

SITE DATA SUMMARY		
ZONING	COMMERCIAL (C)	
TRACT INFO	EXISTING TRACTS: TRACT I STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ FT ±)  TRACT 2 STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ±	
	(1,369,360 SQ FT ±)	
PROP. LOT AREA	PORTION OF TRACT   & 2 STRUCTURED REA ROCKWALL LAND, LLC LOT PHASE     6.38 ACRES± (277,793 SQ. FT.±)	
PROP. USE ON PROP. LOT PHASE I	SPORTS COMPLEX	
PROPOSED BUILDING AREA	87, I55 SF±	
BUILDING COVERAGE	31.37%	
BUILDING HEIGHT	I STORY	
MINIMUM REQUIRED PARKING		6
	PUBLIC RECREATION CLUB:  3/GAME COURT 4	2
	GYM: 1/200 SF(7,000 SF) 3	5
	MEDICAL OFFICE: 1/200 SF (10, 900 SF) 5-	4
	18	7
MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING	7	
TOTAL PARKING PROVIDED	TOTAL STANDARD (9'x20') 218 HANDICAP-ACCESSIBLE 7	

- I. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE
- 2. ALL RADII WITHIN PROPERTY ARE 3' UNLESS SPECIFIED OTHERWISE.
- 3. ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE

ONSITE PAVEMENT SHALL BE

PARKING :

5" CONCRETE PAVEMENT

FIRE LANE

6" CONCRETE PAVEMENT

DUMPSTER:

7" CONCRETE PAVEMENT

- 4. BUILDING IS PARALLEL & PERPENDICULAR TO WEST PROPERTY
- 5. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING **DIMENSIONS**
- 6. ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB. 17. ALL MECHANICAL EQUPMENT SHALL BE LOCATED ON THE

ROOF AND SCREENED AS PER UDC.

APPROVED: WITNESS OUR HANDS, THIS 14 OF May . 2024

PLANNING & ZONING COMMISSION, CHAIRMAN

STRUCTURED REAL ESTATE

CHICAGO, IL 60607

PHONE: (312) 702-1719

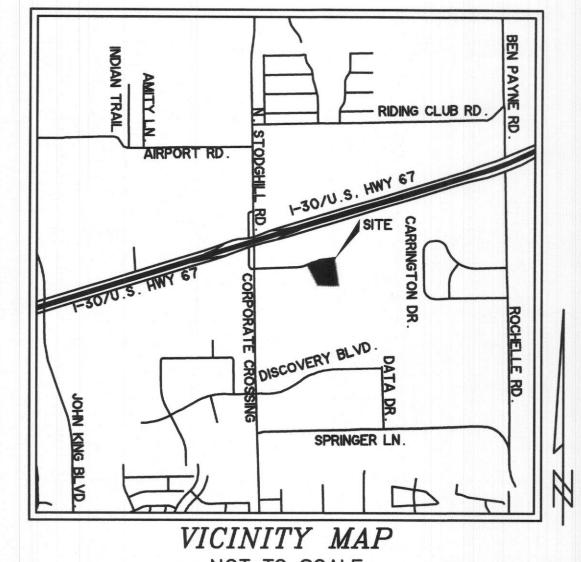
ENGINEER ! WIER & ASSOCIATES, INC.

ARLINGTON, TEXAS 76006

RandyE@WierAssociates.com

PHONE: (817) 467-7700

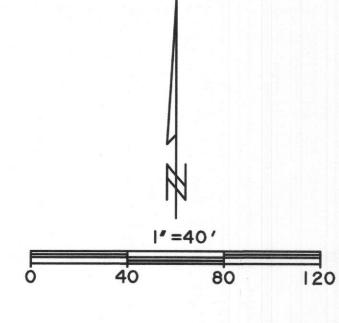
DIRECTOR OF PLANNING AND ZONING



NOT TO SCALE LEGEND

**EXISTING SANITARY SEWER MANHOLE** ssco O **EXISTING SANITARY SEWER CLEAN OUT EXISTING FIRE HYDRANT EXISTING WATER METER** EXISTING WATER VAULT EXISTING WATER LINE EXISTING SANITARY SEWER LINE PROPOSED WATER LINE PROPOSED SANITARY SEWER LINE PROPOSED STORM DRAIN LINE PHASE I PARCEL BOUNDARY PROPERTY BOUNDARY PROPOSED WATER EASEMENT PROPOSED FIRE LANE BUILDING SETBACK BARRIER FREE RAMP PROP. SIDEWALK

PROP. PUBLIC ACCESS &



# SITE PLAN FITSPORTSLIFE PHASE

SE CORNER OF CORPORATE CROSSING WEST & I-30

# ROCKWALL, TEXAS

PORTION OF TRACT | & 2 STRUCTURED REA - ROCKWALL LAND, LLC BEING 6.38 ACRES OF ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

