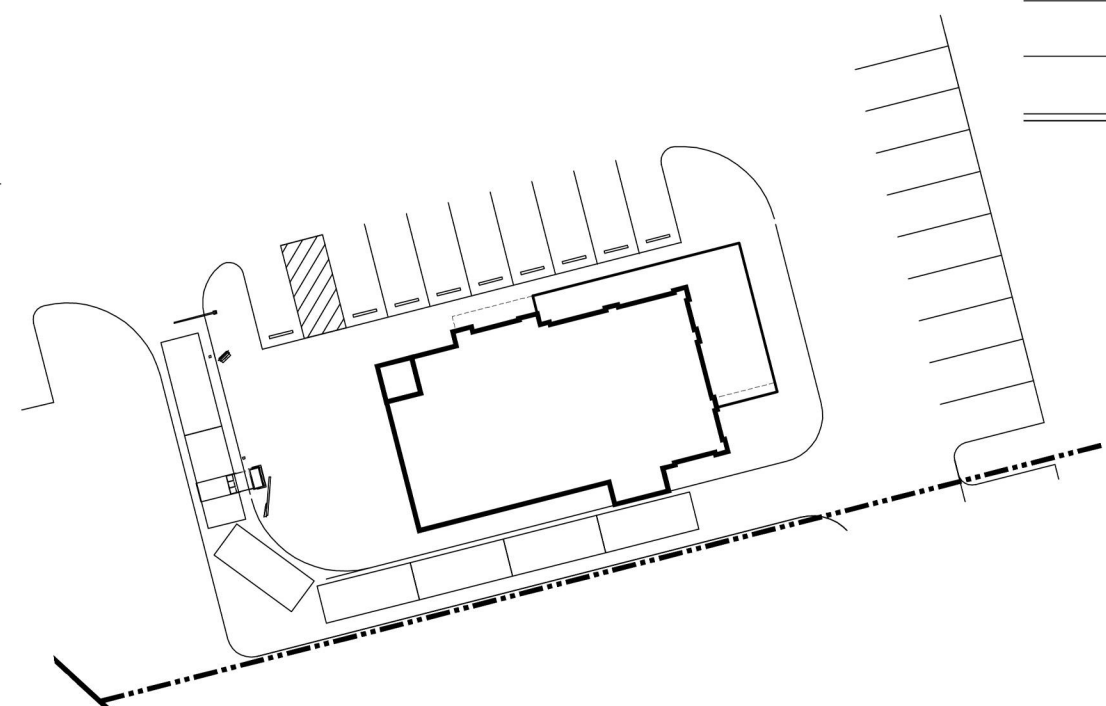
SOUTH	SF	TOTAL %	TOTAL %
STONE	753	49.4%	95.5%
STUCCO	702	46.1%	
EIFS	68	4.5%	4.5%
TOTAL	1523	100.0%	100.0%



04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:	
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO (PRIMARY):	COLOR TO MATCH SW 7744 ZEUS
STUCCO (SECONDARY):	COLOR TO MATCH SW 9168 ELEPHANT EAR
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

NOT TO SCALE



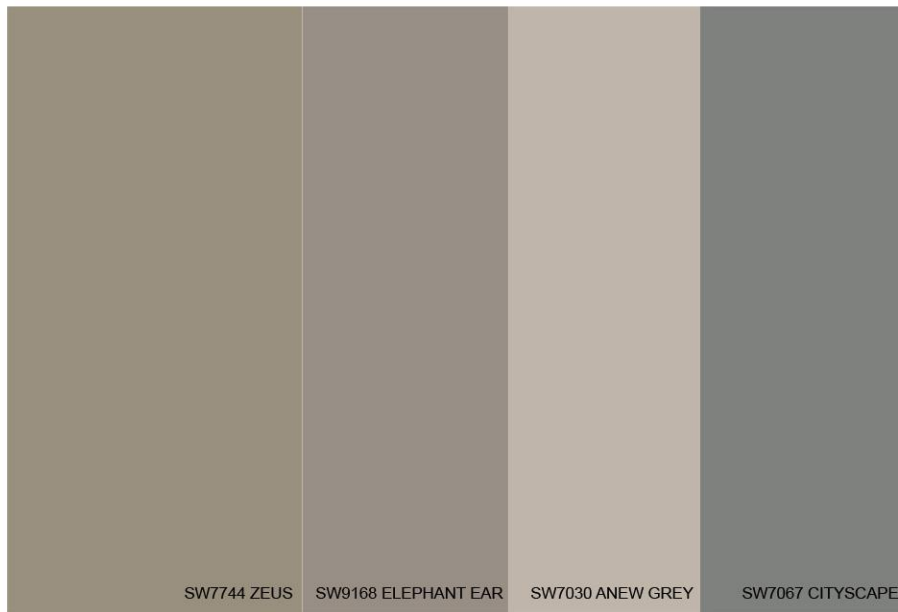
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APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

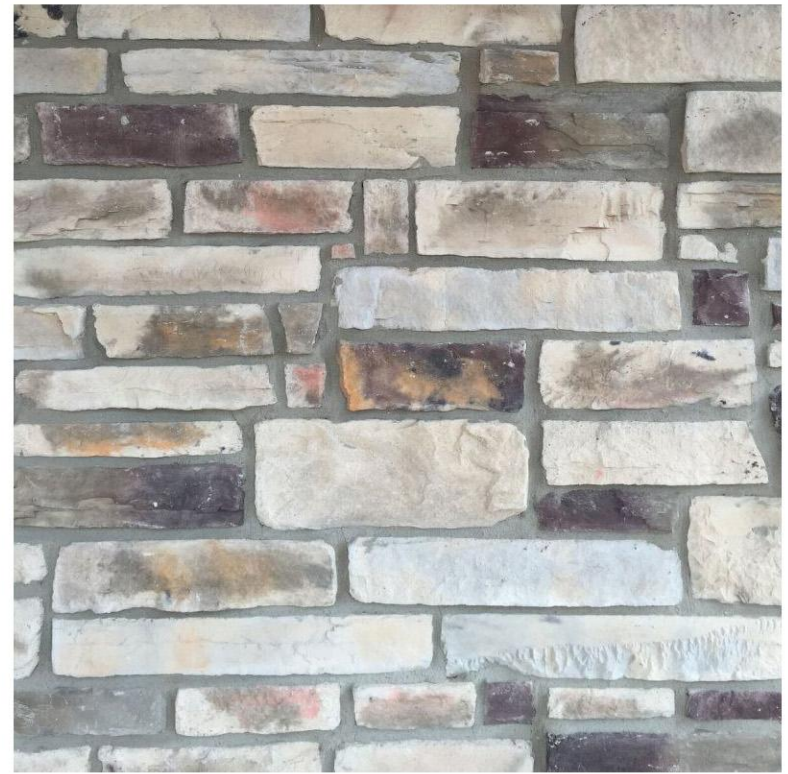
LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
LAKESHORE COMMONS - LOT 3  
ROCKWALL, TEXAS  
MOORE WORTH INVESTMENTS, LLC

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION  
**ELEV05**  
JOB NO: 16-147  
ISSUE DATE: 04/02/18  
SCALE: AS NOTED  
CASE #: Z2018-001





