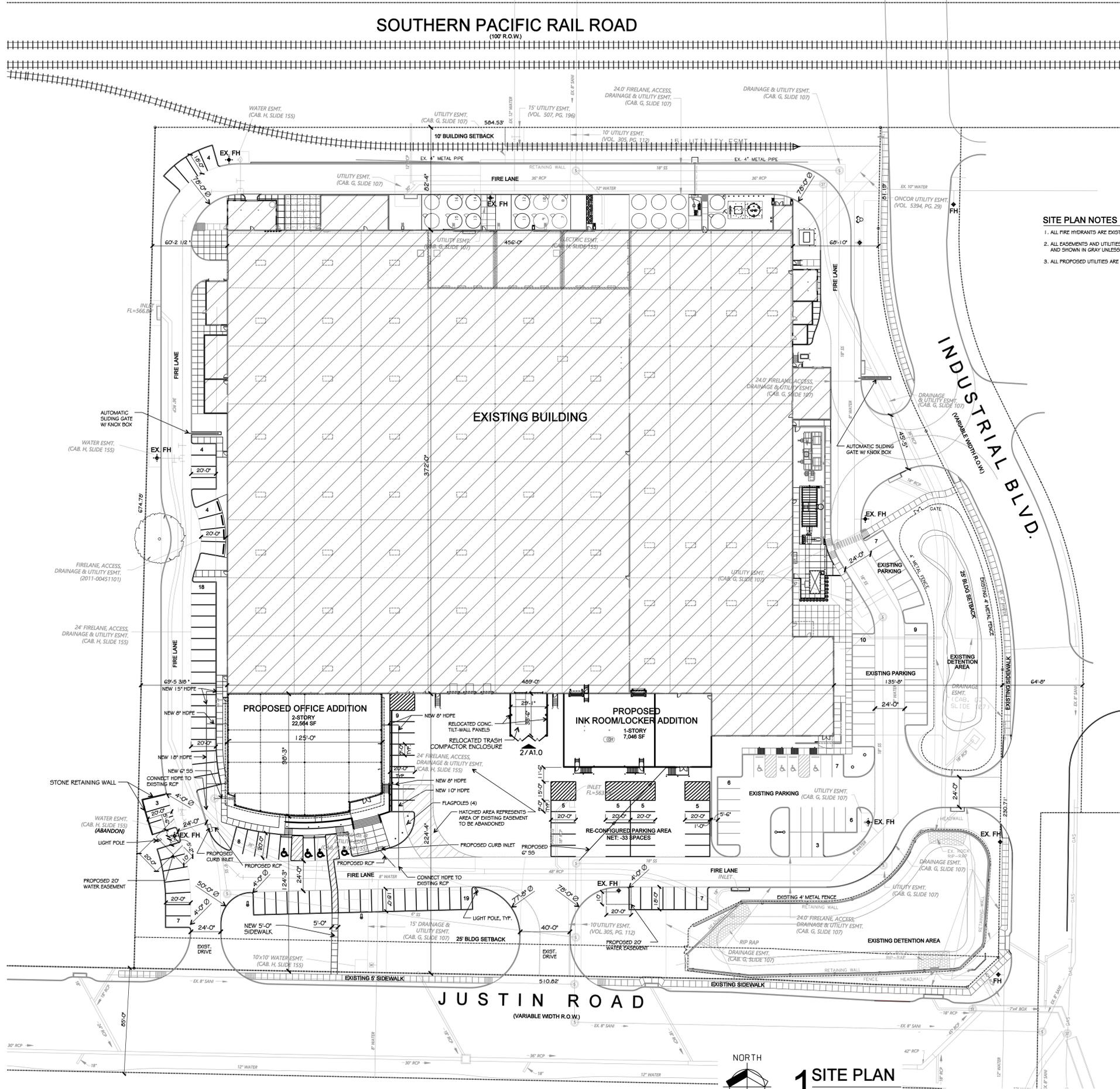


SOUTHERN PACIFIC RAIL ROAD

(100' R.O.W.)



SITE PLAN NOTES

1. ALL FIRE HYDRANTS ARE EXISTING TO REMAIN.
2. ALL EASEMENTS AND UTILITIES ARE EXISTING AND SHOWN IN GRAY UNLESS NOTED OTHERWISE.
3. ALL PROPOSED UTILITIES ARE PRIVATE.

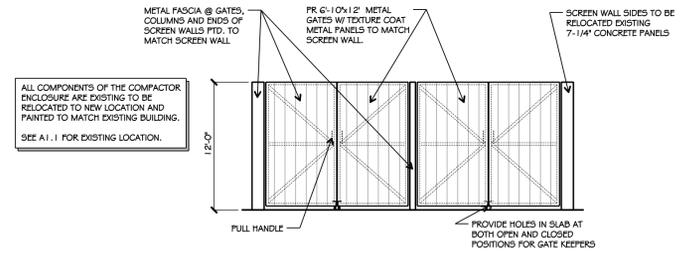
PROJECT DATA

ZONING:	LIGHT INDUSTRIAL
PROPOSED LAND USE:	WAREHOUSE, MANUF., OFFICE
SITE AREA:	10.18 AC
	443,480.8 SF
BUILDING AREA:	
EXISTING BUILDING:	188,516 SF
OFFICE ADDITION:	11,828 SF
FIRST FLOOR:	10,936 SF
SECOND FLOOR:	22,564 SF
TOTAL:	22,564 SF
INK ROOM / LOCKER ROOM ADDITION:	7,046 SF

PARKING DATA SUMMARY

PROPOSED USE	AREA	FACTOR	REQ. SPACES
EXISTING BUILDING			
OFFICE	26,038 SF	EXISTING	-
MANUFACTURING	18,805 SF	EXISTING	-
WAREHOUSE	143,673 SF	EXISTING	-
PROPOSED ADDITION			
OFFICE (2-STORIES)	22,564 SF	1:300	75
INK ROOM (WAREHOUSE)	7,046 SF	1:1000	7
TOTALS			
- REQUIRED FOR ADDITIONS			82
- PROVIDED WITH ADDITIONS			74
TOTAL PARKING VARIANCE REQUESTED			8
ACCESSIBLE PARKING REQUIREMENTS			
- REQUIRED FOR OFFICE ADDITION			*4
- PROVIDED FOR OFFICE ADDITION			4

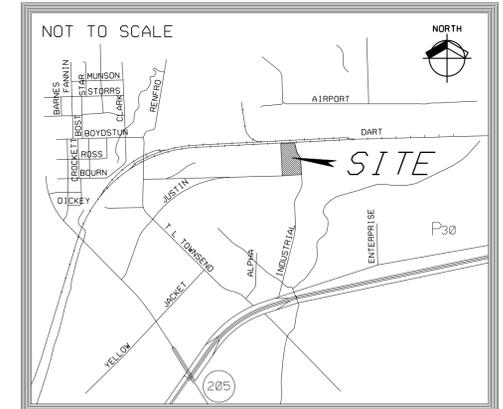
*BASED ON NEW PLUS EXISTING PARKING THAT WILL BE ASSOCIATED WITH THE PARKING LOT SERVING THIS ADDITION



2 COMPACTOR ENCLOSURE

SCALE: 1/8" = 1'-0"

LOCATION MAP



1 SITE PLAN

SCALE: 1" = 40'-0"

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DRAWN BY:
DAMIEN
CHECKED BY:
ROBERT PROSS
DATE:
09/08/19

#	DATE	DESCRIPTION



pross design group, incorporated
5310 Harvest Hill Road, Suite 100, Dallas, Texas 75236-1400