EXISTING ZONING: C (COMMERICAL) PROPOSED LAND USE: SPORTS COMPLEX

WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS

2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700

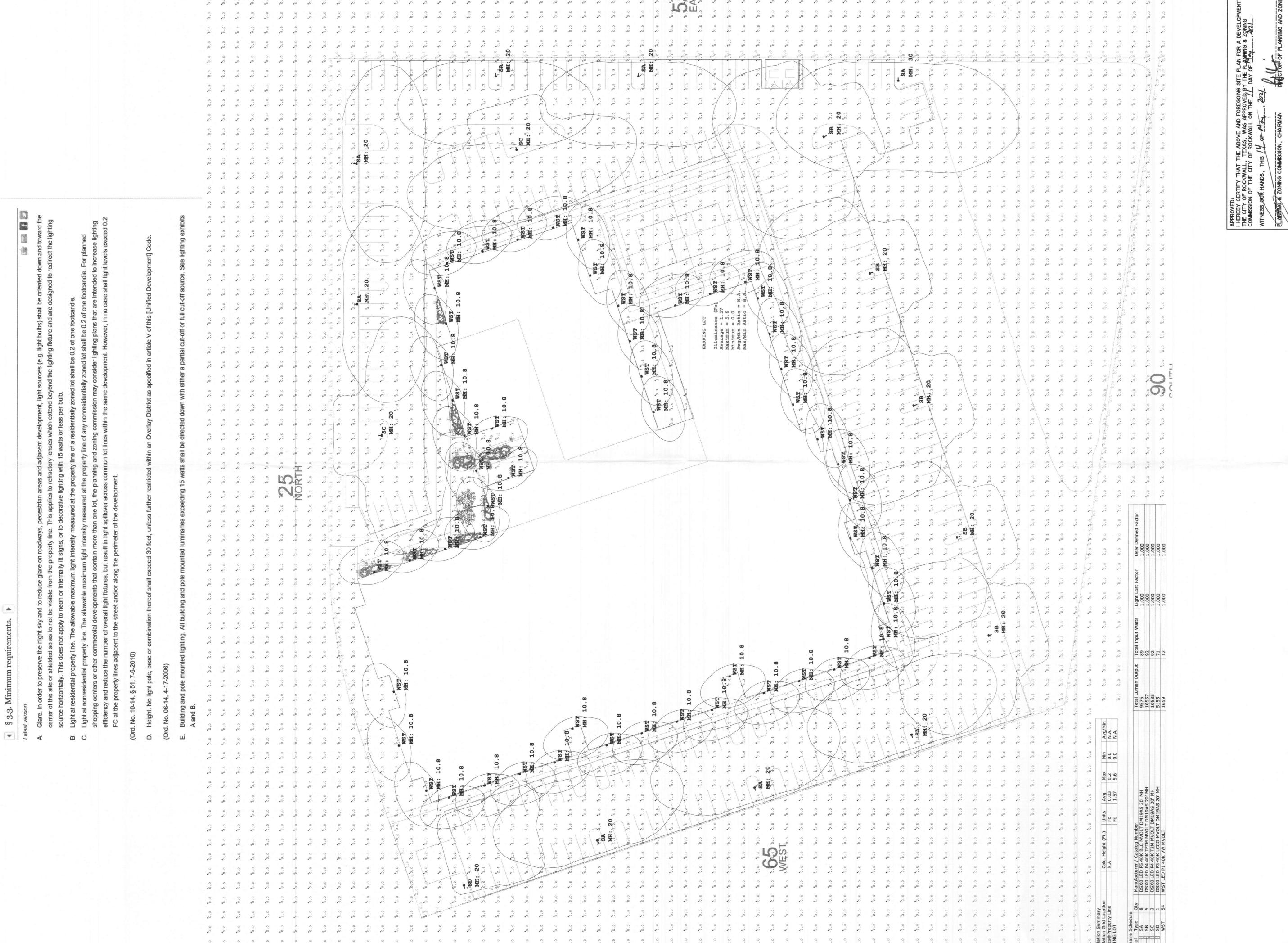
Texas Firm Registration No. F-2776 www.WierAssociates.com

SP2021-010

SHEET 1 OF 2

PRELIMINARY PLANS
FOR PROJECT REVIEW.
NOT FOR
CONSTRUCTION,
BIDDING OR PERMIT
PURPOSES.
Prepared By/Or Under
Direct Supervision Of
Randall Eardley, PE
Texas Registration
No. 104957 On
Date Shown Below.

DATE: 5/4/2021 W.A. No. 19144



SP2021-010

) shall be

zoned lot shall be 0.2 of one footcandle.

sidentially zoned lot shall be 0.2 of one footcandle. For planned on may consider lighting plans that are intended to increase lightsame development. However, in no case shall light levels exceed