STUCCO: MATCH TO SW7744 ZEUS AND SW9168 ELEPHANT EAR  
 EIFS: MATCH TO SW7030 ANEW GREY  
 METAL CANOPIES: MATCH TO SW7067 CITYSCAPE



STONE: KONI MOUNTAIN LEDGE COUNTY



FRONT ELEVATION (FACING SH 205)



SIDE ELEVATION (MAIN ENTRY)



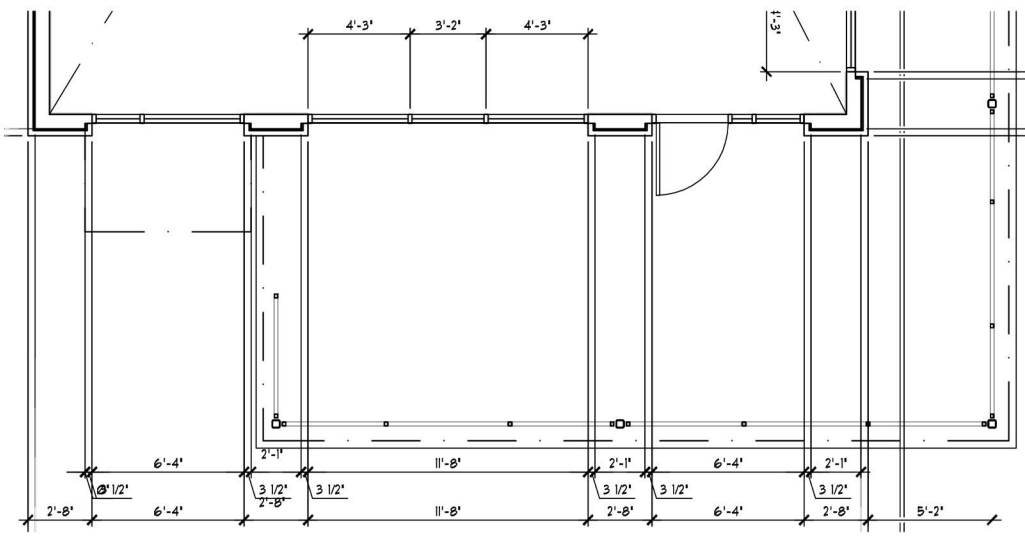
APPLICANT:  
 MOORE WORTH INVESTMENTS, LLC  
 10210 N CENTRAL EXPY SUITE 300  
 DALLAS TX 75231  
 CONTACT: WORTH WILLIAMS  
 214. 415. 9993

LOT 3, BLOCK A  
 LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
 ROCKWALL, TEXAS  
 MOORE WORTH INVESTMENTS, LLC