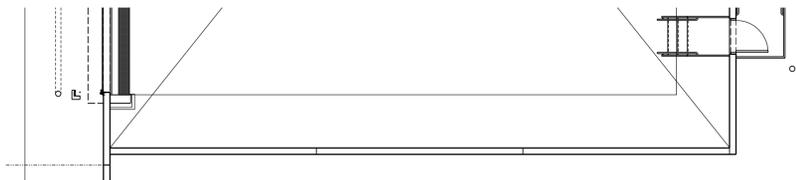
SPR
PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

job no
1854
sheet
A1.0

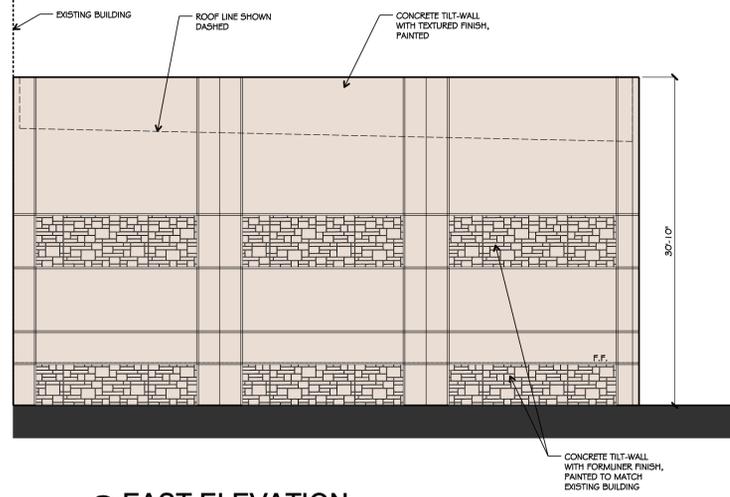
CASE NO: SP2019-030

OWNER: ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT: PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 100
DALLAS, TX 75230
972-759-1400



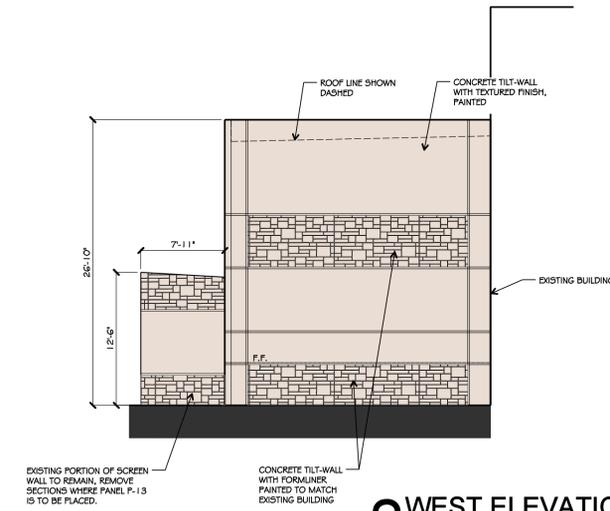
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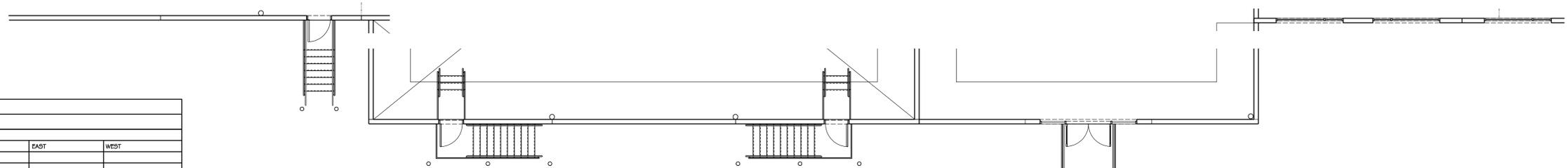
3 EAST ELEVATION
SCALE: 1/8"=1'-0"



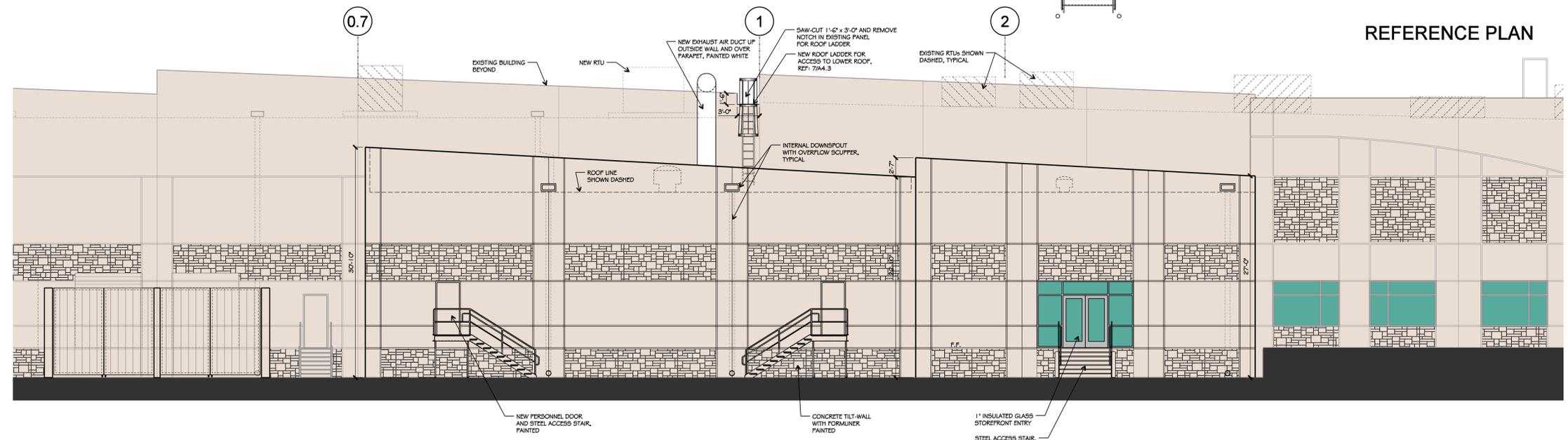
REFERENCE PLAN



2 WEST ELEVATION
SCALE: 1/8"=1'-0"



PAINT SCHEDULE			
A	BASE PAINT COLOR - SW9085 TOUCH OF SAND		
FACADE MATERIAL CALCULATIONS			
	SOUTH	EAST	WEST
1.			
2.			
3.			
TOTAL FACADE AREA			



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0" FACES JUSTIN RD.

OWNER: ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT: PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