PARKING LOT

Illuminance (Fc) WST

Average = 2.44 UMH: 10.8

Maximum = 8.2

Minimum = 0.3

Avg/Min Ratio = 8.13

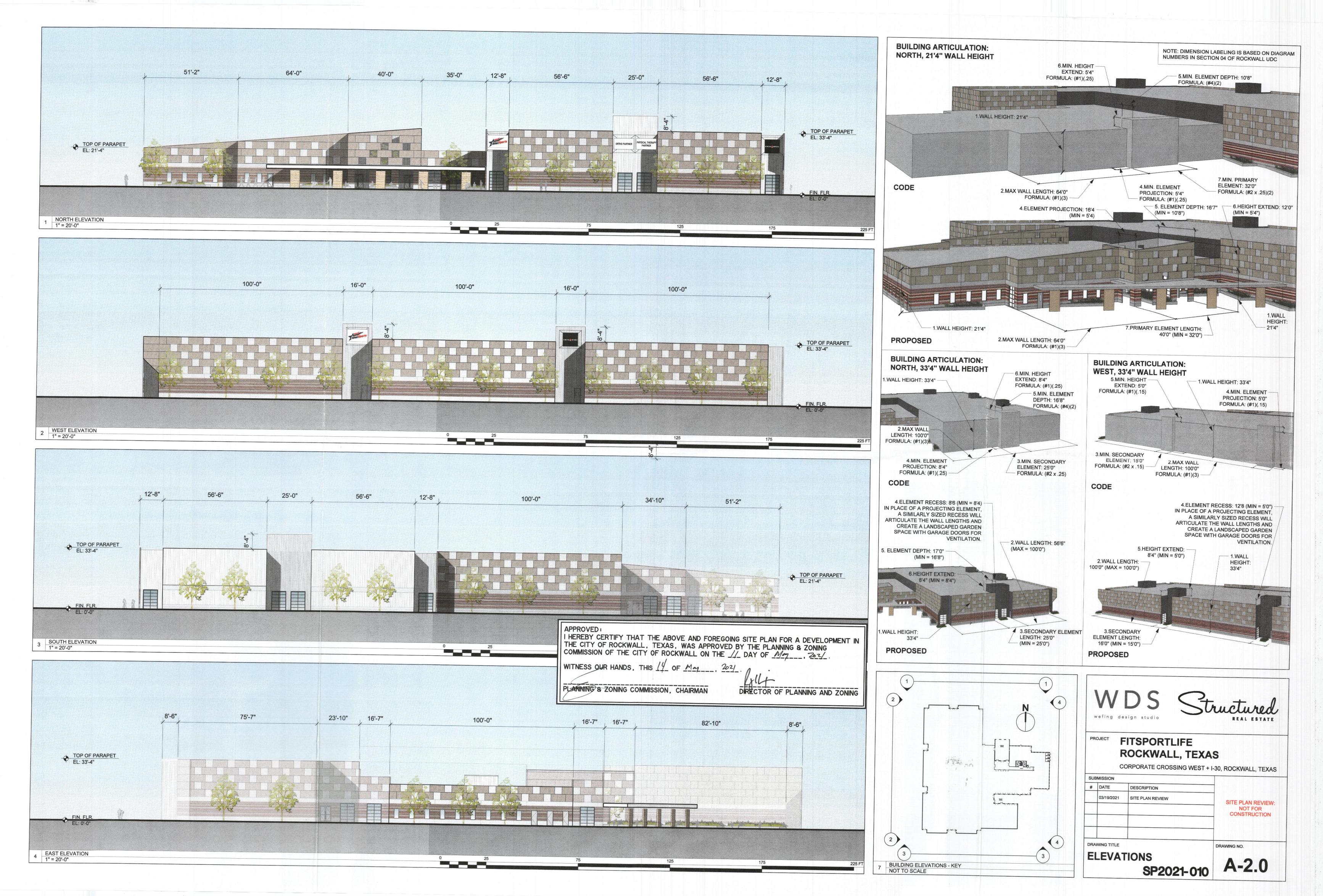
Max/Min Ratio = 27.33

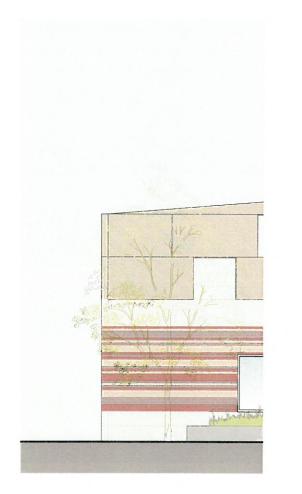
APPROVED:

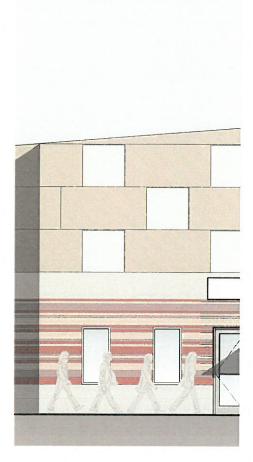
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOP THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 1/2 DAY OF 1/2 2021.

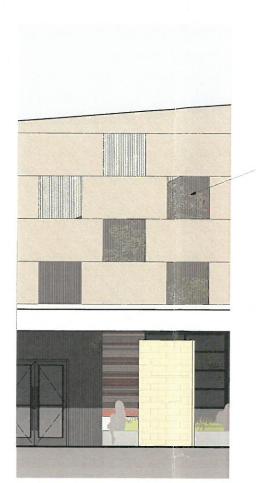
WITNESS OUR HANDS, THIS/4 OF 1/2 2021.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND Z