EAST	SF	TOTAL %	TOTAL %
STONE	300	42.5%	91.1%
STUCCO	343	48.6%	
EIFS	63	8.9%	8.9%
TOTAL	706	100.0%	100.0%

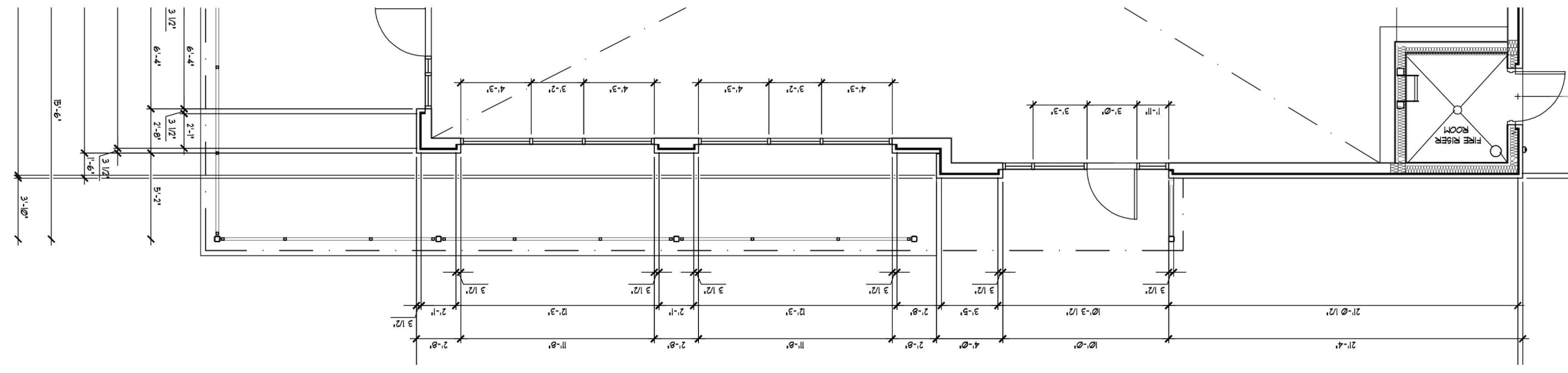


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

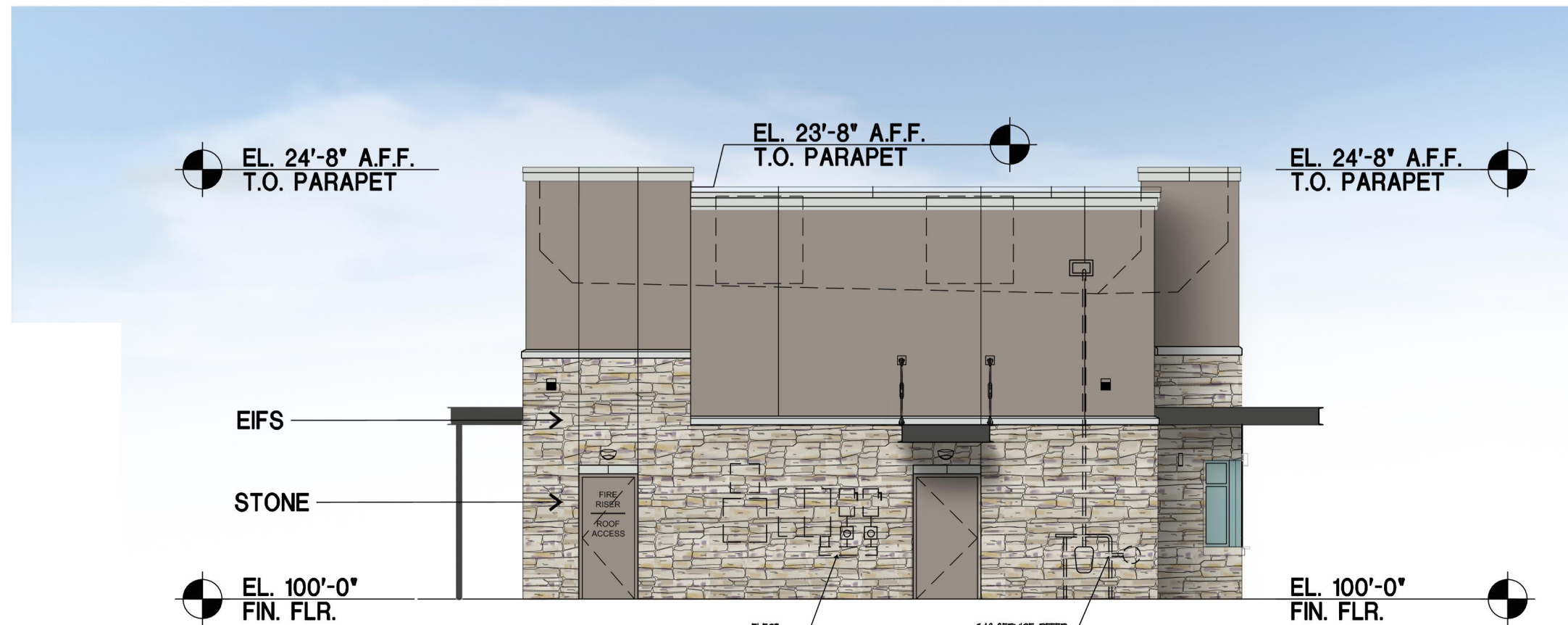


NORTH	SF	TOTAL %	TOTAL %
STONE	543	44.2%	92.1%
STUCCO	588	47.9%	
EIFS	97	7.9%	7.9%
TOTAL	1228	100.0%	100.0%

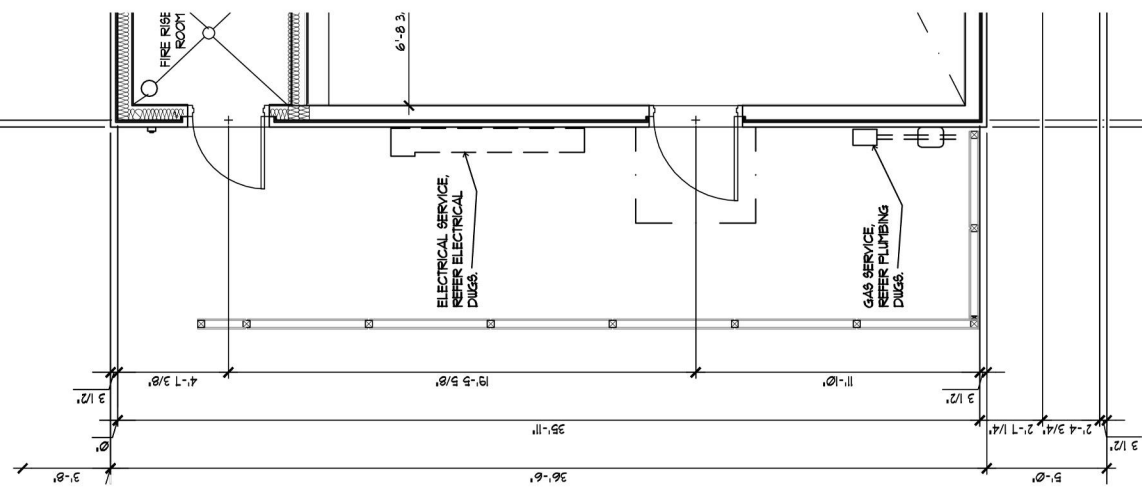