CASE NO: SP2019-030

drawn:
checked:
ROBERT PROSS
C.T.C.E.
09/03/19

#	DATE	DESCRIPTION

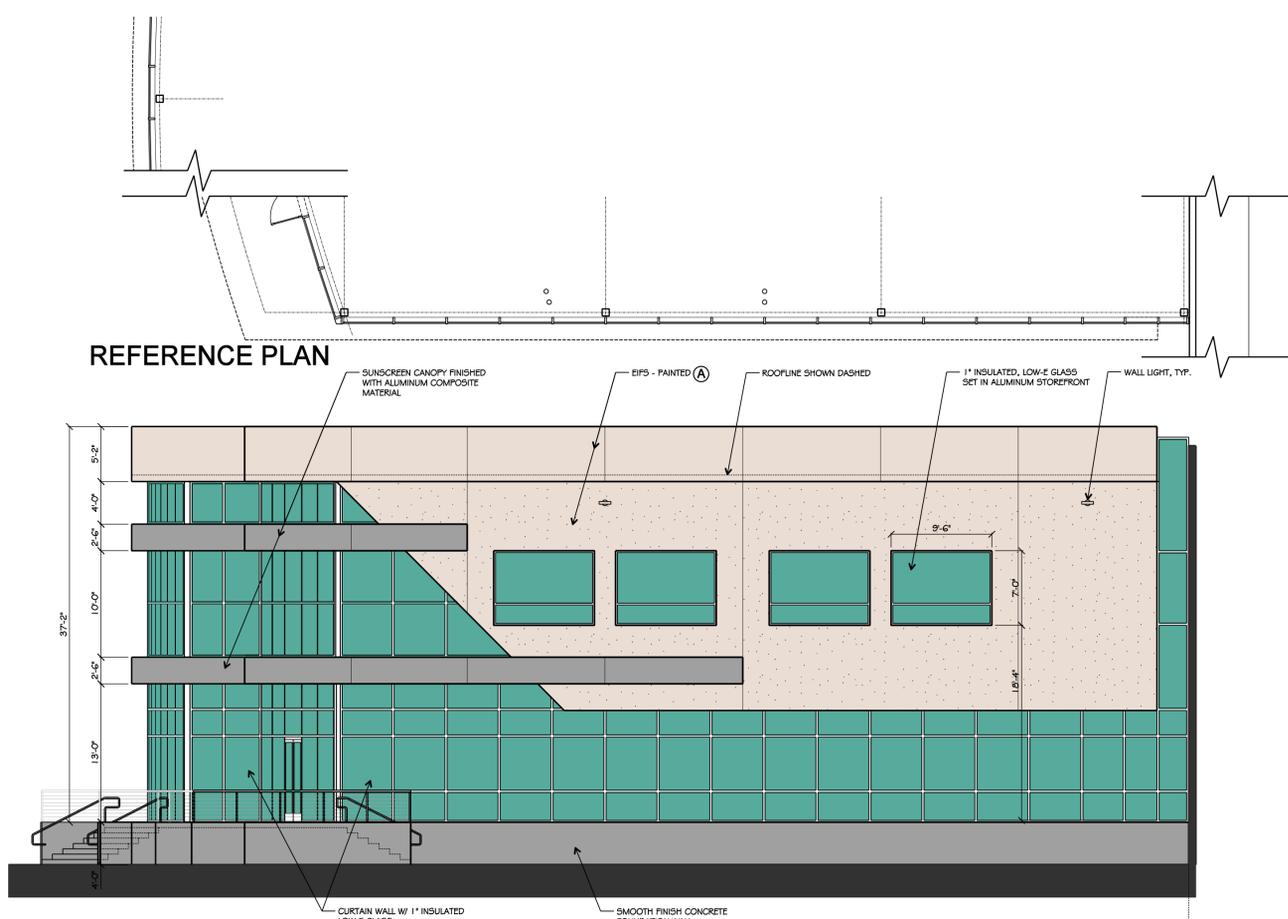


SPR
PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

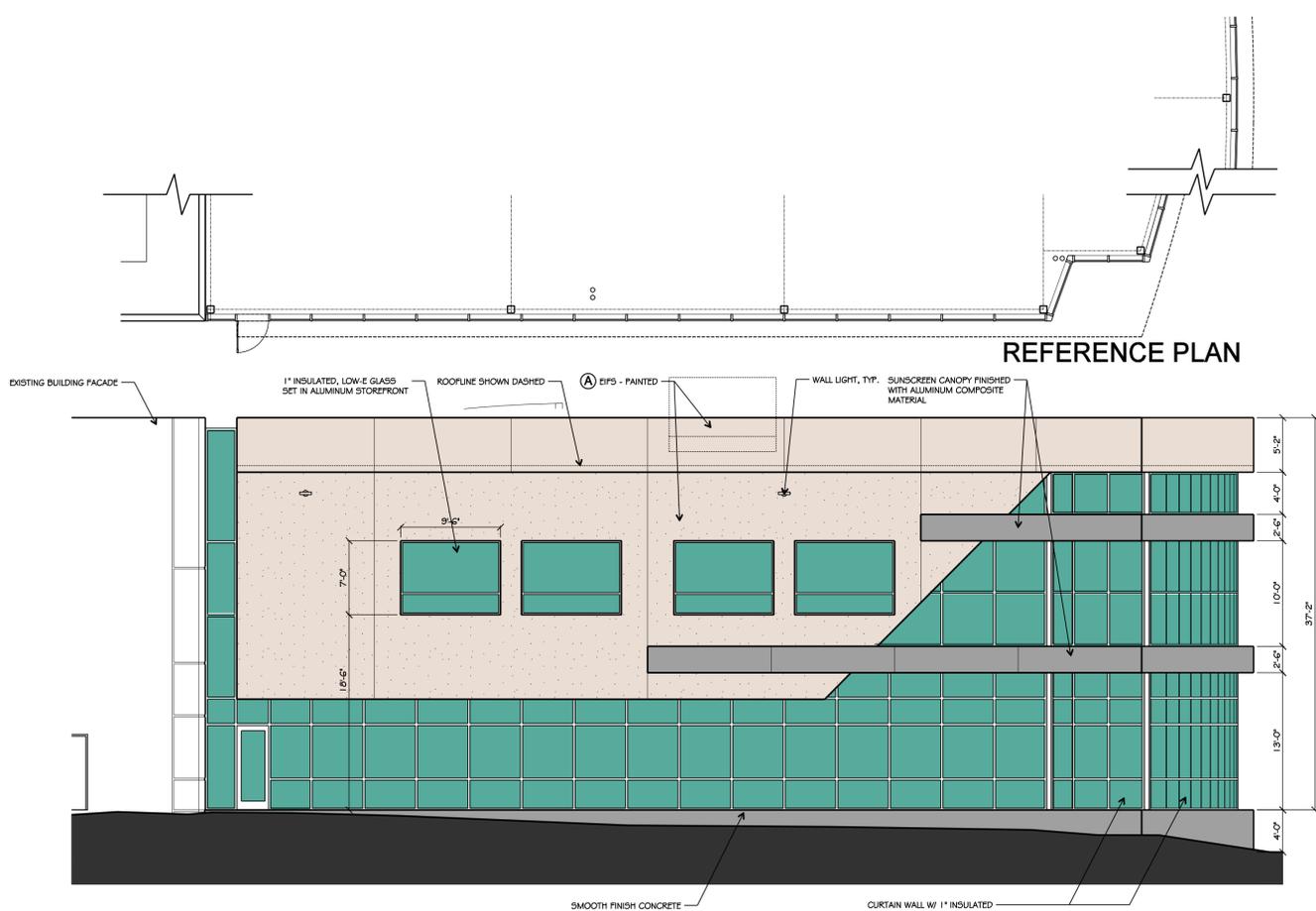
job no
1854
sheet
A3.1

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8 TIMES \$
30 STATES \$
5 FILES

