



COMPACTOR

BUILDING ELEVATION SCALE: 1/16" = 1'-0"

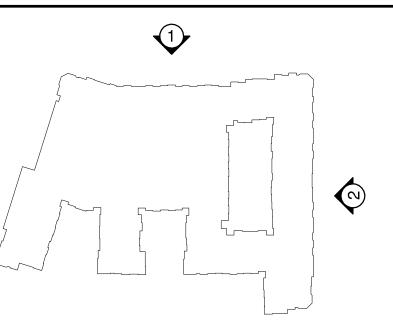
		i 1
STUCCO	6,248 S.F.	40%
BRICK	3,690 S.F.	24%
STONE	3,472 S.F.	22%
SPLIT FACE CMU	2,211 S.F.	14%
TOTAL	15,621 S.F.	100%

_ _d_ _	AMENITY	STAIR	B1	(c)	A2(b)	A2(a)	A2(a)	A2(b)	A1(a)	A1(a)	A2(b)	A2(a)	A2(a)	A2(b)	STAIR	B6(c)
	B6(a)	STAIR	B1	(c)	A2(a)	A2(a)	A2(a)	A2(a)	A1(a)	A1(a)	A2(a)	A2(a)	A2(a)	A2(a)	STAIR	B6(a)
																B6(b)
	B6(a)	STAIR	L1(a)	L1(a)	A2(b)	A2(b)	A2(b)	A2(b)	A1(a)	A1(a)	A2(b)	A2(b)	A2(b)	A2(b)	STAIR	AMENITY
	B6(a)	STAIR	L1(a)	L1(a)	A2(a)	A2(c)	A2(c)	A2(a)	A1(a)	A1(a)	A2(a)	A2(c)	A2(c)	A2(a)	STAIR	AMENITY
1														1		

73'-0" 12 6 6 6 6 73'-0" 12 6 6 6 6 73'-0" 12 6 6 6 73'-0" 12 6 6 6 73'-0" 12 6 6 6 73'-0" 12 6 6 6 73'-0" 12 6 6 6 73'-0" 12	s. l	175" = ELL	
64'-5" RIDGE	12 6 64'-5" 12 6 64'-5" RIDGE	64'-5" RIDGE 6 12 6 RIDGE	
ROOF HEEL			HEEL 1'-6 3/4"
#EEL 11'-6 3/4" 1 1 1 1 1 1 1 1 1			7.0.D. 5TH. FLOOR
5TH. FLOOR T.O.D. TOP. 11-6 3/4"			1.0.P. 10-6.3/4"
4TH FLOOR T.O.D. 5			T.O.D. 6 4TH FLOOR
			TOD. STATE STATE OF THE STATE O
3RD FLOOR T.O.D. O T.			
2ND FLOOR T.O.D. 5 1'-6 3/4"			TOD 50 2ND FLOOR 10.P. 11-6 3/4"
			T.O.F. O
1ST FLOOR TOF. TO		1-2-1-2	

2BUILDING ELEVATION SCALE: 1/16" = 1'-0"

STUCCO	5,665 S.F.	40%
BRICK	3,838 S.F.	27%
STONE	2,836 S.F.	20%
SPLIT FACE CMU	1,824 S.F.	13%
TOTAL	14,163 S.F.	100%



3 BUILDING KEY

CASE NO. SP2018-043

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR DEGACILG ARI ON TO THE CONTROLLY TEXAS FOR THE C

REVISIONS

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

12-14-18

PROJECT 17126

SHEET NUMBER

A4-10BUILDING

ELEVATION



B6(a)

BUILDING ELEVATION SCALE: 1/16" = 1'-0"

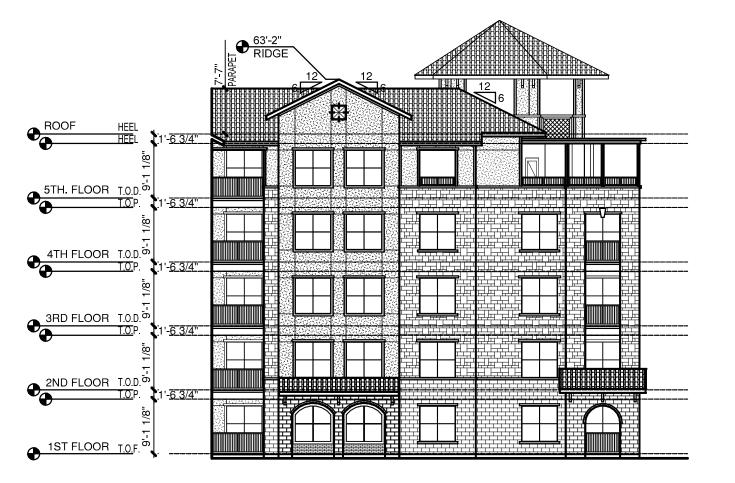
STUCCO	794 S.F.	29%
BRICK	0 S.F.	0%
STONE	1,410 S.F.	51%
SPLIT FACE CMU	576 S.F.	20%
TOTAL	2,780 S.F.	100%

	-	B2(a)	A2(a)	A1(a)	STAIR	B3(d)	
	-	B2(a)	A2(b)	A1(c)	STAIR	B3(e)	
	_	B2(a)	A2(c)	A1(b)	STAIR	B3(d)	
	•	1	1	•	1 1	1	
		7'-7" PARAPET			⊕ 73'-4" RIDGE	12 6 6	1
ROOF HEEL	1'-6 3/4"						
5TH. FLOOR 7.0.D.0							
4TH FLOOR T.O.D. O							
3RD FLOOR T.O.D. 5							
2ND FLOOR T.O.D.							
11:-1 1/8"	T						
1ST FLOOR TOF	\						

BUILDING ELEVATION SCALE: 1/16" = 1'-0"

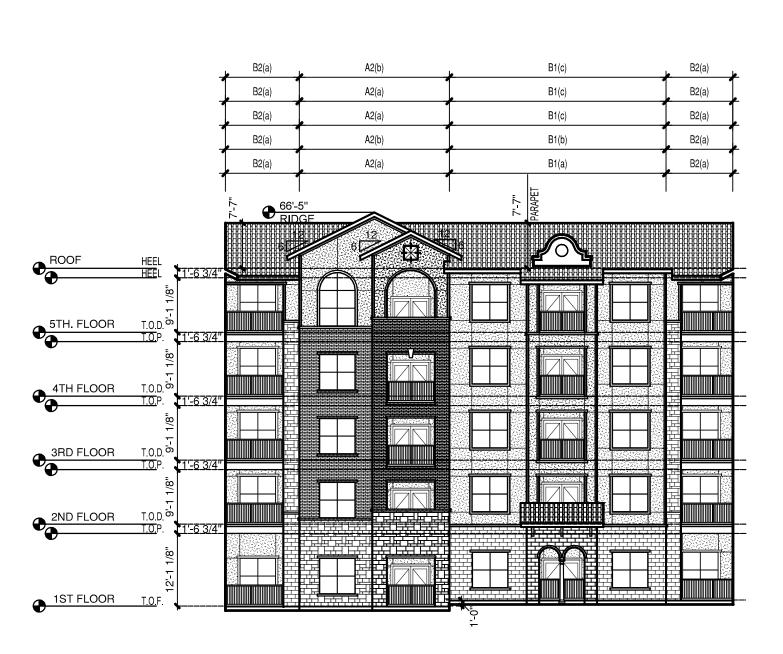
STUCCO	1,831 S.F.	46%
BRICK	365 S.F.	10%
STONE	992 S.F.	25%
SPLIT FACE CMU	766 S.F.	19%
TOTAL	3,954 S.F.	100%

B2(a)	E1(a)	AMENITY Le
B2(a)	E1(a)	B3(a)
B2(a)	E1(a)	B3(a)
B2(a)	E1(a)	B3(b)
B2(a)	E1(a)	B3(a)
	-	



2BUILDING ELEVATION SCALE: 1/16" = 1'-0"

STUCCO	996 S.F.	43%
BRICK	0 S.F.	0%
STONE	933 S.F.	40%
SPLIT FACE CMU	417 S.F.	17%
TOTAL	2,346 S.F.	100%



5 BUILDING ELEVATION SCALE: 1/16" = 1'-0"

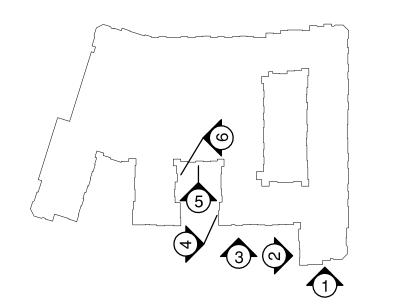
STUCCO	1,425 S.F.	52%
BRICK	492 S.F.	18%
STONE	434 S.F.	16%
SPLIT FACE CMU	373 S.F.	14%
TOTAL	2,724 S.F.	100%

B3(f)	A1(c)	B1(c)	A1(c)	B2(a)
B3(d)	A1(a)	B1(c)	A1(a)	B2(a)
B3(d)	A1(a)	B1(c)	A1(a)	B2(a)
B3(e)	A1(c)	B1(b)	A1(c)	B2(a)
B3(d)	A1(a)	B1(a)	A1(a)	B2(a)



3 BUILDING ELEVATION SCALE: 1/16" = 1'-0"

STUCCO	2,014 S.F.	40%
BRICK	930 S.F.	19%
STONE	1,408 S.F.	28%
SPLIT FACE CMU TOTAL	676 S.F. 5,028 S.F.	13%



7BUILDING KEY



6 BUILDING ELEVATION SCALE: 1/16" = 1'-0"

STUCCO	1,134 S.F.	27%
BRICK	1,024 S.F.	24%
STONE	1,515 S.F.	35%
SPLIT FACE CMU	596 S.F.	14%
TOTAL	4,269 S.F.	100%

TOTAL SOUTH-WEST ELEVATION (A4-11 # 1,3,5) (A4-12 # 1,3,5)		
TOTAL BLDG. FACADE:	19,391 SF.	
TOTAL STONE AMOUNT:	6,721 SF.	
TOTAL STONE %:	35%	

CASE NO. SP2018-043

REVISIONS AGE

HARBOR VIL

ISSUED FOR: SITE PLAN APPROVAL 01-04-19

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

DATE

12-14-18 PROJECT

17126

SHEET NUMBER

BUILDING

ELEVATION



B3(c)

		ĺ	1	
		→ 74'-4' RIDG	E 12 6	
	● 66'-2" RIDGE	12 6	7-2 1/2" PARAPET	*
ROOF HEEL HEEL 11'-6 3/4"				T.O.D. ROOF T.O.P. 1'-6 3/4"
1 1/8				5TH. FLOOR
5TH. FLOOR T.O.D. 0 1'-6 3/4"	### 250 CONTROL SET			T.O.D. 5TH. FLOOR
4TH FLOOR T.O.D. 0 1.O.P. 11-6 3/4"				T.O.D. 6 4TH FLOOR
3RD FLOOR T.O.D. ⁶				5.6 7.0.0.6 3RD FLOOR
1 1/8"				-1 1/8"
2ND FLOOR TOD 5 11-6 3/4"			<u> </u>	TOD. 0 2ND FLOOR 10.P. 1'-63/4"

B3(d)

B3(d)

B3(e)

B3(d)

E1(a)

E1(a)

E1(a)

E1(a)

	7-2 1/2"	PARAPET		
ROOF HEEL 11'-6 3\(\frac{74''}{2}\)			T.O.D. T.O.P. 1'-6 3/4"	ROOF
ETH EI COD 1-6			T.O.D. 5 T.O.P. 1'-6 3/4"	5TH. FLOOR
11/8			T.O.D.0 1-1/8 1-8/2	4TH FLOOR
1/8"			1/8"	•
3RD FLOOR TOD 5 1'-6 3/4"			1. <u>O.P.</u> 1'-6 <u>3/4"</u>	3RD FLOOR
2ND FLOOR T.O.D. 50 T.O.P. 11-6 374"			T.O.D. 5 T.O.P. 11'-6 3/4"	2ND FLOOR
14-1 1/8"			10F 1-21 1/2	1ST FLOOR

B2(a)

B2(a)

B2(a)

BUILDING ELEVATION SCALE: 1/16" = 1'-0"

778 S.F.

1,712 S.F.

3,494 S.F. | 100%

0 S.F.

SPLIT FACE CMU 1,004 S.F.