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"



WEST	SF	TOTAL %	TOTAL %
STONE	396	42.7%	91.5%
STUCCO	453	48.8%	
EIFS	79	8.5%	8.5%
TOTAL	928	100.0%	100.0%

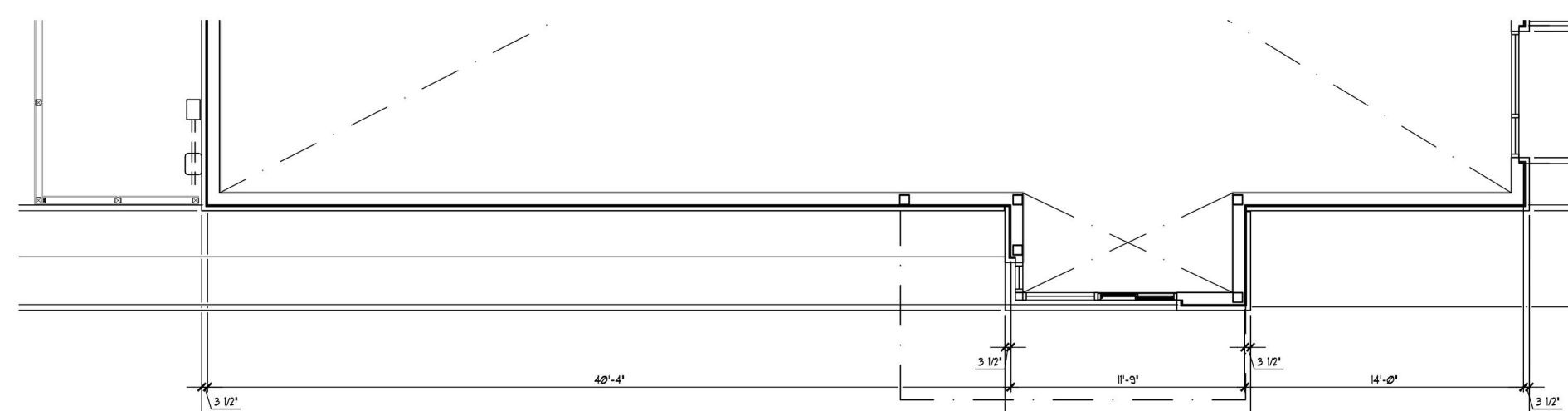


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



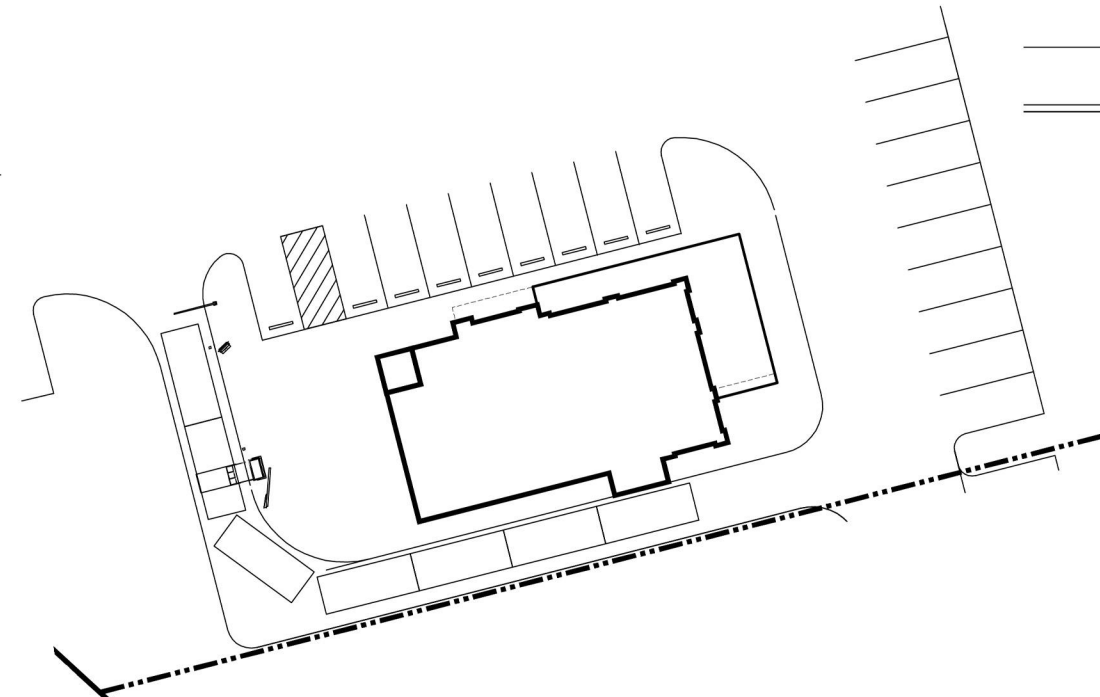
SOUTH	SF	TOTAL %	TOTAL %
STONE	753	49.4%	95.5%
STUCCO	702	46.1%	
EIFS	68	4.5%	4.5%
TOTAL	1523	100.0%	100.0%