6'x 10' SIGNAGE PER
CODE

SMOOTH CONCRETE
FINISH

TEXTURED CONCRETE
FINISH

FLUTED CONCRETE
WALLS, PAINTED

CONTINUOUS BRICK
BAND

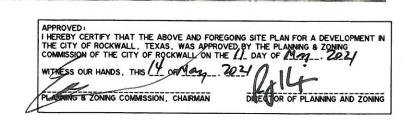
TEXAS STONE

PLANTINGS ADJACENT TO ALL ENTRANCES
AND EGRESS FOR INTEGRATION OF NATURAL
ELEMENTS WITH INSIDE ENVIRONMENT

PERFORATED WALLS AT COURTYARD

# SMOOTH CONCRETE TEXAS STONE LANDSCAPE BEHIND PERFORATED WALLS FLUTED CONCRETE WALLS FLUTED CONCRETE WALLS

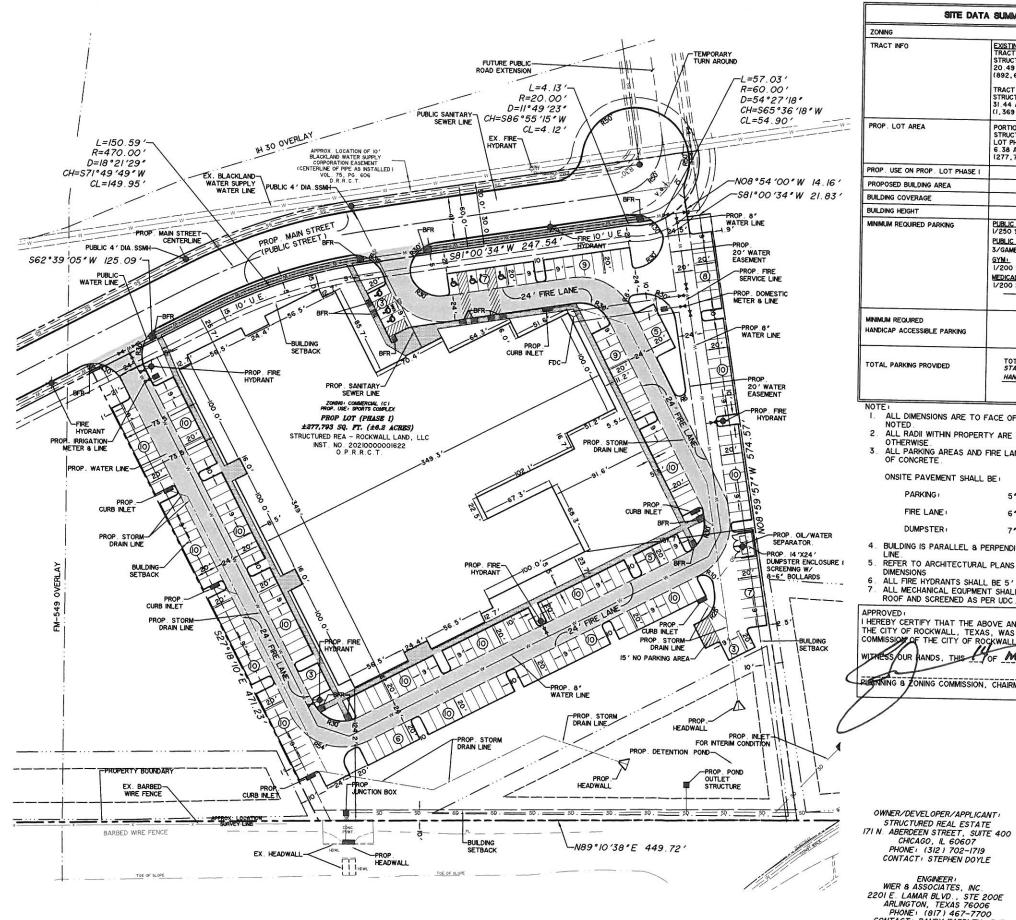
CONTINUOUS 10' HIGH BRICK BAND





PLANTINGS AT ALL





SITE DATA SUMMARY ZONING COMMERCIAL (C) TRACT INFO EXISTING TRACTS TRACT | STRUCTURED REA - ROCKWALL LAND, LLC 20.49 ACRES ± (892,663 SQ FT ± | STRUCTURED REA - ROCKWALL LAND, LLC 31.44 ACRES ± (1,369,360 SQ FT ±) PORTION OF TRACT | & 2 STRUCTURED REA - ROCKWALL LAND, LLC PROP. LOT AREA LOT PHASE (: 6.38 ACRES± (277,793 SQ. FT.±) PROP. USE ON PROP. LOT PHASE I SPORTS COMPLEX PROPOSED BUILDING AREA 87,155 SF± BUILDING COVERAGE 31.37% BUILDING HEIGHT I STORY MINIMUM REQUIRED PARKING PUBLIC RECREATION CLUB 1/250 SF(14,000 SF) PUBLIC RECREATION CLUB 3/GAME COURT GYM: 1/200 SF(7,000 SF) MEDICAL OFFICE: 1/200 SF(10,900 SF) 54 187 MINIMUM REQUIRED HANDICAP ACCESSIBLE PARKING TOTAL STANDARD (9'x20') 218 TOTAL PARKING PROVIDED HANDICAP-ACCESSIBLE 7

ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE

- NOTED.
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- OTHERWISE.

  3. ALL PARKING AREAS AND FIRE LANES SHALL BE CONSTRUCTED OF CONCRETE.

ONSITE PAVEMENT SHALL BE

PARKING:

5" CONCRETE PAVEMENT

FIRE LANE DUMPSTER:

6" CONCRETE PAVEMENT 7" CONCRETE PAVEMENT

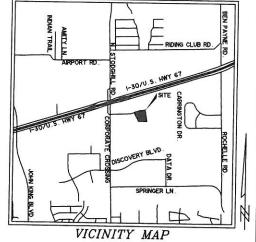
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- DIMENSIONS
  ALL FIRE HYDRANTS SHALL BE 5' FROM BACK OF CURB.
  ALL MECHANICAL EQUPMENT SHALL BE LOCATED ON THE
  ROOF AND SCREENED AS PER UDC.

THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE DAY OF MAY 20 21 WITNESS OUR HANDS, THIS FOR MAY 2024

ONING COMMISSION, CHAIRMAN

CONTACT: RANDY EARDLEY, P.E. RandyE@WierAssociates.com

DRECTOR OF PLANNING AND ZONING

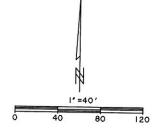


NOT TO SCALE LEGEND

EXISTING SANITARY SEWER MANHOLE EXISTING SANITARY SEWER CLEAN OUT SSCO C FH ∲ WM ⊗ EXISTING FIRE HYDRANT EXISTING WATER METER WM 🗀 EXISTING WATER VAULT EXISTING WATER LINE EXISTING SANITARY SEWER LINE PROPOSED WATER LINE -ss--PROPOSED SANITARY SEWER LINE -sp-PROPOSED STORM DRAIN LINE PHASE I PARCEL BOUNDARY PROPERTY BOUNDARY PROPOSED WATER EASEMENT PROPOSED FIRE LANE BUILDING SETBACK BFR BARRIER FREE RAMP