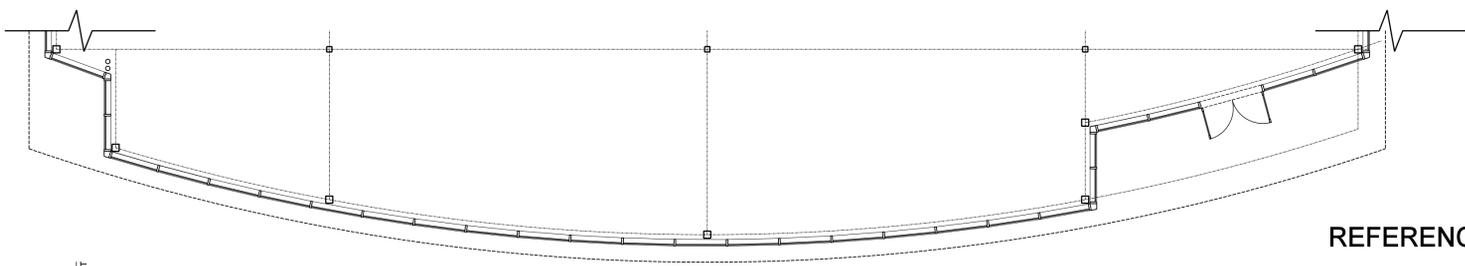


3 EAST ELEVATION
SCALE: 1/8"=1'-0"

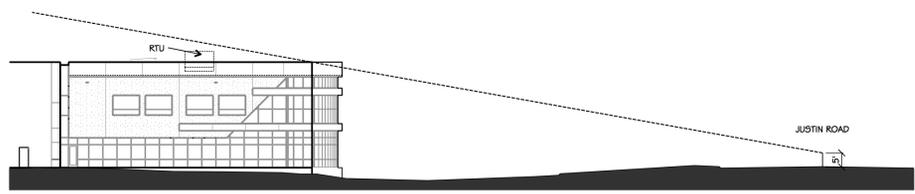


2 WEST ELEVATION
SCALE: 1/8"=1'-0"

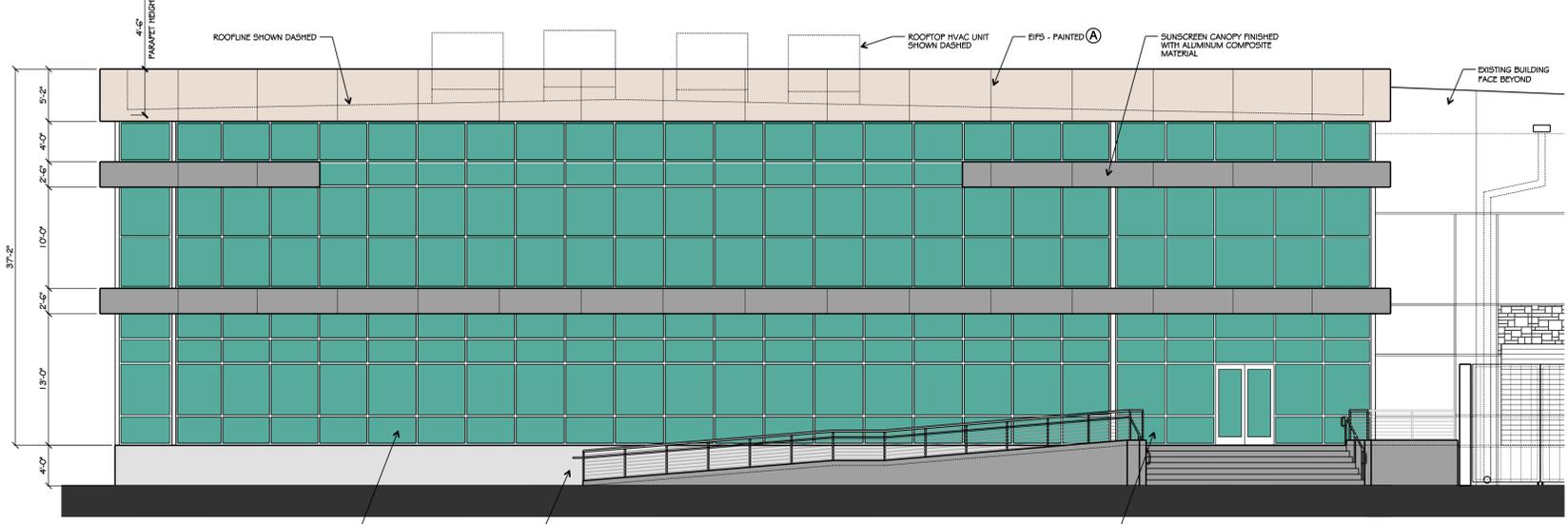
PAINT SCHEDULE					
A BASE PAINT COLOR - SW9085 TOUCH OF SAND					
FACADE MATERIAL CALCULATIONS					
	SOUTH	%	EAST	%	WEST
1. CURTAIN WALL	3,534.3 FT ²	75.6	1,042.3 FT ²	50.3	1,042.3 FT ²
2. ALUMINUM COMPOSITE METAL PANELS	400.7 FT ²	10.3	223.3 FT ²	6.1	223.3 FT ²
3. EIFS	661.3 FT ²	14.1	1,590.4 FT ²	43.6	1,590.4 FT ²
4. TOTAL FACADE AREA	4,676.3 FT ²	100	3,664 FT ²	100	3,664 FT ²



REFERENCE PLAN



4 LINE-OF-SIGHT STUDY
SCALE: 1"=30'-0"



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0" FACES JUSTIN RD.

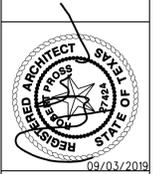
OWNER: ALVALPAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469-402-1232

ARCHITECT: PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 100
DALLAS, TX 75230
972-759-1400

CASE NO: SP2019-030

drawn:
checked:
ROBERT PROSS
DATE:
09/03/19

#	DATE	DESCRIPTION



pross design group, incorporated
5310 Harvest Hill Road, Suite 100, Dallas, Texas 75230, 972.759.1400

SPR PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

job no
1854
sheet
A3.0

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PROJECT DATA

ZONING:	LIGHT INDUSTRIAL
PROPOSED LAND USE:	WAREHOUSE, MANUF., OFFICE
SITE AREA:	10.18 AC
	443,480.8 SF
BUILDING AREA:	
EXISTING BUILDING:	188,516 SF
ADDITION FIRST FLOOR:	11,628 SF
ADDITION SECOND FLOOR:	10,936 SF

drawn:
DBR checked
DBR
DJP
DJP
09/03/19

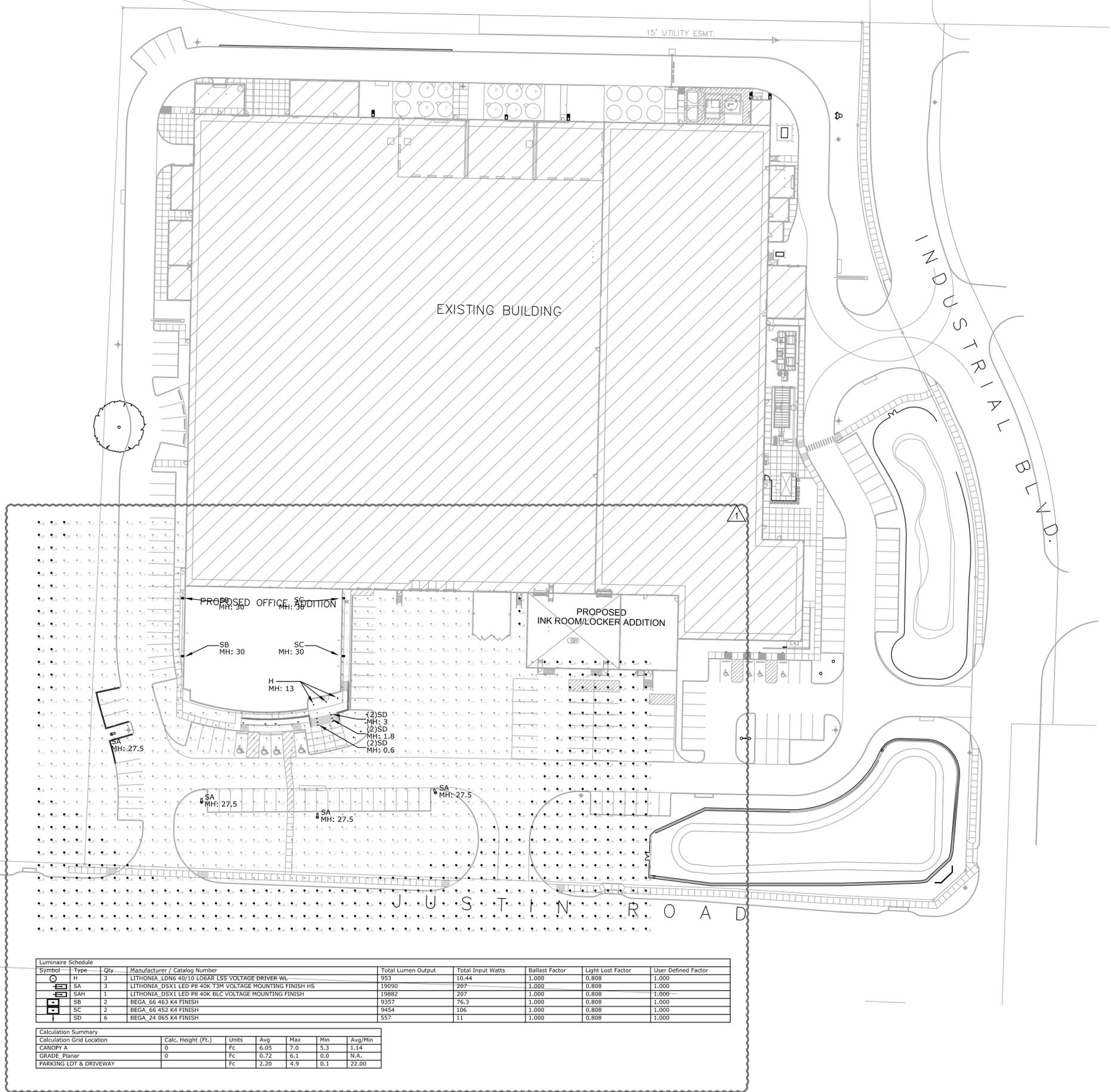
#	DATE	DESCRIPTION



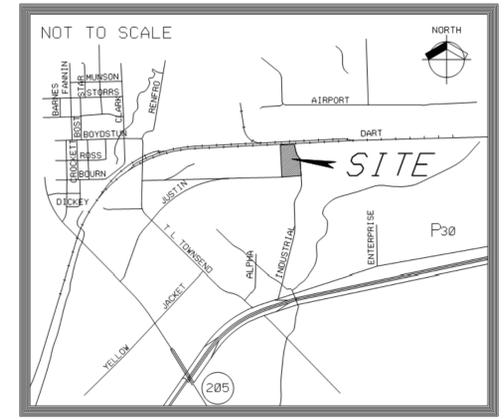
pross design group, inc. incorporated
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OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

job no
1854
sheet
MEP1.1



LOCATION MAP



OWNER:
ALVAPLAST US, INC. / SPR PACKAGING
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
468-402-1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: BOBBY PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972-759-1400