04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:	
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO (PRIMARY):	COLOR TO MATCH SW 7744 ZEUS
STUCCO (SECONDARY):	COLOR TO MATCH SW 9168 ELEPHANT EAR
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

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APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
**MOORE WORTH INVESTMENTS, LLC**

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**ELEV05**

JOB NO: 16-147  
ISSUE DATE: 04/02/18  
SCALE: AS NOTED  
CASE #: Z2018-001

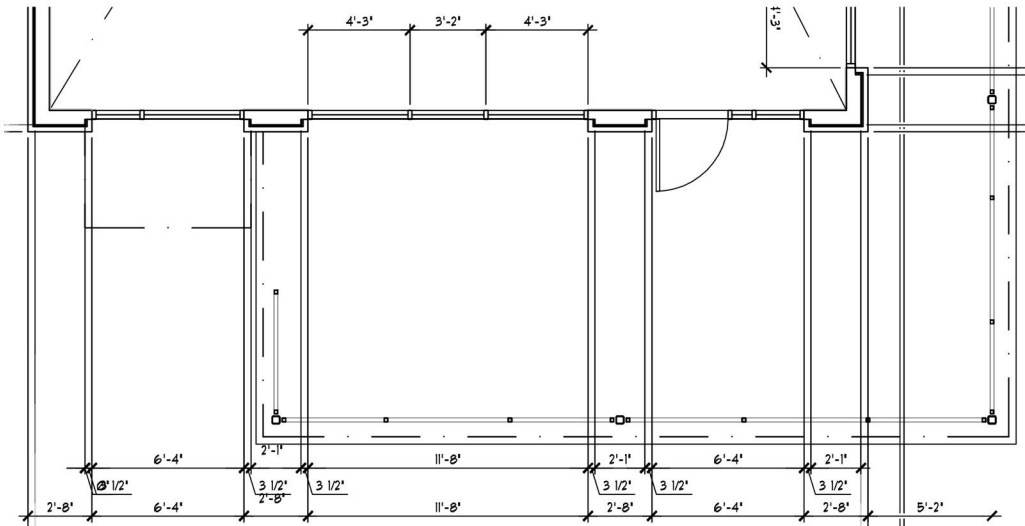








EAST	SF	TOTAL %	TOTAL %
METAL	42	5.6%	91.4%
STONE	181	24.2%	
STUCCO	461	61.6%	
EIFS	64	8.6%	
TOTAL	748	100.0%	100.0%

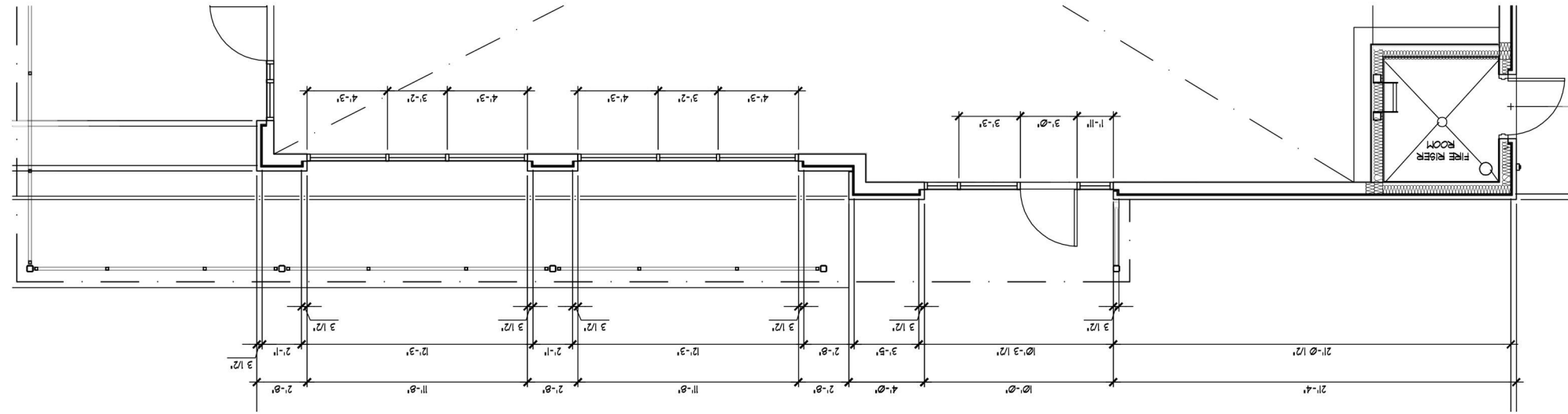


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

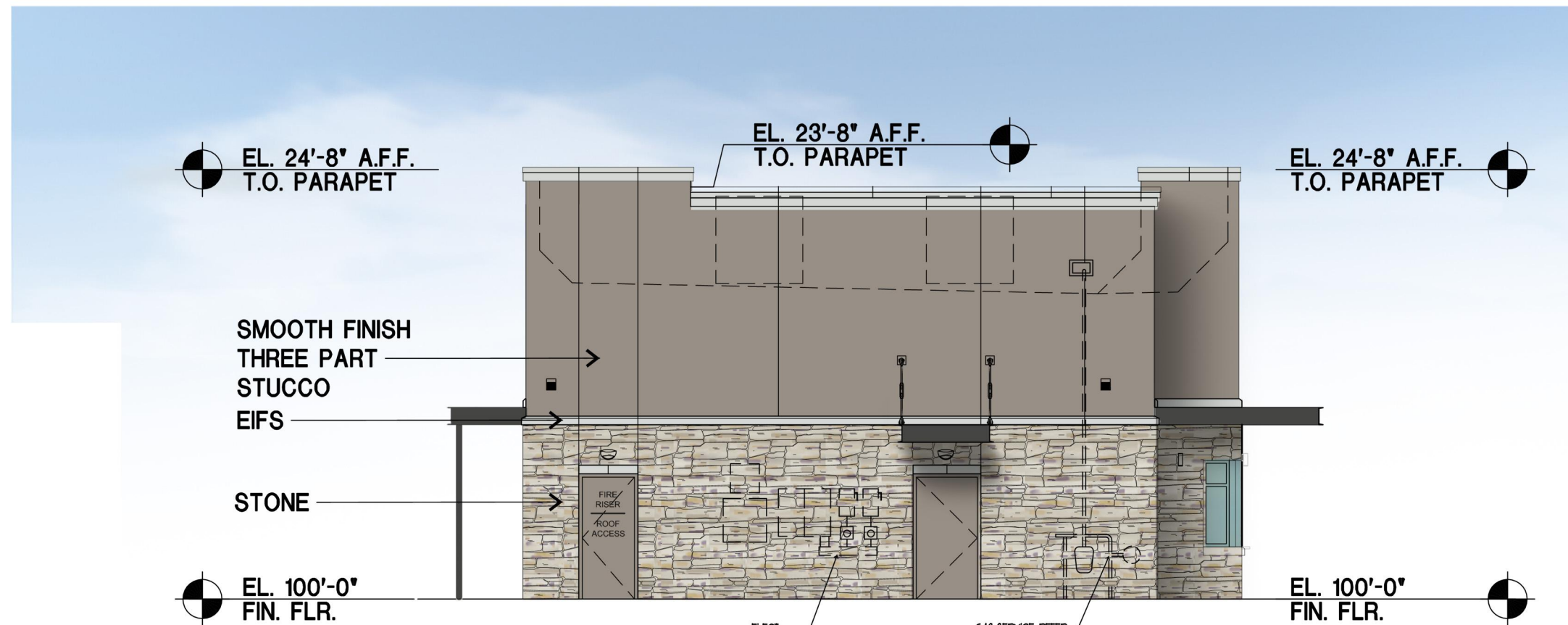


NORTH	SF	TOTAL %	TOTAL %
METAL	57	4.4%	90.0%
STONE	333	25.9%	
STUCCO	767	59.7%	
EIFS	128	10.0%	
TOTAL	1285	100.0%	100.0%

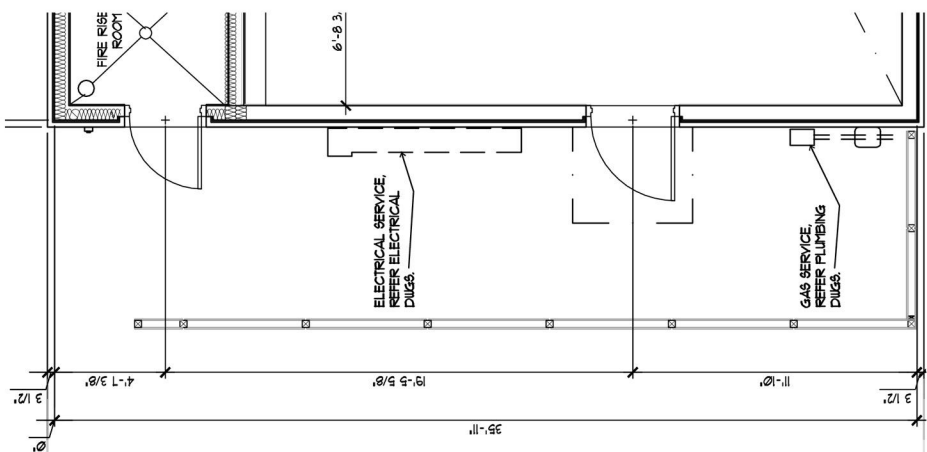


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"