STUCCO

STONE

TOTAL

	_
22%	
0%	
50%	
28%	

BUILDING	ELEVATION
SCALE: 1/16" = 1'-0"	

STUCCO	2,215 S.F.	52%
BRICK	394 S.F.	9%
STONE	850 S.F.	20%
SPLIT FACE CMU	819 S.F.	19%
TOTAL	4,278 S.F.	100%

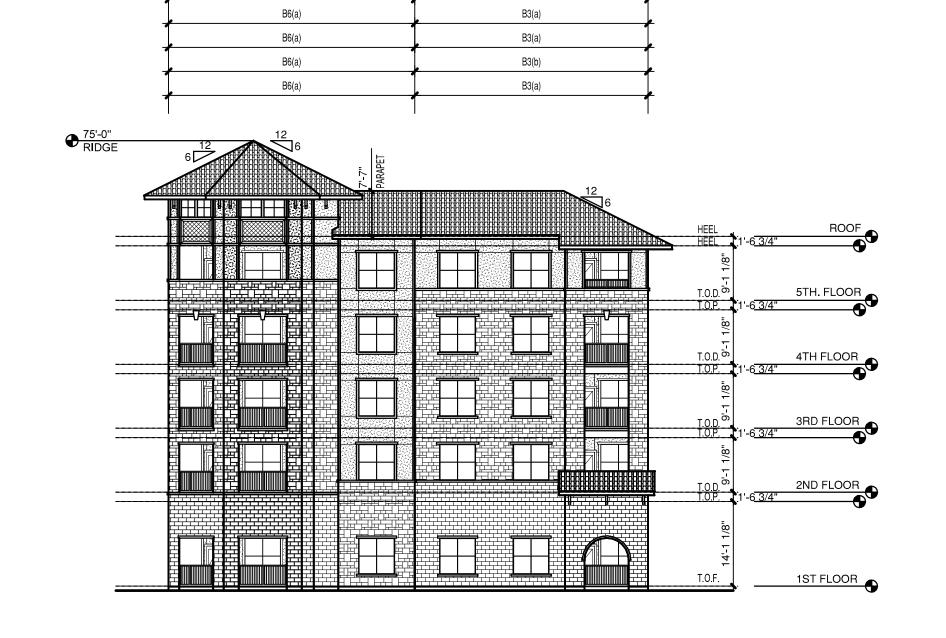
3 BUILDING ELEVATION SCALE: 1/16" = 1'-0"

			_
STUCCO	1,283 S.F.	68%	
BRICK	0 S.F.	0%	
STONE	161 S.F.	9%	
SPLIT FACE CMU	443 S.F.	23%	
TOTAL	1,887 S.F.	100%	
	l '	1	ı



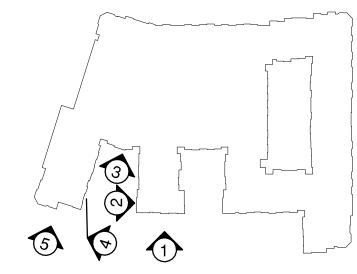
▲ BUILDING ELEVATION
SCALE: 1/16" = 1'-0"

STUCCO	2,155 S.F.	43%
BRICK	492 S.F.	10%
STONE	1,012 S.F.	20%
SPLIT FACE CMU	1,359 S.F.	27%
TOTAL	5,018 S.F.	100%



5 BUILDING ELEVATION SCALE: 1/16" = 1'-0"

STUCCO	1,089 S.F.	31%
BRICK	0 S.F.	0%
STONE	1,596 S.F.	46%
SPLIT FACE CMU	793 S.F.	23%
TOTAL	3,478 S.F.	100%



6BUILDING KEY

TOTAL SOUTH-WEST ELEV (A4-11 # 1,3,5) (A4-12 # 1,3	/ATION 3,5)
TOTAL BLDG. FACADE:	19,391 SI
TOTAL STONE AMOUNT:	6,721 SF.
TOTAL STONE %:	35%

CASE NO. SP2018-043

REVISIONS HARBOR VILLAGE

> ISSUED FOR: SITE PLAN APPROVA 01-04-19

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

DATE
1 2-1 4-4

12-14-18
PROJECT

17126

SHEET NUMBER

BUILDING ELEVATION



BUILDING ELEVATION SCALE: 1/16" = 1'-0"

14,567 S.F. | 100%

 STUCCO
 6,792 S.F.
 47%

 BRICK
 1,481 S.F.
 10%

 STONE
 2,914 S.F.
 20%

 SPLIT FACE CMU
 3,380 S.F.
 23%

TOTAL

2BUILDING KEY

CASE NO. SP2018-043

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABLON

ISSUED FOR: SITE PLAN APPROVAL 01-04-19

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

DATE
19-1/-/

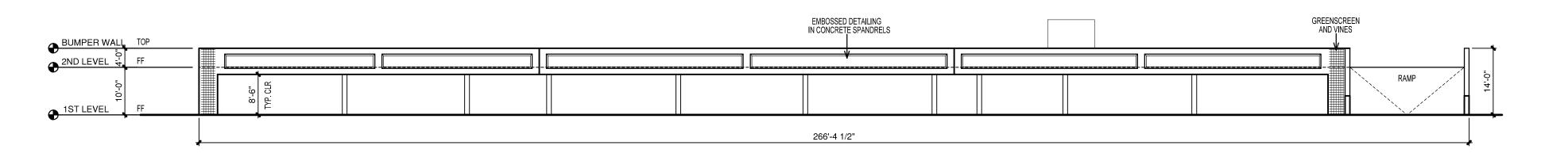
12-14-18
PROJECT

17126

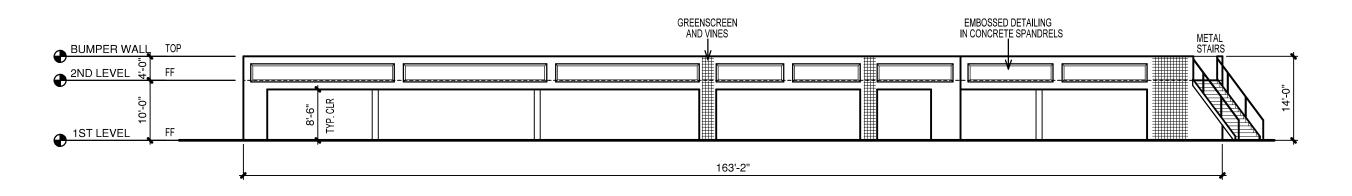
SHEET NUMBER

A4-13
BUILDING

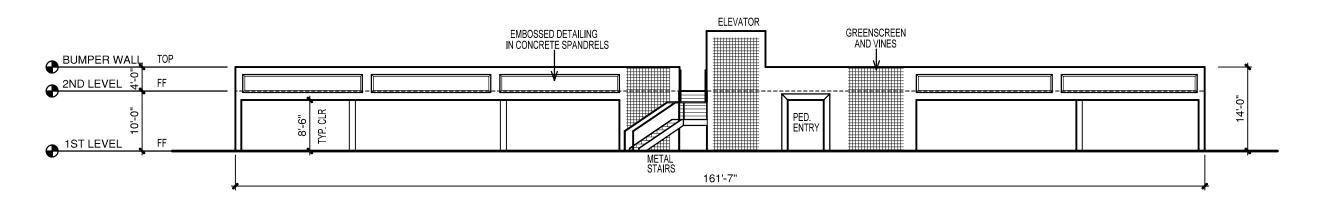
ELEVATION



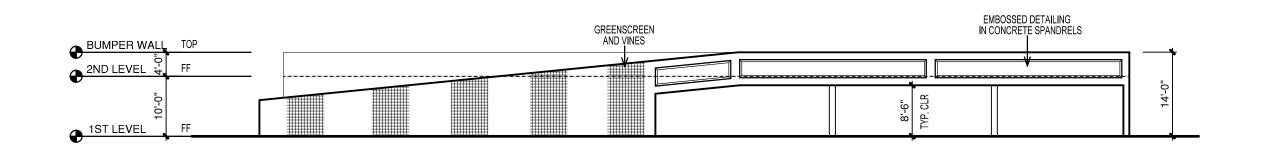
TWO-LEVEL PARKING STRUCTURE - NORTH ELEVATION SCALE: 1/16" = 1'-0"



TWO-LEVEL PARKING STRUCTURE - EAST ELEVATION SCALE: 1/16" = 1'-0"

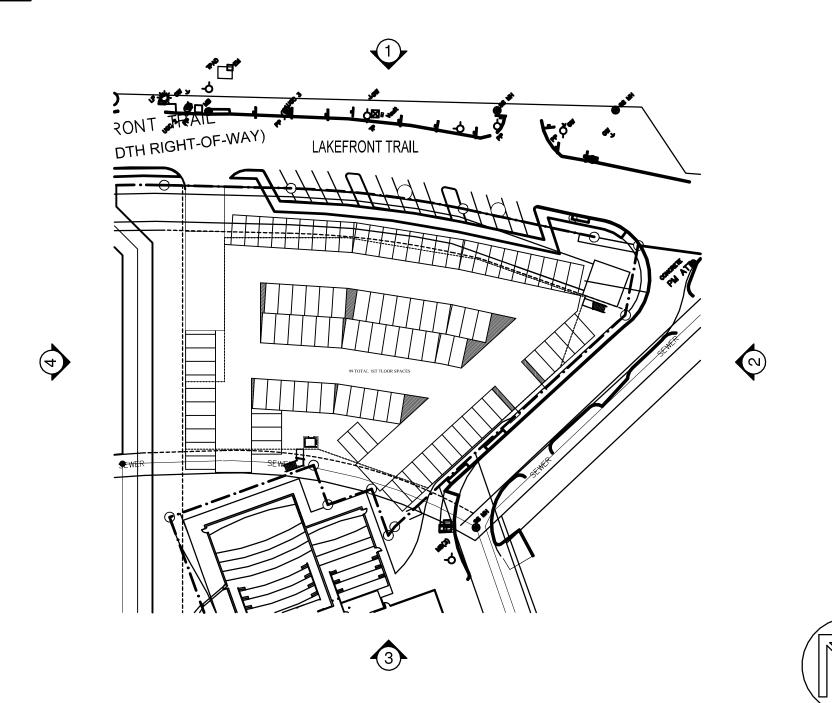


3 TWO-LEVEL PARKING STRUCTURE - SOUTH ELEVATION SCALE: 1/16" = 1'-0"

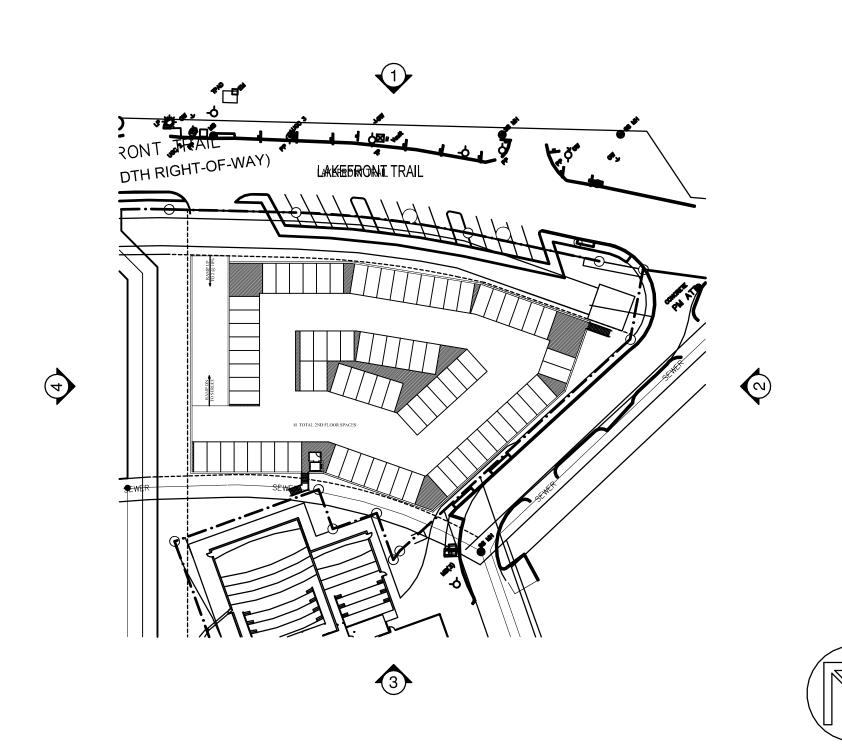


TWO-LEVEL PARKING STRUCTURE - WEST ELEVATION

SCALE: 1/16" = 1'-0"