PROP. SIDEWALK

PROP. PUBLIC ACCESS & UTILITY EASEMENT



# SITE PLAN FITSPORTSLIFE PHASE I

SE CORNER OF CORPORATE CROSSING WEST & I-30

# ROCKWALL, TEXAS

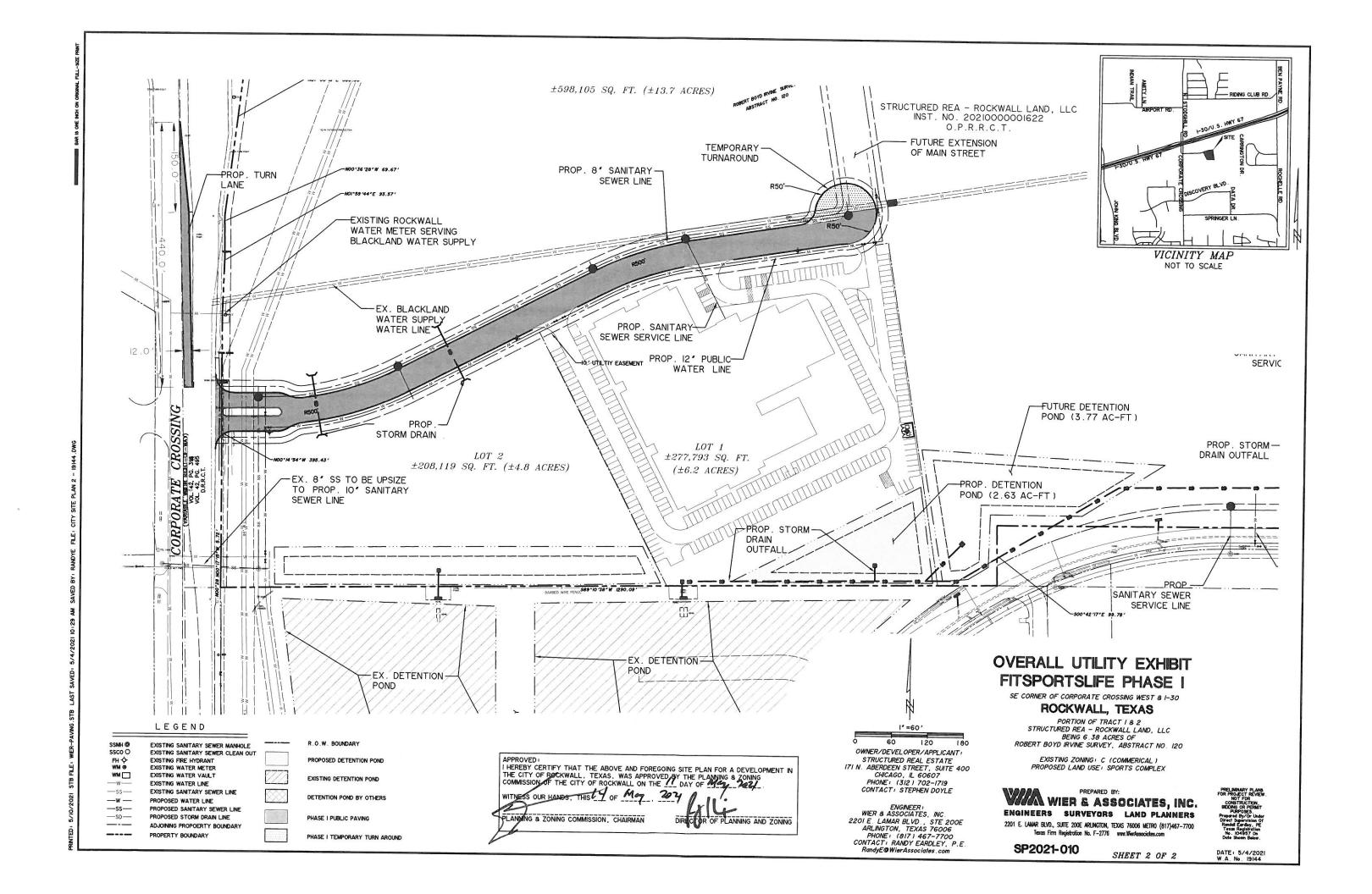
PORTION OF TRACT 182 STRUCTURED REA - ROCKWALL LAND, LLC BEING 6.38 ACRES OF ROBERT BOYD IRVINE SURVEY, ABSTRACT NO. 120