CASE NO: SP2019-000

Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
H	3	LITHONIA_LD6-40/10 LOGAR LSS VOLTAGE DRIVER-WL	953	10.44	1.000	0.808	1.000	1.000
SA	3	LITHONIA_DSX1 LED P8 40K TSM VOLTAGE MOUNTING FINISH HS	19090	207	1.000	0.808	1.000	1.000
SAH	1	LITHONIA_DSX1 LED P8 40K BLC VOLTAGE MOUNTING FINISH	19882	207	1.000	0.808	1.000	1.000
SB	2	BEGA_66 463 K4 FINISH	9357	76.3	1.000	0.808	1.000	1.000
SC	2	BEGA_66 452 K4 FINISH	9454	106	1.000	0.808	1.000	1.000
SD	6	BEGA_24 065 K4 FINISH	557	11	1.000	0.808	1.000	1.000

Calculation Summary							
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min	
CANOPY A	0	Fc	6.05	7.0	5.3	1.14	
GRADE_Planar	0	Fc	0.72	6.1	0.0	N.A.	
PARKING LOT & DRIVEWAY		Fc	2.20	4.9	0.1	22.00	

1 MEP SITE PHOTOMETRICS PLAN
MEP1.1 1" = 40'-0"



DBR
15301 Spectrum Drive, Suite 350
Addison, Texas 75001
214.217.9500 v 214.217.9505 f
TBPPE Firm Registration No. 2234

DBR Project Number 193029.000

KR | DY/HP | DS | NB | -

#DSX1 LED P8 40K T3M MVOLT SPA DDBXD



Code	MTD ON 28' POLE w/ 30" BASE
Notes	"SA"

Specifications

EPA: 1.01 ft² (0.09 m²)

Length: 33" (843 mm)

Width: 13" (330 mm)

Height H1: 7-1/2" (191 mm)

Height H2: 3-1/2" (91 mm)

Weight (max): 27 lbs (12 kg)

Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Capable options indicated by this color background.

Ordering Information EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLAIR2 PIRHN DDBXD

DSX1 LED	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX1 LED	Forward optics P1 P4 P7 P2 P5 P8 P3 P6 P9	30K 3000K 40K 4000K 50K 5000K	T15 Type I short T25 Type II short T3M Type III medium T3S Type III short T3M Type III medium T4M Type IV medium T4EM Forward throw medium	120V 208V 240V 347V 480V	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPBMA Square pole universal mounting adapter RFBMA Round pole universal mounting adapter
Control options	Other options	Finish	Shipped separately KMA8 DDBXD 8 Max arm mounting bracket adaptor (square base)		
Shipped installed	Other options	Finish	Shipped separately KMA8 DDBXD 8 Max arm mounting bracket adaptor (square base)		

Ordering Information

Accessories

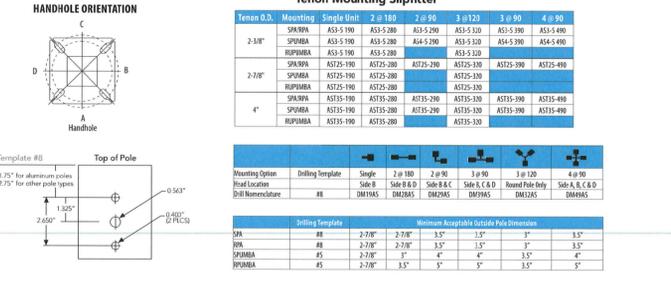
Ordered and shipped separately

DL107 1.5 ft Phenoltek™ 15k heat sink (100-2770) *
DL107 1.5 ft Phenoltek™ 15k heat sink (100-2770) *
DL107 1.5 ft Phenoltek™ 15k heat sink (100-2770) *
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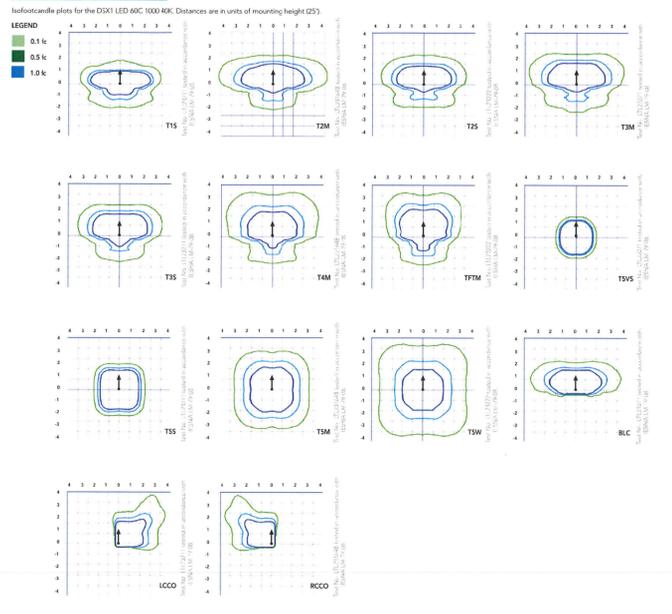
Options



Drilling



Photometric Diagrams



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 40°C (104°F).

Ambient	Lumen Multiplier
0°C	1.04
5°C	1.04
10°C	1.03
15°C	1.02
20°C	1.01
25°C	1.00
30°C	0.99
35°C	0.98
40°C	0.97

Electrical Load

Performance Package	LED Count	Drive Current	Wattage	120	208	240	277	347	480
P1	30	500	54	0.45	0.26	0.21	0.19	0.10	0.12
P2	30	700	70	0.59	0.34	0.30	0.25	0.20	0.16
P3	30	1050	102	0.86	0.50	0.44	0.38	0.30	0.22
P4	30	1250	125	1.06	0.60	0.52	0.46	0.37	0.27
P5	30	1400	138	1.16	0.67	0.58	0.51	0.40	0.29
P6	40	1250	163	1.36	0.76	0.66	0.59	0.47	0.34
P7	40	1400	181	1.51	0.86	0.76	0.66	0.51	0.38
P8	60	1650	207	1.74	0.98	0.87	0.76	0.64	0.49
P9	60	1250	241	2.01	1.16	1.05	0.90	0.70	0.51
P10	60	510	106	0.90	0.53	0.47	0.43	0.33	0.27
P11	60	700	117	1.15	0.67	0.60	0.53	0.42	0.32
P12	60	1050	207	1.74	0.99	0.87	0.76	0.60	0.46
P13	60	1250	231	1.93	1.12	0.99	0.86	0.67	0.49

Projected LED Lumen Maintenance

Date indicates the extrapolated performance projections for the platform tested in a 25°C ambient, based on 10,000 hours of LED testing based per IESNA LM-80-08 and projected per IESNA TM-21-11.

To calculate LLM, use the lumen maintenance factor that corresponds to the desired number of operating hours below for other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.96
50,000	0.92
100,000	0.85

Motion Sensor Default Settings

Option	Dimmed State	Full-on State	Photoeye Operation	Delay Time	Ramp-up Time	Ramp-down Time
PIR or PIRI	3V (1.7V) Output	10V (100%) Output	Enabled @ 5°C	5 min	1 sec	5 min
PIR/PICV or PIR/PICVI	3V (1.7V) Output	10V (100%) Output	Enabled @ 1°C	5 min	3 sec	5 min

Controls/Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively dimming the light output.	FAO device	Cannot be used with other control options that need a 0-10V output.
DS	Drivers wired independently for 50/50 luminaire operation.	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately methoded circuits. Consider right A/R as a more cost effective alternative.
PERK or PERI	Field lock photocell receptacle	Compatible with standard field lock photocells for dusk to dawn operation, or advanced control modes that provide 0-10V dimming signals.	Field lock photocell such as UL125 or advanced control modes such as RDM.	Perk 4-5 is dimming leads on driver; PerI 4-7 are output leads luminaire.
PIR or PIRI	Motion sensor with integral photocell. PIR for 8-15' mounting; PIRI for 15-30' mounting.	Luminaires dim when no occupancy is detected.	Acuity Controls SDR	Also available with PIR/PICV when the sensor photocell is used for dusk to dawn operation.
NLAIR2/PIRHN	Right A/R enabled luminaire for motion sensor, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over ride when wireless connected to the right A/R driver.	right A/R DSUR	right A/R sensors can be programmed and commissioned from the ground using the CLARITY Pro app.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Forward Optics

LED Count	Drive Current	Power Package	System Watts	Beam Type	Beam Spread	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Power	Beam Intensity						
30	1250	P6	163W	T15	17.654	3°	0.3	3.108	19.018	3	0.3	117	19,259	3	0	3	118
30	1250	P6	163W	T25	17.655	3°	0.3	3.108	19.018	3	0.3	117	19,258	3	0	3	118
30	1250	P6	163W	T3M	17.726	3°	0.3	3.109	19.096	3	0.3	117	19,332	3	0	3	119
30	1250	P6	163W	T3S	17.747	3°	0.3	3.105	18.993	3	0.3	113	18,722	3	0	3	115
30	1250	P6	163W	T4M	17.999	3°	0.3	3.106	19.045	3	0.3	114	18,871	3	0	3	116
30	1250	P6	163W	T4EM	17.999	3°	0.3	3.105	18.938	3	0.3	117	19,273	3	0	3	118
30	1250	P6	163W	T9S	18.179	4°	0.3	3.113	19.800	4	0.3	117	20,050	4	0	3	123
30	1250	P6	163W	T15	18.194	4°	0.3	3.112	19.816	4	0.3	122	20,060	4	0	2	123
30	1250	P6	163W	T3M	18.148	4°	0.3	3.113	19.794	4	0.3	122	20,016	4	0	2	123
30	1250	P6	163W	T3S	18.228	5°	0.3	3.112	19.816	5	0.3	120	19,805	5	0	3	122
30	1250	P6	163W	T4M	18.489	2°	0.3	3.109	19.689	2°	0.3	96	18,800	2°	0.3	97	
30	1250	P6	163W	T4EM	18.489	2°	0.3	3.106	19.695	2°	0.3	117	19,298	2°	0.3	119	
30	1250	P6	163W	RCCO	18.281	1°	0.3	3.106	19.614	1°	0.3	71	17,961	2°	0.3	72	
30	1250	P6	163W	T15	19.227	1°	0.3	3.105	20.712	1°	0.3	113	20,975	3	0	3	115
30	1250	P6	163W	T25	19.266	1°	0.3	3.105	20.690	1°	0.3	113	20,952	3	0	3	116
30	1250	P6	163W	T3M	19.395	1°	0.3	3.105	20.797	1°	0.3	114	21,060	3	0	3	115
30	1250	P6	163W	T3S	19.496	1°	0.3	3.102	20.141	1°	0.3	110	20,396	3	0	3	111
30	1250	P6	163W	T4M	19.528	1°	0.3	3.102	20.746	1°	0.3	113	21,009	3	0	3	112
30	1250	P6	163W	T4EM	19.440	1°	0.3	3.103	20.296	1°	0.3	113	20,553	3	0	3	112
30	1250	P6	163W	T9S	20.017	4°	0.3	3.109	21.564	4°	0.3	118	21,817	4	0	3	119
30	1250	P6	163W	T15	20.033	4°	0.3	3.109	21.581	4°	0.3	118	21,854	4	0	2	119
30	1250	P6	163W	T25	19.683	4°	0.3	3.106	21.537	4°	0.3	118	21,799	5	0	3	119
30	1250	P6	163W	T3M	19.982	5°	0.3	3.108	21.386	5°	0.3	117	21,656	5	0	3	118
30	1250	P6	163W	T3S	19.780	2°	0.3	3.106	19.999	2°	0.3	93	17,214	2°	0.3	94	
30	1250	P6	163W	T4M	19.952	2°	0.3	3.104	21.649	2°	0.3	109	20,889	2°	0.3	110	
30	1250	P6	163W	T4EM	19.952	2°	0.3	3.104	21.649	2°	0.3	109	20,889	2°	0.3	110	
30	1250	P6	163W	T9S	20.496	3°	0.3	3.109	24.228	3°	0.3	117	24,535	3	0	3	119
30	1250	P6	163W	T15	20.466	3°	0.3	3.109	24.202	3°	0.3	117	24,509	3	0	3	119
30	1250	P6	163W	T25	20.592	3°	0.3	3.109	24.327	3°	0.3	118	24,635	3	0	3	119
30	1250	P6	163W	T3M	21.079	3°	0.3	3.106	24.568	3°	0.3	117	24,808	3	0	3	119
30	1250	P6	163W	T3S	21.079	3°	0.3	3.106	24.568	3°	0.3	117	24,808	3	0	3	119
30	1250	P6	163W	T4M	21.527	3°	0.3	3.109	24.208	3°	0.3	117	24,675				

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DETAIL 3

POLE HEIGHT 30' (FT)

Cut Down to 28"

DETAIL 1 BASE PLATE

DETAIL 2 ANCHOR BOLT

DETAIL 3 POLE TOP

TYPE: "SA" POLE

8.25" SQ

8.00" - 9.00" BOLT CIRCLE

180°

270°

88° SLOTTED BOLT HOLE (X4)

FATIGUE RESISTANT BELL SHAPED BASE

ANCHOR BOLT (ULTRA-LITE) ABT-085-4

HEX NUT & WASHER (X2)

PROJECTION 4.00"

3.00"

17.00"

0.75"

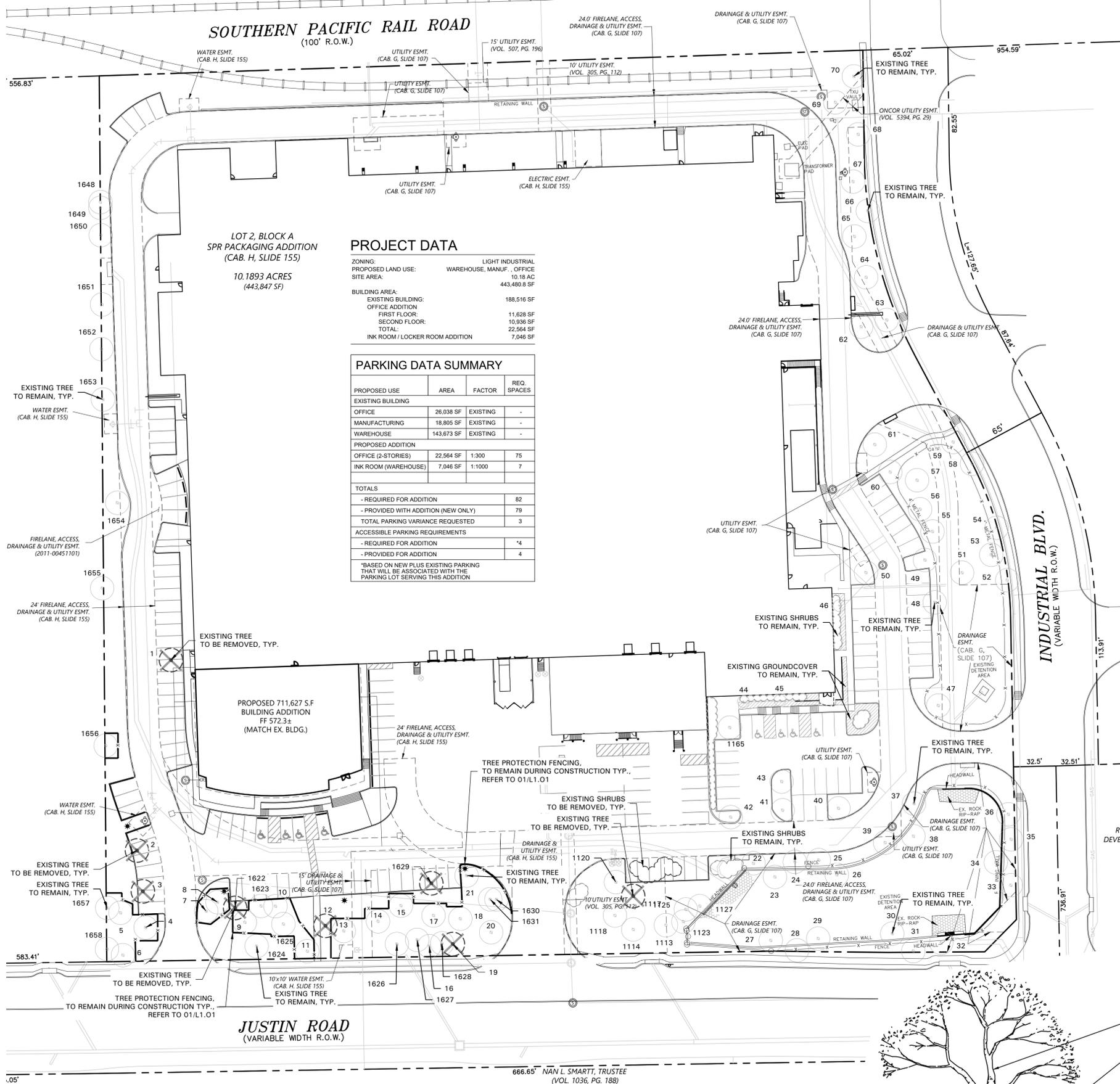
2.5" X 5" HANDHOLE Ø 0"

0" VIEW

TYPE: "SA" #SNS-30-40-7-AB-DB-DM19-BC (CUT DOWN TO 28")

LOADING DATA				MATERIAL DATA	
WIND SPEED (mph)	COMMERICAL STANDARD	COMPONENT	ASTM		
80	100	110	120	130	140
150	160	170	180	190	200
200	210	220	230	240	250
250	260	270	280	290	300
300	310	320	330	340	350
350	360	370	380	390	400
400	410	420	430	440	450
450	460	470	480	490	500
500	510	520	530	540	550
550	560	570	580	590	600
600	610	620	630	640	650
650	660	670	680	690	700
700	710	720	730	740	750
750	760	770	780	790	800
800	810	820	830	840	850
850	860	870	880	890	900
900	910	920	930	940	950
950	960	970	980	990	1000
1000	1010	1020	1030	1040	1050
1050	1060	1070	1080	1090	1100
1100	1110	1120	1130	1140	1150
1150	1160	1170	1180	1190	1200
1200	1210	1220	1230	1240	1250
1250	1260	1270	1280	1290	1300
1300	1310	1320	1330	1340	1350
1350	1360	1370	1380	1390	1400
1400	1410	1420	1430	1440	1450
1450	1460	1470	1480	1490	1500
1500	1510	1520	1530	1540	1550
1550	1560	1570	1580	1590	1600
1600	1610	1620	1630	1640	1650
1650	1660	1670	1680	1690	1700
1700	1710	1720	1730	1740	1750
1750	1760	1770	1780	1790	1800
1800	1810	1820	1830	1840	1850
1850	1860	1870	1880	1890	1900
1900	1910	1920	1930	1940	1950
1950	1960	1970	1980	1990	2000
2000	2010	2020	2030	2040	2050
2050	2060	2070	2080	2090	2100
2100	2110	2120	2130	2140	2150
2150	2160	2170	2180	2190	2200
2200	2210	2220	2230	2240	2250
2250	2260	2270	2280	2290	2300
2300	2310	2320	2330	2340	2350
2350	2360	2370	2380	2390	2400
2400	2410	2420	2430	2440	2450
2450	2460	2470	2480	2490	2500
2500	2510	2520	2530	2540	2550
2550	2560	2570	2580	2590	2600
2600	2610	2620	2630	2640	2650
2650	2660	2670	2680	2690	2700
2700	2710	2720	2730	2740	2750
2750	2760	2770	2780	2790	2800
2800	2810	2820	2830	2840	2850
2850	2860	2870	2880	2890	2900
2900	2910	2920	2930	2940	2950
2950	2960	2970	2980	2990	3000
3000	3010	3020	3030	3040	3050
3050	3060	3070	3080	3090	3100
3100	3110	3120	3130	3140	3150
3150	3160	3170	3180	3190	3200
3200	3210	3220	3230	3240	3250
3250	3260	3270	3280	3290	3300
3300	3310	3320	3330	3340	3350
3350	3360	3370	3380	3390	3400
3400	3410	3420	3430	3440	3450
3450	3460	3470	3480	3490	3500
3500	3510	3520	3530	3540	3550
3550	3560	3570	3580	3590	3600
3600	3610	3620	3630	3640	3650
3650	3660	3670	3680	3690	3700
3700	3710	3720	3730	3740	3750
3750	3760	3770	3780	3790	3800
3800	3810	3820	3830	3840	3850
3850	3860	3870	3880	3890	3900
3900	3910	3920	3930	3940	3950
3950	3960	3970	3980	3990	4000
4000	4010	4020	4030	4040	4050
4050	4060	4070	4080	4090	4100
4100	4110	4120	4130	4140	4150
4150	4160	4170	4180	4190	4200
4200	4210	4220	4230	4240	4250
4250	4260	4270	4280	4290	4300
4300	4310	4320	4330	4340	4350
4350	4360	4370	4380	4390	4400
4400	4410	4420	4430	4440	4450
4450	4460	4470	4480	4490	4500
4500	4510	4520	4530	4540	4550
4550	4560	4570	4580	4590	4600
4600	4610	4620	4630	4640	4650
4650	4660	4670	4680	4690	4700
4700	4710	4720	4730	4740	4750
4750	4760	4770	4780	4790	4800
4800	4810	4820	4830	4840	4850
4850	4860	4870	4880	4890	4900
4900	4910	4920	4930	4940	4950
4950	4960	4970	4980	4990	5000
5000	5010	5020	5030	5040	5050
5050	5060	5070	5080	5090	5100
5100	5110	5120	5130	5140	5150
5150	5160	5170	5180	5190	5200
5200	5210	5220	5230	5240	5250
5250	5260	5270	5280	5290	5300
5300	5310	5320	5330	5340	5350
5350	5360	5370	5380	5390	5400
5400	5410	5420	5430	5440	5450
5450	5460	5470	5480	5490	5500
5500	5510	5520	5530	5540	5550
5550	5560	5570	5580	5590	5600
5600	5610	5620	5630	5640	5650
5650	5660	5670	5680	5690	5700
5700	5710	5720	5730	5740	5750
5750	5760	5770	5780	5790	5800
5800	5810	5820	5830	5840	5850
5850	5860	5870	5880	5890	5900
5900	5910	5920	5930	5940	5950
5950	5960	5970	5980	5990	6000
6000	6010	6020	6030	6040	6050
6050	6060	6070	6080	6090	6100
6100	6110	6120	6130	6140	6150
6150	6160	6170	6180	6190	6200
6200	6210	6220	6230	6240	6250
6250	6260	6270	6280	6290	6300
6300	6310	6320	6330	6340	6350
6350	6360	6370	6380	6390	6400
6400	6410	6420	6430	6440	6450
6450	6460	6470	6480	6490	6500
6500	6510	6520	6530	6540	6550
6550	6560	6570	6580	6590	6600
6600	6610	6620	6630	6640	6650
6650	6660	6670	6680	6690	6700
6700	6710	6720	6730	6740	6750
6750	6760	6770	6780	6790	6800
6800	6810	6820	6830	6840	6850
6850	6860	6870	6880	6890	6900
6900	6910	6920	6930	6940	6950
6950	6960	6970	6980	6990	7000
7000	7010	7020	7030	7040	7050
7050	7060	7070	7080	7090	7100
7100	7110	7120	7130	7140	7150
7150	7160	7170	7180	7190	7200
7200	7210	7220	7230	7240	7250
7250	7260	7270	7280	7290	7300
7300	7310	7320	7330	7340	7350
7350	7360	7370	7380	7390	7400
7400	7410	7420	7430	7440	7450
7450	7460	7470	7480	7490	7500
7500	7510	7520	7530	7540	7550
7550	7560	7570	7580	7590	7600
7600	7610	7620	7630	7640	7650
7650	7660	7670	7680	7690	7700
7700	7710	7720	7730	7740	7750
7750	7760	7770	7780	7790	7800
7800	7810	7820	7830	7840	7850
7850	7860	7870	7880	7890	7900
7900	7910	7920	7930	7940	7950
7950	7960	7970	7980	7990	8000
8000	8010	8020	8030	8040	8050
8050	8060	8070	8080	8090	8100
8100	8110	8120	8130	8140	8150
8150	8160	8170	8180	8190	8200
8200	8210	8220	8230	8240	8250
8250	8260	8270	8280	8290	8300
8300	8310	8320	8330	8340	8350
8350	8360	8370	8380	8390	8400
8400	8410	8420	8430	8440	8450
8450	8460	8470	8480	8490	8500
8500	8510	8520	8530	8540	8550
8550	8560	8570	8580	8590	8600
8600	8610	8620	8630	8640	8650
8650	8660	8670	8680	8690	8700
8700	8710	8720	8730	8740	8750
8750	8760	8770	8780	8790	8800
8800	8810	8820	8830	8840	8850
8850	8860	8870	8880	8890	89

SOUTHERN PACIFIC RAIL ROAD
(100' R.O.W.)



PROJECT DATA

ZONING:	LIGHT INDUSTRIAL
PROPOSED LAND USE:	WAREHOUSE, MANUF., OFFICE
SITE AREA:	10.18 AC
BUILDING AREA:	443,480.8 SF
EXISTING BUILDING:	188,516 SF
OFFICE ADDITION:	11,628 SF
FIRST FLOOR:	10,936 SF
SECOND FLOOR:	22,564 SF
TOTAL:	22,564 SF
INK ROOM / LOCKER ROOM ADDITION:	7,046 SF

PARKING DATA SUMMARY

PROPOSED USE	AREA	FACTOR	REQ. SPACES
EXISTING BUILDING			
OFFICE	26,038 SF	EXISTING	-
MANUFACTURING	18,805 SF	EXISTING	-
WAREHOUSE	143,673 SF	EXISTING	-
PROPOSED ADDITION			
OFFICE (2-STORIES)	22,564 SF	1:300	75
INK ROOM (WAREHOUSE)	7,046 SF	1:1000	7
TOTALS			
- REQUIRED FOR ADDITION			82
- PROVIDED WITH ADDITION (NEW ONLY)			79
TOTAL PARKING VARIANCE REQUESTED			3
ACCESSIBLE PARKING REQUIREMENTS			
- REQUIRED FOR ADDITION			*4
- PROVIDED FOR ADDITION			4
*BASED ON NEW PLUS EXISTING PARKING THAT WILL BE ASSOCIATED WITH THE PARKING LOT SERVING THIS ADDITION			

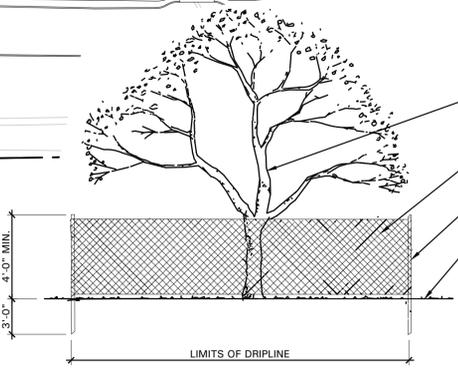
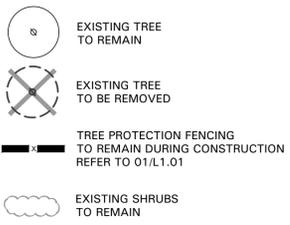
TREE SURVEY FIELD DATA					
No.	Di. (inches)	Species (common name)	Status	Remarks	
1	5	CEDAR ELM	TO BE REMOVED	PROTECTED	
2	3	LACEBARK ELM	TO BE REMOVED	NOT PROTECTED	
3	7	LACEBARK ELM	TO BE REMOVED	PROTECTED	
4	5.5	LACEBARK ELM	TO REMAIN		
5	3.5	LACEBARK ELM	TO REMAIN		
6	6	LACEBARK ELM	TO REMAIN		
7	4	CEDAR	TO REMAIN		
8	4	CEDAR	TO REMAIN		
9	6	LACEBARK ELM	TO REMAIN		
10	6	CEDAR	TO REMAIN		
11	7	CEDAR ELM	TO REMAIN		
12	4	CEDAR	TO BE REMOVED	NOT PROTECTED	
13	6	CEDAR ELM	TO REMAIN		
14	6	CEDAR ELM	TO REMAIN		
15	5.5	CEDAR ELM	TO REMAIN		
16	5	CEDAR	TO REMAIN		
17	7	CEDAR ELM	TO REMAIN		
18	5.5	BALD CYPRESS	TO REMAIN		
19	6	BALD CYPRESS	TO BE REMOVED	DEAD	
20	5	BALD CYPRESS	TO REMAIN		
21	5	CEDAR ELM	TO REMAIN		
22	8	BALD CYPRESS	TO REMAIN		
23	5	BALD CYPRESS	TO REMAIN		
24	8	BALD CYPRESS	TO REMAIN		
25	6	BALD CYPRESS	TO REMAIN		
26	3	BALD CYPRESS	TO REMAIN		
27	3	BALD CYPRESS	TO REMAIN		
28	5	BALD CYPRESS	TO REMAIN		
29	5	BALD CYPRESS	TO REMAIN		
30	6	BALD CYPRESS	TO REMAIN		
31	6	BALD CYPRESS	TO REMAIN		
32	4	BALD CYPRESS	TO REMAIN		
33	9	BALD CYPRESS	TO REMAIN		
34	8	BALD CYPRESS	TO REMAIN		
35	7	BALD CYPRESS	TO REMAIN		
36	5	BALD CYPRESS	TO REMAIN		
37	6	BALD CYPRESS	TO REMAIN		
38	3	BALD CYPRESS	TO REMAIN		
39	4	BALD CYPRESS	TO REMAIN		
40	12	LACEBARK ELM	TO REMAIN		
41	12	LACEBARK ELM	TO REMAIN		
42	11	LACEBARK ELM	TO REMAIN		
43	11	LACEBARK ELM	TO REMAIN		
44	10	CREPE MYRTLE	TO REMAIN		
45	11	CREPE MYRTLE	TO REMAIN		
46	6	CREPE MYRTLE	TO REMAIN		
47	6	BALD CYPRESS	TO REMAIN		
48	8	BALD CYPRESS	TO REMAIN		
49	7	BALD CYPRESS	TO REMAIN		
50	4	LACEBARK ELM	TO REMAIN		
51	6	BALD CYPRESS	TO REMAIN		
52	6	BALD CYPRESS	TO REMAIN		
53	3	BALD CYPRESS	TO REMAIN		
54	5	BALD CYPRESS	TO REMAIN		
55	5	BALD CYPRESS	TO REMAIN		
56	5	BALD CYPRESS	TO REMAIN		
57	3	BALD CYPRESS	TO REMAIN		
58	6	BALD CYPRESS	TO REMAIN		
59	7	BALD CYPRESS	TO REMAIN		
60	8	BALD CYPRESS	TO REMAIN		
61	7	BALD CYPRESS	TO REMAIN		
62	4	LIVE OAK	TO REMAIN		
63	4	LIVE OAK	TO REMAIN		
64	5	LIVE OAK	TO REMAIN		
65	9	BALD CYPRESS	TO REMAIN		
66	10	BALD CYPRESS	TO REMAIN		
67	10	BALD CYPRESS	TO REMAIN		
68	11	LIVE OAK	TO REMAIN		
69	5	LIVE OAK	TO REMAIN		
70	10	LIVE OAK	TO REMAIN		
71	6	CYPRESS	TO REMAIN		
72	11	10	CEDAR	TO BE REMOVED	DEAD
73	6	CYPRESS	TO REMAIN		
74	12	12	CEDAR	TO REMAIN	
75	8	8	CEDAR	TO REMAIN	
76	8	8	CEDAR	TO REMAIN	
77	8	8	CEDAR	TO REMAIN	
78	8	8	LACEBARK ELM	TO REMAIN	
79	6	6	CEDAR	TO BE REMOVED	NOT PROTECTED
80	6	6	CEDAR	TO REMAIN	
81	6	6	CEDAR ELM	TO REMAIN	
82	6	6	CEDAR ELM	TO REMAIN	
83	27	27	HACKBERRY	TO REMAIN	
84	6	6	CEDAR	TO REMAIN	
85	6	6	CEDAR	TO REMAIN	
86	10	10	HACKBERRY	TO REMAIN	
87	9	9	HACKBERRY	TO REMAIN	
88	30	30	BOIS D'ARC	TO REMAIN	
89	12	12	HACKBERRY	TO REMAIN	
90	8	8	HACKBERRY	TO REMAIN	
91	8	8	HACKBERRY	TO REMAIN	
92	27	27	HACKBERRY	TO REMAIN	

Total Caliper Inches on Site	762
Total Caliper Inches Removed	51
Total Mitigation Inches Required	12
Total Mitigation Inches Provided (Refer to Landscape Plan)	12

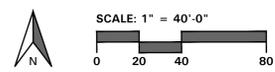
TREE PRESERVATION NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIP LINE OF ANY TREE.
- NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4') FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4') FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

EXISTING TREE LEGEND



01 TREE PROTECTIVE FENCING
NOT TO SCALE



TREE PRESERVATION PLAN

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

Drawn: MAY
Checked: C
Date: 08/14/19

#	DATE	DESCRIPTION	CITY COMMENTS
	09/03/19		



09/03/19

ross design group, incorporated
5810 Harvest Hill Road, Suite 100, Dallas, Texas 75220-9727
972-759-1400

SPR PACKAGING
OFFICE ADDITION
1480 JUSTIN RD., ROCKWALL, TEXAS

job no 1854
sheet
L1.01