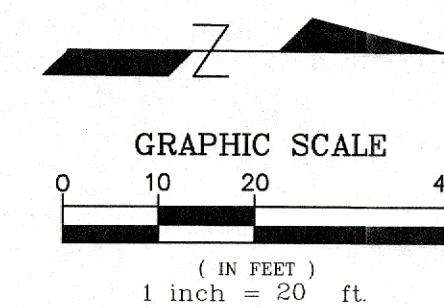


# NOTES

1. TOPOGRAPHY SURVEY PREPARED BY PEISER & MANKIN SURVEYING, LLC., DATED 12/28/2022.
2. REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
3. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF BUILDING OR AS OTHERWISE NOTED.
4. ALL RADII NOT LISTED ARE 2' FACE OF CURB.
5. SEE LANDSCAPE PLAN FOR SITE LANDSCAPING.



LOT 1, BLOCK A  
ROCKWALL SCHOOL NORTH ADDITION  
CAB. C, SLD. 270  
P.R.R.C.T.  
ZONED: SF-10  
DEBBIE WILLIAMS ELEMENTARY

N00°57'42"W 312.71'

1/2" IRS

EXIST DRIVE

1/2" IRF W/  
YELLOW  
"BRITAIN" CAP  
CONTROLLING  
MONUMENT

EXIST  
WROUGHT  
IRON FENCE

10' LANDSCAPE BUFFER  
CABINET J, SLIDE 17

PROP 6' HT  
VINYL FENCE

20' LS BUFFER & BUILDING SETBACK

PROP ELEC  
TRANSFORMER

INFANT/TODDLER  
PLAYGROUND  
(GREEN SYNTHETIC TURF)

PROP 4" CONC PVMT

PROP LANDSCAPE  
BOULDERS  
(TYP)

PROP 6' HT  
VINYL FENCE

LOT 6, BLOCK A  
DALTON GOLIAD ADDITION  
INST. NO. 20210000003578  
ZONED: GR W/N SH 205  
OVERLAY DISTRICT  
VACANT

LOT 7, BLOCK A  
DALTON GOLIAD ADDITION  
58,974 SF OR 1.354 AC  
EVERBROOK ACADEMY-ROCKWALL  
1 STORY (11,109 S.F.)  
(SPRINKLED)

PROP MECH YARD WITH  
7' HT VINYL FENCE

PROP DUMPSTER  
W/8' HT MASONRY  
ENCLOSURE;  
GATES TO BE  
SELF-LATCHING

10'x25' DRAINAGE EASEMENT  
CABINET J, SLIDE 17

PROP OIL  
SEPARATOR

1/2" IRF

EX 24" RCP

EX 8" SS->

EX 8" WTR

EX 8" W

EX 8" W

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LOT 1, BLOCK A  
DALTON GOLIAD ADDITION  
CAB. J, SLIDE 17  
ZONED:  
GR W/N SH 205  
OVERLAY DISTRICT  
EXIST ALDI

LOT 3, BLOCK A  
DALTON GOLIAD  
ADDITION  
CAB. J, SLIDE 17  
ZONED:  
GR W/N SH205  
OVERLAY DISTRICT  
EXIST RETAIL

10' ELECTRIC EASEMENT  
CABINET J, SLIDE 17

## APPROVED:

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF February 2023.

WITNESS OUT HANDS, THIS 14 DAY OF February 2023

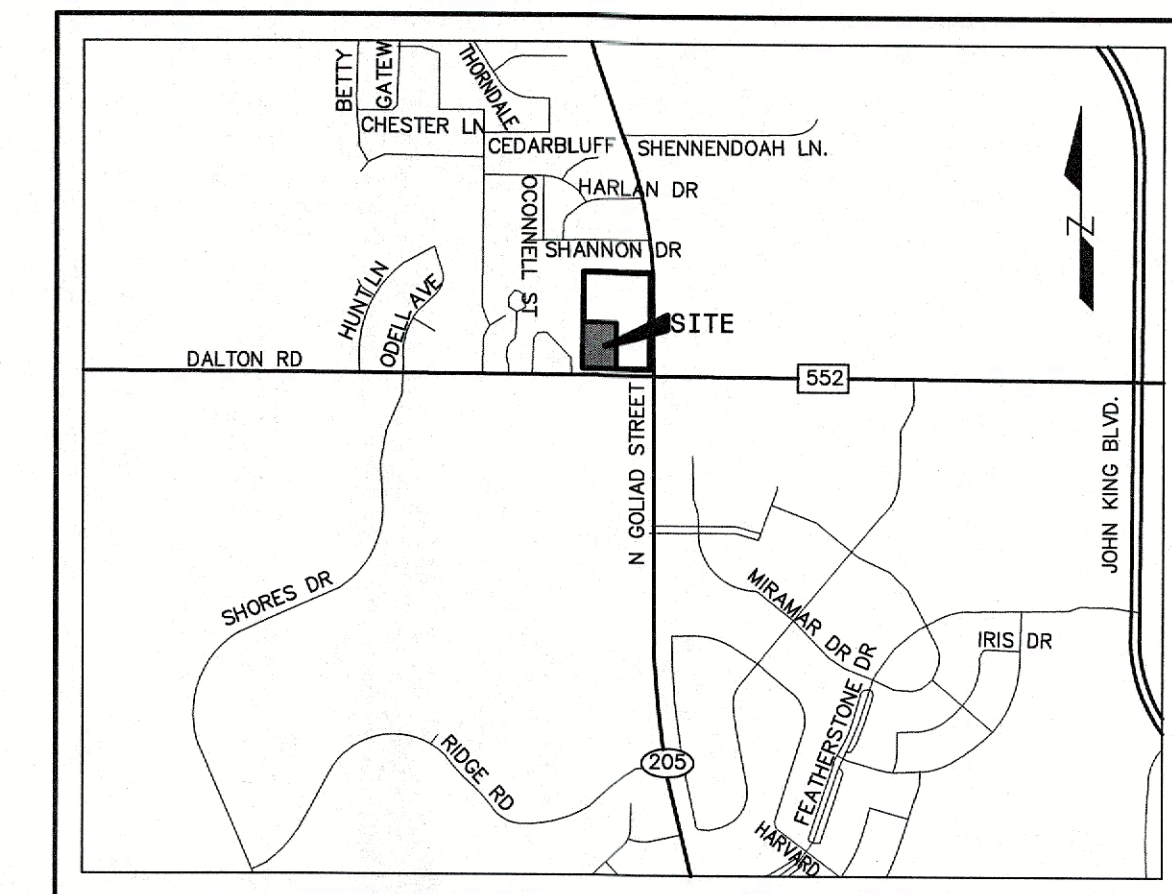
*[Signature]*  
PLANNING & ZONING COMMISSION, CHAIRMAN

*[Signature]*  
DIRECTOR OF PLANNING AND ZONING

OWNER:  
ROCKWALL 205-552 LLC  
4622 MAPLE AVE., SUITE 200  
DALLAS, TX 75219  
PHONE: 214-393-3983  
CONTACT: DONALD SILVERMAN

ENGINEER:  
VASQUEZ ENGINEERING, L.L.C.  
1919 S. SHILOH ROAD, SUITE 440  
GARLAND, TEXAS 75042  
PHONE: 972-272-4610  
CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:  
LEARNING CARE GROUP  
21333 HAGGERTY RD  
NOVI, MICHIGAN 48375  
PHONE: 407-314-8432  
CONTACT: WESLEY ARNOLD



## LOCATION MAP

N.T.S.

EXISTING	LEGEND	PROPOSED
---	PROPERTY LINE	---
---	PAVEMENT	---
---	CENTER LINE	---
---	CONC WALK	---
---	PARKING COUNT	---
---	LANDSCAPE	---
---	FENCE	---
---	WATER LINE	---
---	SANITARY SEWER	---
---	U.G. ELEC	---
---	O.H. ELEC	---
---	TELEPHONE LINE	---
---	GAS LINE	---
---	STORM SEWER	---
---	WATER VALVE	---
---	FIRE HYDRANT	---
---	WATER METER	---
---	SAN. SEWER MH	---
---	LIGHT POLE	---
---	POWER POLE	---
---	GAS METER	---

## SITE SUMMARY TABLE

Site Address	320 DALTON ROAD
County	ROCKWALL
Project Name	LEARNING CARE CENTER
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT
Proposed use	CHILD CARE CENTER
Site Area:	1.354 Acres 58,974 S.F.
Building Area	11,109 S.F.
Building Height:	1 Story
Lot Coverage:	11,109 / 58,974 = 18.83%
Floor Area Ratio:	11,109 S.F. / 58,974 = 1:18.83
Parking Required Building:	11,109 S.F.
Total Parking Required:	CHILD CARE CENTER (1 SPCS/300 SF) = 37 SPACES
Parking Provided:	REGULAR = 36 SPACES
	ACCESSIBLE = 2 SPACES
	TOTAL = 38 SPACES
Impervious Area:	45,695 S.F.
Impervious Area Ratio:	45,695 S.F. / 58,974 = 77.58%
Pervious Area Ratio:	13,279 S.F. / 58,974 = 22.42%

**SITE PLAN**  
**EVERBROOK ACADEMY-ROCKWALL**  
**LOT 7, BLOCK A**  
**DALTON GOLIAD ADDITION**  
**1.354 ACRES**  
**ROCKWALL, ROCKWALL COUNTY, TEXAS**  
**FEBRUARY 10, 2023**  
**CASE #SP2023-003**

VASQUEZ ENGINEERING, L.L.C.  
1919 S. Shiloh Road  
Suite 440, LB 44  
Garland, Texas 75042  
Ph: 972-278-2948  
TX Registration # F-12266



THIS DOCUMENT IS FOR  
INTERIM REVIEW AND IS  
NOT INTENDED FOR  
CONSTRUCTION OR  
BIDDING PURPOSES.  
JUAN J. VASQUEZ, P.E.  
DATED 02/10/2023  
VASQUEZ ENGINEERING, L.L.C.  
TX REG. F-12266

DEVELOPER:  
LEARNING CARE GROUP  
21333 HAGGERTY RD  
NOVI, MI 48375

SITE PLAN  
EVERBROOK ACADEMY - ROCKWALL  
LOT 7, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX.