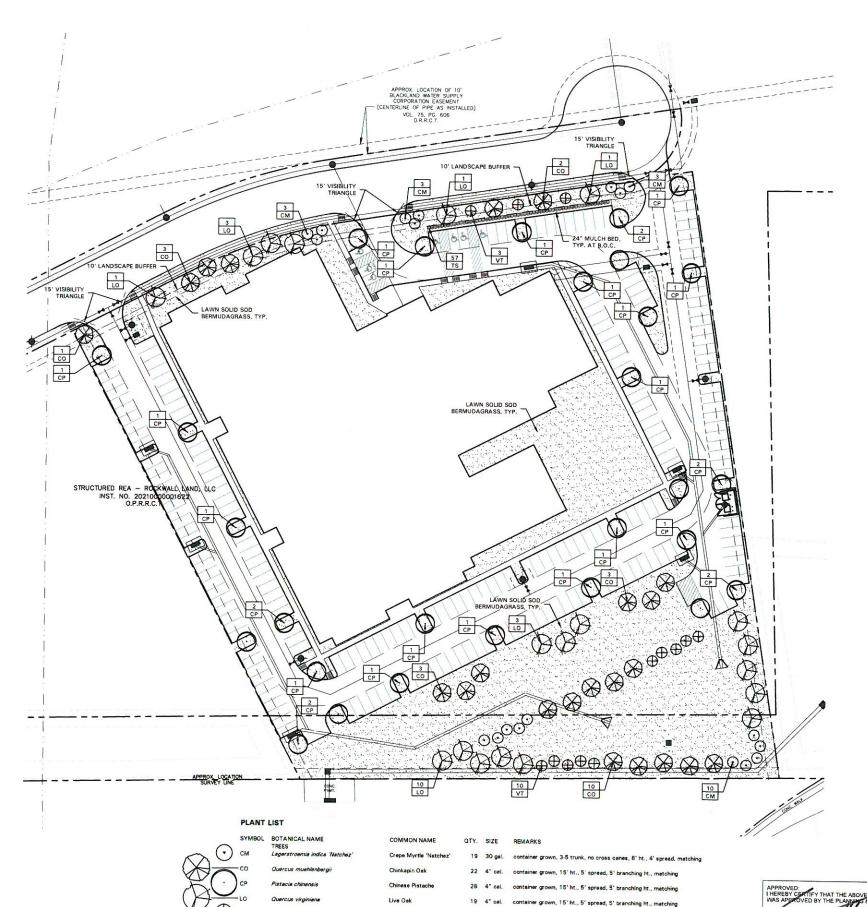
EXISTING ZONING: C (COMMERICAL) PROPOSED LAND USE: SPORTS COMPLEX

PREPARED BY: WA WIER & ASSOCIATES, INC. ENGINEERS SURVEYORS LAND PLANNERS 2201 E. LAMAR BLVD., SUITE 200E ARLINGTON, TEXAS 76006 METRO (817)467-7700

SP2021-010

SHEET 1 OF 2





Texas Sage 'Green Cloud' 57 5 gal.

NOTE: ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES.
PLANT LIST IS AN AID TO BIDDERS ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLAN.
ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REMARKS AS INDICATED.

Common Bermudagrass

SHRUBS/GROUNDCOVER

tainer grown, 8' ht., 4' spread, 3 trunk min.

container full, 20" spread, 24" o.c

# LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- 2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWIN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS. WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- 7. ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE
- 8. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZ SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

# MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EGOING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THIS PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

# CITY OF ROCKWALL NOTES

NO TREES WITHIN 5'-0" OF ANY UTILITIES IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

DREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEMS 2

CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.

**GENERAL LAWN NOTES** 

- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION,
- 3. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS, ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT RESULATIONS AND ADDRESS WATCH AND AD AND AREAS WHERE WATER MAY STAND
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4\* DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
- 6. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.

# SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- 3. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1. OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGARSS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUAME FEET.

# LANDSCAPE TABULATIONS

STREET LANDSCAPING

and one accent tree per fifty (50) Lf.

STREET A: 585 Lf. Required Provided (12) canopy trees, 4" cal. (12) canopy trees, 4" cal. (12) accent trees, 4' min. ht. (12) accent trees, 4' min. ht.

PARKING LOT LANDSCAPING

1. Five (5%) percent of the interior parking lot shall be landscape.

2. One (1) canopy tree per 10 parking spaces

Total interior parking lot area: 41,433 s.f. Total parking spaces: 225 spaces

Provided 7,238 s.f. (17%) (28) canopy trees Required 2,072 s.f. (5%) (23) canopy trees

# SITE LANDSCAPING

Twenty (20%) perd for COMMERCIAL.

....y (30.3) percent of the total requirements shall be located in the front of and along side buildings for COMMERCIAL.

Total site: 5.23 AC; 227,793 s.f.

Required Provided 45,557 s.f. (15%) 95,456 s.f. (42%) 22,779 s.f. (50%) 33,262 s.f.

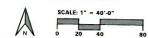
DETENTION POND LANDSCAPING One (1) canopy tree and one (1) accent tree per 750 s.f. of detention pond area.

Detention Pond Area: 14,844 s.f.

CASE NO: SP-2021-010 ENGINEER:

GINEER:
WER & ASSOCIATERS, INC.
2201 E. LAMAR BLVD., STE 200E
ARLINGTON, TX 76006
PHONE: (817) 467-7700
CONTACT: RANDY EARDLEY, P.E.

OWNER/DEVELOPER/ APPLICANT STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET, SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE





. . . . . . . . . . . . . . . .

Dallas, Texas 75205

214.865.7192 office



# **FitSportsLife** Phase 1

Rockwall, Texas

21030 Issue Date: 03.19.2021 DJD KAH

05.07.21

Sheet Title:

**LANDSCAPE** 

. . . . . . . . . . . . . . . . . . .

PLAN

Sheet Number:



# SECTION 32 9300 - LANDSCAPE

# PART 1 - GENERAL

# 1.1 REFERENCED DOCUMENTS

Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

# 1.2 DESCRIPTION OF WORK

- Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:
- Planting (trees, shrubs and grasses)
- 2. Bed preparation and fertilization
- 3. Notification of sources

# 5. Guarantee

- A. American Standard for Nursery Stock published by American Association of Nurserymen: April 14, 2014 Edition; by American National Standards Institute, Inc. (260.1) plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names,
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 Cornell University

# 1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and crubs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and crubs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

# 1.6 MAINTENANCE AND GUARANTEE

- The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
- 2. Maintenance shall include watering of trees and plants,

- Treos, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner, Plants, including trees, which have partially died so that shaps, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
- At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises
- c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die afte acceptance because of injury from storms, hail, freeze insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

18 BB 42

> 200

> > /r

(C.)