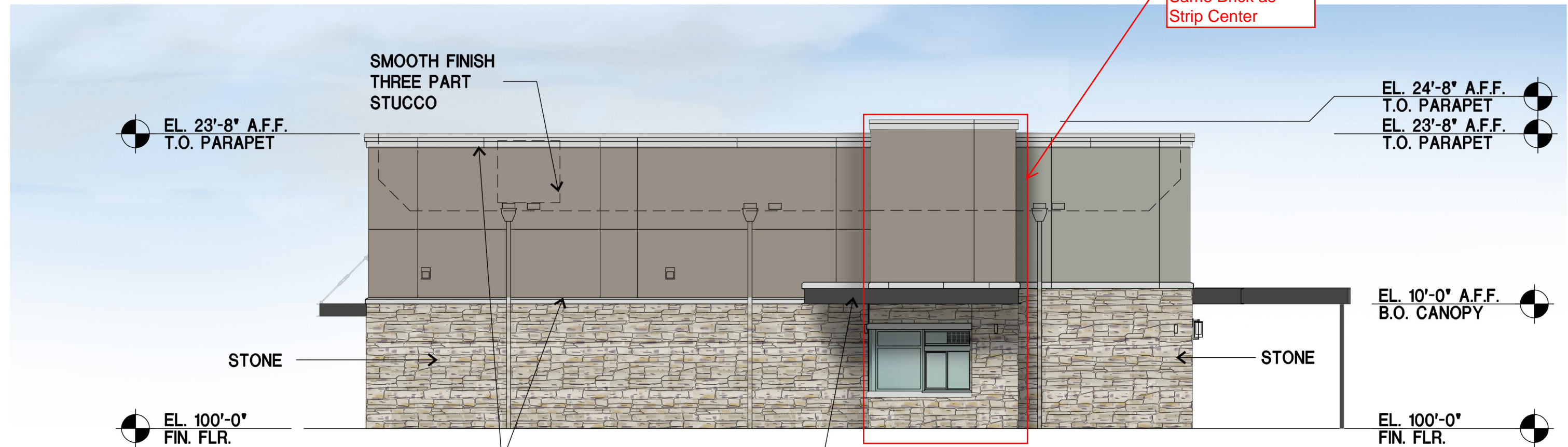


WEST	SF	TOTAL %	TOTAL %
METAL	5	0.5%	91.5%
STONE	344	36.9%	
STUCCO	505	54.1%	
EIFS	79	8.5%	
TOTAL	933	100.0%	100.0%

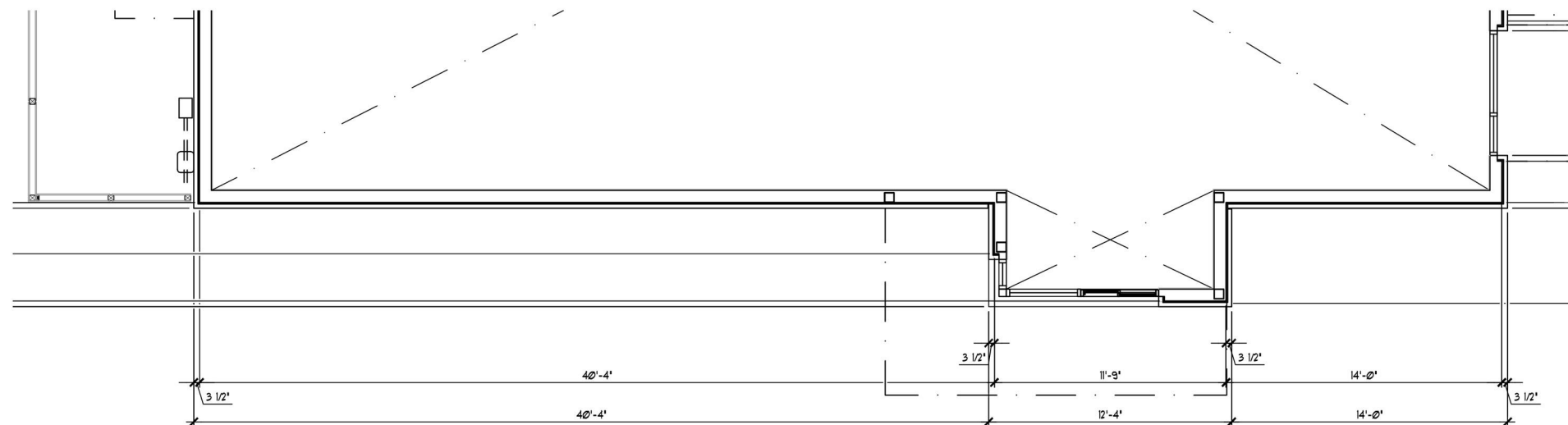


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



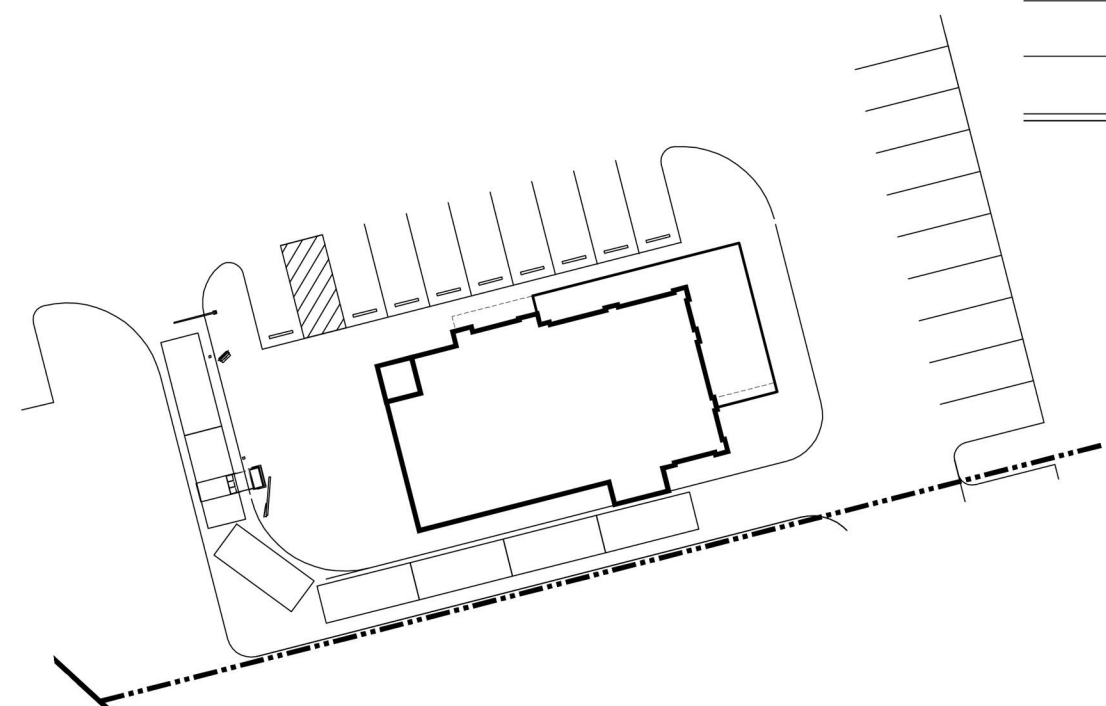
SOUTH	SF	TOTAL %	TOTAL %
METAL	21	1.4%	93.1%
STONE	636	41.2%	
STUCCO	780	50.5%	
EIFS	107	6.9%	
TOTAL	1544	100.0%	100.0%



04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:	
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO (PRIMARY):	COLOR TO MATCH SW 7744 ZEUS
STUCCO (SECONDARY):	COLOR TO MATCH SW 9168 ELEPHANT EAR
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

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APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
LAKESHORE COMMONS - LOT 3  
ROCKWALL, TEXAS  
MOORE WORTH INVESTMENTS, LLC

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

ELEV04

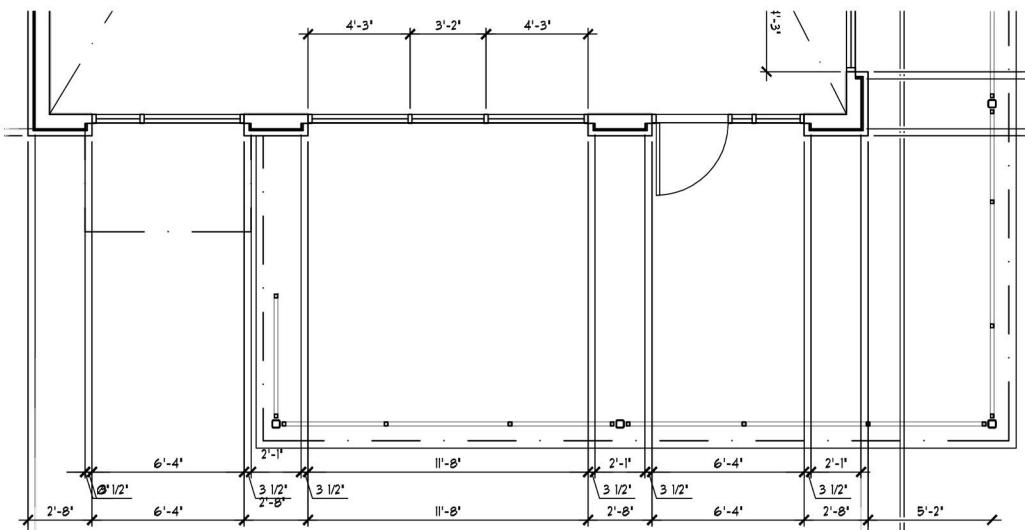
JOB NO: 16-147  
ISSUE DATE: 03/05/18  
SCALE: AS NOTED

CASE #: Z2018-001





EAST	SF	TOTAL %	TOTAL %
STONE	351	49.5%	91.1%
STUCCO	295	41.6%	
EIFS	63	8.9%	8.9%
TOTAL	709	100.0%	100.0%

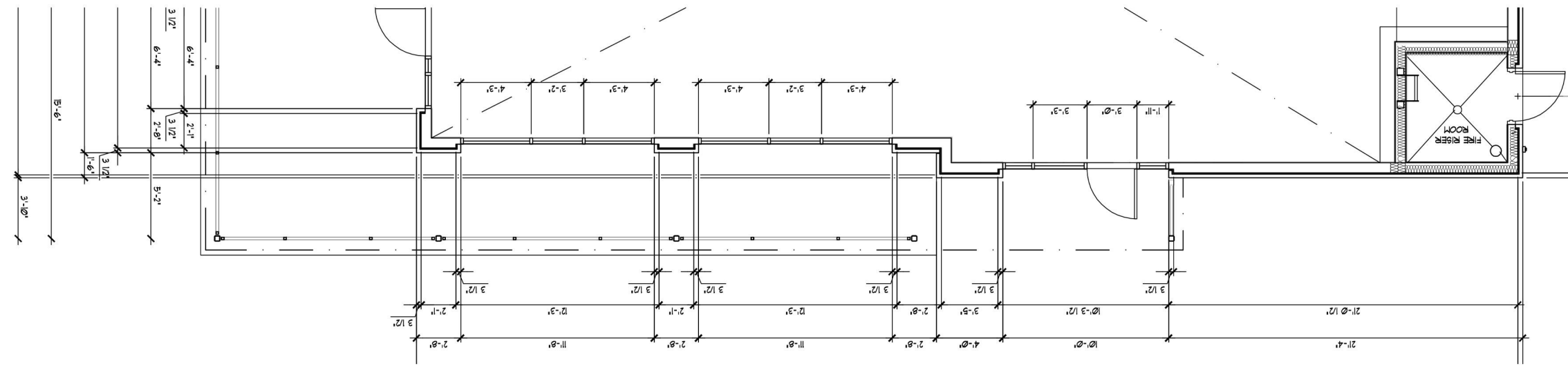


01 FRONT (EAST) ELEVATION

1/8" = 1'-0"

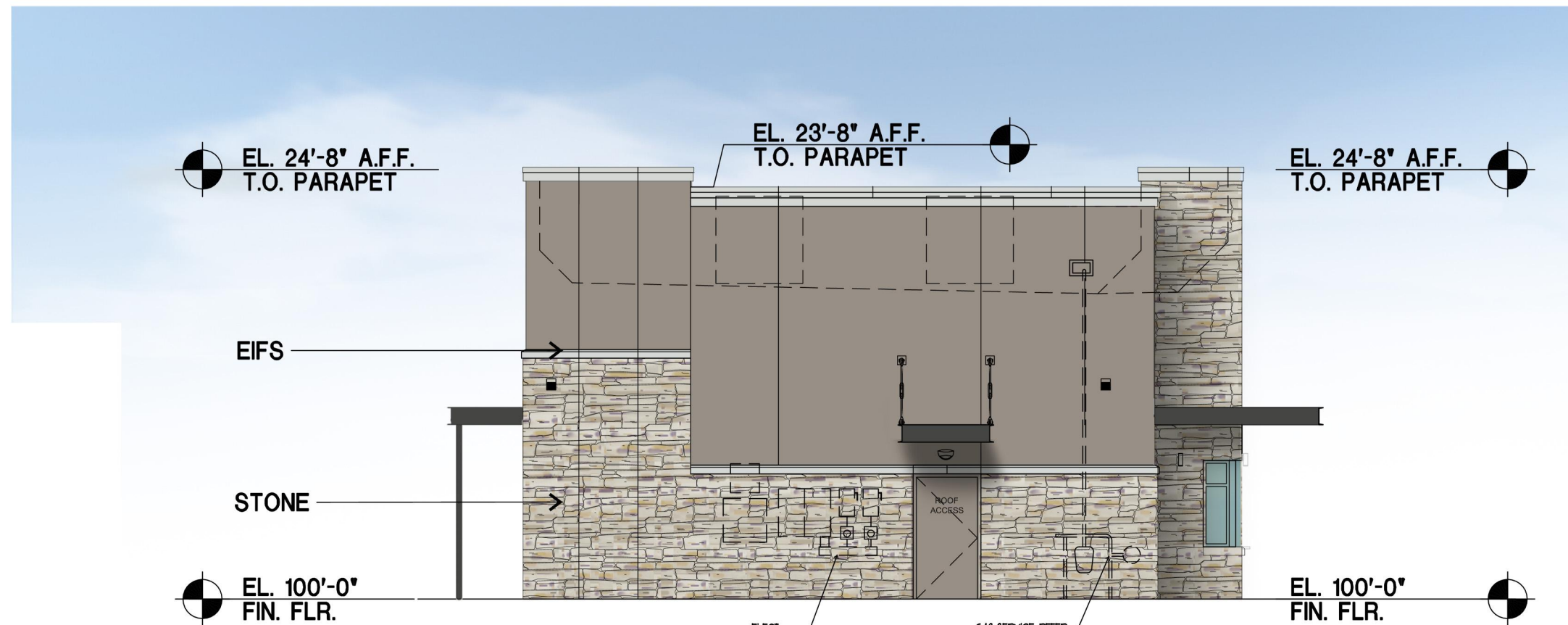


NORTH	SF	TOTAL %	TOTAL %
STONE	543	44.2%	92.1%
STUCCO	588	47.9%	
EIFS	97	7.9%	7.9%
TOTAL	1228	100.0%	100.0%

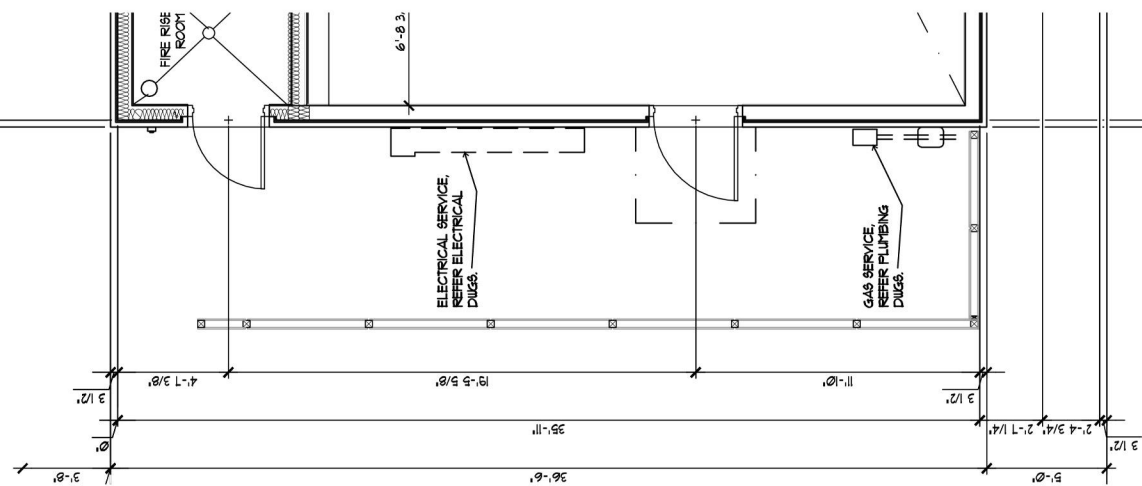


02 SIDE (NORTH) ELEVATION

1/8" = 1'-0"

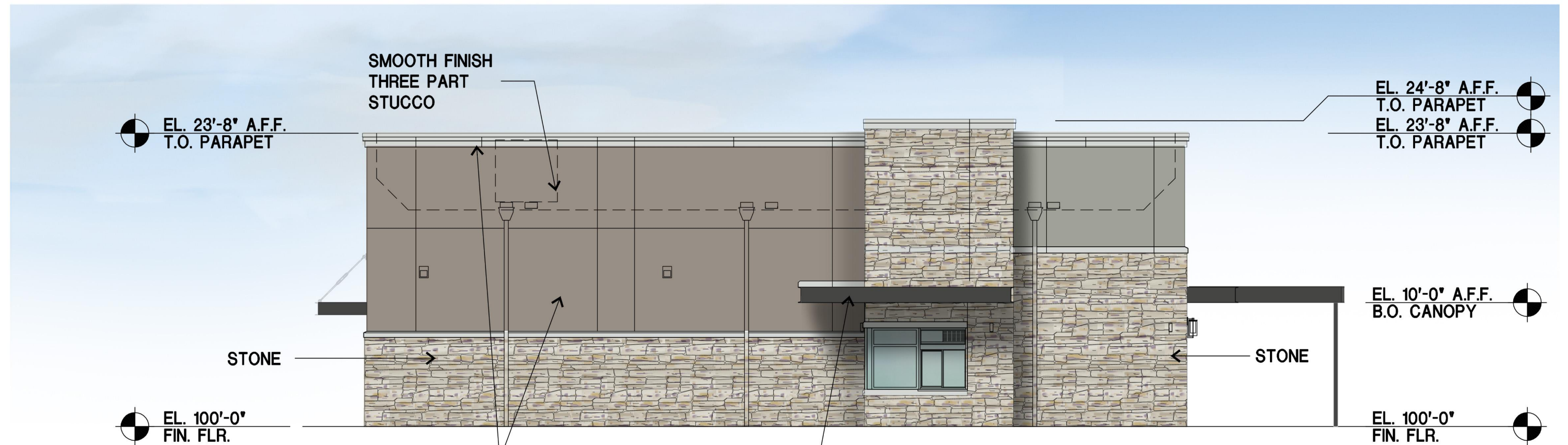


WEST	SF	TOTAL %	TOTAL %
STONE	412	43.5%	93.1%
STUCCO	471	49.7%	
EIFS	65	6.9%	6.9%
TOTAL	948	100.0%	100.0%

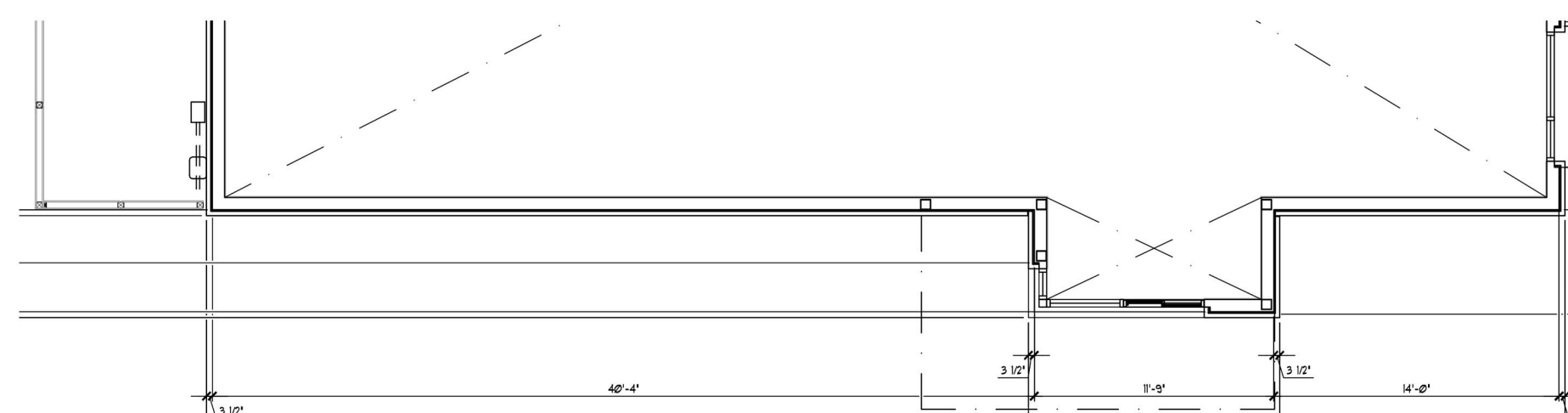


03 REAR (WEST) ELEVATION

1/8" = 1'-0"



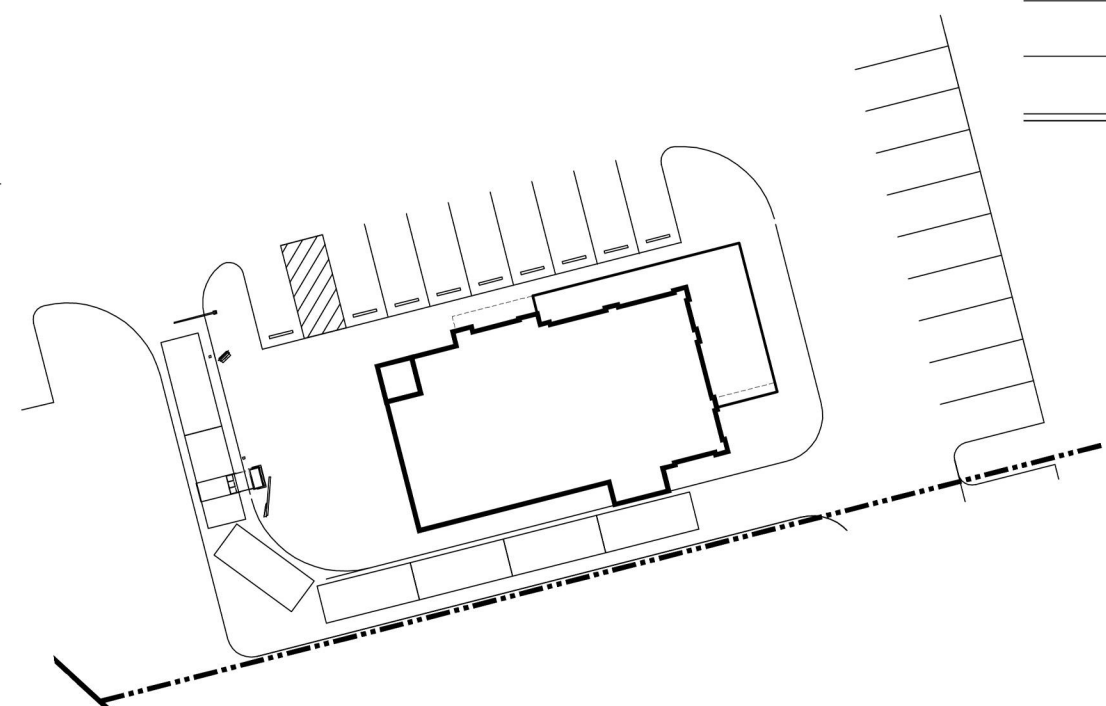
SOUTH	SF	TOTAL %	TOTAL %
STONE	724	45.9%	93.6%
STUCCO	754	47.8%	
EIFS	101	6.4%	6.4%
TOTAL	1579	100.0%	100.0%



04 SIDE (SOUTH) ELEVATION

1/8" = 1'-0"

MATERIALS/COLORS:	
STONE:	KONI- MOUNTAIN LEDGE COUNTY
EIFS:	COLOR TO MATCH SW 7030 ANEW GRAY
STUCCO (PRIMARY):	COLOR TO MATCH SW 7744 ZEUS
STUCCO (SECONDARY):	COLOR TO MATCH SW 9168 ELEPHANT EAR
METAL CANOPIES:	COLOR TO MATCH BERRIDGE LEAD COTE
STOREFRONT:	CLEAR ANODIZED



KEY PLAN

NOT TO SCALE



DALLAS, TX 972.385.9651  
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APPLICANT:  
MOORE WORTH INVESTMENTS, LLC  
10210 N CENTRAL EXPY SUITE 300  
DALLAS TX 75231  
CONTACT: WORTH WILLIAMS  
214.415.9993

LOT 3, BLOCK A  
LAKESHORE COMMONS ADDITION  
**LAKESHORE COMMONS - LOT 3**  
ROCKWALL, TEXAS  
MOORE WORTH INVESTMENTS, LLC

PRELIMINARY PLAN  
NOT FOR CONSTRUCTION

**ELEV06**

JOB NO: 16-147  
ISSUE DATE: 04/16/18  
SCALE: AS NOTED  
CASE #: Z2018-001