5 TWO-LEVEL PARKING STRUCTURE - 1ST LEVEL & SITE



6 TWO-LEVEL PARKING STRUCTURE - 2ND LEVEL & SITE

CASE NO. SP2018-043

HARBOR VILLAGE

DWELLING UNITS IN ROCKWALL, TEXAS FOR PEGASUS ABLON

ISSUED FOR: SITE PLAN APPROVAL 01-04-19

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

DATE 12-14-18

12-14-1 PROJECT

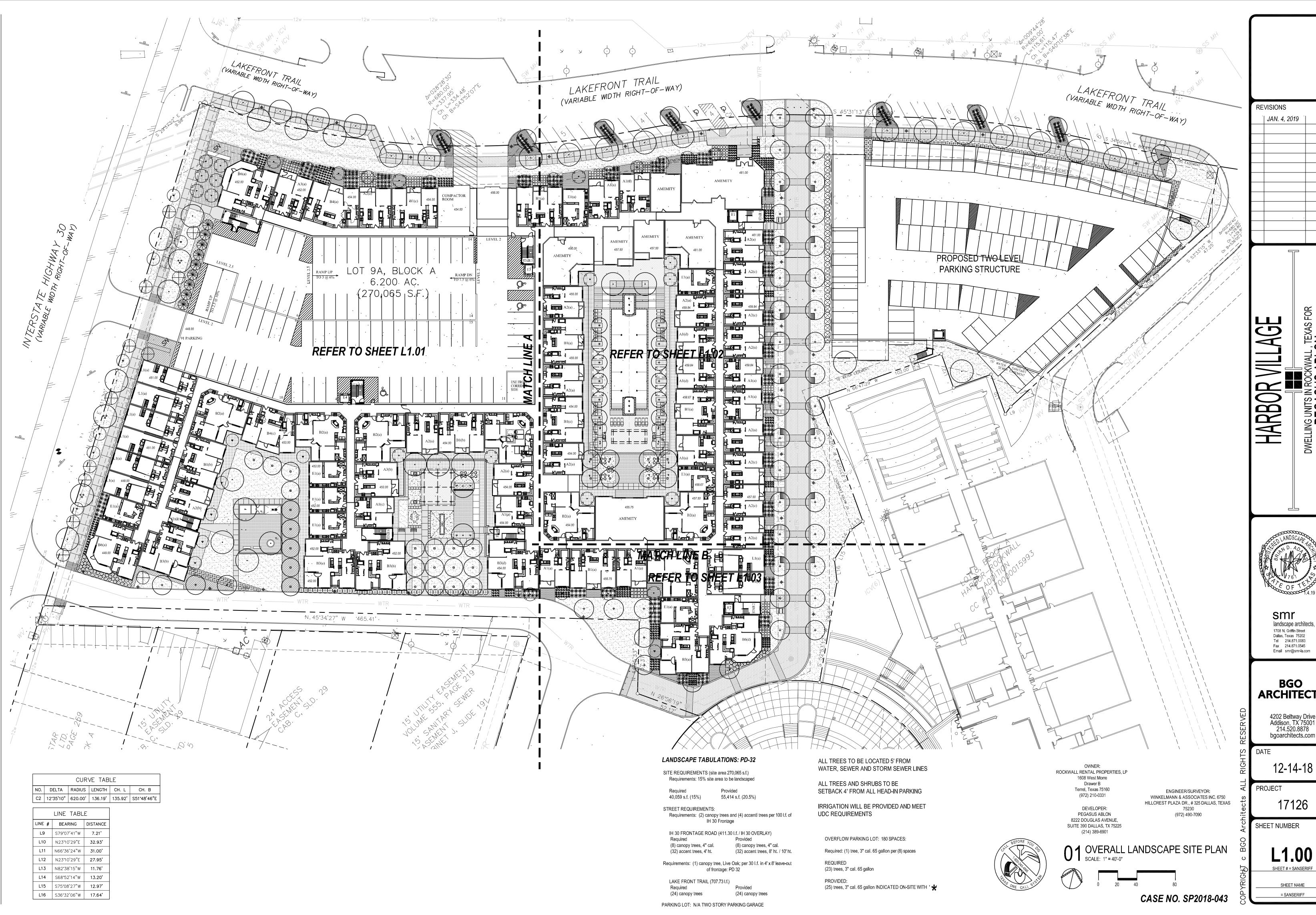
17126

SHEET NUMBER

PARKING GARAG ELEVATIONS



BGO ARCHITECTS



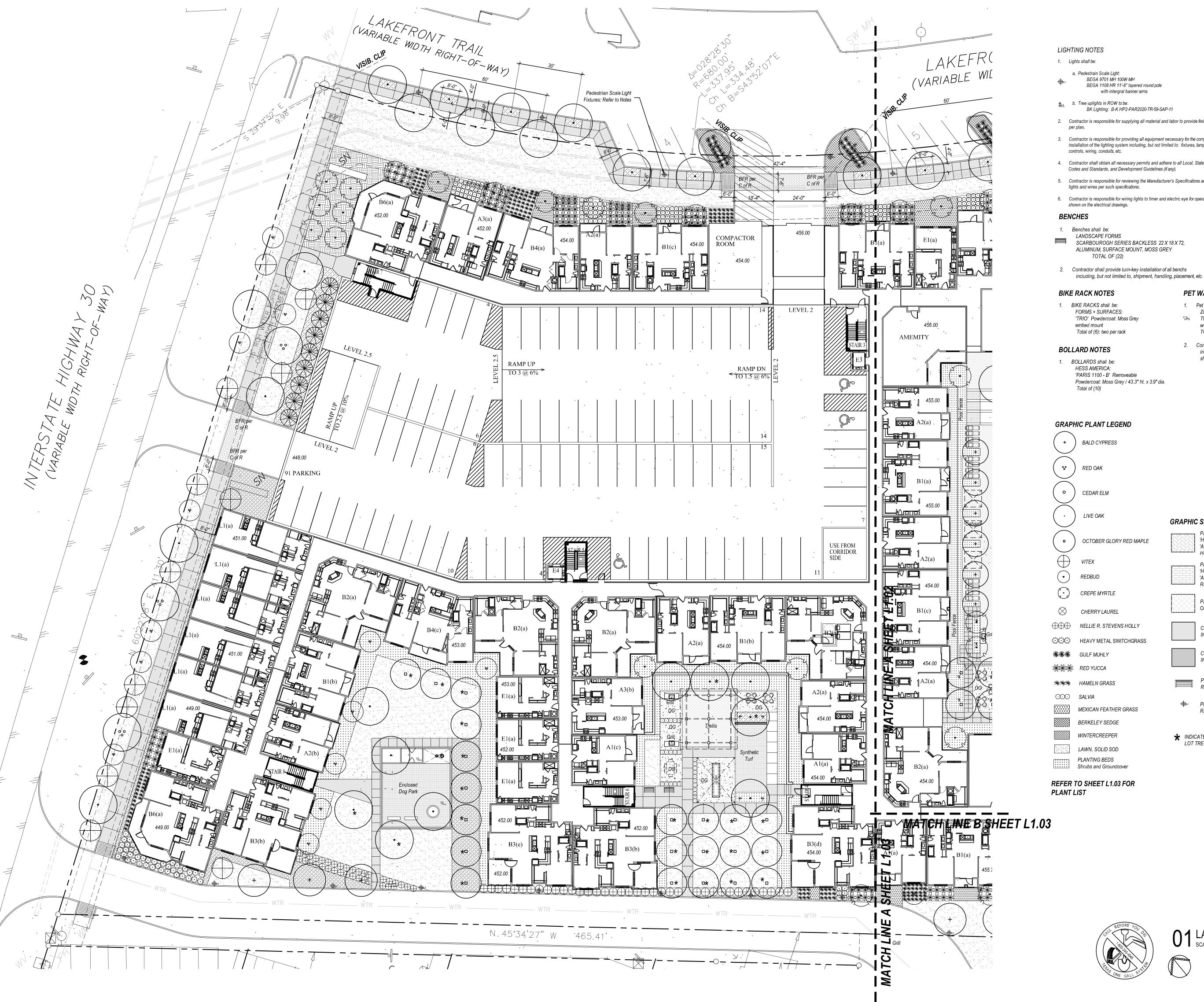
landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083 Fax 214.871.0545 Email smr@smr-la.com

BGO ARCHITECTS

> 4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

L1.00

SHEET NAME



2. Contractor is responsible for supplying all material and labor to provide finished lighting as

3. Contractor is responsible for providing all equipment necessary for the complete installation of the lighting system including, but not limited to: fixtures, lamps, switches,

4. Contractor shall obtain all necessary permits and adhere to all Local, State and Federal

5. Contractor is responsible for reviewing the Manufacturer's Specifications and installing

6. Contractor is responsible for wiring lights to timer and electric eye for operation, or as

2. Contractor shall provide turn-key installation of all benchs

PET WASTE STATION NOTES

1. Pet Waste Stations shall be: ZERO WASTE USA √rs The Sentry Pet Waste Station (#JJB006) ZW Green www.zerowasteusa.com / 1.800.789.2563 TOTAL OF (2) IN DOG PARK AREA

2. Contractor shall provide turn-key installation including, but not limited to, shipment, handling, placement, etc.

GRAPHIC SITE LEGEND PAVESTONE PAVER TYPE 'A' 'Holland 98 Parkway Provencial' 'Antique Terra-cotta': 8 cm

Herringbone Pattern on concrete sub-base PAVESTONE PAVER TYPE 'A' 'Holland 98 Parkway Provencial'

'Antique Terra-cotta': 8 cm Running Bond Pattern on concrete sub-base

PAVESTONE PAVER TYPE POOL COURTYARD ON CONCRETE SUB-BASE

CONCRETE WALK: Light Sandblast / Sawcut Joints INTEGRAL COLOR: 'COACHELLA SAND'

CONCRETE WALK: Light Sandblast / Sawcut Joints INTEGRAL COLOR: 'CHARCOAL'

PEDESTRIAN BENCHES REFER TO NOTES PEDESTRIAN SCALE LIGHTS

★ INDICATES OVERFLOW PARKING

1 LANDSCAPE PLAN SCALE: 1" = 20'-0"

CASE NO. SP2018-043

smr landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083 Fax 214.871.0545

HARBOR VI

REVISIONS

| JAN. 4, 2019

BGO ARCHITECTS

Email smr@smr-la.com

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

DATE 12-14-18

PROJECT

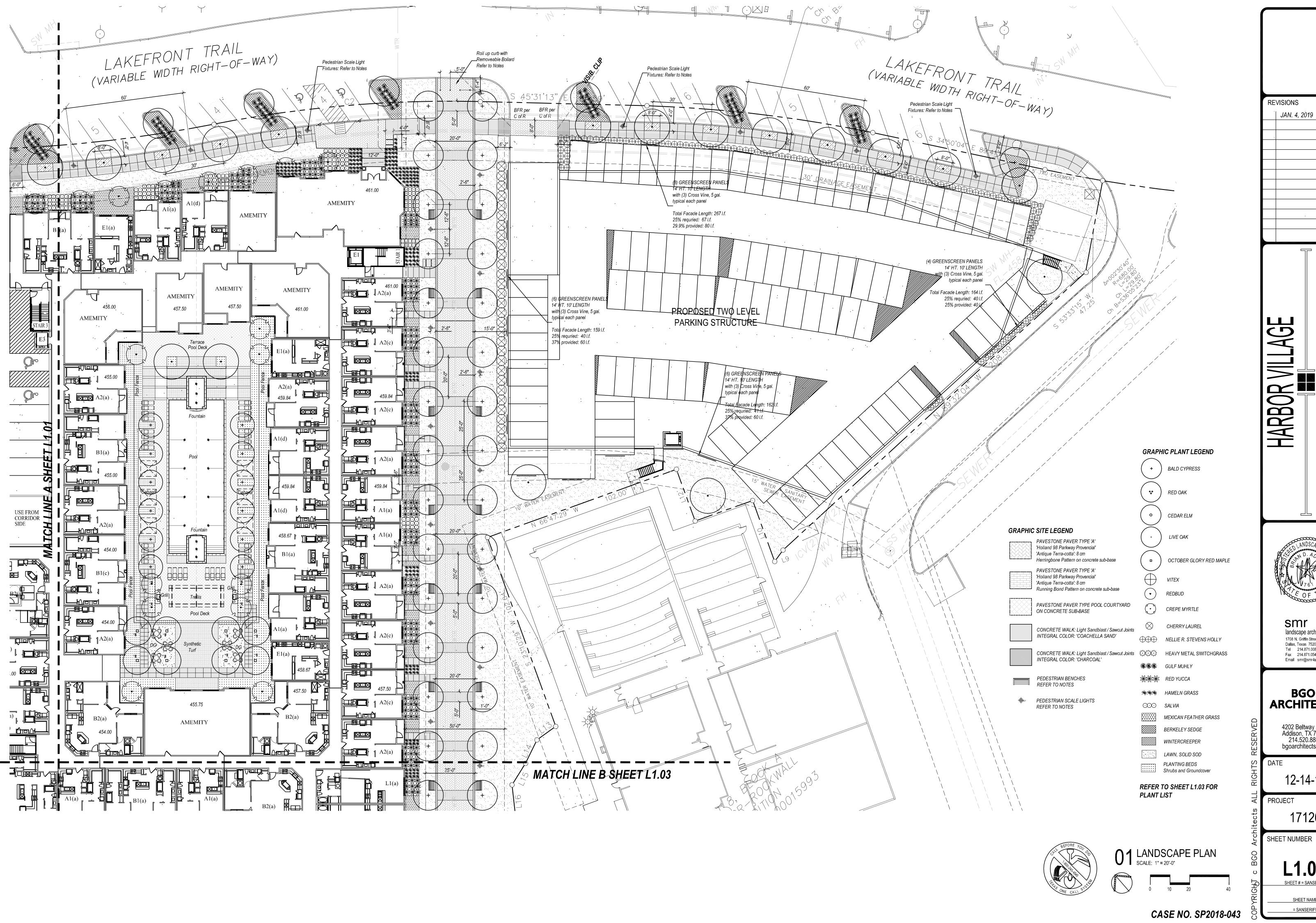
17126

SHEET NUMBER

L1.01

SHEET NAME = SANSERIFF

SHEET # = SANSERIFF



كك

landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083 Fax 214.871.0545 Email smr@smr-la.com

BGO ARCHITECTS

> 4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

12-14-18

PROJECT

17126

SHEET NUMBER

L1.02 SHEET # = SANSERIFF

SHEET NAME

CONCRETE NOTES

- 1. All concrete shall be in accordance with the A.C.I. standard "Building Code Requirements for Reinforced Concrete" (A.C.I. 318) latest revision.
- 2. All reinforcing steel shall be new domestic deformed billet steel conforming to ASTM A615, Grade 60 (60,000 PSI yield point).
- 3. Reinforcing bar supports and spacers shall be provided in accordance with the Manual of Standard Practice by the Concrete Reinforcing Steel Institute.
- 4. Concrete shall have a minimum compressive strength at 28 days of 3000 PSI.
- 5. Grade beam concrete protection of reinforcement shall be 2" minimum top
- 6. Maximum nominal coarse aggregate sizes for concrete in the slabs-on-grade shall be 3/4".
- 7. Concrete slumps shall be 4" maximum, 2" minimum.

and sides, 3" minimum bottom.

Mortar for walls shall be Type M ASTM C-270, consisting of: one (1) part hydrated Type S Lime, and not more than 3 3/4 parts well graded masonry sand with all proportions by volume.

PAVESTONE NOTES

- 1. Contractor shall adhere to the Manufacturer's Installation Guidelines, Specifications, and any other requirements outlined by the Manufacturer for all paver installation.
- 2. It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- 3. Type 'A' Pavers to be: Type and Color to be selected by Landscape Architect.
- 4. Type 'B' Pavers to be: Type and Color to be selected by Landscape Architect.
- 5. 'PAVESTONE' Pavers available from: Pavestone Company Mr. Joey Guedea (800) 245-7283.
- 6. Pattern as indicated on drawings.
- 7. Contractor shall submit a 'PAVESTONE' Standard Color Sample Board to the Landscape Architect / Owner for color selection prior to placing order.
- 8. The final color selection shall be made by the Landscape Architect on-site.
- 9. The Contractor shall construct a sample panel 10'-0" by 10'-0" on-site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.
- 10. The Landscape Architect reserves the right to reject any and all work executed by the Contractor which does not meet his/her expectations and the Manufacturer's Specifications.
- 11. The Contractor shall make any modifications required by the Landscape Architect at no expense to the Owner.

INTEGRAL COLORED CONCRETE NOTES

1. Color shall be integral concrete. 'Chromix Admixtures' or equal as supplied by: L.M. Scofield Company

1-800-222-4100

- 2. Contractor shall provide sample standard colors board and installation specifications from L.M. Scofield for review by the Architect and Owner prior to installation.
- 3. Contractor shall adhere to Manufacturer's Installation Guidelines, Specifications, and other requirements for all Color-Conditioned Concrete installation.
- 4. It shall be the responsibility of the Contractor to obtain a copy of the Manufacturer's Specifications prior to commencing any work.
- 5. The architect reserves the right to reject any and all work executed by the Contractor which does nor meet his/her expectations and Manufacturer's Specifications.
- 6. The Contractor shall construct a sample panel 3'-0" x 3'-0" on site, at no expense to the Owner, for approval by the Architect / Owner prior to commencing work.

DECOMPOSED GRANITE NOTES

- 1. Provide Decomposed Granite with 'Stabilizer' Binder additive surfacing as indicated on drawings.
- 2. Submit representative samples of items specified for approval by Landscape Architect, Architect and Owner.
- 3. Decomposed Granite base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and various stages of decomposed earth base.
- 4. Filter Fabric: Fabric shall be 'Mirascape', non-woven needle punched fabric made from polypropylene, non-biodegradable, inert to soil chemicals, acids and alkalines over a pH range of 3 - 12, as manufactured by MIRAFI Inc., or approved equal.
- 5. 'Stabilizer' Binder additive to be provided by: Stabilizer Solutions 1 (800) 336-2468; www.stabilizersolutions.com Blend to be 12 - 16 lbs. of Stabilizer per ton of Decomposed Granite,

thoroughly mixed throughout.

sections indicated in details.

- 6. Provide grade stakes at 10 foot centers to insure grade points indicated on drawings are met. Insure scope of subgrade and finish surface meets cross
- Prepare subgrade by excavating existing material soils to a maximum depth
- 8. After excavation, rototill or scarify top 1 inch of subgrade and compact to 95% standard proctor using double drum, single drum or automatic hand tampers.
- 9. Install filter fabric in bottom of excavation to limits of path.
- 10. Place four (4) inches of Decomposed Granite with 'Stabilizer' Binder over a dry sub-base Do not install on wet sub-base. Provide compaction of material to maximum limits with automatic hand tampers in one inch lifts, unless noted otherwise on details. Compact to achieve a tight material matrix.
- 11. Provide twenty (20) 50 lbs. bags of pre-mixed Decomposed Granite for future use in repair and maintenance.
- 12. The Contractor shall construct a sample panel 5'-0" x 5'-0" on site, at no expense to the Owner, for approval by the Landscape Architect / Owner prior to commencing work.

AMEMITY

Roll up curb with

Refer to Notes

Removeable Bollard .

GENERAL LAWN NOTES

- 1. Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- 3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- 4. Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- 6. All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

SOLID SOD NOTES

- 1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade
- 2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- 3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction
- 4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- 5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- 6. Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- 7. Water sod thoroughly as sod operation progresses.
- 8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy
- 9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- 10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

IRRIGATION REPAIR SPECIFICATIONS: IF NEEDED FOR ANY OFF-SITE REPAIRS

- 1. Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- 2. Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

LAWN REPAIR NOTES: IF NEEDED FOR ANY OFF-SITE REPAIRS

- 1. All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- 2. Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- 3. All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to
- 4. Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

LANDSCAPE NOTES

- 1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- 2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- 3. Contractor is responsible for obtaining all required landscape and irrigation
- 4. Contractor to provide a minimum 2% slope away from all structures.
- 5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- 6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- 7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the

MAINTENANCE NOTES

- 1. The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- 2. All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- 3. All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- 4. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- 5. All plant material which dies shall be replaced with plant material of equal or better value.
- 6. Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

MATCH LINE C SHEET L1.02

COMMON NAME INCHES **BOTANICAL NAME** REMARKS QTY. Bald Cypress Taxodium distichum 4" cal. container grown, 15' ht., 5' spread min. Crepe Myrtle 'Dallas Red' Lagerstroemia indica 'Dallas Red' 2" cal. container grown, 3-5 cane, no cross caning container grown, 15' ht. 5' spread min. Live Oak 4" cal. Quercus virginiana Magnolia 'DD Blanchard' Magnolia sp. 'DD Blanchard' container grown, full to base October Glory Red Maple Acer sp. 'Ocotber Glory' 3" cal. container grown, 13' ht. 4' spread min. Red Oak 'Shumard' Quercus shumardii 4" cal. B&B, 14' ht. 4'-5' spread min. 2" cal. B&B, single trunk, 10' ht. min. Redbud Cercis canadensis Vitex 8' ht. B&B or container, tree form, 3-5 cane Vitex agnes-castes COMMON NAME **BOTANICAL NAME** REMARKS Cherry Laurel Prunus caroliniana container, full plant, 4' o.c. Nellie R. Stevens holly llex sp. 'Nellie R. Stevens' 36" ht. container, full plant, 36" o.c. Softleaf Yucca Yucca recurvifolia container, full plant, 36" o.c.

3 gal.

5 gal.

3 gal.

4" pots

container, full top of container, 36" o.c.

container, full top of container, 30" o.c.

container, full top of container, 24" o.c.

container, full top of container, 18" o.c.

container, full top of container, 12" o.c.

container, (3) 12" runners min. 12" o.c.

container, full plant, 24" o.c.

REMARKS

PLANT LIST

126

493

265

1053

2,249

3,124

Switchgrass

Gulf Muhly

Hamlen Grass

Salvia 'Furman's Red'

Mexican Feathergrass

COMMON NAME

Berkeley Sedge

Wintercreeper

Common Bermudagrass Cyodon dactylon roll sod solid sod, refer to notes NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching

Carex divulsa

Panicum sp. 'Heavy Metal'

Pennisetum aleopercuroides

Salvia greggii 'Furman's Red'

Euonymus fortunei coloratus

Muhlenbergia capillaris

Nasella tennuisimma

BOTANICAL NAME

GRAPHIC PLANT LEGEND BALD CYPRESS RED OAK CEDAR ELM LIVE OAK **GRAPHIC SITE LEGEND** PAVESTONE PAVER TYPE 'A' 'Holland 98 Parkway Provencial' OCTOBER GLORY RED MAPLE 'Antique Terra-cotta': 8 cm Herringbone Pattern on concrete sub-base VITEX PAVESTONE PAVER TYPE 'A' 'Holland 98 Parkway Provencial' REDBUD 'Antique Terra-cotta': 8 cm Running Bond Pattern on concrete sub-base CREPE MYRTLE PAVESTONE PAVER TYPE POOL COURTYARD ON CONCRETE SUB-BASE CHERRY LAUREL NELLIE R. STEVENS HOLLY CONCRETE WALK: Light Sandblast / Sawcut Joints INTEGRAL COLOR: 'COACHELLA SAND' 能能够 HEAVY METAL SWITCHGRASS CONCRETE WALK: Light Sandblast / Sawcut Joints **※米米** GULF MUHLY INTEGRAL COLOR: 'CHARCOAL' *** RED YUCCA PEDESTRIAN BENCHES REFER TO NOTES *** HAMELN GRASS ⊙⊙⊙ SALVIA PEDESTRIAN SCALE LIGHTS MEXICAN FEATHER GRASS REFER TO NOTES BERKELEY SEDGE WINTERCREEPER LAWN, SOLID SOD PLANTING BEDS Shrubs and Groundcover



1 LANDSCAPE PLAN SCALE: 1" = 20'-0"

REVISIONS

| JAN. 4, 2019

landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083 Fax 214.871.0545 Email smr@smr-la.com

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

DATE

12-14-18

PROJECT

SHEET NUMBER

SHEET # = SANSERIFF

CASE NO. SP2018-043

SHEET NAME

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs, and grass) 2. Bed preparation and fertilization
- Notification of sources 4. Water and Maintenance until final acceptance

1.3 REFERENCE STANDARDS

Guarantee

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) – plant
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized
- C. Texas Association of Nurserymen, Grades and Standards.

D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on
- C. Product Data: Submit complete product data and specifications on all other specified
- D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the
- B. All planting areas shall be conditioned as follows:
- 1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- 2. All planting areas shall receive a two (2") inch layer of specified mulch. 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.

- 1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a
- smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly. 2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

A. Maintenance:

- 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
- 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by
- Owner and Landscape Contractor will be completed prior to written acceptance. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

- 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

Shrub and tree pits shall be no less than two (2') feet, twenty-four (24") inches, wider than

the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension.

Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants

the surface of the ground. The sides of the hole should be rough and jagged, never slick

Percolation Test: Fill the hole with water. If the water level does not percolate within 24

Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When

the hole is dug in solid rock, topsoil from the same area should not be used. Carefully

as well as all nylon, plastic string and wire mesh. Container trees will usually be pot

settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball,

Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the

area above the top of the ball and mulch with at least two (2") inches of specified mulch.

Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this

section, alternate locations may be selected by the Owner. Where locations cannot be

changed, the obstructions shall be removed to a depth of not less than three (3') feet

below grade and no less than six (6") inches below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from

the site of such rock or underground obstructions encountered at the cost of the

Trees and large shrubs shall be staked as site conditions require. Position stakes to

Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in

accordance with standard horticultural practice following Fine Pruning, Class I pruning

1. Dead wood or suckers and broken badly bruised branches shall be removed. General tipping of the branched is not permitted. Do not cut terminal branches.

3. Immediately after planting operations are completed, all tree pits shall be covered with

a layer of organic material two (2") inches in depth. This limit of the organic material

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and

1. Stakes are to be installed on the planting bed side of the curbing, as opposed to the

Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly

All trash and debris shall be removed from the site as work progresses. Keep paved

All plant beds and trees to be mulched with a minimum settled thickness of two (2")

stand pipe per tree planting detail as approved by the Landscape Architect.

hours, the tree needs to move to another location or have drainage added. Install a PVC

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at

should be thoroughly moist before removing containers.

bound, if so follow standard nursery practice of 'root scoring'.

J. Do not wrap trees.

K. Do not over prune

inches over the entire bed or pit.

secure tree against seasonal prevailing winds.

standards provided by National Arborist Association.

2. Pruning shall be done with clean, sharp tools.

obtain Owners approval prior to installation

2. Do not install steel edging along sidewalks.

2. All steel curbing shall be free of kinks and abrupt bends.

areas clean by sweeping or hosing at end of each days work.

Top of curbing shall be 3/4" maximum height above grade.

3. Cut steel edging at 45 degree angle where edging meets sidewalk.

END OF SECTION

Q. Steel Curbing Installation:

CLEANUP AND ACCEPTANCE

- 2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or 4. Acceptance for all landscape work shall be given after final inspection by the Owner
- provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

Selection of Plant Material:

- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
- 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and 4. Owner and/or Architect retains the right to further inspect all plant material upon
- arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects. 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately.

Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- 1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored
- 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
- 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
- 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
- 5. Notify Architect of delivery schedule 72 hours in advance so plant material may be observed upon arrival at job site.
- 6. Remove rejected plant material immediately from site.
- 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.
- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter, Measured six (6") inched above ball.
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

Nomenclature conforms to the customary nursery usage: for clarification, the term

"multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

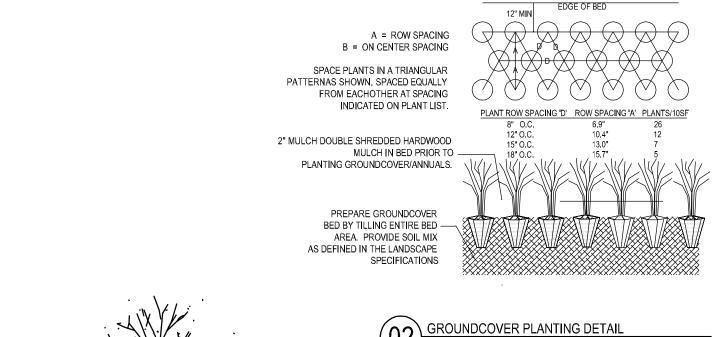
2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

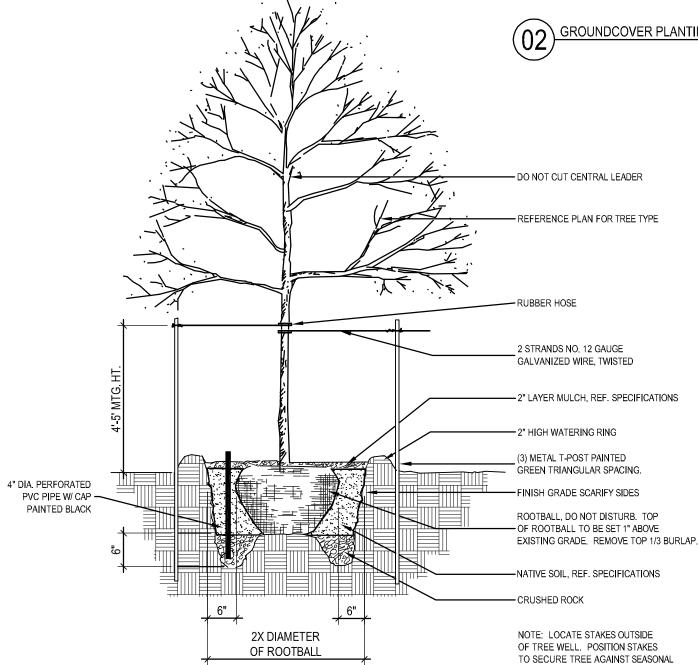
- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam
- containing Dallasgrass or Nutgrass shall be rejected. Physical properties as follows:
- Clay between 7-27 percent Silt – between 15-25 percent
- Sand less than 52 percent 3. Organic matter shall be 3%-10% of total dry weight. 4. If requested, provide a certified soil analysis conducted by an approved soil testing
- laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

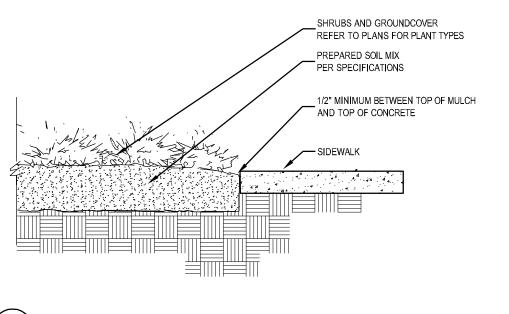
- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- B. Staking Material for Shade Trees:
- 1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint green. 2. Wire: 12 gauge, single strand, galvanized wire.
- 3. Rubber hose: 2 ply, fiber reinforced hose, minimum ½ inch inside diameter. Color:
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

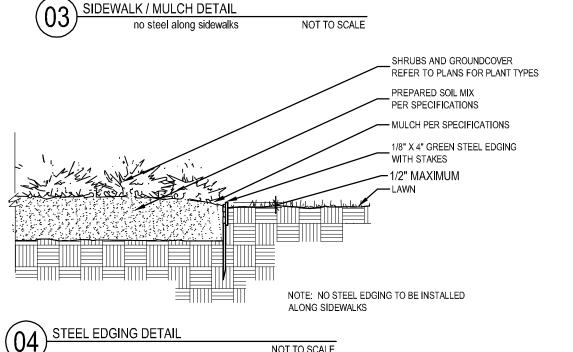


PREVAILING WINDS.

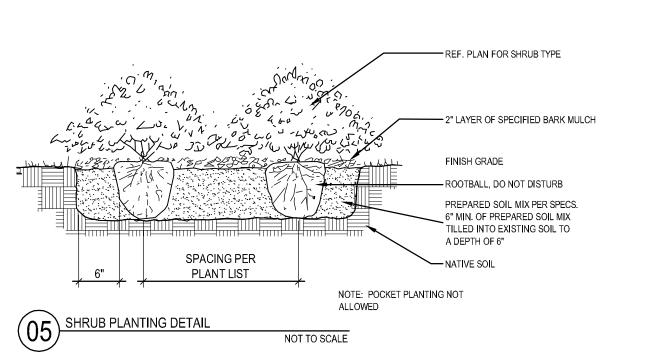


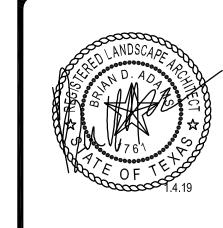
TREE PLANTING DETAIL NOT TO SCALE





NOT TO SCALE





REVISIONS

| JAN. 4, 2019

landscape architects, inc. 1708 N. Griffin Street Dallas, Texas 75202 Tel 214.871.0083 Fax 214.871.0545 Email smr@smr-la.com

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878

bgoarchitects.com DATE 12-14-18

PROJECT

SHEET NUMBER

SHEET # = SANSERIFI SHEET NAME

	ELECTRICAL SY	′MB(DL LEGEND
1	NOTES:		
1	. ALL SYMBOLS MAY NOT APPLY.		
(XX)	CODED PLAN NOTE	XX	DETAIL#
XX	EQUIPMENT DESIGNATION	XXX	SHEET# REFERENCE TAG
MDP-22	CIRCUIT DESIGNATION PANEL DESIGNATION - CIRCUIT NUMBER		
K	ELECTRIC UTILITY KEY BOX	\$ ³	WALL SWITCH-NUMBER INDICATES 2 POLE, 3 OR 4 WAY (NO NUMBER FOR SINGLE POLE)
F	FAN/LIGHT COMBINATION FIXTURE	\$	LOWER CASE LETTER INDICATES FIXTURE(S TO BE CONTROLLED BY SWITCH
Q	EXHAUST FAN	\$ ^D	DIMMER SWITCH
J	JUNCTION BOX	\$ \$	CEILING FAN SPEED CONTROL SWITCH
Ш	NON-FUSED DISCONNECT SWITCH	\$ ^K	KEY-OPERATED SWITCH
5	FUSED DISCONNECT SWITCH	\$ M	MOTOR RATED DISCONNECT SWITCH
Q	MOTOR	\$ ^{OS}	OCCUPANCY SENSOR WALL SWITCH GREENGATE #ONW-D-1001-MV OR EQUAL
•	PUSH BUTTON	\$OR	OVERRIDE SWITCH
В	BUZZER/BELL	\$PL	SWITCH WITH PILOT LIGHT
LVT	LOW VOLTAGE TRANSFORMER	\$ ^T	TIMER SWITCH GREENGATE #TSW-MV OR EQUAL
ф	SINGLE RECEPTACLE 20A, 120V	OS	WALL MOUNT OCCUPANCY SENSOR GREENGATE #OAWC-DT-120W OR EQUAL
Ý	SPECIAL RECEPTACLE	(S)	CEILING MOUNT OCCUPANCY SENSOR GREENGATE #OAC-DT-2000-R OR EQUAL
Ш	DUPLEX RECEPTACLE 20A, 120V	SP	SWITCH PACK FOR OCCUPANCY SENSOR
	QUADRUPLEX RECEPTACLE 20A, 120V	Pc	PHOTOCELL
<u> </u>	GFCI DUPLEX RECEPTACLE 20A, 120V	TC	TIMECLOCK
<u></u>	GFCI QUADRUPLEX RECEPTACLE 20A, 120V	#A	CURRENT LIMITING DEVICE - NUMBER INDICATES MAX AMPERAGE OF DEVICE
<u> </u>	IG DUPLEX RECEPTACLE 20A, 120V	PP	POWER POLE
<u> </u>	IG QUADRUPLEX RECEPTACLE 20A, 120V	▼ W	3/4" CONDUIT STUB AND BOX FOR WALL PHONE WIRING BY OTHERS
$\tilde{\pmb{\parallel}}$	SPLIT WIRED DUPLEX RECEPTACLE 20A, 120V	▼	¾" CONDUIT STUB AND BOX FOR PHONE WIRING BY OTHERS
	SPLIT WIRED QUADRUPLEX RECEPTACLE 20A, 120V	∇	3/4" CONDUIT STUB AND BOX FOR DATA WIRING BY OTHERS
\overline{b}^{TL}	TWISTLOCK RECEPTACLE	▼	¾" CONDUIT STUB AND BOX FOR DATA/PHONE WIRING BY OTHERS
$\bar{\mathbb{B}}$	FLUSH MTD AS INDICATED BY BOX AROUND DEVICE, FLR=FLOOR, CLG=CEILING	TV	TELEVISION OUTLET
	SURFACE MOUNT PANELBOARD/LOADCENTER	WA	WIRELESS ACCESS
	FLUSH MOUNT PANELBOARD/LOADCENTER	MB	MEDIA BOX DEMARC LOCATION
M	UTILITY SERVICE METER	(P)	OVERHEAD PROJECTOR
	PLUGMOLD - SEE PLAN VIEW FOR SPECIFIC LENGTHS	UPS	UNINTERRUPTIBLE POWER SUPPLY
ANNC	GENERATOR ANNUNCIATOR		

ELECTRICAL NOTATIONS					
AC ABOVE COUNTER		LV	LOW VOLTAGE		
AFF	ABOVE FINISHED FLOOR	MBJ	MAIN BONDING JUMPER		
AFG	ABOVE FINISHED GRADE	МС	MECHANICAL CONTRACTOR		
BPS BOLTED PRESSURE SWITCH		MTD	MOUNTED		
CLG CEILING MOUNTED		NTS	NOT TO SCALE		
CKT CIRCUIT		(PART)	INDICATES CIRCUIT USED ELSEWHERE		
EC	ELECTRICAL CONTRACTOR	PC	PLUMBING CONTRACTOR		
EM	EMERGENCY	SSBJ	SUPPLY-SIDE BONDING JUMPER		
ETR	EXISTING TO REMAIN	SUC	SITE UTILITY CONTRACTOR		
FLR	FLOOR MOUNTED	TYP	TYPICAL		
FSC	FIRE SUPPRESSION CONTRACTOR	UG	UNDERGROUND		
GC	GENERAL CONTRACTOR	UNO	UNLESS NOTED OTHERWISE		
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WP	WEATHERPROOF		
GFEP	GROUND FAULT EQUIPMENT PROTECTION	WG	WIRE GUARD		
GND	GROUND	WR	WEATHER RESISTANT		
НС	HVAC CONTRACTOR	XX"	DIMENSIONED HEIGHT		
IG	ISOLATED GROUND				

SPECIAL SYSTEMS SYMBOL LEGEND NOTES: 1. ALL SYMBOLS MAY NOT APPLY. NOTIFICATION CIRCUIT POWER BOOSTER FACP FIRE ALARM CONTROL PANEL PANEL # = UNIT NUMBER FIRE ALARM ANNUNCIATOR BATTERY CABINET AREA OF REFUGE EM COMMUNICATION VOICE EVACUATION CONTROL UNIT SYSTEM - MASTER UNIT AREA OF REFUGE EM COMMUNICATION REMOTE VOICE EVACUATION MICROPHONE | ARCR | SYSTEM - REMOTE UNIT MANUAL PULL STATION CARBON MONOXIDE DETECTOR SMOKE DETECTOR SMOKE ALARM WITH SOUNDER BASE SMOKE DETECTOR SMOKE DETECTOR BT = BEAM TRANSMITTER P = PHOTOELECTRIC SMOKE DETECTOR SMOKE DETECTOR I = IONIZATION BR = BEAM RECEIVER SMOKE DETECTOR IN DUCT REMOTE TEST STATION HEAT DETECTOR VIBRATING BELL HORN STROBE COMBINATION WALL MOUNT STROBE CEILING MOUNT STROBE CEILING MOUNT HORN STROBE CEILING MOUNT HORN COMBINATION WF WATER FLOW SWITCH DOOR HOLDER VALVE SUPERVISORY SWITCH DOOR CLOSER ADDRESSABLE INPUT MODULE PRESSURE SWITCH FIRE DEPARTMENT KEY BOX ICM MASTER INTERCOM REMOTE INTERCOM SECURITY CONTROL PANEL KEYPAD CR PB PANIC BUTTON CARD READER MAGNETIC DOOR LOCK MOTION SENSOR ELECTRIC STRIKE WANDER GUARD DOOR CONTACT SENSOR DELAYED-EGRESS LOCK CEILING MTD CAMERA PAN-TILT-ZOOM WALL MTD CAMERA CCTV HEAD-END WALL MTD CAMERA SOUND SYSTEM AMPLIFIER SPEAKER VOLUME CONTROL MICROPHONE NCP NURSE CALL SYSTEM CONTROL PANEL NURSE CALL EMERGENCY PULL STATION NURSE CALL DUTY STATION WITH VOICE MOUNTED OVER DOOR R NURSE CALL RESIDENT CHECK-IN DEVICE NURSE CALL BED DEVICE WITH VOICE

ELECTRICAL L	ELECTRICAL LINETYPE LEGEND				
	 GENERAL DEMO 				
	 GENERAL EXISTING 				
	- SWITCH LEG				
UGE	 UNDERGROUND ELECTRIC 				
——————————————————————————————————————	 UNDERGROUND ELECTRIC (ABANDONED) 				
——— ——————————————————————————————————	 UNDERGROUND ELECTRIC (DEMO) 				
——— — (E)UGE — — ——	 UNDERGROUND ELECTRIC (EXISTING) 				
LV	LOW VOLTAGE				
————(AB)LV —————	 LOW VOLTAGE (ABANDONED) 				
(D)LV	LOW VOLTAGE (DEMO)				
———(E)LV ———	LOW VOLTAGE (EXISTING)				
UGLV	 UNDERGROUND LOW VOLTAGE 				
——— — — (AB)UGLV — — ———	 UNDERGROUND LOW VOLTAGE (ABANDONED) 				
——— — (D)UGLV — — ——	 UNDERGROUND LOW VOLTAGE (DEMO) 				
——— — (E)UGLV — — ——	 UNDERGROUND LOW VOLTAGE (EXISTING) 				

NURSE CALL CANCEL PUSHBUTTON

NURSE CALL STAFF STATION DEVICE WITH

VOICE

MAIN ELECTRICAL GENERAL NOTES:

- A. ALL ELECTRICAL INSTALLATIONS MUST COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ALL STATE AND LOCAL CODES. ELECTRICAL SERVICE TO BE INSTALLED IN COMPLIANCE WITH NEC ARTICLE 230.
- B. CONTRACTOR SHALL OBTAIN FAULT CURRENT INFORMATION FROM UTILITY COMPANY AND PERFORM SHORT CIRCUIT CALCULATIONS. SIZE FUSES AND EQUIPMENT A.I.C. RATINGS ACCORDINGLY.
- CONTRACTOR SHALL INSTALL A SEPARATE EQUIPMENT GROUNDING CONDUCTOR SIZED PER NEC TABLE 250.122 FOR ALL BRANCH CIRCUITS INSTALLED IN NON-METALLIC CONDUITS.

 METALLIC CONDUITS MAY BE USED AS EQUIPMENT GROUNDING CONDUCTORS PER NEC.
- D. CONTRACTOR SHALL VERIFY ALL WIRE SIZING DUE TO VOLTAGE DROP CAUSED BY IN-FIELD ROUTING / INSTALLATION DISTANCES.
- E. SERVICE ENTRANCE EQUIPMENT SHALL BE GROUNDED WITH A SEPARATE COPPER OR ALUMINUM CONDUCTOR AS INDICATED ON THE DRAWINGS AND PER ARTICLE 250.52(A) OF THE NATIONAL ELECTRICAL CODE. GROUNDING CONDUCTOR SHALL ALSO BE CONNECTED TO A 5/8" DIAMETER X 8'-0" LONG GROUND ROD FOR SUPPLEMENTAL GROUNDING PER NATIONAL ELECTRICAL CODE ARTICLE 250.54.
- F. CONTRACTOR IS RESPONSIBLE FOR LABELING ALL PANELS, DISCONNECTS, LIGHTING CONTROLLERS, ETC., AND ALL CIRCUIT BREAKERS IN THE DISTRIBUTION PANELS PRIOR TO PROJECT COMPLETION. PROVIDE A TYPED DIRECTORY OF ALL CIRCUITS. BREAKERS USED FOR SWITCHING SHALL BE RATED ACCORDINGLY.
- G. CONTRACTOR SHALL SUPPLY AND INSTALL ALL N.E.C. REQUIRED EQUIPMENT DISCONNECTS (NOT ALL DISCONNECTS MAY BE SHOWN ON THE DRAWINGS). CONTRACTOR SHALL VERIFY ALL DISCONNECT SIZING WITH EACH EQUIPMENT NAMEPLATE RATING.
- H. CONTRACTOR IS RESPONSIBLE TO SECURE AND PAY FOR ALL PERMITS. CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL, AND NATIONAL CODES (E.G., NATIONAL ELECTRICAL CODE). CONTRACTOR SHALL SCHEDULE INSPECTIONS SO JOB PROGRESS IS NOT DELAYED.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT IN NEW CONDITION AND U.L. LISTED UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL MAKE ARRANGEMENTS WITH LOCAL POWER COMPANY FOR THE INSTALLATION OF NEW ELECTRICAL SERVICE AND METER. INSTALL NEW SERVICE DISTRIBUTION EQUIPMENT AS SPECIFIED ON ELECTRICAL DRAWINGS.
- CONTRACTOR SHALL COORDINATE ALL ELECTRICAL WORK WITH OTHER TRADES AND ARCHITECTURAL DRAWINGS TO ELIMINATE CONFLICTS.
- PRIOR TO CONSTRUCTION START, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND OPERATION MANUALS FOR ALL EQUIPMENT AND ACCESSORIES FOR OWNER APPROVAL.
- M. CONTRACTOR SHALL PERFORM ALL WORK IN A NEAT AND PROFESSIONAL MANNER.
- PROVIDE FLEXIBLE CONDUIT FOR ALL VIBRATING EQUIPMENT. PROVIDE FLEXIBLE CONDUIT FOR LIGHT FIXTURE CONNECTIONS.
- O. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ELECTRICAL EQUIPMENT INFORMATION WITH MANUFACTURERS. CONTRACTOR SHALL PROVIDE ANY ADDITIONAL ELECTRICAL CONNECTIONS OR SERVICES TO EQUIPMENT WHICH ARE NOT SHOWN ON DRAWINGS.
- P. ALL PENETRATIONS OF WALL, ROOF, AND CEILINGS TO BE SEALED AS REQUIRED WITH U.L. APPROVED FIRE SEALANT TO MAINTAIN FIRE RATING AS REQUIRED. ALL ROOF PENETRATIONS, IF APPLICABLE, ARE TO BE COORDINATED WITH THE OWNER'S DESIGNATED ROOFING CONTRACTOR.
- Q. ELECTRICAL EQUIPMENT EXPOSED TO WEATHER CONDITIONS SHALL BE WEATHERPROOF TYPE. CONDUIT EXPOSED TO WEATHER CONDITIONS OR IN CONTACT WITH CONCRETE SHALL BE POLYVINYL CHLORIDE (PVC) OR GALVANIZED HEAVY WALL STEEL (GRC).
- R. ALL EXTERIOR RECEPTACLES SHALL BE WEATHER RESISTANT AS WELL AS WEATHERPROOF PER NEC 406.9.
- S. CONTRACTOR SHALL SUBMIT AS-BUILT DRAWINGS TO THE OWNER IF INSTALLATION VARIES FROM THE CONTRACT DRAWINGS.
- T. ANY CONDUIT AND WIRE SIZES SHOWN ARE MINIMUMS. CONTRACTOR SHALL INCREASE SIZES (DUE TO VOLTAGE DROP, QUANTITY OF CURRENT CARRYING CONDUCTORS IN THE SAME CONDUIT/RACEWAY, ETC.) AS REQUIRED BY THE N.E.C.
- U. IG DEVICES (IF APPLICABLE): CONTRACTOR SHALL INSTALL AN ADDITIONAL CONDUCTOR FOR ISOLATED GROUND CIRCUITS TO SUPPLY CONDUCTORS FOR ISOLATED GROUNDING PURPOSES. SAID GROUNDING CONDUCTOR SHALL BE COVERED WITH A CONTINUOUS OUTER FINISH THAT IS GREEN WITH ONE OR MORE YELLOW STRIPES. THE GROUNDING CONDUCTORS SHALL BE BONDED TO FRAME OF DEVICE AND RUN IN CONDUIT BACK TO 'CENTRAL' GROUNDING BLOCK(S) AT SERVICE DISTRIBUTION EQUIPMENT.
- V. ROOFTOP EQUIPMENT (IF APPLICABLE): CONTRACTOR SHALL INSTALL A WEATHERPROOF DISCONNECT FOR EACH UNIT. CONDUITS SHALL ENTER THE UNDERSIDE OF EACH HVAC UNIT FROM WITHIN THE CURBED AREA FOR THAT UNIT (THEREBY AVOIDING PENETRATIONS THROUGH THE ROOF MEMBRANE). IF J-BOX IS USED FOR SUPPLYING POWER TO MULTIPLE UNITS, THE J-BOX MUST BE LOCATED WITHIN 25 FEET OF EACH UNIT'S DISCONNECT PER THE NE.C. ARTICLE 240.21(B)(2). CONTRACTOR SHALL SUPPLY AND INSTALL A 120 VAC WEATHERPROOF GFCI RECEPTACLE WITHIN 25' OF EACH UNIT.
- W. ALL CONTRACTORS, PRIOR TO BID SUBMISSION PROCESS, SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THIS PLAN SHALL BE REPORTED TO THE ARCHITECT/ENGINEER SO THAT NEW AND REVISED BID DRAWINGS OR INFORMATION MAY BE ISSUED. MODIFICATIONS TO SCOPE OF WORK WHICH RESULT FROM CONTRACTORS NEGLECT TO VISIT THE SITE PRIOR TO BID SUBMISSION SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY.

ELEC ⁻	ELECTRICAL SHEET INDEX			
SHEET NO.	SHEET DESCRIPTION			
E0-01	ELECTRICAL COVER SHEET			
E0-02	ELECTRICAL SITE PLAN			
E0-03	SITE PHOTOMETRIC			
E5-01	DETAILS AND SCHEDULE			

NOT FOR CONSTRUCTION

This document is partially complete. The information contained is not necessarily coordinated or correct. This drawing is for review purposes only.

REVISIONS

VELLING UNITS IN ROCKWALL, TEXAS FOI

ISSUED FOR: SITE PLAN APPROVAI 01-04-19



www.pe-services.com

ALLOWED.

CONTRACTOR NOTE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY
THE ARCHITECT, LANDLORD AND TENANT OF ANY
DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN

1-866-997-0600

EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.

BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE
THEMSELVES WITH EXISTING CONDITIONS AND SATISFY
THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK.
THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS
AND DEVICES AS REQUIRED BY STATE, LOCAL AND FEDERAL
CODES WHETHER INDICATED OR NOT ON CONTRACT
DOCUMENTS. THE SUBMISSIONS OF A BID WILL BE EVIDENCE
THAT SUCH AN EXAMINATION AND COMPLIANCE WITH
GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER
CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED,
OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE
BEEN FORESEEN HAD AN EXAMINATION AND
CODE/REQUIREMENTS REVIEW BEEN MADE, WILL NOT BE

PROJECT
17126

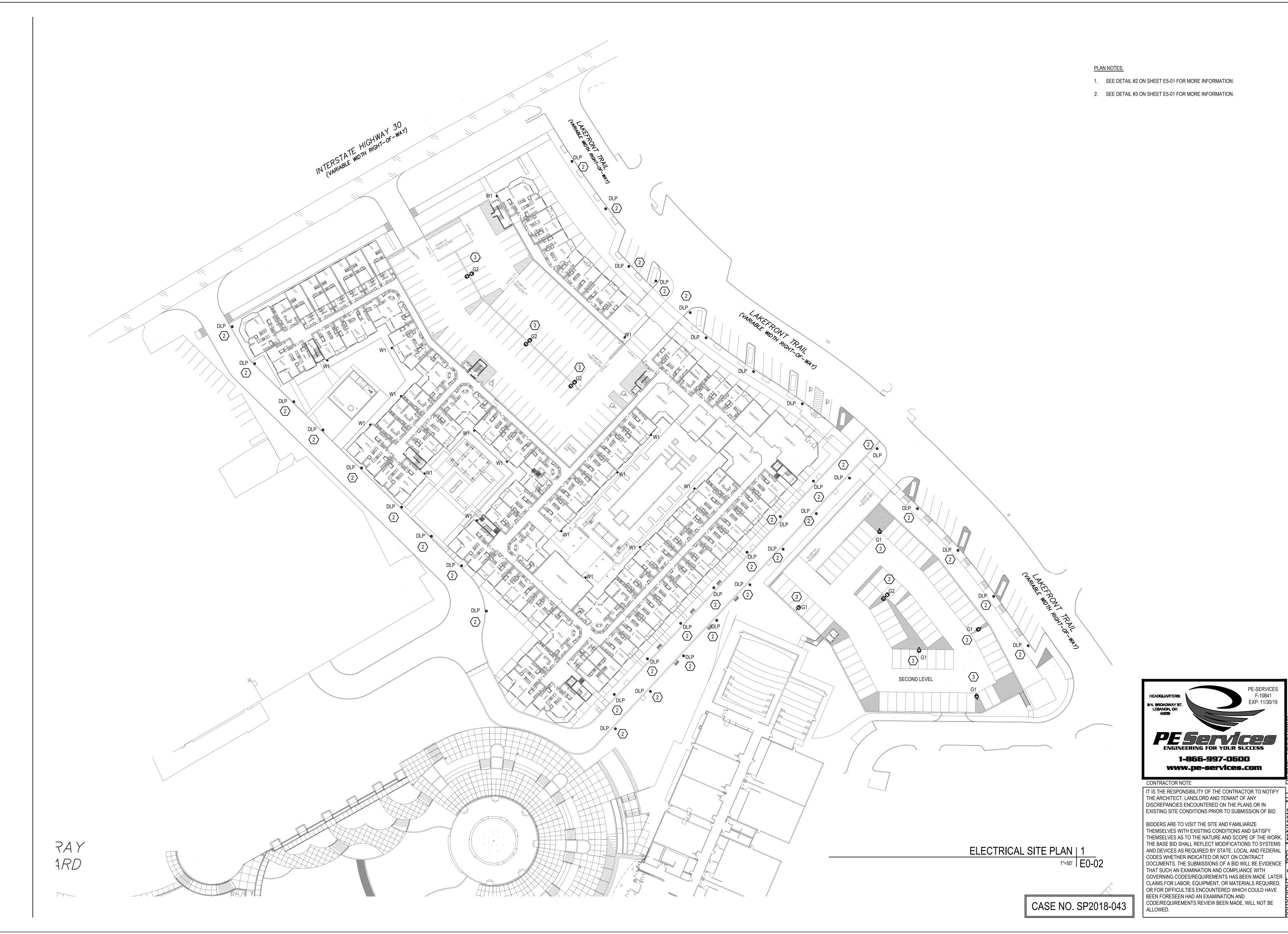
SHEET NUMBER

E0-0

CASE NO. SP2018-043

ELECTRICAL COVER SHEET

2-14-18



PRELIMINARY
NOT FOR CONSTRUCTION

This document is partially complete. The

This document is partially complete. The information contained is not necessarily coordinated or correct. This drawing is for review purposes only.

REVISIONS

ISSUED FOR: SITE PLAN APPROVAL 01-04-19

BGO ARCHITECTS

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

ΤE

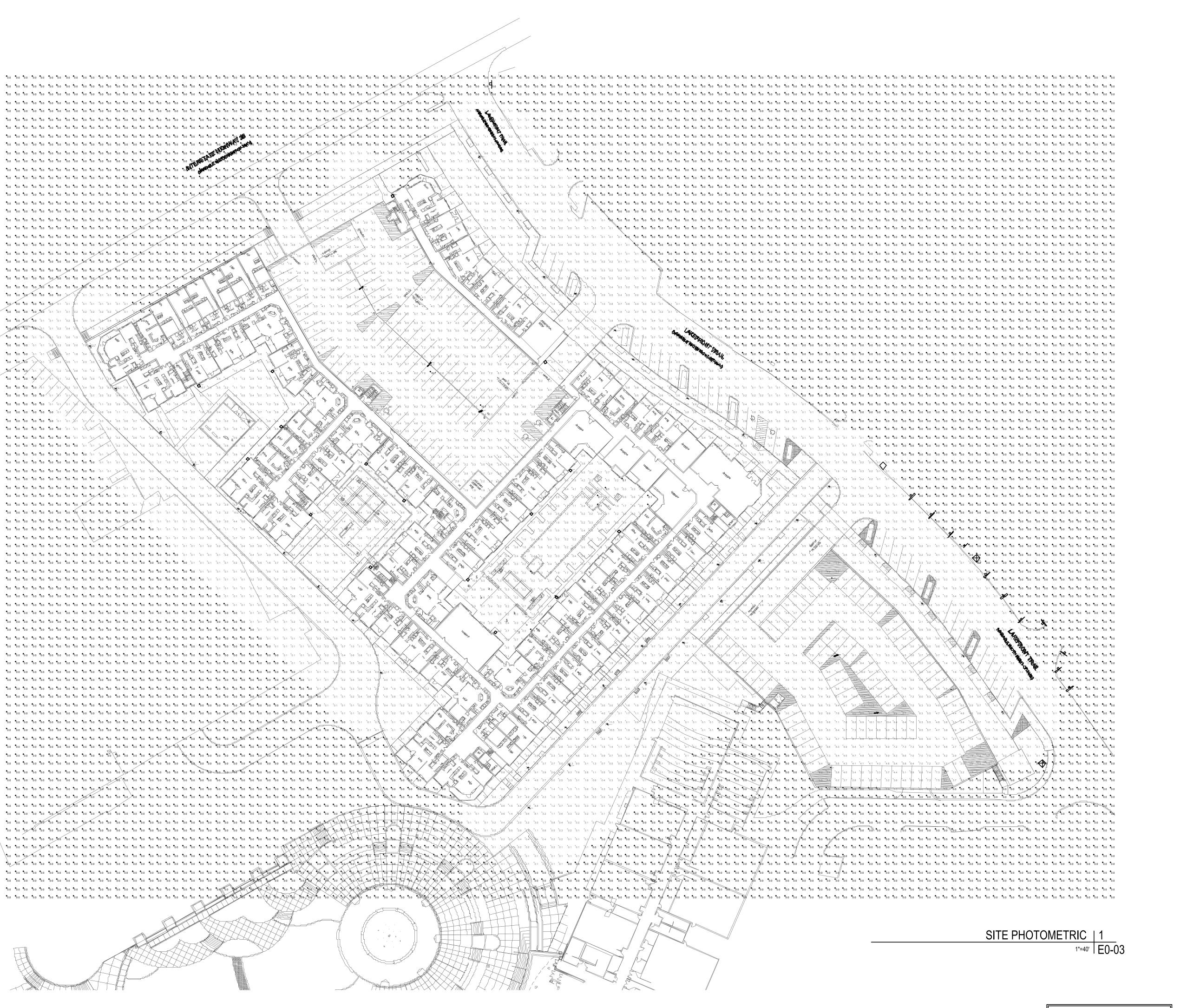
12-14-18

PROJECT

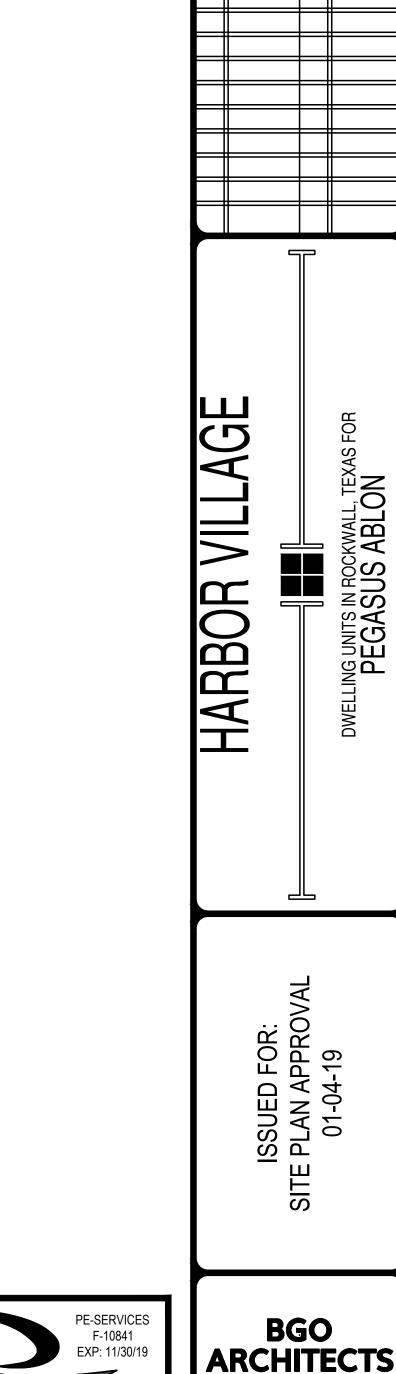
T NUMBER

E0-02

ELECTRICAL SITE PLAN



CASE NO. SP2018-043



4202 Beltway Drive Addison, TX 75001 214.520.8878

bgoarchitects.com

2-14-18

PROJECT

SHEET NUMBER

SITE

PHOTOMETRIC

1-866-997-0600

www.pe-services.com

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY

THE ARCHITECT, LANDLORD AND TENANT OF ANY

BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE

DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID.

THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK.

OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE

CODE/REQUIREMENTS REVIEW BEEN MADE, WILL NOT BE

BEEN FORESEEN HAD AN EXAMINATION AND

THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE, LOCAL AND FEDERAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED,

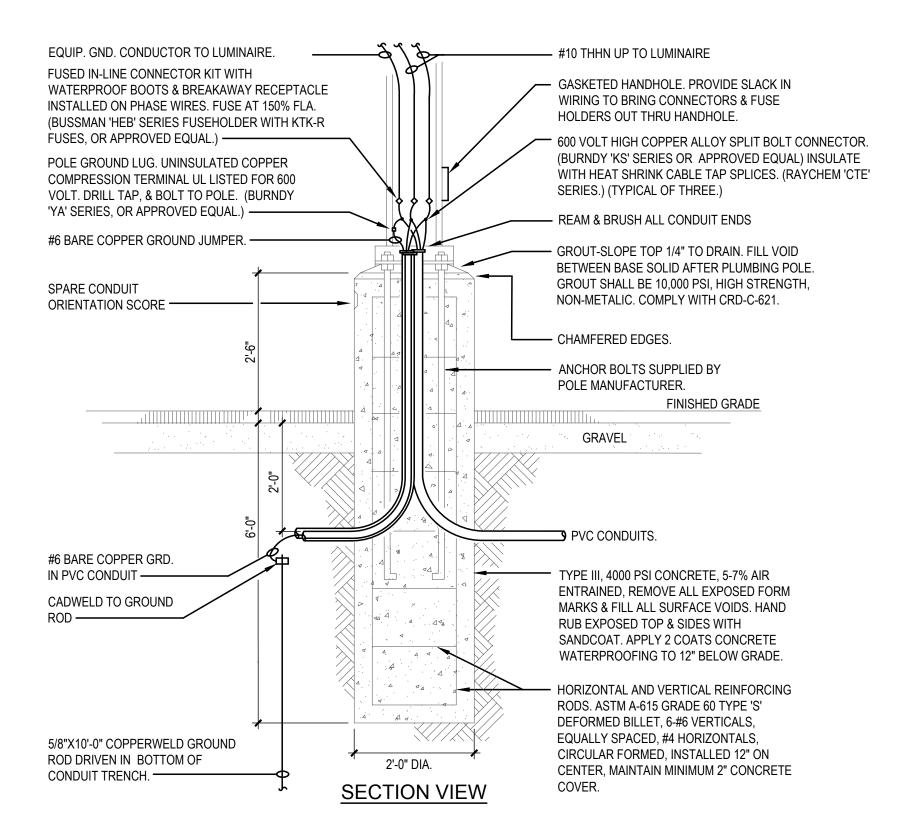
CONTRACTOR NOTE

NOT FOR CONSTRUCTION

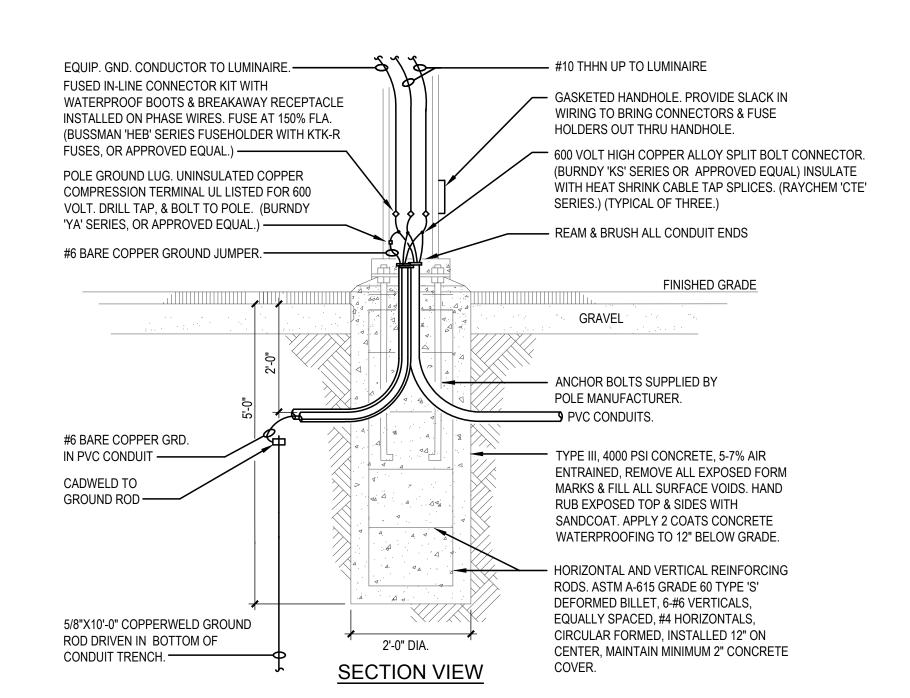
This document is partially complete. The information contained is not necessarily coordinated or

correct. This drawing is for review purposes only.

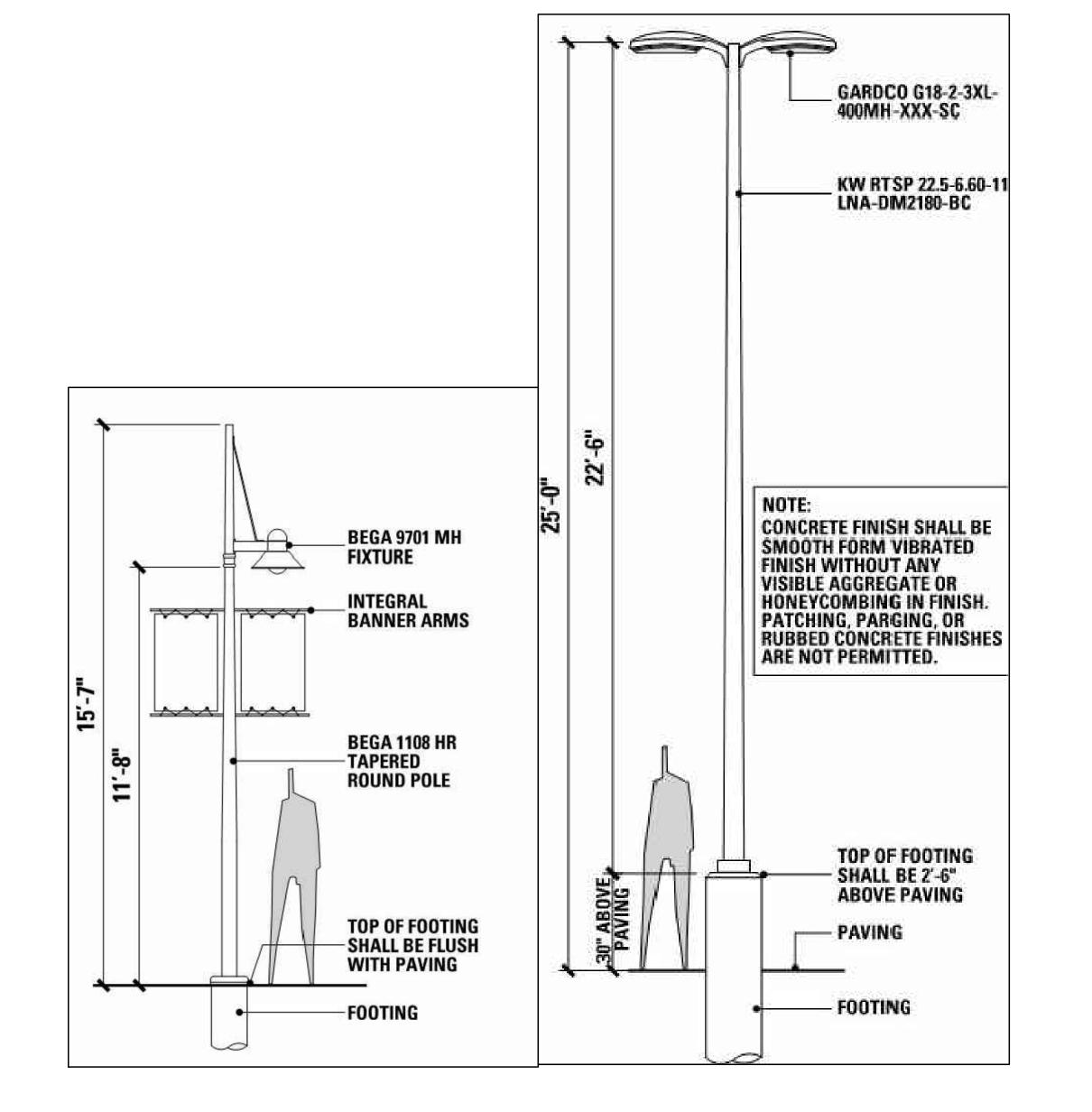
	SITE FIXTURES						
DLP	BEGA	9701 MH, BEGA 1108 HR POLE	TBD	LED	100	POLE	AREA LIGHT, 11'-8" POLE
G1	PHILIPS	GL18-1-3-310LA-961A-HS, KW RTSP 22.5-6.60 POLE	TBD	LED	310	POLE	AREA LIGHT, 22'-6" POLE
G2	PHILIPS	GL18-2-5-310LA-961A, KW RTSP 22.5-6.60 POLE	TBD	LED	310	POLE	AREA LIGHT, 22'-6" POLE
W1	LITHONIA	DSXW2 LED-20C-700-40K-T3M-MVOLT	TBD	LED	47	WALL	WALL PACK, MOUNT 8' HIGH



POLE BASE DETAIL - PARKING LOT | 3 NTS **E5-01**



POLE BASE DETAIL - SIDEWALK | 2



PEDESTRIAN AND PARKING LIGHT FIXTURES | 1

NTS E5-01

1-866-997-0600 www.pe-services.com CONTRACTOR NOTE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT, LANDLORD AND TENANT OF ANY DISCREPANCIES ENCOUNTERED ON THE PLANS OR IN EXISTING SITE CONDITIONS PRIOR TO SUBMISSION OF BID. BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK. THE BASE BID SHALL REFLECT MODIFICATIONS TO SYSTEMS AND DEVICES AS REQUIRED BY STATE, LOCAL AND FEDERAL CODES WHETHER INDICATED OR NOT ON CONTRACT DOCUMENTS. THE SUBMISSIONS OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION AND COMPLIANCE WITH GOVERNING CODES/REQUIREMENTS HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION AND CODE/REQUIREMENTS REVIEW BEEN MADE, WILL NOT BE ALLOWED.

PE Services

PE-SERVICES

F-10841

NOT FOR CONSTRUCTION This document is partially complete. The information contained is not necessarily coordinated or correct. This drawing is for review purposes only. **REVISIONS** KWALL, TEXA ABLON IN ROC SUS PEGA(ISSUED FOR: SITE PLAN APPROVAL 01-04-19

> **BGO ARCHITECTS**

4202 Beltway Drive Addison, TX 75001 214.520.8878 bgoarchitects.com

12-14-18

PROJECT

SHEET NUMBER

DETAILS AND SCHEDULE