(B.)

- General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

- lection of Plant Maternal:

  Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials, Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and for
- Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
- Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules
- Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and truelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

- Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
- Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
- Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site of the November of the Comment of the November of th

# ises 1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
- Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.

# 2.1 PLANTS

- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with accentable plant as

# specified at no additional cost to the Owner

- the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10°) inches in diameter for each one (1°) inche of trunk diameter, measured six (6°) inches above ball. (Nomenclature confirms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

- Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

- Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
   Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job size.
- 6. Remove rejected plant material immediately from job site.

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- Quantities: The dravings and specifications are complementary.
   Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.

  2.3 MISCELLANEOUS MATERIALS

  A. Steel Edging: All stee
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches,

- Trees shall be healthy, full-branched, well-shaped, and shall meet

# 2.2 SOIL PREPARATION MATERIALS

- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
  - Physical properties as follows:
     Clay between 7-27 percent
     Silt between 15-25 percent
     Sand less than 52 percent

- 3. Organic matter shall be 3%-10% of total dry weight.
- 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% snimal wasto. Ingredients should be a mix of course and fine toxtured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas, Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

- A. Steel Edging: All steel edging shall be 3/15" thick x 4" deep x 15' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.

# F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

# 3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.

# B. All planting areas shall be conditioned as follows:

- Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6°) inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6°) inches of compost and till into a depth of six (6°) and of the topsoil. Apply organic fertilizer such as Sustaine or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
- 2. All planting areas shall receive a two (2") inch layer of specified mulch,
- Backfill for tree pits shall be as follows: Use existing top soil
  on site (use imported topsoil as needed) free from large
  clumps, rocks, debris, caliche, subsoils, etc., placed in nine
  (9") inch layers and watered in thoroughly.

Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gased onen then watered thought.

- laintenance of plant materials shall begin immediately after each lant is delivered to the site and shall continue until all postruction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of 8 & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per
- Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- Shrub and tree pits shall be no less than twenty-four [24" inches wider than the lateral dimension of the earth ball and [6") inches deeper than it's vertical dimension. Remove and hau from site all rocks and stones over three-quarter (%") inch it diameter. Plants should be throughly moist before removing
- Percolation Test: Fill the hole with water, If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or

# tree planting detail as approved by the Landscape Architect if the

- Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top ½ of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root bound, if so follow standard nursery practice
- K. Do not over prune.
- Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock or underground construction work or obstructions are encountered in any plant pit exeaution work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inclose below the bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- Trees and large shrubs shall be staked as site condition
   Position stakes to secure trees against seasonal prevails
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning. Class I pruning standards provided by the National Arborist Association.
- Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
- Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.

# Q. Steel Curbing Installation

- Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to
- 2. All steel curbing shall be free of kinks and abrupt bends.
- Top of curbing shall be ½" maximum height above final finished grade.
- Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side. 5. Do not install steel edging along sidewalks or curbs.
- Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

# 3.3 CLEANUP AND ACCEPTANCE

A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

END OF SECTION

# **FitSportsLife** Phase 1 Rockwall, Texas

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BELLE

FIRMA

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4245 North Central Expy

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Dallas, Texas 75205

214.865.7192 office

Suite 501

Project Number

21030 Issue Date: 03.19.2021 Drawn By: DJD Checked By: KAH

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Date Detail: 05.07.21

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LANDSCAPE **SPECIFICATIONS** AND NOTES

APPROVED:
HEREBY CENTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CT OF ROCK HALL TOO WAS APPROVED BY THE PLANNING & ZONNING COMMISSION OF THE CITY OF ROCKWAP ON THE TO DAY OF THE CITY OF ROCKWAP ON THE TOWN TO THE COMMISSION OF THE CITY OF ROCKWAP ON THE TOWN TO THE CITY OF ROCKWAP ON THE TOWN WAS APPROVED BY THE PLANNING & ZONING COMM

TOPDRESS MULCH PER SPECIFICATIONS; 2" MINIMUM-SETTLED THICKNESS 6. 5. 4. 4. 4. S. TOP OF MULCH 1/2" 1/16" X 4" BLACK EDGING. CONCRETE WALK / CURP STAKES ON INSIDE; EDGING SHALL BE 1/2" MAXIMUM HEIGHT ABOVE FINISH GRADE J'-WUNN CONCRETE WALK -LAWN / FINISH GRADE NO STEEL EDGING SHALL PREPARED SOIL MIX PER SPECIFICATIONS; TILL 6" MINIMUM OF PREPARED SOIL MIX INTO 6" DEPTH OF EXISTING SOIL SIDEWALKS OR CURBS REFER TO LANDSCAPE PLAN ROOTBALL DO NOT DISTURB 02 SHRUB / GROUNDCOVER DETAIL

# TREE PLANTING DETAIL LEGEND

- TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR
- B. TREE PIT: WIDTH TO BE AT LEAST TWO
  (2) TIMES THE DIAMETER OF THE ROOT
  BALL CENTER TREE IN HOLE & REST
  ROOT BALL ON UNDISTURBED NATIVE
  SOII C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- RING ON BASE OF ROOTBALL, TRUNK SHOULD BE IN THE CENTER OF THE

E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR

ROOT ANCHOR BY TREE STAKE SOLUTIONS. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND, DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB PROCTES)

- BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- jeff@treestakesolutions.com www.treestakesolutions.com
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COP

MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS, WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE. TREE STAKES:
TREE STAKE SOLUTIONS 'SAFETY
STAKE' BELOW GROUND MODEL
AVAILABLE FROM:

OR APPROVED EQUAL, TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.