Scale: 1" = 20'  
Designed by: JUV  
Drawn by: DRS  
Checked by: JUV  
713-010065/SP1/LEARNING CARE.dwg  
Date: 02/10/2023

SHEET  
**SP1**







SECTION 32 8300 - LANDSCAPE  
PART 1 - GENERAL

1.1 QUALIFICATIONS OF THE LANDSCAPE CONTRACTOR.

- A. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. REFERENCE DOCUMENTS
- A. REFER TO LANDSCAPE PLANS, NOTES, SCHEDULES AND DETAILS FOR ADDITIONAL REQUIREMENTS.

1.3 SCOPE OF WORK / DESCRIPTION OF WORK

- A. WORK COVERED BY THESE SECTIONS INCLUDES: FURNISH ALL SUPERVISORS, LABOR, MATERIALS, SERVICES, EQUIPMENT AND APPLIANCES REQUIRED TO COMPLETE THE WORK COVERED IN CONJUNCTION WITH THE LANDSCAPING SPECIFICATIONS AND SPECIFICATIONS INCLUDING:
1. PLANTING (TREES, SHRUBS, GRASSES)
  2. BED PREP AND FERTILIZATION
  3. NOTIFICATION OF SOURCES
  4. WATER AND MAINTENANCE UNTIL ACCEPTANCE
  5. GUARANTEE
- B. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
- C. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

1.4 REFERENCES

- A. AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN; 27 OCTOBER 1980, EDITION, BY AMERICAN NATIONAL STANDARDS INSTITUTE (Z60.1)-PLANT MATERIAL.
- B. AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE; 1942 EDITION OF STANDARDIZED PLANT NAMES.
- C. TEXAS ASSOCIATION OF NURSERYMEN, GRADES AND STANDARDS.

1.5 SUBMITTALS

- A. PROVIDE REPRESENTATIVE QUANTITIES OF EACH SOIL, MULCH, BED MIX, GRAVEL AND STONE BEFORE INSTALLATION. SAMPLES TO BE APPROVED BY OWNERS REPRESENTATIVE BEFORE USE.
- B. SOIL AMENDMENTS AND FERTILIZERS SHOULD BE RESEARCHED AND BASED ON THE SOILS IN THE AREA.
- C. BEFORE INSTALLATION, SUBMIT DOCUMENTATION THAT PLANT MATERIALS ARE AVAILABLE AND HAVE BEEN RESERVED. FOR ANY PLANT MATERIAL NOT AVAILABLE, SUBMIT REQUEST FOR SUBSTITUTION.

1.6 JOB CONDITIONS, DELIVERY, STORAGE AND HANDLING

- A. GENERAL CONTRACTOR TO COMPLETE WORK BEFORE LANDSCAPE CONTRACTOR TO COMMENCE.
- B. ALL PLANTING BED AREA SHALL BE LEFT THREE INCHES BELOW FINAL GRADE OF SIDEWALKS, DRIVES AND CURBS. ALL EXISTING GRASS, TREES, DRIVES AND CURBS, CONSTRUCTION DEBRIS SHALL BE REMOVED PRIOR TO LANDSCAPE CONTRACTOR BEGINNING WORK.
- C. STORAGE OF MATERIALS AND EQUIPMENT AT THE JOB SITE WILL BE AT THE RISK OF THE LANDSCAPE CONTRACTOR. THE OWNER CANNOT BE HELD RESPONSIBLE FOR THEFT OR DAMAGE.

1.7 SEQUENCING

- A. INSTALL TREES, SHRUBS, AND LINER STOCK PLANT MATERIALS PRIOR TO INSTALLATION OF LAWNS AND SOD.
- B. WHERE EXISTING TURF AREAS ARE BEING CONVERTED TO PLANTING BEDS, THE TURF SHALL BE CHEMICALLY ERADICATED TO MINIMIZE RE-GROWTH IN THE FUTURE. AREAS SHALL BE PROPERLY PREPARED WITH ANIMATED ORGANIC MATTER.

1.8 MAINTENANCE AND GUARANTEE

MAINTENANCE:

- A. THE LANDSCAPE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF WORK FROM THE TIME OF PLANTING UNTIL FINAL ACCEPTANCE BY OWNER.
- B. NO TREES, GRASS, GROUNDCOVER OR GRASS WILL BE ACCEPTED UNLESS THEY SHOW HEALTHY GROWTH AND SATISFACTORY FOLIAGE CONDITIONS.
- C. MAINTENANCE SHALL INCLUDE WATERING OF TREES AND PLANTS, CLEANING UP WEED SPRAYING, EDGING, PRUNING OF TREES, MOWING OF GRASS, CLIPPING UP AND ALL OTHER WORK NECESSARY FOR MAINTENANCE.
- D. A WRITTEN NOTICE REQUESTING FINAL INSPECTION AND ACCEPTANCE SHOULD BE SUBMITTED TO THE OWNER AT LEAST 7 DAYS PRIOR TO COMPLETION. AN ON SITE INSPECTION BY THE OWNERS AUTHORIZED REPRESENTATIVE WILL BE COMPLETED PRIOR TO WRITTEN ACCEPTANCE.
- E. NOTIFY OWNER OR OWNERS REPRESENTATIVE SEVEN DAYS PRIOR TO THE EXPIRATION OF THE WARRANTY PERIOD.
- F. REMOVE DEAD, UNHEALTHY AND UNSIGHTLY PLANTS DURING WARRANTY PERIOD.
- G. REMOVE GUTTING AND STAKING MATERIALS AFTER ONE YEAR.
- H. ALL LANDSCAPE MUST BE MAINTAINED AND GRASS MOWED/EDGED ON A WEEKLY SCHEDULE UNTIL ACCEPTANCE BY OWNER. REMOVE CLIPPINGS AND DEBRIS FROM SITE PROMPTLY.
- I. REMOVE TRASH, DEBRIS, AND LITTER, WATER, PRUNE, RE-STAKE TREES, FERTILIZE, WEED AND APPLY HERBICIDES AND FUNGICIDES AS REQUIRED.
- J. COORDINATE THE OPERATION OF IRRIGATION SYSTEM TO ENSURE THAT PLANTS ARE ADEQUATELY WATERED AND WATER AREAS NOT RECEIVING ADEQUATE WATER FROM AN IRRIGATION SYSTEM.
- K. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN ACCORDANCE WITH THE MAINTENANCE SERVICE TO ENSURE THE SYSTEM IS IN PROPER WORKING ORDER WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER EFFICIENCY AND WATERING ADJUSTMENTS BY SEASON.
- L. REPLY MULCH TO BARE AND THIN AREAS.
- M. SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- N. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH WITH EXCEPTIONS MADE FOR SEASONAL COLOR/ANNUALS. ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
  - b. ALL HARDSCAPE SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.
  - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYPERMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESODDED OR RESEEDED AS APPROPRIATE PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

GUARANTEE:

- A. TREES, SHRUBS, GROUNDCOVER SHALL BE GUARANTEED IN WRITING FOR A 12 MONTH PERIOD (90 DAYS FOR ANNUAL PLANTING OR AT THE END OF THE SEASONAL COLOR GROWING SEASON, WHICHEVER COMES SOONER) AFTER FINAL ACCEPTANCE. THE CONTRACTOR SHALL REPLACE ALL DEAD MATERIALS AS SOON AS WEATHER PERMITS AND UPON NOTIFICATION OF THE OWNER.
- B. PLANTS INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAVE BEEN DAMAGED SHALL BE CONSIDERED SUBJECT TO REPLACEMENT. IN SUCH CASES, THE OPINION OF THE OWNER SHALL BE FINAL.
- C. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME SIZE AND KIND AS THOSE ORIGINALLY PLANTED OR SPECIFIED. ALL WORK INCLUDING MATERIALS, LABOR AND EQUIPMENT USED IN REPLACEMENTS SHALL CARRY A 12 MONTH GUARANTEE. ANY DAMAGE INCLUDING ROTS IN LAWN OR BED AREAS INCURRED AS A RESULT OF MAKING REPLACEMENTS SHALL BE IMMEDIATELY REPAIRED.
- D. WHEN PLANT REPLACEMENTS ARE MADE, PLANTS, SOIL MIX, FERTILIZER AND MULCH ARE TO BE UTILIZED AS ORIGINALLY SPECIFIED AND RE-INSPECTED FOR FULL COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ALL REPLACEMENTS ARE INCLUDED UNDER WORK OF THIS SECTION.
- E. THE OWNER AGREES THAT FOR THE ONE YEAR WARRANTY PERIOD TO BE EFFECTIVE, HE WILL WATER PLANTS AT LEAST TWICE A WEEK DURING DRY PERIODS.
- F. THE ABOVE GUARANTEE SHALL NOT APPLY WHERE PLANTS DIE AFTER ACCEPTANCE BECAUSE OF DAMAGE DUE TO ACTS OF GOD, VANDALISM, INSECTS, DISEASE, INJURY BY HUMANS, MACHINES, THEFT OR NEGLIGENCE BY OWNER.
- G. ACCEPTANCE FOR ALL LANDSCAPE WORK SHALL BE GIVEN AFTER FINAL INSPECTION BY THE OWNER PROVIDED THE JOB IS IN A COMPLETE, UNDAUNAGED CONDITION AND THERE IS A STAND OF GRASS IN ALL LAWN AREAS. AT THAT TIME, THE OWNER WILL ASSUME MAINTENANCE ON THE ACCEPTED WORK.

1.9 QUALITY ASSURANCE

- A. CONFORM WITH ALL FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK.

- B. EMPLOY PERSONNEL EXPERIENCED AND FAMILIAR WITH THE REQUIRED WORK AND SUPERVISION BY A FOREMAN.
- C. MAKE CONTACT WITH SUPPLIERS IMMEDIATELY UPON OBTAINING NOTICE OF CONTRACT ACCEPTANCE TO SELECT AND BOOK MATERIALS.
- D. DEVELOP A PROGRAM OF MAINTENANCE (PRUNING AND FERTILIZATION) WHICH WILL ENSURE THE PURCHASED MATERIALS WILL MEET AND/OR EXCEED PRODUCT SPECIFICATIONS.
- E. DO NOT MAKE PLANT MATERIAL SUBSTITUTIONS. IF THE LANDSCAPE MATERIAL SPECIFIED IS NOT READILY AVAILABLE, SUBMIT PROOF TO LANDSCAPE ARCHITECT ALONG WITH THE PROPOSED MATERIAL TO BE USED IN LIEU OF THE SPECIFIED PLANT.
- F. AT THE TIME BEDS ARE SUBMITTED, THE CONTRACTOR IS ASSUMED TO HAVE LOCATED THE MATERIALS NECESSARY TO COMPLETE THE JOB AS SPECIFIED.
- G. OWNERS REPRESENTATIVE SHALL INSPECT ALL PLANT MATERIAL AND RETAINS THE RIGHT TO INSPECT MATERIALS UPON ARRIVAL TO THE SITE AND DURING INSTALLATION. THE OWNERS REPRESENTATIVE MAY ALSO REJECT ANY MATERIALS WHICH FEELS TO BE UNSATISFACTORY OR DEFECTIVE DURING THE WORK PROCESS. ALL PLANTS DAMAGED IN TRANSIT OR AT THE JOB SITE SHALL BE REJECTED.

1.10 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. PREPARATION
1. BALLED AND BURLAPPED BAB PLANTS; DIG AND PREPARE SHIPMENT IN A MANNER THAT WILL NOT DAMAGE ROOTS, BRANCHES, SHAPE AND FUTURE DEVELOPMENT.
  2. CONTAINER GROWN PLANTS: DELIVER PLANTS IN RIGID CONTAINER TO HOLD BALL SHAPE AND PROTECT ROOT MASS.
- B. DELIVERY
1. DELIVER PACKAGED MATERIALS IN SEALED CONTAINERS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED ON SITE.
  2. DELIVER ONLY PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY UNLESS ADEQUATE STORAGE AND WATERING FACILITIES ARE AVAILABLE ON SITE.
  3. PROTECT ROOT BALLS BY WRAPPING IN SANDWICH OR OTHER APPROVED MOISTURE RETAINING MATERIAL IF NOT PLANTED WITHIN 24 HOURS OF DELIVERY.
  4. PROTECT PLANTS DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALL OR DESICCATION OF LEAVES.
  5. KEEP PLANTS MOIST AT ALL TIMES. COVER ALL MATERIALS DURING TRANSPORT.
  6. NOTIFY OWNERS REPRESENTATIVE OF DELIVERY 72 HOURS PRIOR TO DELIVERY OF PLANT MATERIAL AT JOB SITE.
  7. REMOVE REJECTED PLANT MATERIAL IMMEDIATELY FROM JOB SITE.
  8. TO AVOID DAMAGE OR STRESS, DO NOT LIFT, MOVE, ADJUST OR PLUMB, OR OTHERWISE MANIPULATE PLANTS BY TRUNK OR STEMS.

PART 2 - PRODUCTS

2.1 PLANT MATERIALS

- A. GENERAL: WELL FORMED NO. 1 GRADE OR BETTER NURSERY GROWN STOCK. LISTED PLANT HEIGHTS ARE FROM TOPS OF FOOT BALLS TO NOMINAL TOPS OF PLANTS. PLANT SPREAD REFERS TO NOMINAL OUTR WIDTH OF THE PLANT NOT THE CUTTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- B. QUANTITIES: THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. ANYTHING CALLED FOR ON ONE AND NOT THE OTHER IS BINDING AS IF SHOWN AND CALLED FOR ON BOTH. THE PLANT SCHEDULE IS AN AID TO BIDDERS ONLY. CONFIRM ALL QUANTITIES ON PLAN.
- C. QUANTITIES AND SIZE: PLANT MATERIALS SHALL CONFORM TO THE SIZE GIVEN ON THE PLAN AND SHALL BE HEALTHY, WELL SHAPED, FULL BRANCHED AND WELL ROOTED. SYMMETRY IS ALSO IMPERATIVE. PLANTS SHALL BE FREE FROM INSECTS, INJURY, DISEASE, BROKEN BRANCHES, DISFIGNMENTS, INSECT EGGS AND ARE TO BE OF SPECIMEN QUALITY.
- D. APPROVAL: ALL PLANTS WHICH ARE FOUND UNSUITABLE IN GROWTH OR ARE OTHERWISE DEFECTIVE OR UNDERMINED WILL BE REJECTED BY THE OWNERS REPRESENTATIVE EITHER BEFORE OR AFTER PLANTING AND SHALL BE REMOVED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR AND REPLACED WITH ACCEPTABLE SPECIMENS.
- E. TREES SHALL BE HEALTHY, FULL BRANCHED, WELL SHAPED AND SHALL MEET THE MINIMUM REQUIREMENTS AS SPECIFIED ON THE PLANT SCHEDULE. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE IF POSSIBLE AND WITH SIMILAR CLIMATIC CONDITIONS.
- F. PRUNING: ALL PRUNING OF TREES AND SHRUBS SHALL BE EXECUTED BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER, PRIOR TO FINAL ACCEPTANCE.
- G. PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED, EXCEPT THE PLANTS LARGER THAN THOSE SPECIFIED MAY BE USED. USE OF LARGER PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.
- H. WHERE MATERIALS ARE PLANTED IN MASS, PROVIDE PLANTS OF UNIFORM SIZE.
- I. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED, FIBROUS ROOT SYSTEMS, NON-PYR BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS SHAPED ROOTS).
- J. ALL TREES SHALL BE STANDED IN FORM UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
- K. TREE TRUNKS TO BE STUDY EXHIBIT HARDENED SYSTEMS AND VIGOROUS AND FIBROUS ROOT SYSTEMS, NOT ROOT OR POT BOUND.
- L. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGNING KNOTS, CORRECT DAMAGE WILL BE REJECTED.
- M. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
- N. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL.
- O. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN DAMAGED, SHALL BE REJECTED.
- P. SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.

2.2 SOIL PREPARATION MATERIALS

- A. SANDY LOAM:
1. FRABLE, FERTILE, DARK, LOAMY SOIL, FREE OF CLAY LUMPS, SUBSOIL, STONES AND OTHER EXTRANEOUS MATERIAL, AND REASONABLY FREE OF WEEDS AND FOREIGN GRASSES. LOAM CONTAINING DALLASGRASS OR NUTGRASS SHALL BE REJECTED.
  2. PHYSICAL PROPERTIES AS FOLLOWS:
    - a. CLAY - BETWEEN 7-27%
    - b. SILT - BETWEEN 15-25%
    - c. SAND - LESS THAN 52%
  3. ORGANIC MATTER SHALL BE 3%-10% OF TOTAL DRY WEIGHT.
  4. IF REQUESTED, LANDSCAPE CONTRACTOR SHALL PROVIDE A CERTIFIED SOIL ANALYSIS CONDUCTED BY AN APPROVED SOIL TESTING LABORATORY VERIFYING THAT SANDY LOAM MEETS THE ABOVE REQUIREMENTS.
- B. ORGANIC MATERIAL: COMPOST WITH A MIXTURE OF 80% VEGETATIVE MATTER AND 20% ANIMAL WASTE. INGREDIENTS SHALL BE A MIX OF COURSE AND FINE TEXTURED MATERIAL.
- C. PREMIER BEDDING SOIL AS SUPPLIED BY VITAL EARTH RESOURCES, GLADWATER, TEXAS; PROFESSIONAL BEDDING SOIL AS SUPPLIED BY LIVING EARTH TECHNOLOGY, DALLAS, TEXAS OR ACID GRO MUNICIPAL MIX AS SUPPLIED BY SOIL BUILDING SYSTEMS, DALLAS, TEXAS OR APPROVED LOCAL SHARP SAND. SHARP SAND MUST BE FREE OF SEEDS, SOIL PARTICLES AND WEEDS.
- D. MULCH: DOUBLE SHREDDED HARDWOOD MULCH, PARTIALLY DECOMPOSED, DARK BROWN.
- E. ORGANIC FERTILIZER: FERTILIZED, SUSTAIN, OR GREEN SENSE OR EQUAL AS RECOMMENDED FOR REQUIRED APPLICATIONS. FERTILIZER SHALL BE DELIVERED TO THE SITE IN ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS.
- F. PEAT: COMMERCIAL SPAGNUM PEAT MOSS OR PARTIALLY DECOMPOSED SHREDDED FINE BARK OR OTHER APPROVED ORGANIC MATERIAL.

2.3 MISCELLANEOUS MATERIALS

- A. STEEL EDGING - SHALL BE 3/16" X 4" X 16" DARK GREEN LANDSCAPE EDGING. DURANIDE STEEL OR APPROVED EQUAL.
- B. TREE STAKING - TREE STAKING SOLUTIONS OR APPROVED SUBSTITUTE. REFER TO DETAILS.
- C. FILTER FABRIC - MIRAF 1405 BY MIRAF INC. OR APPROVED SUBSTITUTE. AVAILABLE AT LONE STAR PRODUCTS, INC. (409-553-0444).
- D. SAND - UNIFORMLY GRADED, WASHED, CLEAN, BANK RUN SAND.

- E. GRAVEL: WASHED NATIVE PEA GRAVEL, GRADED 1" TO 1 1/2".
- F. DECOMPOSED GRANITE - BASE MATERIAL OF NATURAL MATERIAL MIX OF GRANITE AGGREGATE NOT TO EXCEED 1/8" IN DIAMETER COMPOSED OF VARIOUS STAGES OF DECOMPOSED EARTH BASE.
- G. RIVER ROCK - LOCALLY AVAILABLE NATIVE RIVER ROCK BETWEEN 2"-4" IN DIAMETER.
- H. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDES THAT IS LABELED FOR THE SPECIFIC GRASSES AND LAWN TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURERS LABELED RATES.

PART 3 - EXECUTION

3.1 PREPARATION

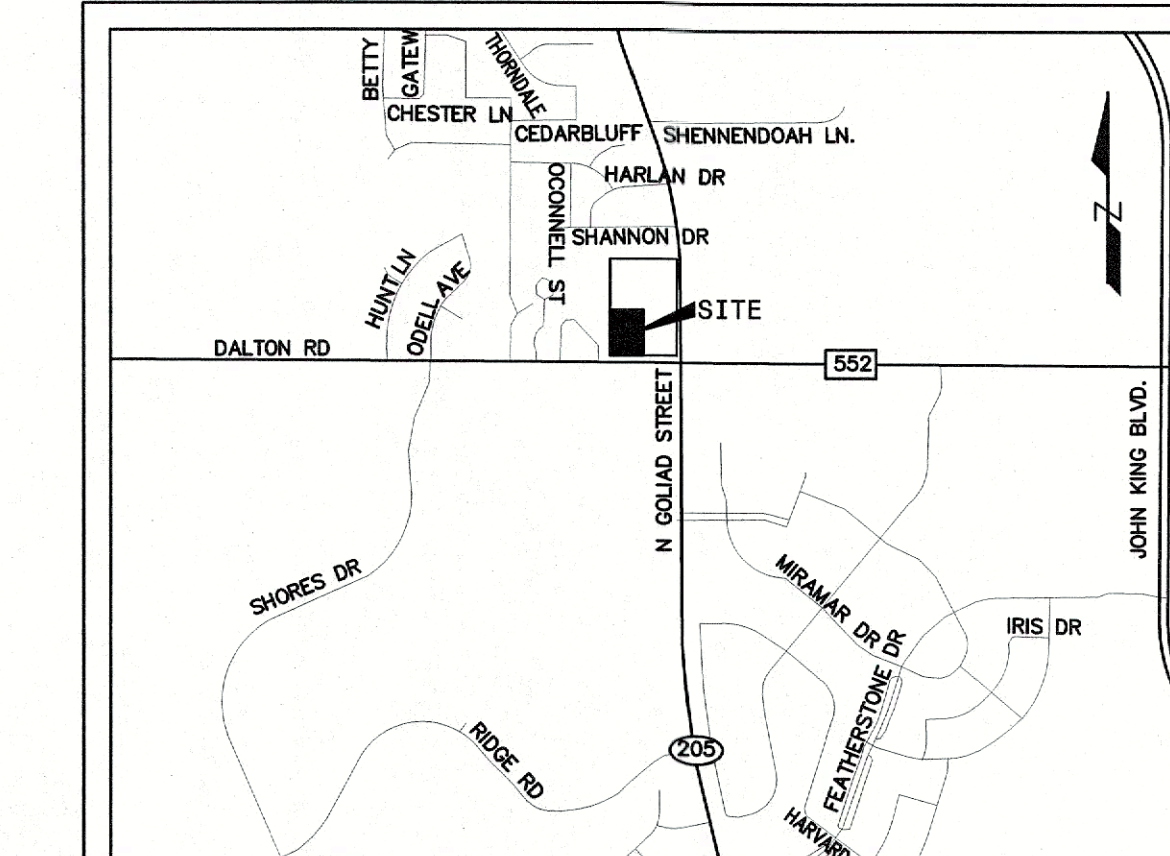
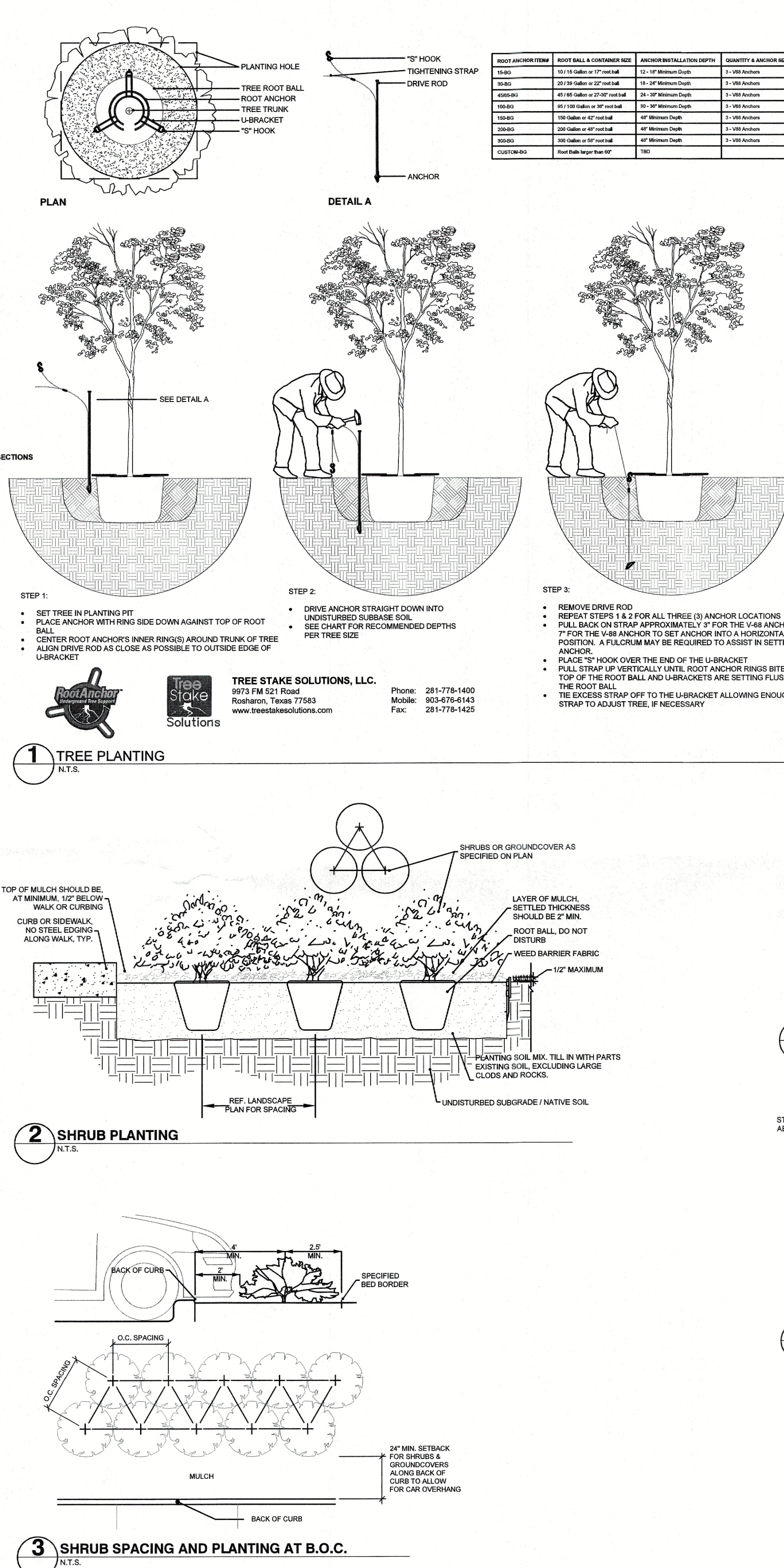
- A. LANDSCAPE CONTRACTOR TO INSPECT ALL EXISTING CONDITIONS AND REPORT ANY DEFICIENCIES TO THE OWNER.
- B. ALL PLANTING AREAS SHALL BE CONDITIONED AS FOLLOWS:
1. PREPARE NEW PLANTING BEDS BY SCRAPING AWAY EXISTING GRASS AND WEEDS AS NECESSARY. TILL EXISTING SOIL TO A DEPTH OF SIX (6") INCHES PRIOR TO PLACING COMPOST AND FERTILIZER. APPLY FERTILIZER AS PER MANUFACTURER'S RECOMMENDATIONS. ADD SIX (6") INCHES OF COMPOST AND TILL INTO A DEPTH OF SIX (6") INCHES OF SPECIFIED MULCH (SETTLED THICKNESS).
  2. BACKFILL FOR TREE PITS SHALL BE AS FOLLOWS: USE EXISTING TOP SOIL ON SITE (USE IMPORTED TOPSOIL AS NEEDED) FREE FROM LARGE CLUMPS, ROCKS, DEBRIS, CALCULI, SUBSOILS, ETC., PLACED IN NINE (9") INCH LAYERS AND WATERED IN THOROUGHLY.
- C. GRASS AREAS:
1. BLOCKS OF SOD SHOULD BE LAID JOINT TO JOINT (STAGGERED JOINTS) AFTER FERTILIZING THE GROUND FIRST. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE. JOINTS BETWEEN THE BLOCKS OF SOD SHOULD BE FILLED WITH TOPSOIL WHERE THEY ARE GAPPED OPEN, THEN WATERED THOROUGHLY.

3.2 INSTALLATION

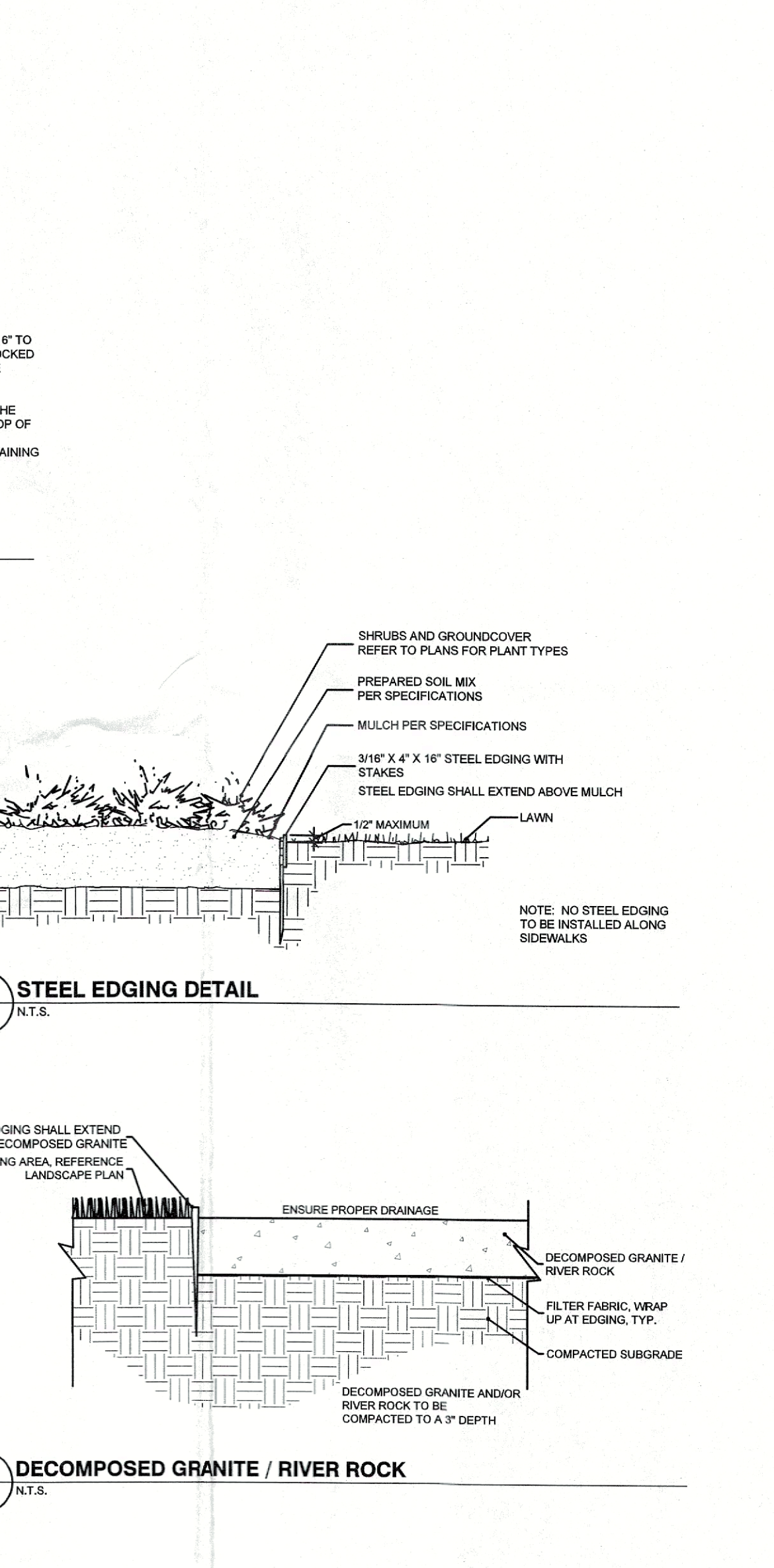
- A. MAINTENANCE OF PLANT MATERIALS SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS DELIVERED TO THE SITE AND SHALL CONTINUE UNTIL ALL CONSTRUCTION HAS BEEN SATISFACTORILY ACCOMPLISHED.
- B. PLANT MATERIALS SHALL BE DELIVERED TO THE SITE ONLY AFTER THE BEDS ARE PREPARED AND AREAS ARE READY FOR PLANTING. ALL SHIPMENTS OF NURSERY MATERIALS SHALL BE THOROUGHLY PROTECTED FROM THE WINDS DURING TRANSPORT. ALL PLANTS WHICH CANNOT BE PLANTED AT ONCE, AFTER DELIVERY TO THE SITE, SHALL BE WELL PROTECTED AGAINST THE POSSIBILITY OF DRYING BY WIND AND BALLS OF EARTH OF 8" & 8" PLANTS SHALL BE KEPT COVERED WITH SOIL OR OTHER ACCEPTABLE MATERIAL. ALL PLANTS REMAIN THE PROPERTY OF THE CONTRACTOR UNTIL FINAL ACCEPTANCE.
- C. POSITION THE TREES AND SHRUBS IN THEIR INTENDED LOCATION AS PER PLAN.
- D. NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL POSITIONING OF PLANT MATERIALS.
- E. EXCAVATE PITS WITH VERTICAL SIDES AND HORIZONTAL BOTTOM. TREE PITS SHALL BE LARGE ENOUGH TO PERMIT HANDLING AND PLANTING WITHOUT INJURY TO BALLS OF EARTH OR ROOTS AND SHALL BE OF SUCH DEPTH THAT WHEN PLANTED AND SETTLED, THE CROWN OF THE PLANT SHALL BEAR THE OUTER LEAF TIPS. PLANTS SHALL BE INDIVIDUALLY APPROVED BY THE OWNERS REPRESENTATIVE AND THEIR DECISION AS TO THEIR ACCEPTABILITY SHALL BE FINAL.
- F. SHRUB AND TREE PITS SHALL BE NO LESS THAN TWENTY-FOUR (24") INCHES WIDER THAN THE LATERAL DIMENSION OF THE EARTH BALL AND SIX (6") INCHES DEEPER THAN ITS VERTICAL DIMENSION. REMOVE AND HAIL FROM SITE ALL ROCKS AND STONES OVER THREE-QUARTER (3/4") INCH IN DIAMETER. PLANTS SHOULD BE THOROUGHLY MOIST BEFORE REMOVING CONTAINERS.
- G. PERCOLATION TEST: FILL THE HOLE WITH WATER. IF THE WATER LEVEL DOES NOT PERCOLATE WITHIN 24 HOURS, THE TREE NEEDS TO BE MOVED TO ANOTHER LOCATION OR HAVE A HOLE ADDED. INSTALL A PVC STAKE 1/8" PER TREE IF THE PERCOLATION TEST FAILS.
- H. BACKFILL WITH 1/2 PARTS EXISTING SOIL OR SANDY LOAM AND 1/2 PART BED PREPARATION. WHEN THE HOLE IS FULL IN SOLID ROCK, TOPSOIL FROM THE SAME AREA SHOULD NOT BE USED. CAREFULLY SETTLE BY WATERING AND TAMPING. THE LANDSCAPE CONTRACTOR AND REPLACED WITH THE BALL, AS WELL AS ALL NYLON, PLASTIC STRING AND WIRE. CONTAINER TREES WILL USUALLY BE ROOT BOUND, SO FOLLOW STANDARD NURSERY PRACTICE OF ROOT SCORING.
- I. DO NOT WRAP TREES.
- J. DO NOT UPEN TRUNK.
- K. REMOVE HURRY TAGS AND STAKES FROM ALL PLANTS.
- L. REMOVE BOTTOM OF PLANT BOXES PRIOR TO PLACING PLANTS. REMOVE SIDES AFTER PLACEMENT AND PARTIAL BACKFILLING.
- M. REMOVE UPPER THIRD OF BURLAP FROM BALLED AND BURLAPPED TREES AFTER PLACEMENT.
- N. PLACE PLANT UPRIGHT AND PLUMB IN CENTER OF HOLE. ORIENT PLANTS FOR BEST APPEARANCE.
- O. MULCH THE TOP OF THE BALL. DO NOT PLANT GRASS ALL THE WAY TO THE TRUNK OF THE TREE. LEAVE THE AREA ABOVE THE TOP OF THE BALL AND MULCH WITH AT LEAST TWO (2") INCHES OF SPECIFIED MULCH.
- P. ALL PLANT BEDS AND TREES TO BE MULCHED WITH A MINIMUM SETTLED THICKNESS OF TWO (2") INCHES OVER THE ENTIRE BED OR PIT.
- Q. OBSTRUCTION BELOW GROUND: IN THE EVENT THAT ROCK, OR UNDERGROUND CONSTRUCTION WORK OR OBSTRUCTIONS ARE ENCOUNTERED IN ANY PLANT PIT EXCAVATION WORK TO BE DONE UNDER THIS SECTION, ALTERNATE LOCATIONS MAY BE SELECTED BY THE OWNER. ALTERNATE LOCATIONS CANNOT BE SELECTED BY THE CONTRACTOR. ANY OBSTRUCTIONS CANNOT BE REMOVED TO A DEPTH OF NOT LESS THAN THREE (3") FEET BELOW GRADE AND NO LESS THAN SIX (6") INCHES BELOW THE BOTTOM OF BALL WHEN PLANT IS PROPERLY SET AT THE REQUIRED DEPTH. THE WORK OF THIS SECTION SHALL INCLUDE THE REMOVAL FROM THE SITE OF SUCH ROCK OR UNDERGROUND OBSTRUCTIONS ENCOUNTERED AT THE COST OF THE LANDSCAPE CONTRACTOR.
- R. TREES AND LARGE SHRUBS SHALL BE STAKED AS SITE CONDITIONS REQUIRE. STAKE TO SECURE TREES AGAINST SEASONAL PREVAILING WINDS.
- S. PRUNING AND MULCHING: PRUNING SHALL BE DIRECTED BY THE LANDSCAPE ARCHITECT AND SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE, FOLLOWING FINE PRUNING, CLASS I PRUNING STANDARDS PROVIDED BY THE NATIONAL ARBORIST ASSOCIATION.
- T. DEAD WOOD, SUCKERS, BROKEN AND SALLY BRUISED BRANCHES SHALL BE REMOVED. GENERAL TIPPING OF THE BRANCHES IS NOT PERMITTED. DO NOT CUT TERMINAL BRANCHES.
- U. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
- V. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREES AND SHRUBS SHALL BE COVERED WITH A LAYER OF ORGANIC MATERIAL TWO (2") INCHES IN DEPTH. THIS LIMIT OF THE ORGANIC MATERIAL FOR TREES SHALL BE THE DIAMETER OF THE PLANT PIT.

3.3 CLEANUP AND ACCEPTANCE

- A. CLEANUP: DURING THE WORK, THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES. STORAGE AREAS FOR ALL MATERIAL SHALL BE SO ORGANIZED SO THAT THEY, TOO, ARE NEAT AND ORDERLY. ALL TRASH AND DEBRIS SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. KEEP PAVED AREAS CLEAN BY SWEEPING OR HOSEING THEM AT END OF WORK DAY.
- B. REPAIR RUTS, HOLES AND SCARS IN GROUND SURFACES.
- C. ENSURE THAT WORK IS COMPLETE AND PLANT MATERIALS ARE IN VIGOROUS AND HEALTHY GROWING CONDITION.
- D. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTANCE.
- E. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNERS SATISFACTION WITHIN 24 HOURS.
- F. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN REINSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.



LOCATION MAP  
N.T.S.



5. DECOMPOSED GRANITE / RIVER ROCK  
N.T.S.

APPROVED:  
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS  
APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF February, 2023.

WITNESS OUR HANDS, THIS 14 DAY OF February, 2023.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

LANDSCAPE SPECIFICATIONS  
AND DETAILS  
EVERBROOK ACADEMY-ROCKWALL  
LOT 7, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX  
1.354 ACRES  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
FEBRUARY 9, 2023  
CASE #SP2023-003

OWNER:  
ROCKWALL 205-552 LLC  
4622 MAPLE AVE., SUITE 200  
DALLAS, TX 75219  
PHONE: 214-393-3983  
CONTACT: DONALD SILVERMAN

ENGINEER:  
VASQUEZ ENGINEERING, L.L.C.  
1919 S. SHILOH ROAD, SUITE 440  
GARLAND, TEXAS 75042  
PHONE: 972-272-4810  
CONTACT: JUAN J. VASQUEZ, P.E.

DEVELOPER:  
LEARNING CARE GROUP  
21333 HAGGERTY RD  
NOVI, MICHIGAN 48375  
PHONE: 407-314-8432  
CONTACT: WESLEY ARNOLD

**VASQUEZ ENGINEERING, L.L.C.**  
1919 S. Shiloh Road  
Suite 440, LB 44  
Garland, Texas 75042  
Ph: 972-278-2948  
TX Registration # F-12266

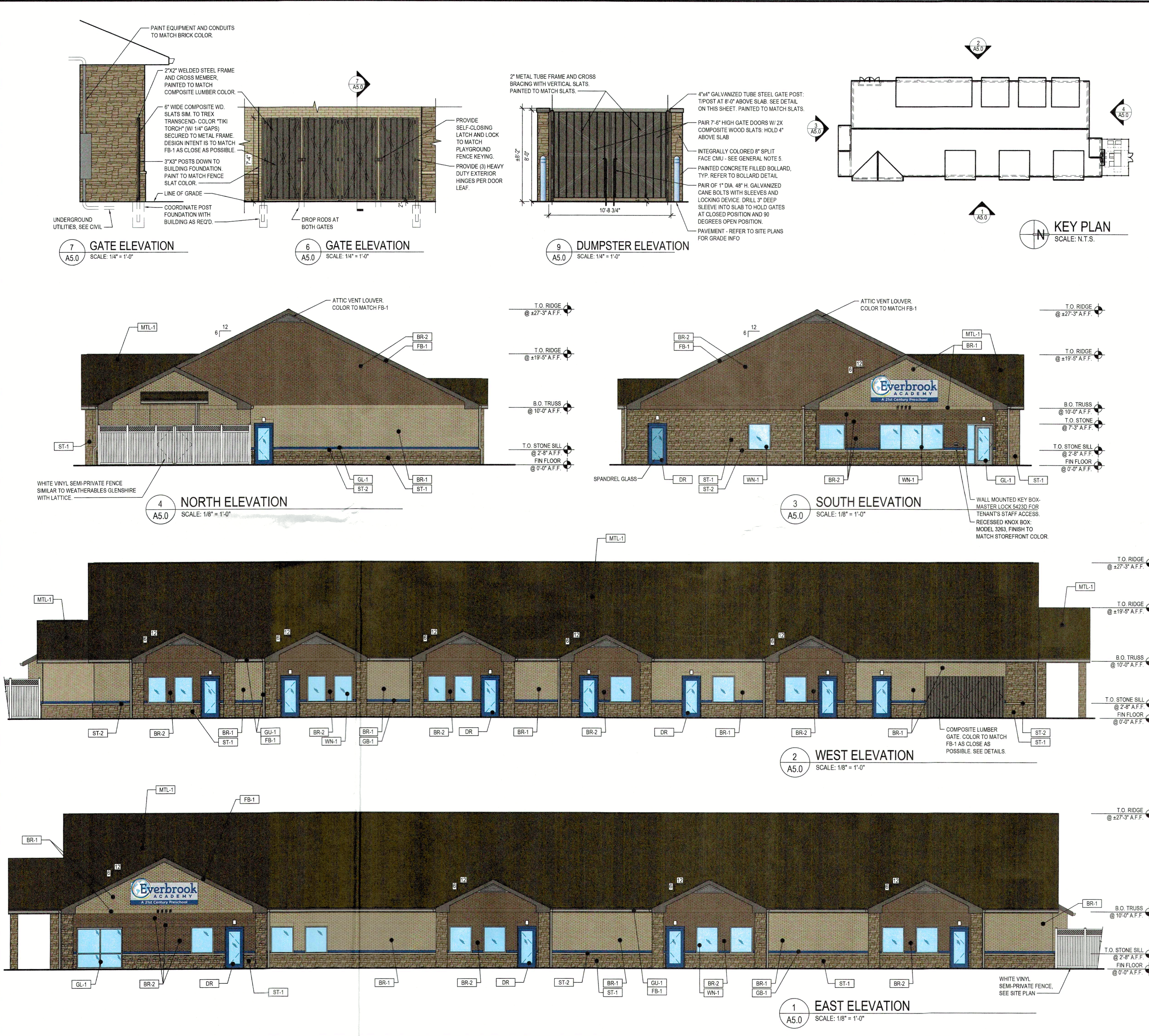
**DEVELOPER:**  
LEARNING CARE GROUP  
21333 HAGGERTY RD  
NOVI, MI 48375

**LANDSCAPE SPECIFICATIONS AND DETAILS**  
EVERBROOK ACADEMY - ROCKWALL  
LOT 7, BLOCK A  
DALTON GOLIAD ADDITION  
CITY OF ROCKWALL, TX

Scale: 1" = 20'  
Designed by: JUV  
Drawn by: DFS  
Checked by: JUV  
715-910-DWGSP/LEARNING CARE.Gwg  
Date: 02/09/2023

SHEET  
**L1.2**





EXTERIOR ELEVATIONS GENERAL NOTES	
1.	ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT.
2.	NOT USED
3.	ALL MATERIALS SHALL BE INSTALLED AS PER MFR'S RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINERY AT DISSIMILAR MATERIALS.
4.	PROVIDE BLOCKING IN FACADE TO SUPPORT ALL BUILDING SIGNAGE.
5.	REFER TO ELECTRICAL DRAWINGS FOR LIGHTING INFORMATION.
6.	GC SHALL PAINT ANY EXPOSED PIPES, CONDUITS, OR UTILITY BOXES THAT ARE VISIBLE FROM THE SITE TO MATCH ADJACENT BUILDING EXTERIOR FINISH.

EXTERIOR FINISH LEGEND	
TAG	DESCRIPTION
BR-1	BRICK: BELDEN, DUTCH GRAY VELOUR 21-31 OR APPROVED SIMILAR
BR-2	BRICK: BELDEN, 671 VELOUR OR APPROVED SIMILAR
FB-1	FASCIA BOARD: HARDIE, COLOR: AGED PEWTER
GB-1	GLAZED BRICK: COLOR EGGPLANT GLAZE, GLOSSY FINISH, BY BELDEN BRICK COMPANY OR APPROVED SIMILAR.
GL-1	STOREFRONT GLAZING: COLOR: CLEAR
GU-1	PRE FINISHED ALUM GUTTER AND DOWNSPOUTS, COLOR TO MATCH PAD-CLAD COLOR GRANITE
MTL-1	STANDING SEAM METAL ROOF PRE-FINISH COLOR TO MATCH PAC-CLAD COLOR AGED BRONZE
PM-1	PRE FINISHED METAL TRIM AND FLASHING: COLOR TO MATCH ADJACENT FINISH AS CLOSE AS POSSIBLE, U.N.O.
SFT	VENTED VINYL SOFFIT: STANDARD COLOR TO MATCH BUILDING FASCIA BD. (FB-1) AS CLOSE AS POSSIBLE
ST-1	STONE: SOUTHERN NATURAL STONE, ANCHORED BUILDER, COLOR: DARK COCOA
ST-2	CAST STONE SILL: SMOOTH FINISH, (SAND TONE)
WN-1	VINYL WINDOWS: COLOR ALMOND
WN-2	STOREFRONT: CLEAR ANODIZED ALUMINUM
DR	PAINT EXTERIOR FACE OF EXTERIOR H.M. DOORS COLOR: TO MATCH THE GLAZED BRICK (PURPLE TONE) PAINT INTERIOR FACE OF EXTERIOR H.M. DOORS AND FRAMES COLOR: TO MATCH SW 7531 CANVAS TAN

	S.F.	Required S.F.	Provided S.F.	Percentage
<b>EAST ELEVATION</b>				
Overall Façade Area	2,032			
Masonry Area	-	1,829	1,998	98%
Stone Area	-	406	611	30%
<b>WEST ELEVATION</b>				
Overall Façade Area	1,901			
Masonry Area	-	1,711	1,888	99%
Stone Area	-	380	612	32%
<b>SOUTH ELEVATION</b>				
Overall Façade Area	1,236			
Masonry Area	-	1,112	1,221	99%
Stone Area	-	247	458	37%
<b>NORTH ELEVATION</b>				
Overall Façade Area	1,236			
Masonry Area	-	1,112	1,224	99%
Stone Area	-	247	209	17%
<b>TOTAL BUILDING</b>				
Overall Façade Area	6,405			
Masonry Area	-	5,765	6,331	99%
Stone Area	-	1,281	1,890	30%

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I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE 14 DAY OF February, 2023.  
WITNESS OUT HANDS, THIS 14 DAY OF February, 2023

*[Signature]*  
PLANNING & ZONING COMMISSION, CHAIRMAN

*[Signature]*  
DIRECTOR OF PLANNING AND ZONING

SITE PLAN  
EVERBROOK ACADEMY-ROCKWALL  
LOT 7, BLOCK A  
DALTON GOLIAD ADDITION  
1.354 ACRES  
ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 20, 2023  
CASE #SP2023-003

EVERBROOK ACADEMY-ROCKWALL

LOT 7, BLOCK A - DALTON RD.

ROCKWALL, TX

REVISIONS

#	DATE	TYPE
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EXTERIOR ELEVATIONS

DATE 01/20/2023

JOB NO. 22247

A5.0

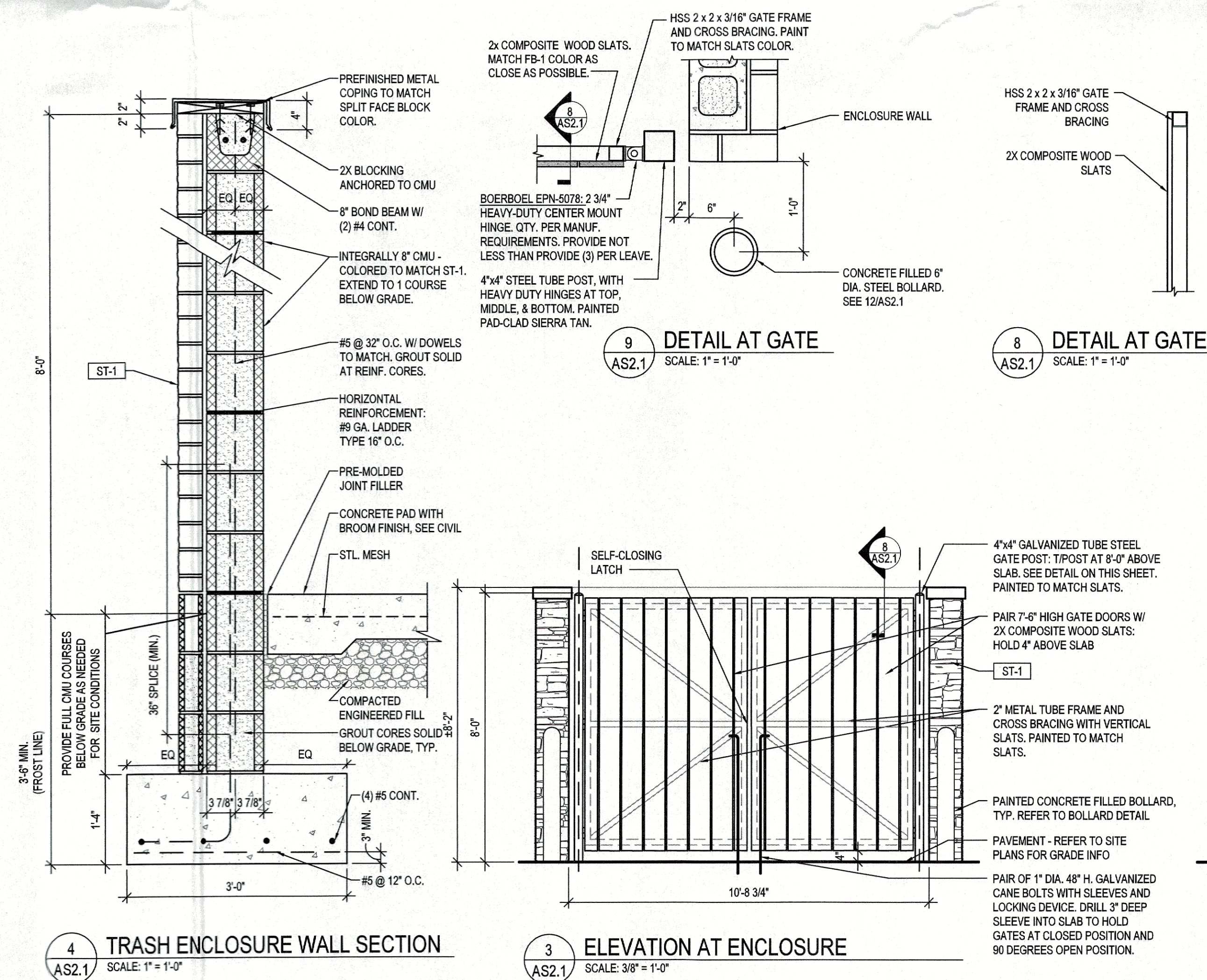
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ADA ARCHITECTS

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Lakewood, Ohio 44107  
Phone (216) 521-5134  
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www.adaarchitects.com

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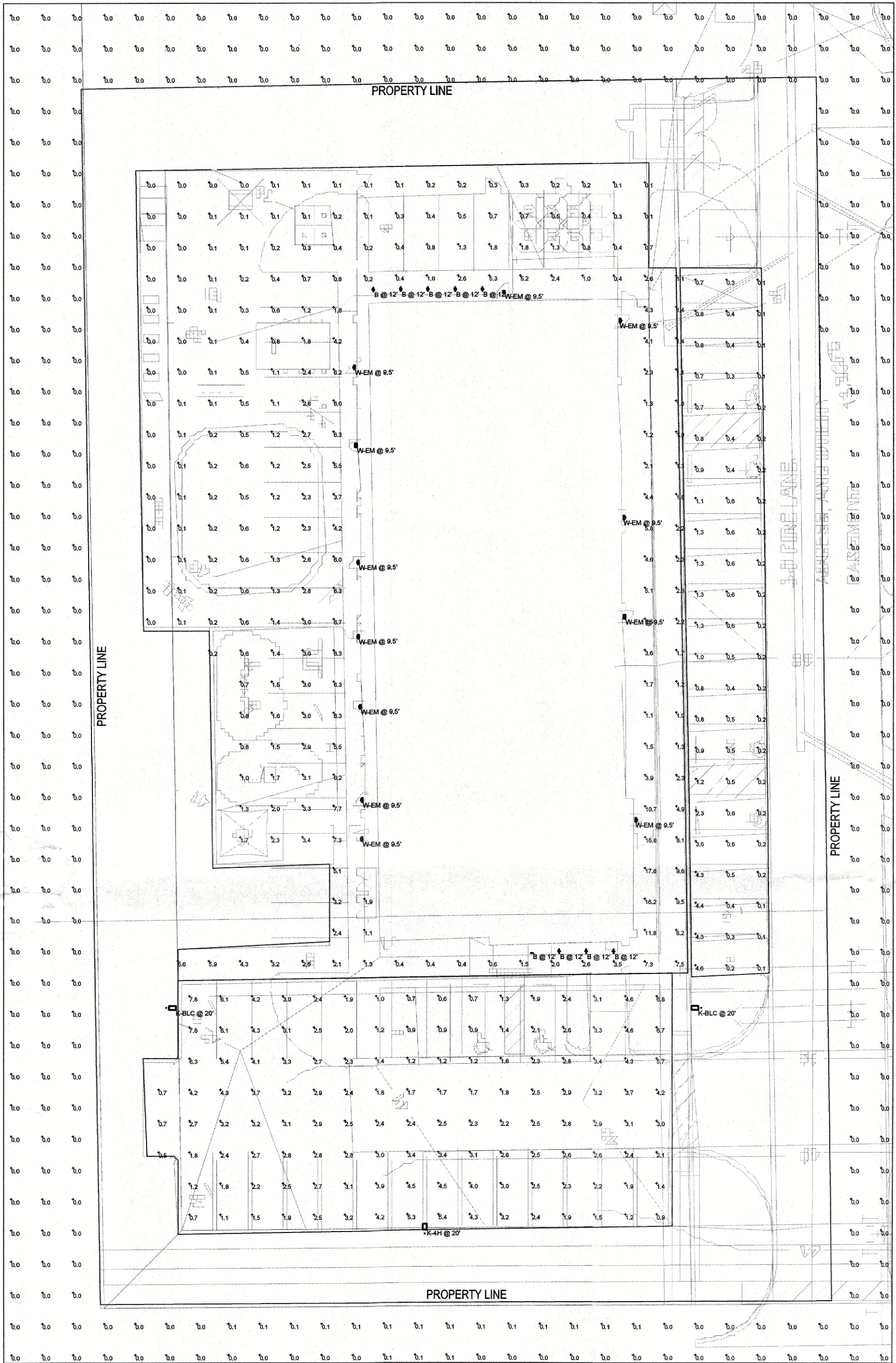


Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Pedestrian Walkways and Fenced Area	2.0 fc	17.6 fc	0.0 fc	N/A	N/A
Plan East Row Parking @ 0" AFF	0.8 fc	4.6 fc	0.1 fc	46.0:1	8.0:1
Plan South Parking lot @ 0" AFF	2.8 fc	7.8 fc	0.5 fc	15.6:1	5.6:1
Property Boundary @ 0" AFF	0.0 fc	0.1 fc	0.0 fc	N/A	N/A

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Lamp	Filename	Lumens Per Lamp	Light Loss Factor	Description	Wattage
○	B	9	SIGNIFY LIGHTING - LIGHTOLIER	P6RDL10835CLZ10U	LED	P6RDL30835CLZ10U.jes	3257	0.567	LYTEPROFILE 6 INCH ROUND - File derated for 2000 lumens and 0.85 LLF	30.3
□	K-4H	1	SIGNIFY GARDCO	ECF-S-48L-1A-NW-G2-4-HIS	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 1050mA	ECF-S-48L-1A-NW-G2-4-HIS.jes	14912	0.85	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE 4-HIS OPTIC, House-side Internal Shielding	158.7
□	K-BLC	2	PHILIPS GARDCO	ECF-S-48L-1A-NW-G2-BLC	(3) LEDGINE SLD LIGHT ARRAY(S) DRIVEN AT 1050mA	ECF-S-48L-1A-NW-G2-BLC.jes	14544	0.85	EcoForm Area LED ECF - Small, 48 LED's, 4000K CCT, TYPE BLC OPTIC.	156.3489
□	W-EM	12	Barron Lighting Group	WLZ4-4-K	12 white LEDs with optics attached to each	WLZ4-4-K (1).IES	4288	0.85	Formed black metal housing	41.0529

SITE SUMMARY TABLE

Site Address	DALTON ROAD		
County	ROCKWALL		
Project Name	LEARNING CARE CENTER		
Zoning District	GR W/N. SH 205 OVERLAY DISTRICT		
Proposed use	CHILD CARE CENTER		
Site Area:	1.354 Acres	58,974 S.F.	
Building Area	11,109 S.F.		
Building Height:	1 Story		
Lot Coverage:	11,109 / 58,974 = 18.83%		
Floor Area Ratio:	11,109 S.F. / 58,974 = 1:18.83		
Parking Required Building:	11,109 S.F.		
Total Parking Required:	CHILD CARE CENTER (1 SPCS/300 SF)	= 37 SPACES	
Parking Provided:	REGULAR	= 37 SPACES	
	ACCESSIBLE	= 2 SPACES	
	TOTAL	= 39 SPACES	
Impervious Area:	45,750 S.F.		
Impervious Area Ratio:	45,750 S.F. / 58,974 = 77.58%		
Pervious Area Ratio:	13,224 S.F. / 58,974 = 22.42%		



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WITNESS OUT HANDS, THIS 14 DAY OF February 2023  
  
[Signature]  
PLANNING & ZONING COMMISSION, CHAIRMAN  
  
[Signature]  
DIRECTOR OF PLANNING AND ZONING

DRAWN BY: JTK CHECKED BY: RAS  
  
25760 First Street  
Cleveland, OH 44145  
P 440 871 2410  
F 440 871 7954  
tesengineering.com  
  
T/E/S  
ENGINEERING  
  
SITE PLAN  
EVERBROOK ACADEMY-ROCKWALL  
LOT 7, BLOCK A  
DALTON GOLIAD ADDITION  
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ROCKWALL, ROCKWALL COUNTY, TEXAS  
JANUARY 20, 2023  
CASE #SP2023-XXX

ADA  
ARCHITECTS

17710 Dalton Avenue  
Rockwall, TX 75087  
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www.adaarchitects.com

EVERBROOK ACADEMY- ROCKWALL

12 K PROTOTYPE MODEL

ROCKWALL, TX

DALTON RD.

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REVISIONS

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PHOTOMETRIC  
PLAN

DATE 01/20/2023

JOB NO. 22247

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SHEET NO.