THE CONTHACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKE, CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.

OWNER/DEVELOPER/ APPLICANT STRUCTURED REAL ESTATE
171 N. ABERDEEN STREET. SUITE 400
CHICAGO, IL 60607
PHONE: (312) 702-1719
CONTACT: STEPHEN DOYLE

WIER & ASSOCIATERS, INC. 2201 E. LAMAR BLVD., STE 200E ARLINGTON, TX 76006 PHONE: (817) 467-7700

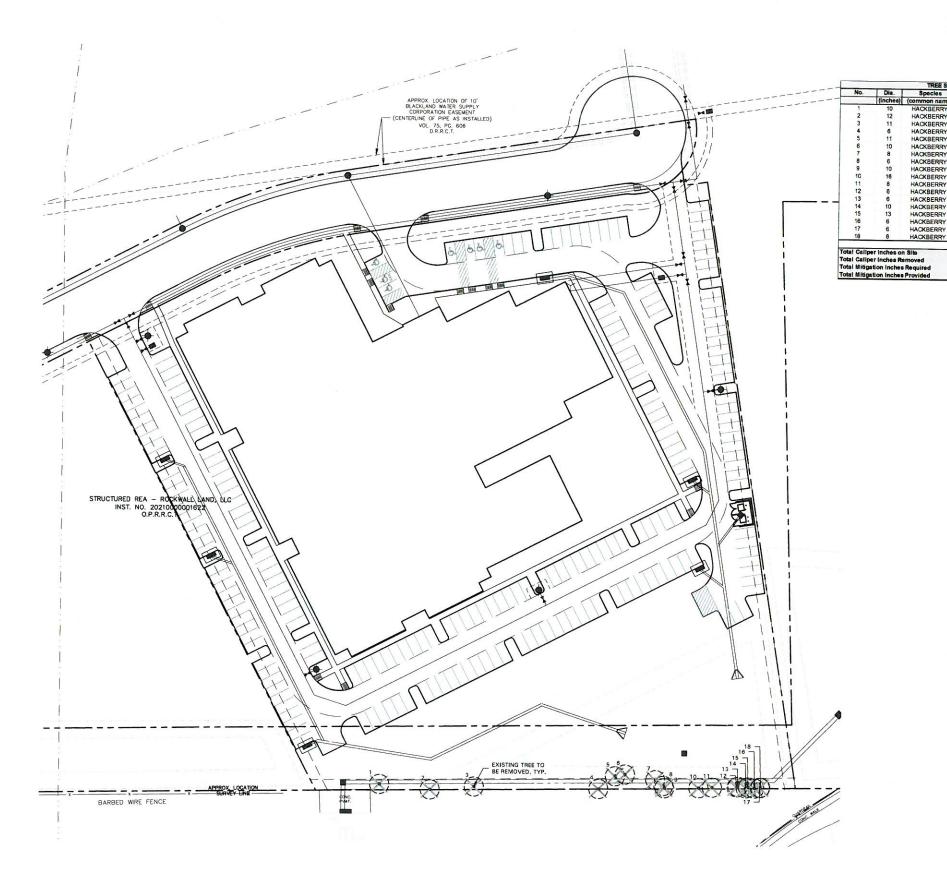
CASE NO: SP-2021-010

ENGINEER:

L2.02

O 1 TREE PLANTING DETAIL

(H.)



# TREE PRESERVATION NOTES

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- . EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIP LINE (CANOPY) OF TREE.
- 2. IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION / CONSTRUCTION, NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY DOCCUME TOPE TOPE WINDS.
- 3. NO DISTURBANCE OF THE SOIL GREATER THAN 4"
  SHALL BE LOCATED CLOSER TO THE TREE TRUNK
  THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE
  TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE
  AND ROOT ZONE SHALL BE PRESERVED AT NATURAL
  GRADE.
- 4. ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- 8. NO EQUIPMENT MAY BE CLEANED OR TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS, SHALL BE DEPOSITED WITHIN THE LIMITS OF THE ORIP LINE OF A TREE, INCLUDING BUT NOT LIMITED TO: PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE ATTACHED TO ANY TREE.
- NO VEHICULAR / CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIP LINE OF TREES.
- BORING OF UTILITIES MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48") INCHES.
- IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- 11. ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4") FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTRACT OWNER'S AUTHORIZED REPRESENTATIVE WITH 72 HOURS NOTICE TO SCHEDULE ON-SITE MEETING.
- 12. ALL TREES TO REMAIN, AS NOTED ON DRAWINGS. SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIP LINE. THE PROTECTIVE FENCING MAY BE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING SHALL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL.
- 13. WHEN A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTICY THE OWNER'S AUTHORIZED REPRESENTATIVE IMMEDIATELY. UNDER NO CIRCUMSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

# **EXISTING TREE LEGEND**



ENGINEER: APPROVED.

I HEREBY CENTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL TEMPS.

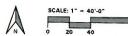
WAS DEPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE DAY OF MACA.

WITNESS OUR HANDS, THIS LOVE THAT A CONTROL TO THE CITY OF ROCKWALL ON THE DAY OF MACA.

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CONTACT: RANDY EARDLEY, P.E.

CASE NO: SP-2021-010

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# **FitSportsLife** Phase 1

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Rockwall, Texas

21030 03.19.2021 Drawn By: DJD KAH

Sheet Title: TREE **PRESERVATION** 

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PLAN Sheet Number:

