

3 BALCONY / RETAINING WALL GUARD RAIL
SCALE: N.T.S.

2 TYPICAL PARALLEL PARKING DIMENSIONS
SCALE: N.T.S.

1 TYPICAL GARAGE PARKING DIMENSIONS
SCALE: N.T.S.

SITE PLAN
NORTH

SCALE 1" = 30'-0"



VICINITY MAP
NORTH
SCALE: N.T.S.



SITE MAP
NORTH
SCALE: N.T.S.

PROJECT DATA

SITE AREA:
3.3 ACRES (143,748 SF)

GROSS BUILDING SQUARE FOOTAGE:
347,143 SF

LAND USE:
COMMERCIAL

BUILDING INFORMATION
ONE (1) THREE/FOUR STORY BUILDING

SQUARE FOOTAGE:
347,313 GSF
156,593 NRSF

UNIT INFORMATION
AVG. UNIT SIZE:
890 SF

1 BEDRM UNIT TOTAL: 108 UNITS
2 BEDRM UNIT TOTAL: 60 UNITS
3 BEDRM UNIT TOTAL: 8 UNITS
TOTAL UNITS: 176 UNITS

PARKING INFORMATION
305 PARKING SPACES PROVIDED @ 1.7 SPACES / UNIT

7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THOROUGH EACH PARKING LEVEL

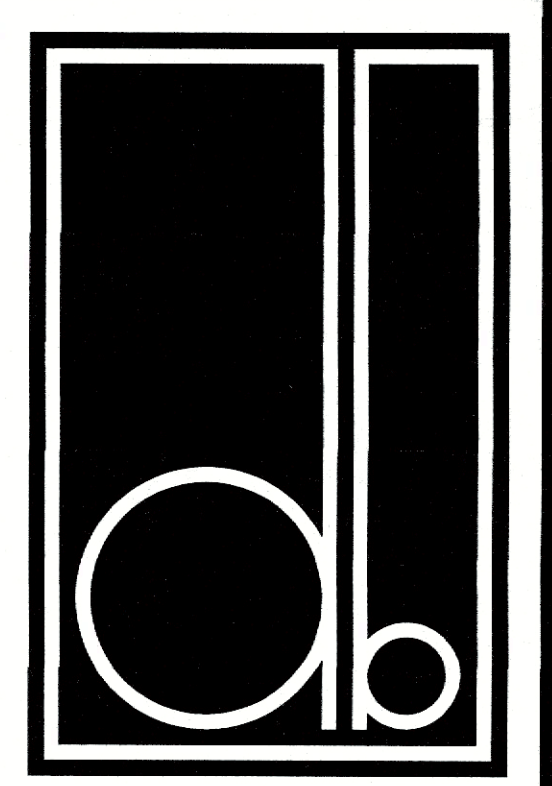
SITE REQUIRES REPLATTING. LINES SHOWN AS FOLLOWS

--- CURRENT PLATS
- - - FUTURE PLAT
- - - ENGINEERED RETAINING WALL (stone faced w/fence above)
- - - PATIOS / ACCESS ROUTE
- - - GUARDRAILS

BENCH POTS PLANTERS
 TRASH RECEPTACLES

PAVING INFORMATION

STREET: 6" 3600 PSI CONCRETE W/#4 @ 18" OCEW
DRIVES: 6" 3600 PSI CONCRETE W/#3 @ 24" OCEW
SIDEWALK: 4" 3000 PSI CONCRETE W/#3 @ 24" OCEW



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
SUITE 607H
ROCKWALL, TX 75032
214.668.2306

OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
**2.1
SITE PLAN**

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of March, 2023.

WITNESS OUR HAND, this 14 day of March, 2023.

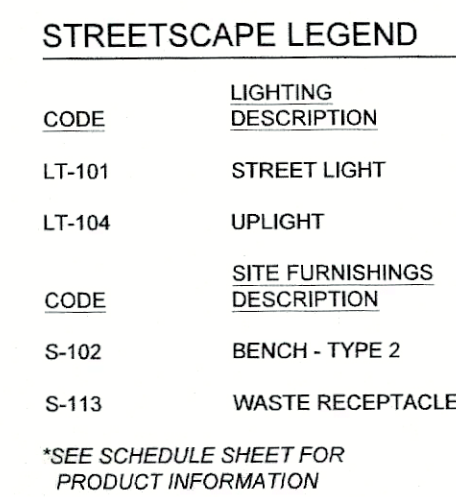
PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

CASE NUMBER:
SP2023-008


NOTES:

1. FOR INFORMATION REGARDING MATERIALITY, SEE MATERIALS SCHEDULE AND PLANS: L100 - L112
2. FOR INFORMATION REGARDING STREET TREES, SEE PLANTING SCHEDULE AND PLANS: L100, L210, L220
3. FOR INFORMATION REGARDING LIGHTING, SEE LIGHTING SCHEDULE AND PLANS: L100, L410

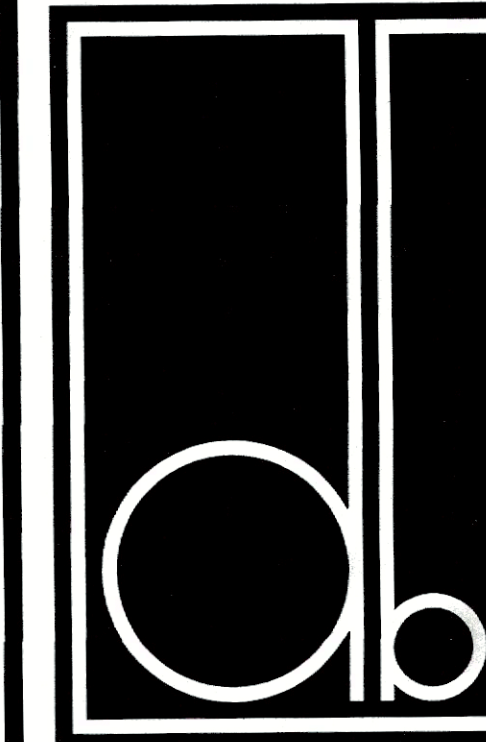


SCALE: 1"=20'

NORTH



0 10' 20' 40'



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HARBOR
RESIDENCES:

2550 PINNACLE WAY

DATE ISSUED:

03/07/2023

SHEET NUMBER AND TITLE:

L310

STREETSCAPE PLAN

hereby certify that the above and foregoing sit eplan for a decelopment in the City of Rockwall, Texas, was approved by the Planning & Zanning Commission of the City of Rockwall on the 14 day of March, 2023.

WITNESS OUR HAND, this 14 day of March, 2023.

PLANNING DIRECTOR'S
SIGNATURE:
















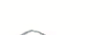










CASE NUMBER:

SP2023-008

FENCE AND RAILING									
CODE	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL	COLOR	FINISH	SIZE	REMARKS	
F-101	FENCE - TYPE 1	-	-	-	-	-	-	-	
F-102	FENCE - TYPE 2	AMERISTAR	MONTAGE MAJESTIC	RE: MANUFACTURER	BLACK	RE: MANUFACTURER	4" HT	48" HIGH, VERTICAL MEMBERS SPACED AT 4"	
F-103	GATE - TYPE 1	-	-	-	-	-	-	-	UNIT FENCE TO MATCH BALCONIES. SEE ARCH PLANS
F-104	GATE - TYPE 2	AMERISTAR	MONTAGE MAJESTIC GATE	RE: MANUFACTURER	BLACK	RE: MANUFACTURER	4' HT	-	POOL, PET, PLAY OPTION
									GATE TO MATCH ARCHITECTURAL BALCONY FENCE, SEE ARCH PLANS
									POOL, PET, PLAY OPTION
OUTDOOR KITCHEN									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	MOUNT	REMARKS
K-101	KITCHEN COUNTER WALL	TECHO-BLOC	TRAVERTINA RAW	-	-	-	-	-	-
K-102	KITCHEN COUNTER	DEKTON	-	-	-	-	-	-	-
K-103	GAS GRILL	-	-	-	-	-	-	-	-
LANDSCAPE									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	COLOR	MATERIAL	MIX	REMARKS	
L-101	MULCH - TYPE 1	-	SHREDDED HARDWOOD MULCH	-	NATURAL	-	-	-	
L-102	MULCH - TYPE 2	-	DECORATIVE ROCK MULCH	3-5"	-	-	-	-	
L-103	MULCH - TYPE 3	-	MEXICAN BEACH PEBBLE	-	-	-	-	-	
PAVING									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	PATTERN / JOINT	REMARKS
P-101	CONCRETE - TYPE 1	-	-	-	-	STANDARD GREY	BROOM	-	-
P-102	CONCRETE - TYPE 2	DAVIS CONCRETE COLORS	-	-	INTEGRALLY COLORED CONCRETE	SANDSTONE + SAN DIEGO BUFF	SMOOTH	-	-
P-103	CONCRETE - TYPE 3	DAVIS CONCRETE COLORS	-	-	INTEGRALLY COLORED CONCRETE	SANDSTONE + SAN DIEGO BUFF	SMOOTH	-	SEE MATERIAL PLANS.
P-104	PAVERS - TYPE 1	WAUSAU	FRONTIER	12" X 24" X 2"	CONCRETE	HFT-85/SRI 41 + HFT 25/SRI 53	-	-	SEE MATERIAL PLANS.
P-105	PAVERS - TYPE 2	TECHO-BLOC	INDUSTRIA SMOOTH	900 X 600	CONCRETE	BEIGE CREAM + CHESTNUS BROWN	HD SMOOTH	-	SEE MATERIAL PLANS.
P-106	ARTIFICIAL TURF	SYNLAWN	SYNAUGUSTINE X47	1 5/8" PILE HEIGHT	-	FIELD GREEN / OLIVE / APPLE	100 OZ. WEIGHT	-	SEE MATERIAL PLANS.
									PROVIDE SAND INFILL MIX, DEPTH PER MANUFACTURER'S RECOMMENDATIONS
POOL									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	REMARKS	
L-101	POOL COPING	TECHO-BLOC	BULLNOSE GRANDE	12" X 5"	-	BEIGE CREAM	-	-	-
L-102	SUN SHELF	-	-	-	-	-	-	-	-
L-103	SEAT LEDGE	-	-	-	-	-	-	-	-
L-104	ENTRY STAIRS	-	-	-	-	-	-	-	-
L-105	POOL BUBBLER	-	-	-	-	-	-	-	-
SITE FURNISHINGS									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	MOUNT	REMARKS
I-101	BENCH - TYPE 1	LANDSCAPE FORMS	NEOLUVIANO	27" X 88" X 31"	DSTMA & ALUMINUM	RE: MANUFACTURER	RE: MANUFACTURER	RE: MANUFACTURER	-
I-102	BENCH - TYPE 2	SCARBOROUGH	BACKED	28" X 72" X 34"	RE: MANUFACTURER	RAL #7003 MOSS GREY	RE: MANUFACTURER	RE: MANUFACTURER	-
I-103	PLANTER POT - TYPE 1	QCP	QR-CO23733P	37" X 33" X 19"	CONCRETE	LATTE	RE: MANUFACTURER	RE: MANUFACTURER	-
I-104	PLANTER POT - TYPE 2	QCP	QR-CO23733P	27" X 24" X 13.5"	CONCRETE	QUAIL HILL RED	RE: MANUFACTURER	RE: MANUFACTURER	-
I-105	BIKE RACK	FORMS+SURFACES	TRIO BIKE RACK	RE: MANUFACTURER	ALUMINUM	-	POWDERCOAT	-	-
I-106	PET WASTE RECEPTACLE	DOG-ON-IT	COMPLETE DOG WASTE STATION #7408S	10 GALLON ROUND	POWDERCOATED STAINLESS STEEL	GREEN	-	-	-
I-107	WATER FOUNTAIN & PET BOWL	-	-	-	-	-	-	-	-
I-108	DRINK RAIL	LANDSCAPE FORMS	JESSE DRINK RAIL	FOUR 4" UNITS WITH END-CAPS	RE: MANUFACTURER	-	POWDERCOAT	-	-
I-109	CABANA	TUCCI	SOLANOX	8' X 8'	NATURAL ALUMA-TEAK	SANDBAR	POWDERCOAT	-	-
I-110	WASTE RECEPTACLE	LANDSCAPE FORMS	SCARBOROUGH - SIDE OPEN	25" X 40" (30 GAL)	METAL	RAL #7003 MOSS GREY	RE: MANUFACTURER	-	-
WALLS AND STAIRS									
DE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	SIZE	HEIGHT	REMARKS		
O-101	WOOD BENCH	-	-	WOOD	SEE PLAN	18"	CUSTOM BENCH - SEE DETAILS		
O-102	CURB-STEP	-	-	-	SEE PLAN	VARIES	LIMESTONE BLOCK STEP, OR SIMILAR.		
O-103	STAIR - TYPE 1	-	-	SMOOTH	SEE PLAN	-	COLOR TO MATCH INTEGRALLY COLORED CONCRETE		
O-104	PLANTER WALL - TYPE 1	-	-	-	SEE PLAN	VARIES	LIMESTONE CLAD CONCRETE WALL, OR SIMILAR		
O-105	PLANTER WALL - TYPE 2	-	-	BROOMED	SEE PLAN	18"	CONCRETE PLANTER BED WALL		
O-106	FEATURE WALL WITH FIREPLACE	-	-	-	SEE PLAN	-	CUSTOM FIRE FEATURE OR SPECIFIED PRODUCT		
O-107	FLUSH CONCRETE CURB	-	-	-	SEE PLAN	-	COLOR TO MATCH STANDARD CONCRETE		

Calculation Summary						
Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	1.14	6.1	0.1	11.40
GLEN HILL WAY		Fc	1.27	5.9	0.0	N.A.
HORIZON ROAD		Fc	0.85	4.3	0.0	N.A.
PARKING - DRIVE		Fc	1.65	3.0	0.4	4.13
PINNACLE WAY		Fc	1.30	4.0	0.0	N.A.
SUMMER LEE DRIVE		Fc	1.13	3.4	0.1	11.30

TREES

CODE	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	QTY	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	
AR	Acer rubrum 'October Glory'	October Glory Red Maple	CONT.	4" CAL	6		AGG	Abelia x grandiflora 'Glossy Abelia	Glossy Abelia	5 GAL		24		AEC	Aspidistra elatior	Cast Iron Plant	3 GAL		111	
CI	Carya illinoensis	Pecan	CONT.	4" CAL	3		AGK	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Glossy Abelia	5 GAL		39		DAS	Dichondra argentea	Silver Dichondra	1 GAL		36	
CT	Cercis canadensis texensis 'Texas White'	Texas White Redbud	CONT.	4" HEIGHT MIN.	2		HQO	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	5 GAL		11		EPM	Echinacea purpurea 'Magnus'	Purple Coneflower	1 GAL		124	
CL	Chilopsis linearis	Desert Willow	CONT.	4" HEIGHT MIN.	19		ICB	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 GAL		21		MDB	Monarda didyma	Bee Balm	1 GAL		52	
ID	Ilex decidua	Possumhaw Holly	CONT.	4" HEIGHT MIN.	4		IVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	5 GAL		254		NRW	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	3 GAL		122	
ML	Magnolia grandiflora 'Little Gem'	Little Gem Dwarf Southern Magnolia	CONT.	4" CAL	10		LFS	Leucophyllum frutescens	Texas Sage	5 GAL		28		PBR	Penstemon baccharifolius	Rock Penstemon	1 GAL		41	
QB	Quercus buckleyi	Texas Red Oak	CONT.	4" CAL	10		MPW	Myrica pumila	Dwarf Wax Myrtle	5 GAL		13		SGS	Salvia greggii	Autumn Sage	1 GAL		28	
RL	Rhus lanceolata	Flameleaf Sumac	CONT.	4" HEIGHT MIN.	4		PMM	Podocarpus macrophyllus 'Maki'	Maki Yew Podocarpus	5 GAL		27		YFC	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	3 GAL		64	
TD	Taxodium distichum	Bald Cypress	CONT.	4" CAL	1		PLO	Pollomlintha longiflora	Mexican Oregano	5 GAL		36		YGT	Yucca gloriosa tristis	Curveleaf Spanish Dagger	3 GAL		14	
UC	Ulmus crassifolia	Cedar Elm	CONT.	4" CAL	8		ROR	Rosmarinus officinalis	Rosemary	5 GAL		104		YPP	Yucca pallida	Pale-leaf Yucca	3 GAL		34	
						ORNAMENTAL GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	SPACING	REMARKS
							LMB	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 GAL		293		CTS-Q	Carex texensis	Texas Sedge	4" POTS	12" O.C.	12" o.c.	
							NTF	Nassella tenuissima	Mexican Feather Grass	1 GAL		276		TURF	Stenotaphrum secundatum	St. Augustine Grass	SOD			
							SSS	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	SOD		273								



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2550 PINNACLE WAY

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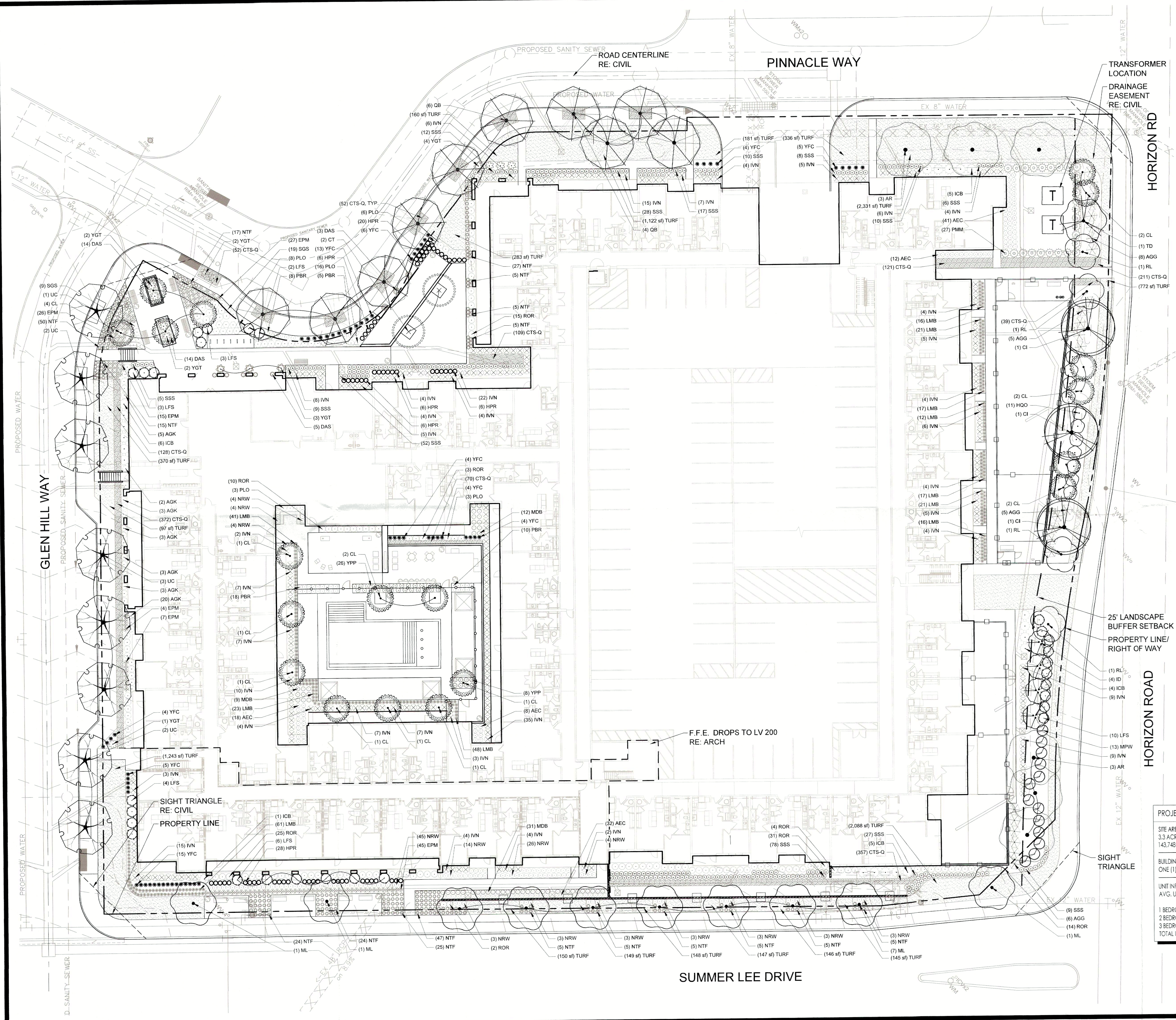
L100

SCHEDULES

PLANNING AND ZONING
CHAIRMAN SIGNATURE:

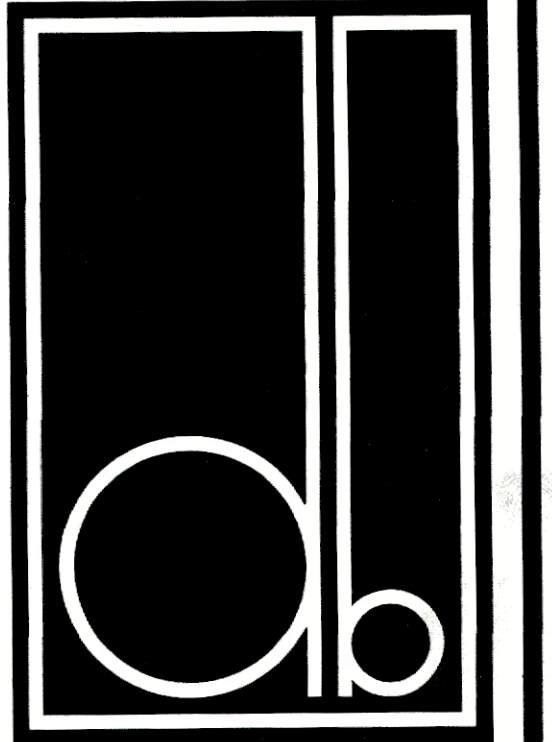
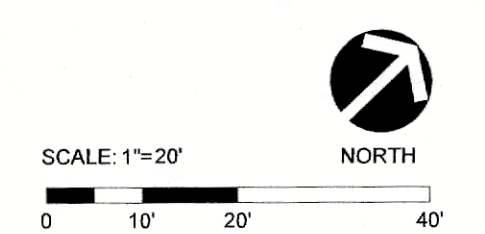
PLANNING DIRECTOR'S
SIGNATURE:

SP2023-008



- NOTES:**
- IRRIGATION WILL MEET ALL REQUIREMENTS OF THE ROCKWALL, TX UDC
 - ALL TREES SHALL BE PLANTED WITH ROOT PROTECTION PER CITY REQUIREMENTS
 - TREES SHALL NOT BE PLACED CLOSER THAN 5' TO UTILITY LINES
 - FOR DETAILED PLANT SPECIES INFORMATION SEE PLANTING SCHEDULE: L-100

PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/IMPERVIOUS FOR PD-022 HARBOR DISTRICT	
SITE AREA: 3.3 ACRES	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%)	LANDSCAPE AREA PROVIDED: .85 ACRES (25%)
BUILDING INFORMATION: ONE (1) THREE/FOUR STORY BUILDING		SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF	
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF.		PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
1 BEDROOM UNIT TOTAL: 108 2 BEDROOM UNIT TOTAL: 60 3 BEDROOM UNIT TOTAL: 8 TOTAL UNITS: 176 UNITS		7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL	



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HARBOR RESIDENCES:

2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
L120
LANDSCAPE PLAN - PLANTING

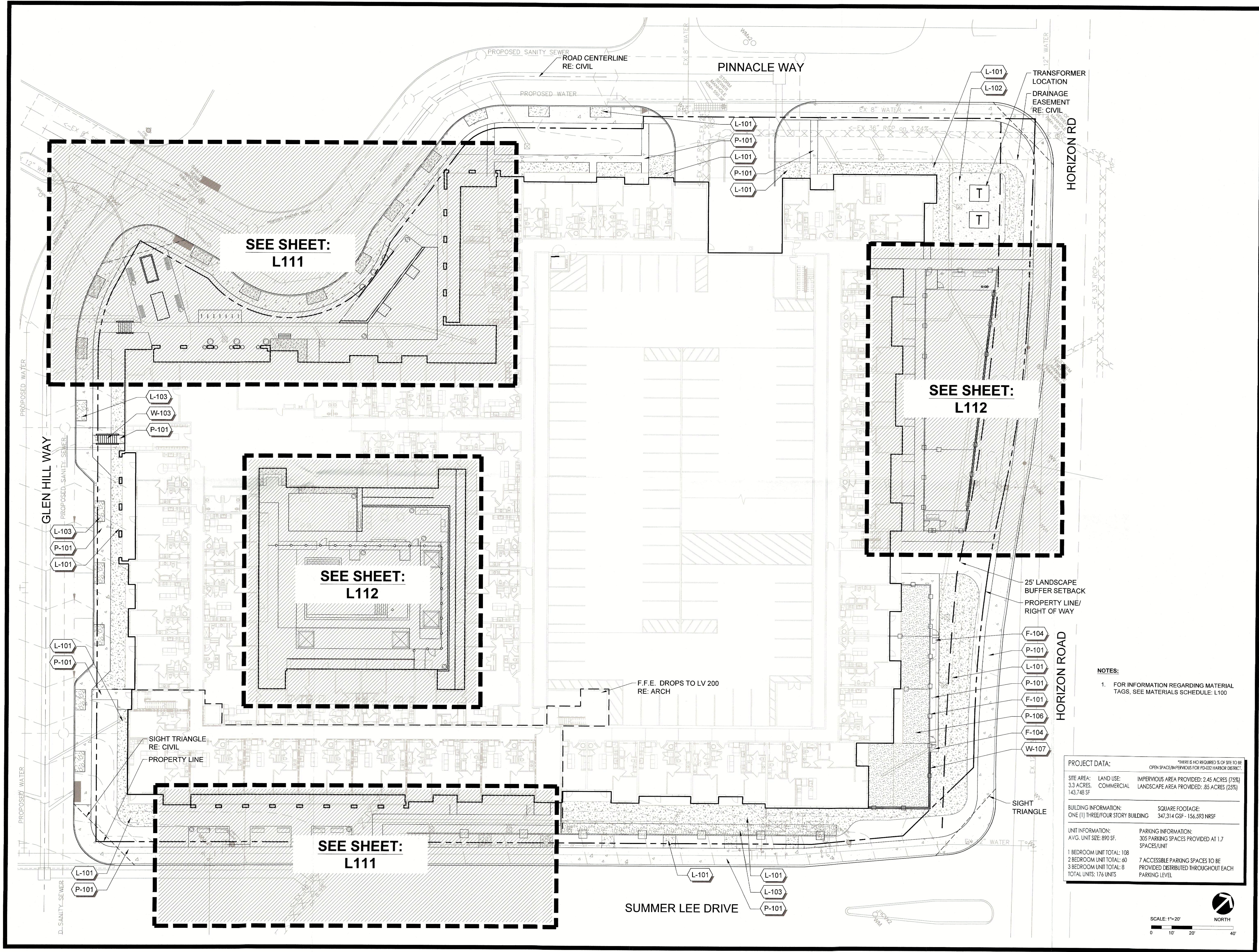
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WITNESS OUR HAND, this 14 day of March, 2023.

PLANNING AND ZONING CHAIRMAN SIGNATURE:

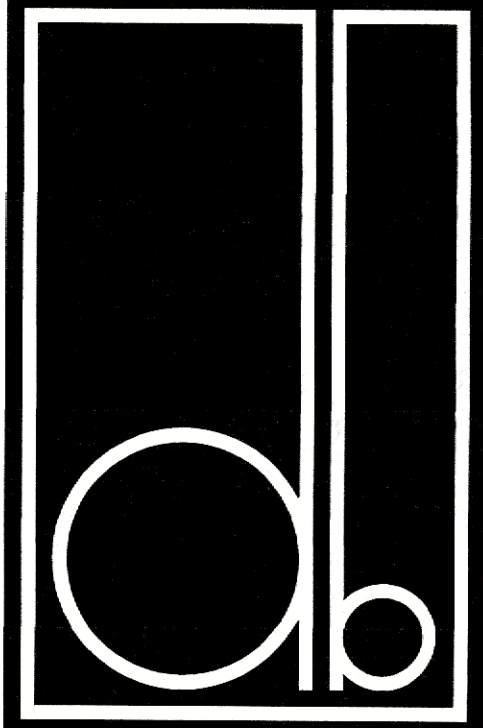
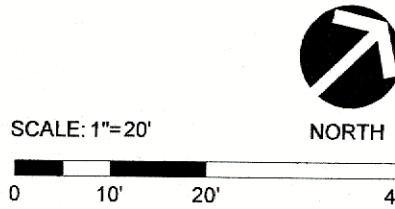
PLANNING DIRECTOR'S SIGNATURE:

CASE NUMBER:
SP2023-008



NOTES:
1. FOR INFORMATION REGARDING MATERIAL TAGS, SEE MATERIALS SCHEDULE: L100

PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/IMPERVIOUS FOR PD-032 HARBOR DISTRICT.	
SITE AREA: 3.3 ACRES	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%)	LANDSCAPE AREA PROVIDED: .85 ACRES (25%)
BUILDING INFORMATION: ONE (1) THREE/FOUR STORY BUILDING		SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF	
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF.		PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
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HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
L110
LANDSCAPE PLAN - MATERIALS

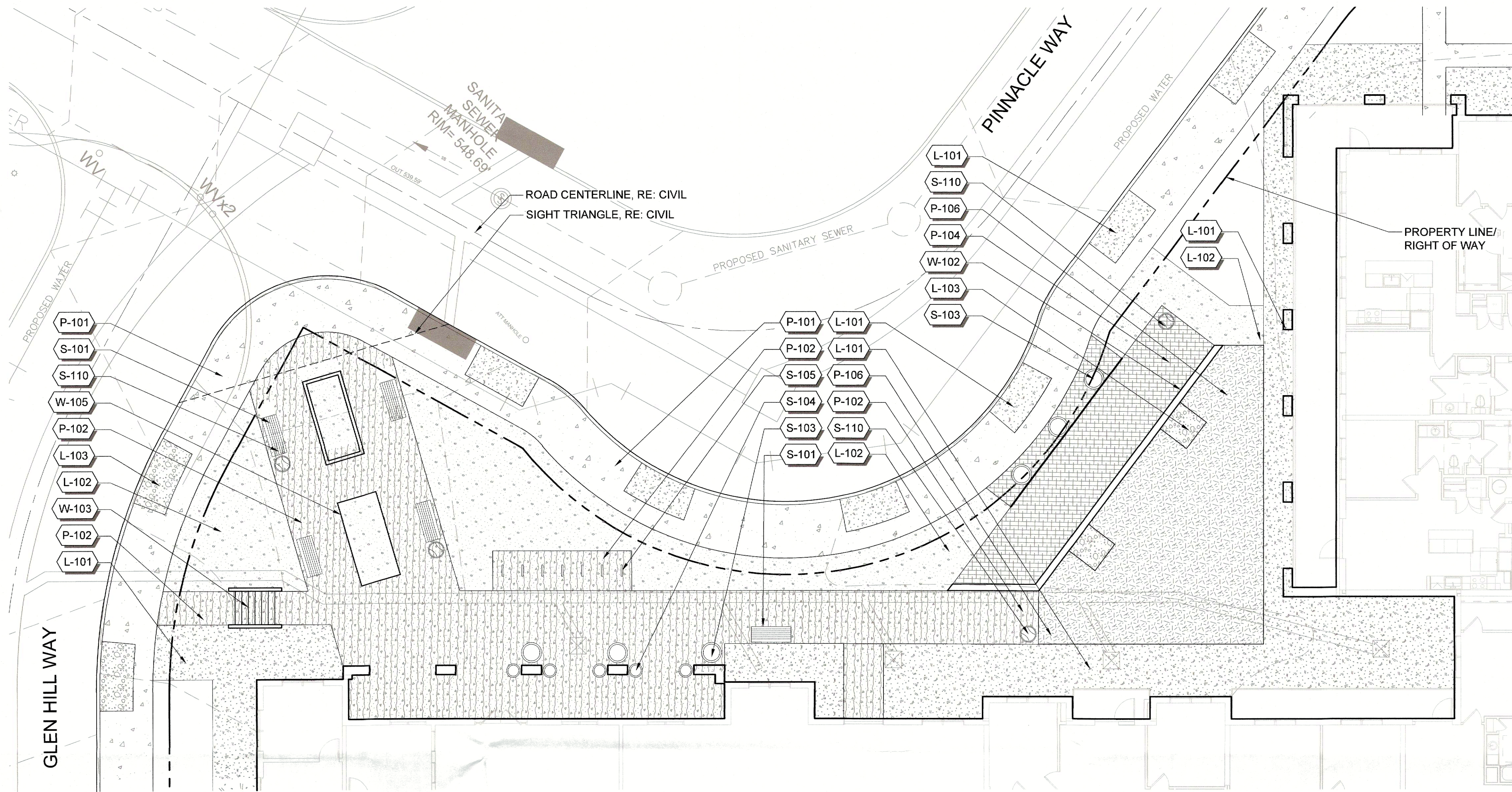
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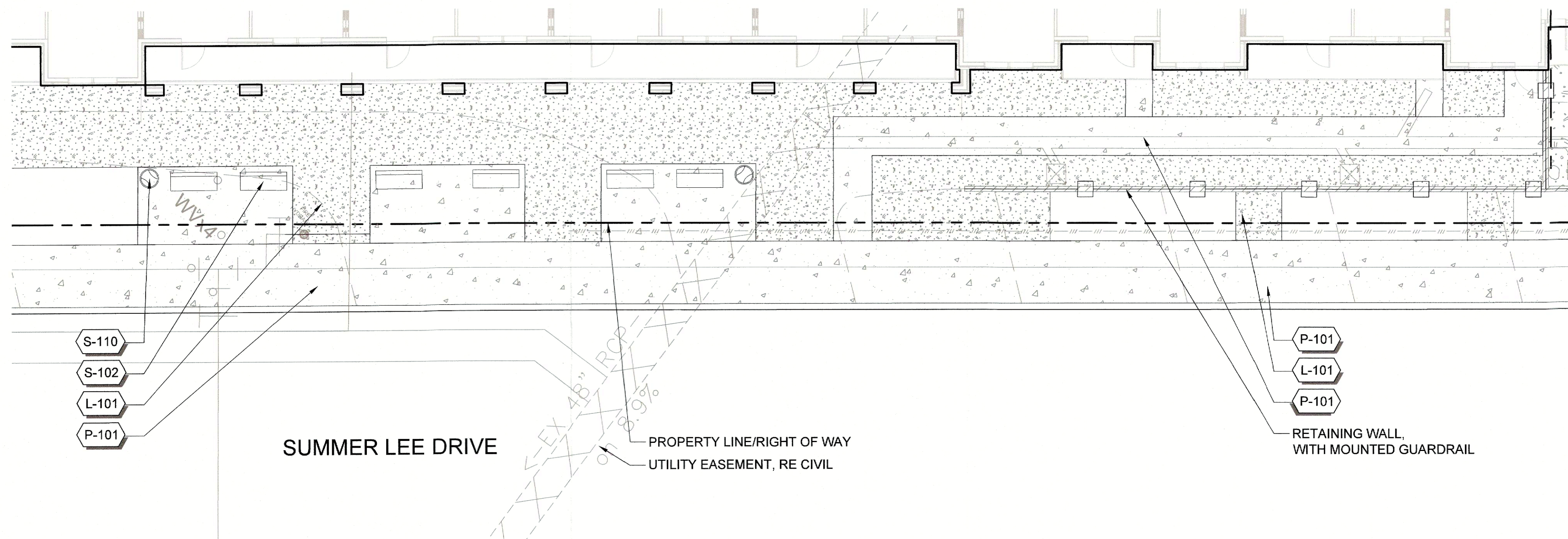
PLANNING AND ZONING CHAIRMAN SIGNATURE: *[Signature]*

PLANNING DIRECTOR'S SIGNATURE: *[Signature]*

CASE NUMBER:
SP2023-008



1 ENTRY COURTYARD - LANDSCAPE MATERIALS PLAN
SCALE: 1" = 10'

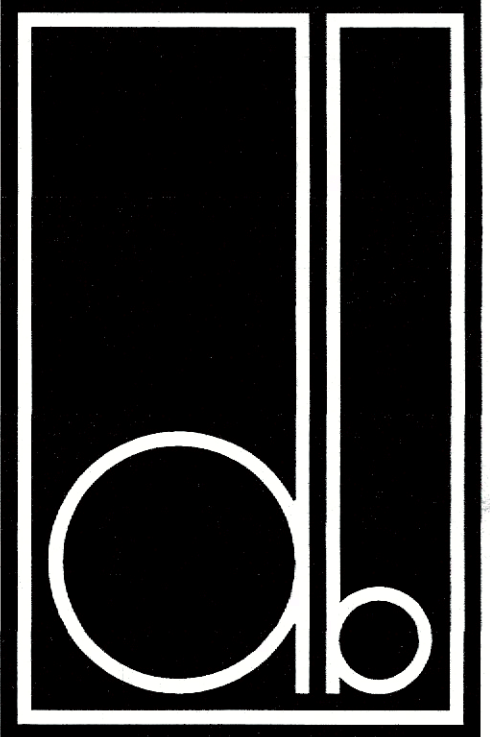


2 STREETSCAPE PLAZA - LANDSCAPE MATERIALS PLAN
SCALE: 1" = 10'

NOTES:

- FOR INFORMATION REGARDING MATERIAL TAGS, SEE MATERIALS SCHEDULE: L100

PROJECT DATA:		
*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/IMPERVIOUS FOR PD-032 HARBOR DISTRICT.		
SITE AREA: 3.3 ACRES	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%) LANDSCAPE AREA PROVIDED: .85 ACRES (25%)
BUILDING INFORMATION: ONE (1) THREE/FOUR STORY BUILDING		
AVERAGE UNIT SIZE: 890 SF.		
PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT		
7 ACCESSIBLE PARKING SPACES TO BE PROVIDED THROUGHOUT EACH PARKING LEVEL		
TOTAL UNITS: 176 UNITS		



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DATE ISSUED:

03/07/2023

SHEET NUMBER AND TITLE:

L111

LANDSCAPE PLAN - MATERIALS

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PLANNING AND ZONING
CHAIRMAN SIGNATURE:

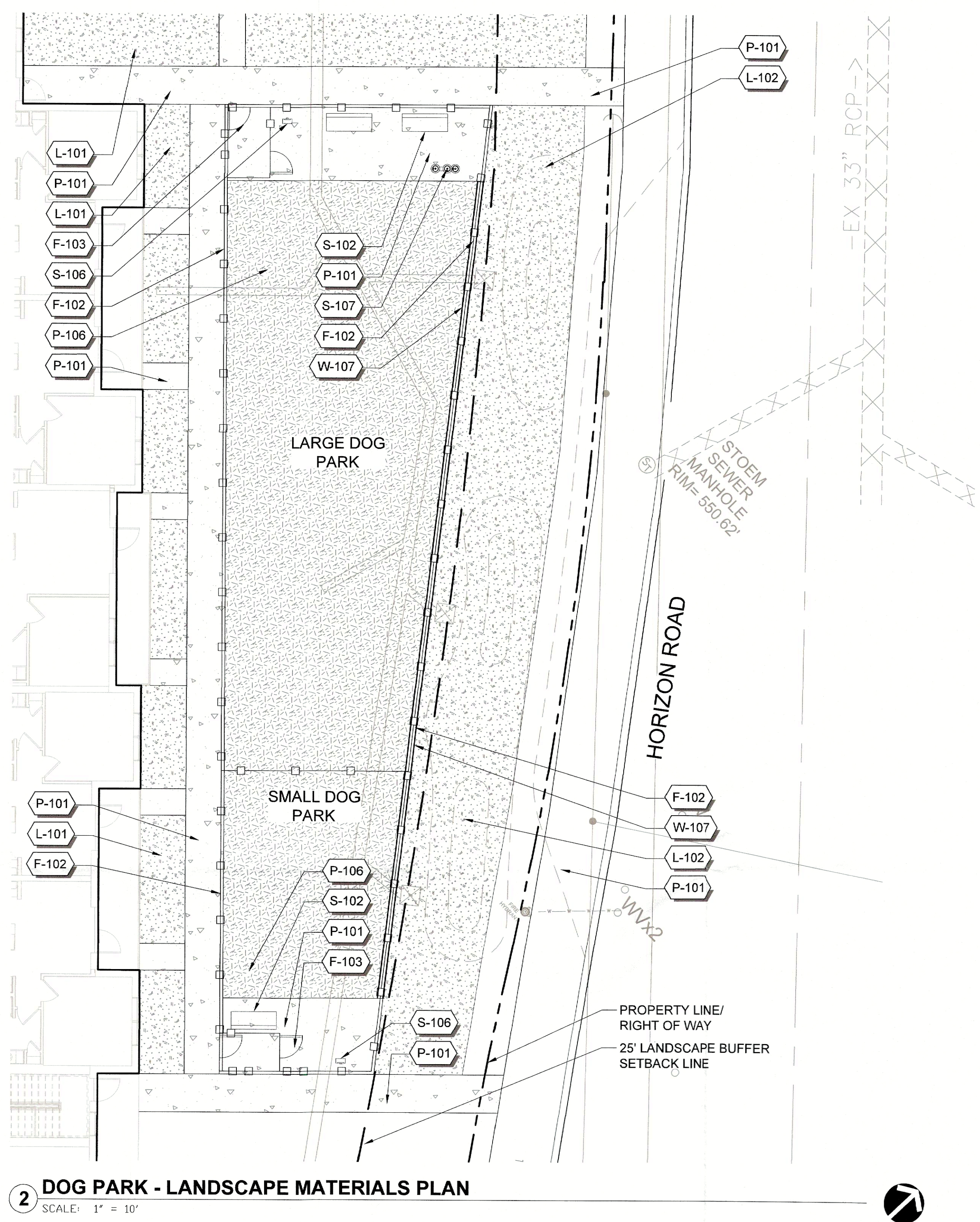
[Signature]

PLANNING DIRECTOR'S
SIGNATURE:

[Signature]

CASE NUMBER:

SP2023-008



NOTES:

1. FOR INFORMATION REGARDING MATERIAL TAGS, SEE MATERIALS SCHEDULE: L100

PROJECT DATA:		*THERE IS NO REQUIRED # OF SITE TO OPEN SPACES/IMPervIOUS FOR PD-CSD HARBOR	
SITE AREA: 3.3 ACRES 1,143.75 SF	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (73%) LANDSCAPE AREA PROVIDED: .85 ACRES (25%)	
BUILDING INFORMATION: ONE (1) THREE-FOR STORY BUILDING		SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF	
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF.		PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
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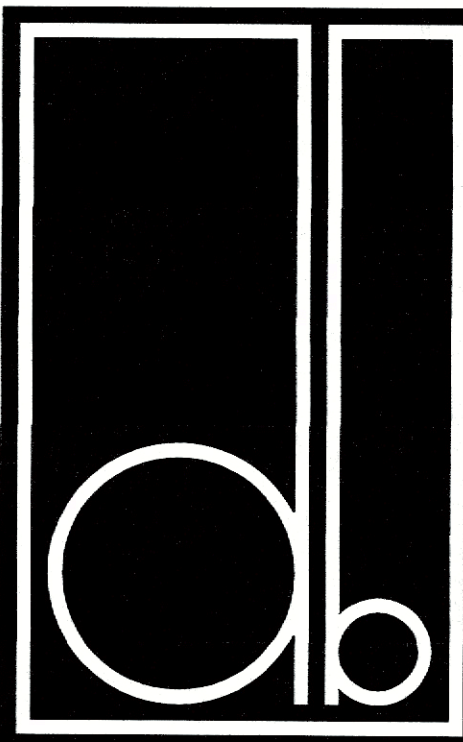
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SHEET NUMBER AND TITLE:

L112

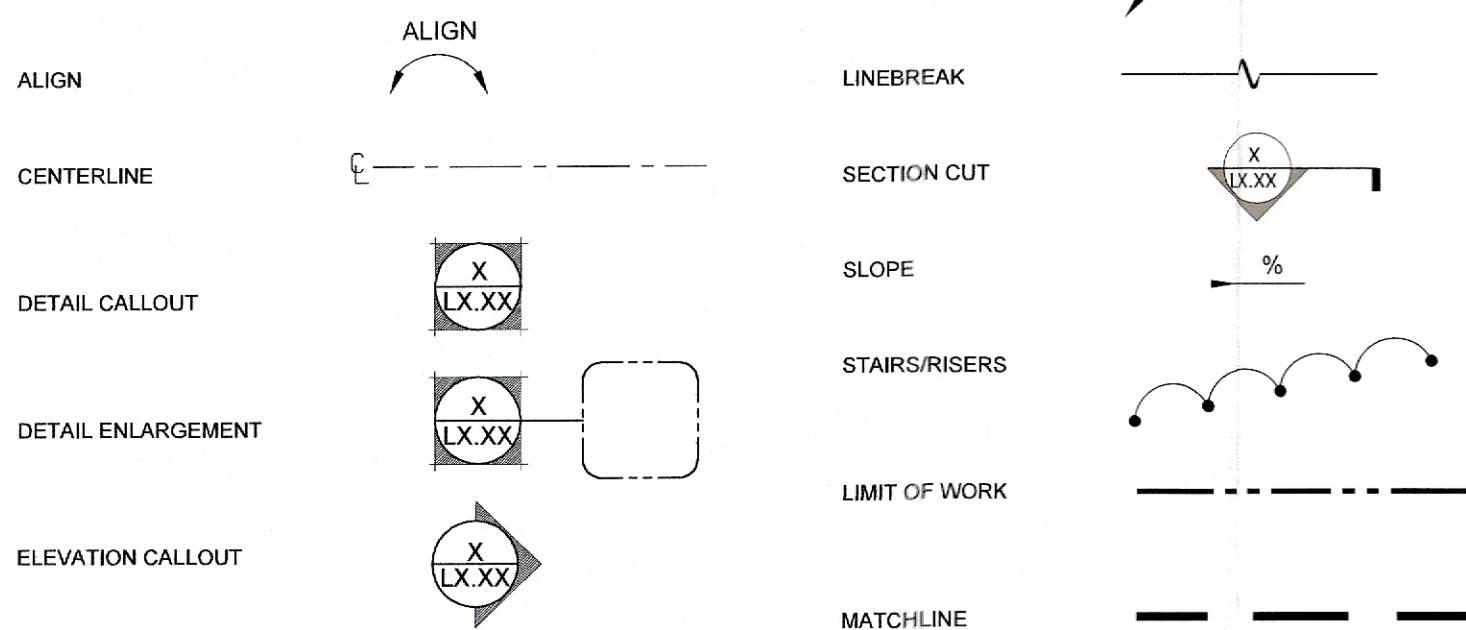
LANDSCAPE PLAN -
MATERIALS

ABBREVIATIONS

A	AD	AREA DRAIN	L	L	LENGTH
	ADJ	ADJACENT		LT	LIGHT
	AFG	ABOVE FINISHED GRADE		LP	LOW POINT
	ALT	ALTERNATE			
B	ALUM	ALUMINUM	M	MAS	MASONRY
	APPROX	APPROXIMATE		MATL	MATERIAL
	ARCH	ARCHITECT(URAL)		MAX	MAXIMUM
				MECH	MECHANICAL
B	BC	BOTTOM OF CURB		MED	MEDIUM
	BLDG	BUILDING		MFR	MANUFACTURER
	BLKG	BLOCKING		MIN	MINIMUM
	BOC	BACK OF CURB		MISC	MISCELLANEOUS
	BOT	BOTTOM		MTL	METAL
	BR	BOTTOM OF RAMP			
	BS	BOTTOM OF STAIR			
	BW	BOTTOM OF WALL			
C	CEM	CEMENT	N	N	NORTH
	CP	CAST IN PLACE		NIC	NOT IN CONTRACT
	CJ	CONTROL JOINT		NO	NUMBER
	CLR	CLEAR		NOM	NOMINAL
	CMU	CONCRETE MASONRY UNIT	NTS	NTS	NOT TO SCALE
	CO	CLEANOUT			
	COL	COLUMN			
	CONT	CONTINUOUS			
	CONC	CONCRETE			
	CU FT	CUBIC FEET			
D	DD	DECK DRAIN	P	OC	ON CENTER
	DE	DRAINAGE EASEMENT		OD	OUTSIDE DIAMETER
	DI	DRAIN INLET		OPNG	OPENING
	DIA	DIAMETER		OPP	OPPOSITE
	DIAG	DIAGONAL			
	DIM	DIMENSION			
	DN	DOWN			
	DS	DOWN SPOUT			
	DWG(S)	DRAWING(S)			
E	E	EAST	Q	QTY	QUANTITY
	EJ	EACH			
	EA	EXPANSION JOINT			
	EL	ELEVATION			
	ELEC	ELECTRIC(AL)			
	EOP	EDGE OF PAVEMENT			
	EQ	EQUAL			
	EQ	EQUIPMENT			
	ESMT	EASEMENT			
	EW	EACH WAY			
	EXP	EXPANSION			
	EXIST	EXISTING			
	EXT	EXTERIOR			
F	FAB	FABRIC	R	RAD	RADIUS
	FDC	FIRE DEPT. CONNECTION		REINF	REINFORC(E), (ING)
	FH	FIRE HYDRANT		REQD	REQUIRED
	FIN	FINISH		REV	REVISION
	FOC	FACE OF CURB		R.O.W	RIGHT OF WAY
	FT	FOOT, FEET			
	FTG	FOOTING			
G	GA	GAUGE	S	S	SOUTH
	GAL	GALLON		SB	SETBACK
	GALV	GALVANIZED		SCHED	SCHEDULE(E), (ED)
	GC	GENERAL CONTRACTOR		SD	STORM DRAIN
	GV	GATE VALVE		SF	SQUARE FOOT, FEET
				SIM	SIMILAR
H	HDW	HARDWARE	T	SO	SQUARE
	HDWD	HARDWOOD		SSMH	SANITARY SEWER MANHOLE
	HORIZ	HORIZONTAL		STL	STEEL
	HP	HIGH POINT		SSTL	STAINLESS STEEL
	HT	HEIGHT		STD	STANDARD
				SUSP	SUSPENDED
				SW	SIDEWALK
				SYM	SYMBOL
I	ID	INSIDE DIAMETER	U	UE	UTILITY EASEMENT
	INCL	INCLUDE		U.O	UNLESS NOTED OTHERWISE
	INSUL	INSULATION			
	INT	INTERIOR			
	INV	INVERT			
J	JB	JUNCTION BOX	V	VERT	VERTICAL
	JOINT	JOINT		VIF	VERIFY IN FIELD
K	KO	KNOCK OUT	W	W	WEST, WIDE, WIDTH
				W	WITH
				WO	WITHOUT
				WO	WOOD
				WL	WATER LINE
				WM	WATER METER
L	LT	LENGTH	WT	WT	WEIGHT
	LP	LOW POINT		WWM	WELDED WIRE MESH

NOTE: ABBREVIATIONS APPLY TO LANDESIGN NOTATIONS ONLY. SURVEY, ARCHITECTURAL AND OTHER ABBREVIATIONS MAY VARY.

SYMBOLS LIST:



GENERAL NOTES:

1. BASE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, AND BOUNDARY INFORMATION IS FROM PLANS BY: BDD ENGINEERING
2. ARCHITECTURAL INFORMATION IS FROM PLANS BY: DESIGN BALANCE
3. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
4. DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING UTILITIES ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. LANDESIGN ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
6. ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO LANDESIGN IMMEDIATELY.
7. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS SPECIFIC TO THE SCOPE OF THIS DRAWING PACKAGE ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY LANDESIGN. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM INACCURATE CONSTRUCTION.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATION. NOTIFY LANDESIGN OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWING.
9. CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS ANY QUANTITIES PROVIDED BY LANDESIGN ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. LANDESIGN SHOULD BE NOTIFIED OF ANY GRADING DISCREPANCIES.
10. THE CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED, SHALL BE VERIFIED WITH THE OWNER OR LANDESIGN PRIOR TO BIDDING.
11. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE EXECUTION AND COMPLETION OF WORK, AND FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
12. IN THE EVENT A DISCREPANCY IS FOUND IN THE CONTRACT DOCUMENTS, THE OWNER & LANDESIGN SHALL BE NOTIFIED IMMEDIATELY.
13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND NOTIFY LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
14. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND BE RESPONSIBLE FOR ACCURACY AND CORRECTNESS OF SAME.
15. CONTRACTOR SHALL COORDINATE WORK WITH ALL OTHER TRADES AND NOTIFY OWNER & LANDESIGN OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
16. ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR(S) SHALL BEAR THE TOTAL EXPENSE FOR, AND SHALL REPAIR ANY DAMAGE TO EXISTING CONDITIONS, OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.

MATERIALS + PAVING NOTES:

1. ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT SERVICES AND TESTING FOR ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS. IN THE EVENT OF A CONFLICT BETWEEN THE PROJECT DOCUMENTS AND THE GOVERNING AUTHORITIES' REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
2. SUBGRADE PREPARATION, PAVEMENT STRENGTH AND THICKNESS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
 - 2.1. PROOF-ROLL SUBGRADE: PRIOR TO PREPARATION OF THE SUBBASE, THE SUBGRADE SHALL BE PROOF-ROLLED WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHALL BE EXCAVATED TO FIRM SUBGRADE AND BACKFILLED AND COMPACTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
 - 2.2. PAVEMENT SUBGRADE SHALL BE GRADED TO PREVENT PONDING AND INFILTRATION OF EXCESSIVE MOISTURE ON OR ADJACENT TO THE PAVEMENT SURFACE.
3. THE USE OF LEVEL UP SAND UNDER PAVEMENT WILL NOT BE ACCEPTED, UNLESS NOTED OTHERWISE.
 - 4.1. DO NOT PLACE CONCRETE WHILE IT IS RAINING OR WHEN RAIN IS IMMINENT.
5. CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 5.1. MINIMUM 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS NOTED OTHERWISE.
 - 5.2. AGGREGATES: ASTM C33 MAX 3/4" IN SIZE, UNLESS NOTED OTHERWISE
 - 5.3. SLUMP: 3 TO 5 INCHES
 - 5.4. AIR CONTENT: 4 TO 6 PERCENT BY VOLUME
6. CONCRETE THICKNESS:
 - 6.1. PEDESTRIAN AREA: 4" THICK, UNLESS NOTED OTHERWISE.
 - 6.2. ALL OTHER CONCRETE COMPONENTS INSTALL PER SIZE SPECIFIED IN DRAWINGS
7. CONCRETE REINFORCING:
 - 7.1. 4" THICK PAVING: #3s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
 - 7.2. 6" THICK PAVING: #4s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
 - 7.3. 8" THICK PAVING: #5s AT 24" SPACING UNLESS NOTED OTHERWISE IN DRAWINGS
 - 7.4. ALL PAVEMENT REINFORCING BARS SHALL BE GRADE 60 KSI DEFORMED BILLET STEEL BARS, UNCOATED FINISH. SIZE AND SPACING SHALL BE IN ACCORDANCE WITH THE PAVING PLAN AND DETAILS.
 - 7.5. ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS.
8. CONTROL JOINTS (TROWEL OR SAW CUT)
 - 8.1. TO BE PLACED AS INDICATED ON PLANS AND DETAILS TO A MINIMUM DEPTH OF 1/8 OF CONCRETE THICKNESS.
 - 8.2. SAW CUT JOINTS TO BE EXECUTED WITHIN 12 HOURS OF CONCRETE PLACEMENT.
 - 8.3. SAWN JOINTS ARE TO BE TRUE IN ALIGNMENT AND SHALL CONTINUE THROUGH ADJACENT CURBS. RADIAL JOINTS SHALL BE NO SHORTER THAN 15'.
9. EXPANSION JOINTS
 - 9.1. PLACE AT A MAXIMUM SPACING OF 30' O.C. AND COORDINATE WITH OVERALL PAVING PATTERN AND COLOR.
 - 9.2. PROVIDE DOWELS AS SPECIFIED IN DRAWING DETAILS.
 - 9.3. EXPANSION JOINTS TO BE CLEANED OF DEBRIS, DIRT, DUST, SCALE, CURING COMPOUND AND CONCRETE, BLOWN DRY AND IMMEDIATELY SEALED WITH A SELF-LEVELING, ELASTOMERIC POLYURETHANE OR EQUIVALENT. SEALANT COLOR SHALL MATCH PAVEMENT.
 - 9.4. CONTRACTOR SHALL PREPARE A JOINT LAYOUT AND PROVIDE IT TO THE ENGINEER FOR REVIEW. THE JOINT LAYOUT SHALL BE PROVIDED A MINIMUM OF ONE WEEK PRIOR TO POURING CONCRETE. PATTERN SHALL BE CAREFULLY DESIGNED BY THE CONTRACTOR TO AVOID IRREGULAR SHAPES. EXPANSION JOINTS SHALL NOT BE PLACED ALONG VALLEYS IN PAVEMENT.
10. ALL CONSTRUCTION JOINTS SHALL BE SAWN. CONCRETE FINISHES TO BE PER DRAWING DETAILS AND SPECIFICATIONS.
11. CONCRETE SHALL BE BROOM FINISHED AND CURED FOR A MINIMUM OF 72 HOURS UNLESS NOTED OTHERWISE.
12. BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY FULL DEPTH SAW CUT WHEN ADJACENT TO PROPOSED PAVEMENT AND/OR CURBS.
13. PROPOSED PAVEMENT AND/OR CURBS INTENDED TO TIE INTO EXISTING SHALL MATCH SHALL MATCH THE ELEVATION OF EXISTING PAVEMENT AND/OR CURBS.
14. PAVEMENT MARKINGS
 - 14.1. PAVEMENT MARKINGS SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF ROCKWALL 'UNIFORM TRAFFIC MANUAL FOR PAVEMENT MARKINGS.'
 - 14.2. FIRE LANES SHALL BE STRIPED AND/OR SIGNED IN ACCORDANCE WITH THE GOVERNING AUTHORITIES' REGULATIONS.
 - 14.3. ALL ACCESSIBLE PAVEMENT MARKINGS SHALL COMPLY WITH ADAAG STANDARDS AND STATE AND LOCAL CODES.
 - 14.4. PARKING SPACE STRIPES, ACCESSIBLE SPACES, PEDESTRIAN STRIPING, DIRECTIONAL ARROWS AND LETTERING SHALL BE SOLID WHITE. UNLESS A SPECIFIC COLOR IS REQUIRED BY LOCAL CODE. TWO (2) COATS OF VOC COMPLIANT DOT APPROVED UNLIMITED, SOLVENT BASED OR LATEX TRAFFIC PAINT SHALL BE APPLIED. USE MANUFACTURER'S RECOMMENDED APPLICATION RATE. WITHOUT ADDITION OF A THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON OR AS REQUIRED, PROVIDING MINIMUM 15 MILS WET FILM THICKNESS AND 7 MILS DRY FILM THICKNESS PER COAT WITH A MINIMUM OF 30 DAYS BETWEEN APPLICATIONS. PAINT SHALL BE CRISP, STRAIGHT AND APPLIED UNIFORMLY ACROSS THE WIDTH OF THE LINE FOR A MINIMUM TOTAL DRY FILM THICKNESS OF 15 MILS.
15. CONTRACTOR SHALL REFER TO THE SITE CIVIL, MEP AND IRRIGATION PLANS FOR CONDUIT TO BE INSTALLED UNDER PAVEMENT PRIOR TO COMMENCING PAVEMENT SUBGRADE PREPARATION.
16. ALL TESTING SHALL BE PERFORMED BY A QUALIFIED TESTING LABORATORY, EMPLOYED AND PAID DIRECTLY BY THE OWNER, UNLESS NOTED OTHERWISE. TESTING SHALL BE PERFORMED, AT A MINIMUM, IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT. IN THE EVENT THE RESULTS OF THE TESTING DO NOT COMPLY WITH THE PLANS AND THE SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE ACCEPTABILITY OF CONSTRUCTION SHALL BE AT THE CONTRACTOR'S EXPENSE. PAVEMENT FOUND TO BE DEFICIENT IN STRENGTH OR THICKNESS SHALL BE REMOVED AND REPLACED SOLELY AT THE EXPENSE OF THE CONTRACTOR.

ACCESSIBILITY NOTES:

1. MAX CROSS SLOPE ON PAVED SURFACES SHALL BE 2% MAXIMUM, UNLESS NOTED OTHERWISE.
2. MAX RUNNING SLOPE ON PAVED SURFACES SHALL BE 5% MAXIMUM, UNLESS NOTED OTHERWISE.
3. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". CONTRACTOR SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
4. ALL CURB RAMPS SHALL BE BROOM FINISHED PERPENDICULAR TO SLOPE.
5. ALL CURB RAMPS SHALL HAVE A 1:12 MAX SLOPE IN THE DIRECTION OF TRAVEL, 2% MAX CROSS SLOPE.
6. IT IS THE INTENT OF THE CONTRACT DOCUMENTS TO COMPLY WITH ALL APPROPRIATE FAIR HOUSING ACCESSIBILITY GUIDELINES AND GENERAL NOTES FOR PUBLIC AND COMMON USE FACILITIES. REPORT ANY DISCREPANCIES TO LANDESIGN.

IRRIGATION NOTES:

1. A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. SYSTEM SHALL BE IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
2. ALL PLANTING BEDS/ SHRUBS AND GROUNDCOVER AREAS TO BE IRRIGATED WITH EITHER 12" SPRAY POP-UPS AND/OR A LANDSCAPE DRIP-LINE SYSTEM, UNLESS NOTED OTHERWISE.
3. ALL PLANTER POTS AND RAISED PLANTERS TO BE IRRIGATED WITH MICRO SPRAY SPRINKLER HEADS.
4. IRRIGATION SYSTEM IS DESIGN/BUILD. CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL COMPONENTS.
5. PROVIDE AS-BUILT DRAWINGS OF IRRIGATION AFTER INSTALLATION.

LAYOUT NOTES:

1. ALL MATERIALS AND CONSTRUCTION WITHIN RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE CITY OF ROCKWALL STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS, AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION PREPARED BY THE CITY OF ROCKWALL (LATEST REVISION)
2. EXISTING UTILITIES ARE SHOWN SCHEMATICALLY AND ARE FOR THE CONTRACTOR'S GUIDANCE ONLY. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING IMPROVEMENTS IN THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION. REPAIRS SHALL BE EQUAL TO OR BETTER THAN CONDITION PRIOR TO CONSTRUCTION.
4. ALL ONSITE PAVING DIMENSIONS ARE TO THE FACE OF CURB, WHERE APPLICABLE, UNLESS NOTED OTHERWISE.
5. ALL CURB RADII AND SIDEWALK RETURNS ARE 2' UNLESS NOTED OTHERWISE.
6. ALL PAVING AND EARTHWORK OPERATIONS SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT.
7. BUILDING DIMENSIONS: THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS TO VERIFY THE EXACT BUILDING DIMENSIONS.
8. LAY PAVERS IN PATTERN(S) SHOWN ON DRAWINGS. PLACE UNITS HAND TIGHT WITHOUT USING HAMMERS. MAKE HORIZONTAL ADJUSTMENTS TO PLACEMENT OF LAID PAVERS WITH RUBBER HAMMERS AS REQUIRED.
9. PROVIDE JOINTS BETWEEN PAVERS BETWEEN 1/16 IN. AND 3/16 IN. (2 AND 5 MM) WIDE. NO MORE THAN 5% OF THE JOINTS SHALL EXCEED 1/4" WIDE TO ACHIEVE STRAIGHT BOND LINES.
10. JOINT (BOND) LINES SHALL NOT DEVIATE MORE THAN ±1/2 IN. (±15 MM) OVER 50 FT. (15 M) FROM STRING LINES.
11. FILL GAPS AT THE EDGES OF THE PAVED AREA WITH CUT PAVERS OR EDGE UNITS.
12. CUT PAVERS TO BE PLACED ALONG THE EDGE WITH A MASONRY SAW.
13. ADJUST BOND PATTERN AT PAVEMENT EDGES SUCH THAT CUTTING OF EDGE PAVERS IS MINIMIZED.
14. IN NO CASE SHALL A CUT PAVE BE LESS THAN 1/3 FULL PAVE SIZE.
15. PAVEMENT DIMENSIONS ARE NOMINAL. PRIOR TO POURING SLABS, BANDING, OR OTHERWISE SETTING PAVE FIELDS, VERIFY ACTUAL PAVE SIZES AND LAYOUT OF THE PAVE FIELDS. MAKE MINOR ADJUSTMENTS TO EDGE CONSTRAINTS AS REQUIRED TO ACCOMMODATE ACTUAL PAVE SIZES. NOTIFY LANDESIGN IMMEDIATELY OF DISCREPANCIES AND/OR ADJUSTMENTS.

GRADING NOTES:

1. STAKE PER SPOT ELEVATIONS AND NOTED SLOPES. CONTOURS ARE PROVIDED FOR MASS GRADING/INTENT ONLY.
2. WRITTEN DIMENSIONS AND GRADES PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDESIGN OF ANY DISCREPANCIES.
3. ALL SPOT ELEVATIONS SHOWN ON GRADING PLAN ARE TO BOTTOM OF CURB/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ALL RIM ELEVATIONS ARE TO EDGE OF PAVEMENT.
4. REFER TO GEOTECHNICAL ENGINEER AND GEOTECH REPORT FOR INFORMATION ON SUBSURFACE MATERIALS, TOPSOIL, STRUCTURAL MATERIAL, DEEP FILLS, EXCAVATION, AND FOUNDATIONS.
5. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
6. IN ORDER TO ASSURE PROPER DRAINAGE, KEEP A MINIMUM OF .5% SLOPE ON THE CURB.
7. ALL PLANTING ISLANDS SHALL BE GRADED TO MOUND TO PROVIDE POSITIVE DRAINAGE.
8. CONTRACTOR TO VERIFY 2% MAX. CROSS-SLOPE ON ALL SIDEWALKS.
9. CONTRACTOR TO VERIFY THAT ALL SIDEWALK SLOPES, HANDICAP RAMPS, AND HANDICAP PARKING SPACES MEET ADA REQUIREMENTS.
10. CONCRETE SIDEWALKS ADJACENT TO TREE SAVE LOCATIONS SHOULD BE POURED ON TOP OF EXISTING GRADE.
11. REFER TO LANDSCAPE PLAN FOR ALL TREE PROTECTION FENCE LOCATIONS AND INSTALLATION PROCEDURES. BEFORE GRADING/CONSTRUCTION BEGINS, CALL FOR INSPECTION OF TREE PROTECTION BARRIERS, NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING, OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE.
12. DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS.
13. GRADING CONTRACTORS SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES. CONTRACTORS SHALL PAY ALL COSTS IN CONNECTION WITH THE ALTERATION OF OR RELOCATION OF THE FACILITIES. CONTRACTORS SHALL RAISE OR LOWER TOPS OF EXISTING MANHOLES AS REQUIRED TO MATCH FINISHED GRADES.
14. GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.

PLANTING NOTES:

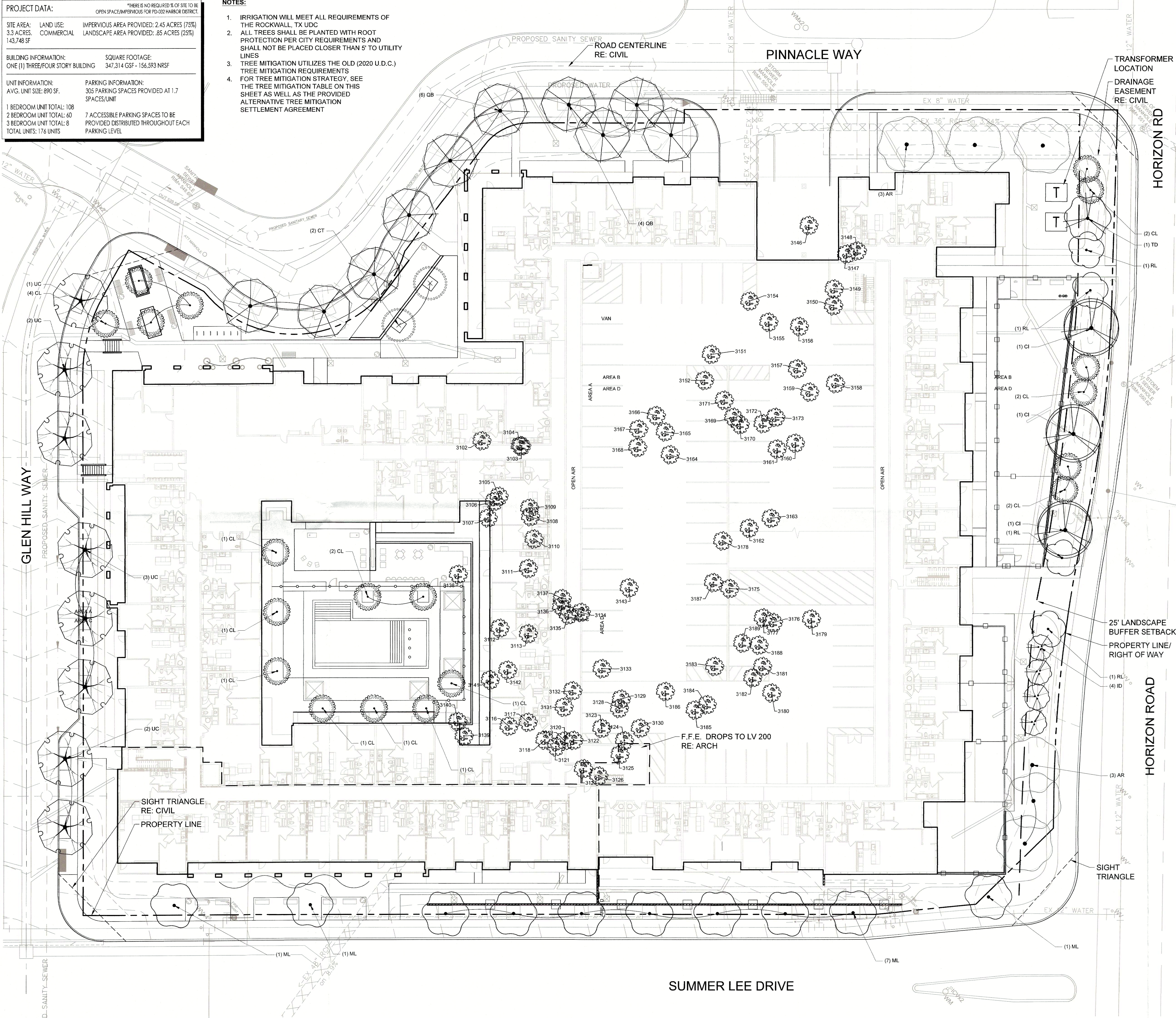
1. ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER.
2. ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z60.1-2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
3. CALIPER SIZE OF CANOPY TREES ARE TO BE MEASURED PER LOCAL CITY LANDSCAPE ORDINANCE.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE.
5. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDESIGN PRIOR TO PURCHASE.
6. SIZES LISTED ARE MIN. AND REFER TO HEIGHT, UNLESS OTHERWISE SPECIFIED.
7. LANDSCAPE CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED FOR REVIEW BY LANDESIGN PRIOR TO INSTALLING. LANDESIGN RESERVES THE RIGHT TO ADJUST TREE LOCATIONS IN THE FIELD AS NECESSARY.
8. SHRUB/GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY LANDESIGN/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND OR BED PREPARATION.
9. LANDSCAPE CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN DETAILS.
10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE LANDESIGN OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THE DRAWINGS.
12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
13. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, DEAD AND/OR REMOVED.
14. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
15. FINAL FINISHED GRADING SHALL BE REVIEWED BY LANDESIGN. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
16. TREES OVERHANGING INTO THE PUBLIC R.O.W. SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF FOURTEEN(14) FEET OVER STREETS, DRIVE AISLES, ALLEYS AND FIRE LANES. TREES OVERHANGING PRIVATE STREETS, WALKS, AND/OR PARKING LOTS SHALL HAVE A MINIMUM CLEAR TRUNK HEIGHT OF SEVEN (7) FEET.
17. LANDSCAPE CONTRACTOR IS REQUIRED TO PERFORM A TREE PIT PERCOLATION TEST FOR EACH TREE PIT PRIOR TO INSTALLATION. IF TREE PIT DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC AND STAND PIPE. ALL TREE PIT SUMPS SHALL BE INCLUDED IN THE CONTRACTOR'S BASE BID AS A UNIT PRICE AND PROVIDE AS A DEDUCT ALTERNATE PER TREE PIT SUMPS NOT REQUIRED TO BE INSTALLED.
18. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (I.E. SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF LANDESIGN AND/OR OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. LANDESIGN TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTION. SHOULD PLANT MATERIAL DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE, THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
19. ALL NEW PLANTING AREAS SHALL BE BACKFILLED WITH PLANTING SOIL THAT IS A MIXTURE OF 40-50% IMPORTED UNSCREENED TOPSOIL, 40-45% COARSE SAND, AND 10% COMPOST. FINAL TESTED ORGANIC MATTER SHALL BE BETWEEN 2.75 AND 4% (BY DRY WEIGHT). BACKFILL SHALL BE TO A DEPTH OF 18" FOR SHRUB AND GROUNDCOVER ZONES AND 36" FOR TREE PITS.
20. AFTER PLANTING SOIL MIXES ARE INSTALLED IN PLANTING BED AREAS AND JUST PRIOR TO THE INSTALLATION OF SHRUB OR GROUNDCOVER PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE GRADES SLIGHTLY ABOVE THE FINISHED GRADES. IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN.
21. IN ALL EXISTING PLANTING AREAS DESIGNATED TO RECEIVE NEW PLANTINGS, SPREAD 3-4 INCHES OF COMPOST OVER THE BEDS AND ROTO TILL INTO THE TOP 8 INCHES OF THE PLANTING SOIL. THIS WILL RAISE THE GRADES SLIGHTLY ABOVE THE FINISHED GRADES. IN ANTICIPATION GRADES WILL SETTLE WITHIN A FEW MONTHS AFTER INSTALLATION AS COMPOST BREAKS DOWN. IN NO CASE WILL THIS BE PERFORMED WHERE IT MAY NEGATIVELY IMPACT THE HEALTH OF ADJACENT, EXISTING PLANT MATERIALS WHICH ARE DESIGNATED TO REMAIN.
22. LANDSCAPE CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR. THE CONTRACTOR AGREES TO REPLACE DEFECTIVE WORK AND DEFECTIVE PLANTS, AND THAT THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR THAT PLANTS ARE DEFECTIVE. PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER AS SOON AS WEATHER CONDITIONS PERMIT. WITHIN THE SPECIFIED PLANTING PERIOD, THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY.

PLANTERS/POTS/SEASONAL PLANTING NOTES:

1. SOIL SHOULD BE NUTRIENT-RICH, MOISTURE CONTAINING PLANTING MEDIUM AND BE A MINIMUM 18" DEPTH FOR SEASONALS, PERENNIALS AND SMALL SHRUBS. MINIMUM 36" DEPTH FOR ALL TREES.
2. A LAYER OF RIVER ROCK SHALL BE PLACED IN THE BASE OF EACH PLANTER POT TO A MINIMUM 6" DEPTH OR AS ALLOWABLE BY REQUIRED SOIL DEPTH. PLACE FILTER FABRIC BETWEEN SOIL MEDIUM AND RIVER ROCK AND SOIL MEDIUM AND PLANTER EDGES. OVERLAP FABRIC 6" MINIMUM TO MINIMIZE

PROJECT DATA:		
*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/IMPERVIOUS FOR PD-022 HARBOR DISTRICT.		
SITE AREA: 3.3 ACRES 143,748 SF	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%) LANDSCAPE AREA PROVIDED: .85 ACRES (25%)
BUILDING INFORMATION: ONE (1) THREE-FOUR STORY BUILDING	SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF	
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF.	PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
1 BEDROOM UNIT TOTAL: 108 2 BEDROOM UNIT TOTAL: 60 3 BEDROOM UNIT TOTAL: 8 TOTAL UNITS: 176 UNITS	7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL	

- NOTES:
- IRRIGATION WILL MEET ALL REQUIREMENTS OF THE ROCKWALL, TX UDC
 - ALL TREES SHALL BE PLANTED WITH ROOT PROTECTION PER CITY REQUIREMENTS AND SHALL NOT BE PLACED CLOSER THAN 5' TO UTILITY LINES
 - TREE MITIGATION UTILIZES THE OLD (2020 U.D.C.) TREE MITIGATION REQUIREMENTS
 - FOR TREE MITIGATION STRATEGY, SEE THE TREE MITIGATION TABLE ON THIS SHEET AS WELL AS THE PROVIDED ALTERNATIVE TREE MITIGATION SETTLEMENT AGREEMENT



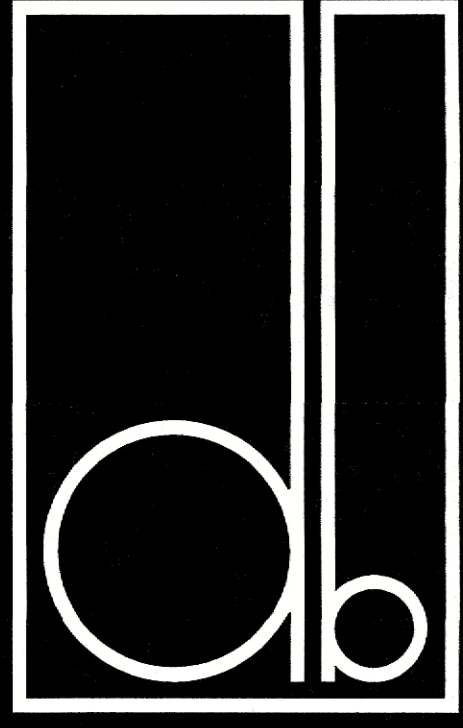
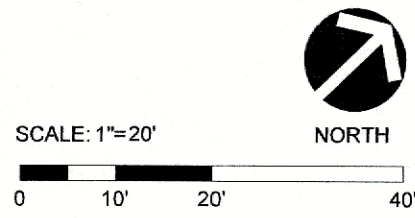
EXISTING TREE MITIGATION REQUIREMENTS						
TREE #	FAMILY	HEALTH	CLASSIFIED	SIZE	MIT. RATIO	IN. REQ.
3102	OAK	HEALTHY	PRIMARY	17"	1" FOR 1"	17
3107	OAK	HEALTHY	PRIMARY	14"	1" FOR 1"	14
3108	OAK	HEALTHY	PRIMARY	23"	1" FOR 1"	23
3109	OAK	HEALTHY	PRIMARY	13"	1" FOR 1"	13
3111	OAK	HEALTHY	PRIMARY	10"	1" FOR 1"	10
3112	OAK	HEALTHY	PRIMARY	6"	1" FOR 1"	6
3113	OAK	HEALTHY	PRIMARY	8"	1" FOR 1"	8
3116	OAK	HEALTHY	PRIMARY	9"	1" FOR 1"	9
3117	OAK	HEALTHY	PRIMARY	10"	1" FOR 1"	10
3118	ELM	HEALTHY	PRIMARY	17"	1" FOR 1"	17
3119	OAK	HEALTHY	FEATURE	32"	2" FOR 1"	64
3120	HACKBERRY	HEALTHY	SECONDARY	15"	5" PER 1"	7.5
3121	ELM	HEALTHY	PRIMARY	12"	1" FOR 1"	12
3122	ELM	HEALTHY	PRIMARY	11"	1" FOR 1"	11
3123	HACKBERRY	HEALTHY	SECONDARY	12"	5" PER 1"	6
3124	OAK	HEALTHY	PRIMARY	15"	1" FOR 1"	15
3125	OAK	HEALTHY	PRIMARY	14"	1" FOR 1"	14
3127	HACKBERRY	HEALTHY	SECONDARY	13"	5" PER 1"	6.5
3128	OAK	HEALTHY	PRIMARY	9"	1" FOR 1"	9
3129	ELM	HEALTHY	PRIMARY	9"	1" FOR 1"	9
3130	OAK	HEALTHY	PRIMARY	17"	1" FOR 1"	17
3131	ELM	HEALTHY	PRIMARY	15"	1" FOR 1"	15
3132	ELM	HEALTHY	PRIMARY	12"	1" FOR 1"	12
3133	OAK	HEALTHY	PRIMARY	23"	1" FOR 1"	23
3134	HACKBERRY	HEALTHY	SECONDARY	13"	5" PER 1"	6.5
3136	HACKBERRY	HEALTHY	SECONDARY	13"	5" PER 1"	6.5
3137	HACKBERRY	HEALTHY	SECONDARY	12"	5" PER 1"	6
3139	OAK	HEALTHY	PRIMARY	12"	1" FOR 1"	12
3140	OAK	HEALTHY	PRIMARY	13"	1" FOR 1"	13
3141	OAK	HEALTHY	PRIMARY	13"	1" FOR 1"	13
3143	HACKBERRY	HEALTHY	SECONDARY	14"	5" PER 1"	7
3146	OAK	HEALTHY	PRIMARY	12"	1" FOR 1"	12
3147	PECAN	HEALTHY	PRIMARY	10"	1" FOR 1"	10
3148	ELM	HEALTHY	PRIMARY	9"	1" FOR 1"	9
3149	OAK	HEALTHY	PRIMARY	14"	1" FOR 1"	14
3150	OAK	HEALTHY	PRIMARY	16"	1" FOR 1"	16
3151	OAK	HEALTHY	PRIMARY	8"	1" FOR 1"	8
3152	ELM	HEALTHY	PRIMARY	11"	1" FOR 1"	11
3154	ELM	HEALTHY	PRIMARY	11"	1" FOR 1"	11
3156	ELM	HEALTHY	PRIMARY	11"	1" FOR 1"	11
3157	OAK	HEALTHY	PRIMARY	7"	1" FOR 1"	7
3158	OAK	HEALTHY	PRIMARY	17"	1" FOR 1"	17
3159	HACKBERRY	HEALTHY	SECONDARY	14"	5" PER 1"	7
3160	OAK	HEALTHY	PRIMARY	14"	1" PER 1"	14
3161	OAK	HEALTHY	PRIMARY	15"	1" PER 1"	15
3162	ELM	HEALTHY	PRIMARY	11"	1" PER 1"	11
3163	OAK	HEALTHY	PRIMARY	8"	1" PER 1"	8
3164	ELM	HEALTHY	PRIMARY	9"	1" PER 1"	9
3165	ELM	HEALTHY	PRIMARY	10"	1" PER 1"	10
3166	OAK	HEALTHY	PRIMARY	16"	1" PER 1"	16
3167	OAK	HEALTHY	PRIMARY	13"	1" PER 1"	13
3168	OAK	HEALTHY	PRIMARY	10"	1" PER 1"	10
3169	ELM	HEALTHY	PRIMARY	8"	1" PER 1"	8
3172	OAK	HEALTHY	PRIMARY	8"	1" PER 1"	8
3173	HACKBERRY	HEALTHY	SECONDARY	12"	5" PER 1"	6
3175	OAK	HEALTHY	PRIMARY	8"	1" PER 1"	8
3176	OAK	HEALTHY	PRIMARY	8"	1" PER 1"	8
3178	ELM	HEALTHY	PRIMARY	8"	1" PER 1"	8
3179	OAK	HEALTHY	PRIMARY	17"	1" PER 1"	17
3180	ELM	HEALTHY	PRIMARY	11"	1" PER 1"	11
3181	OAK	HEALTHY	PRIMARY	9"	1" PER 1"	9
3182	OAK	HEALTHY	PRIMARY	8"	1" PER 1"	8
3183	OAK	HEALTHY	PRIMARY	11"	1" PER 1"	11
3184	OAK	HEALTHY	PRIMARY	14"	1" PER 1"	14
3185	ELM	HEALTHY	PRIMARY	10"	1" PER 1"	10
3187	OAK	HEALTHY	PRIMARY	11"	1" PER 1"	11
3189	OAK	HEALTHY	PRIMARY	9"	1" PER 1"	9

PROVIDED CANOPY TREE TABLE			
NAME	CAL.	COUNT	TOTAL IN.
OCTOBER GLORY RED MAPLE - ACER RUBRUM	4"	6	24
PECAN - CARYA ILLINOENSIS	4"	3	12
TEXAS RED OAK - QUERCUS BUCKLEYI	4"	10	40
BALD CYPRESS - TAXODIUM DISTICHUM	4"	1	4
LITTLE GEM MAGNOLIA - MAGNOLIA	4"	1	4
GRANDIFLORA 'LITTLE GEM'	4"	10	40
CEDAR ELM - ULMUS CRASSIFOLIA	4"	8	32
TOTAL INCHES REQUIRED TO BE MITIGATED			796
TOTAL PROVIDED NEW CANOPY TREE INCHES			152
TOTAL INCHES LEFT TO BE MITIGATED			644

NOTE: REMAINING INCHES WILL BE PURCHASED THROUGH TREE MITIGATION CREDITS 100\$/INCH. SEE ALTERNATIVE TREE MITIGATION SETTLEMENT AGREEMENT FOR MORE DETAILS.

TOTAL COST OF REMAINING MITIGATED INCHES	\$64,400
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TREESCAPE LEGEND		
TREES	CODE	COMMON NAME
	AR	October Glory Red Maple
	CI	Pecan
	CT	Texas White Redbud
	CL	Desert Willow
	ID	Possumhaw Holly
	ML	Little Gem Dwarf Southern Magnolia
	QB	Texas Red Oak
	RL	Flameleaf Sumac
	TD	Bald Cypress
	UC	Cedar Elm
	—	EXISTING TREE TO BE REMOVED



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
SUITE 607H
ROCKWALL, TX 75032
214.668.2306

OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR
RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

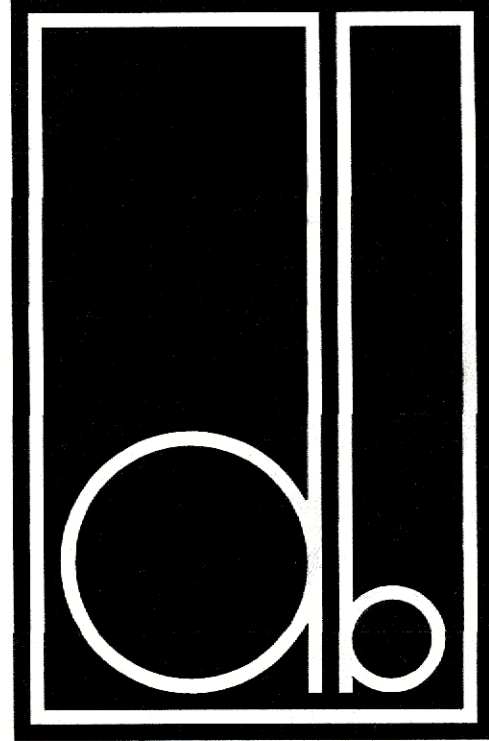
SHEET NUMBER AND TITLE:
L210
TREESCAPE PLAN

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of March, 2023.
WITNESS OUR HAND, this 14 day of March, 2023.

PLANNING AND ZONING
CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S
SIGNATURE:

CASE NUMBER:
SP2023-008



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
SUITE 607H
ROCKWALL, TX 75202
214.668.2306

OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

**HARBOR
RESIDENCES:**
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

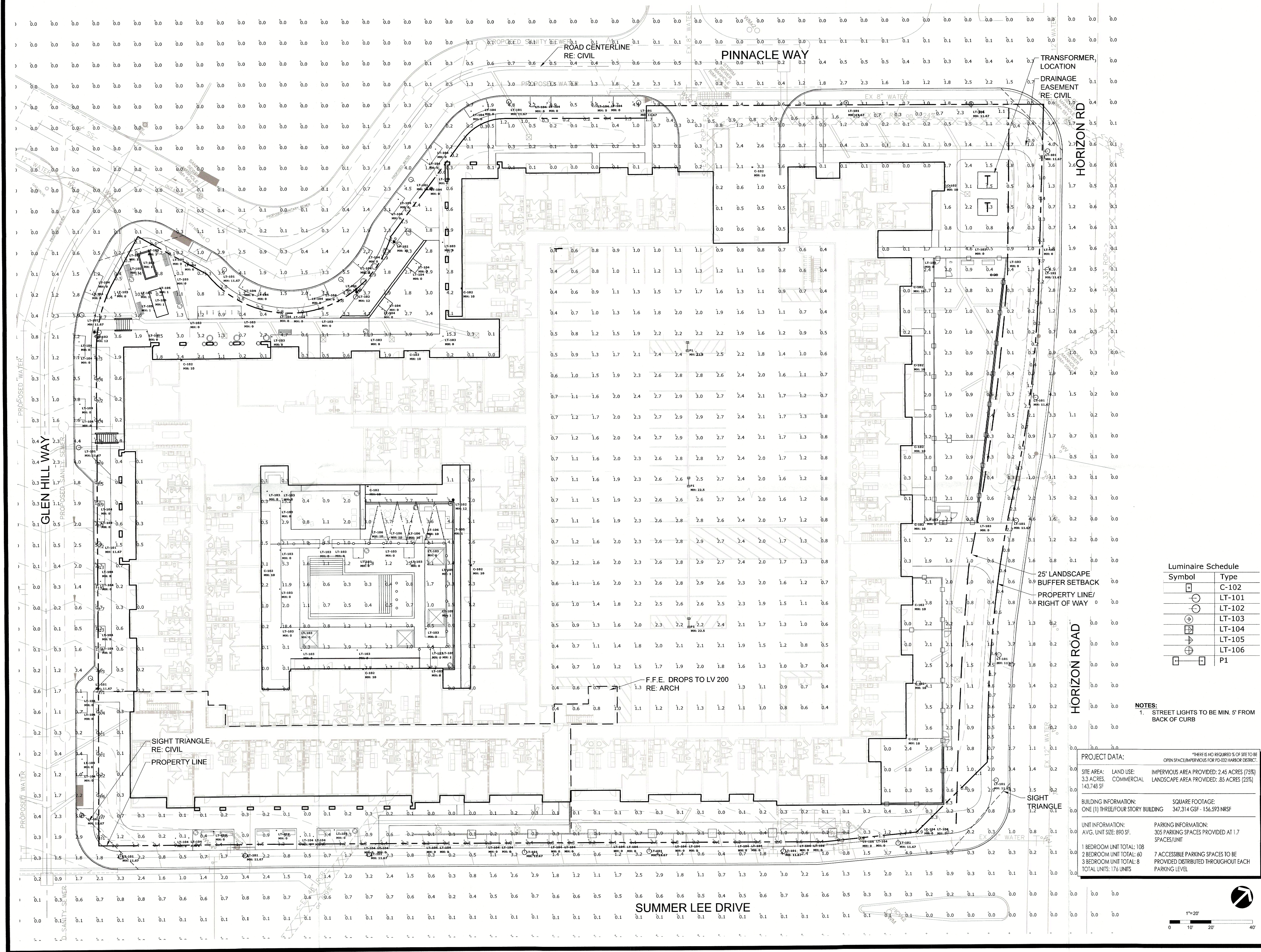
SHEET NUMBER AND TITLE:
L410
LIGHTING &
PHOTOMETRICS PLAN

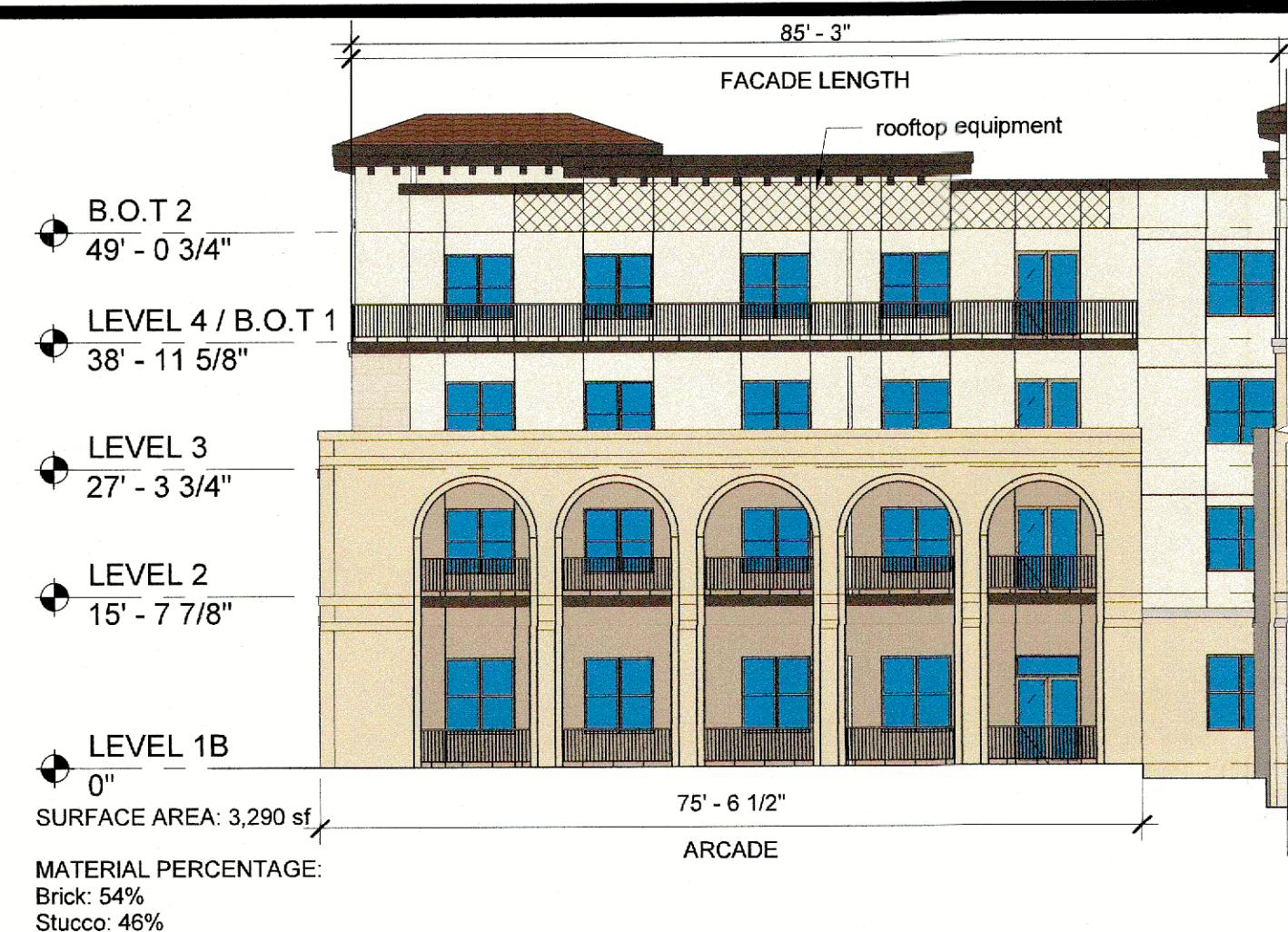
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PLANNING AND ZONING
CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S
SIGNATURE:

CASE NUMBER:
SP2023-008





4.1 WEST ELEVATION
1/16" = 1'-0"



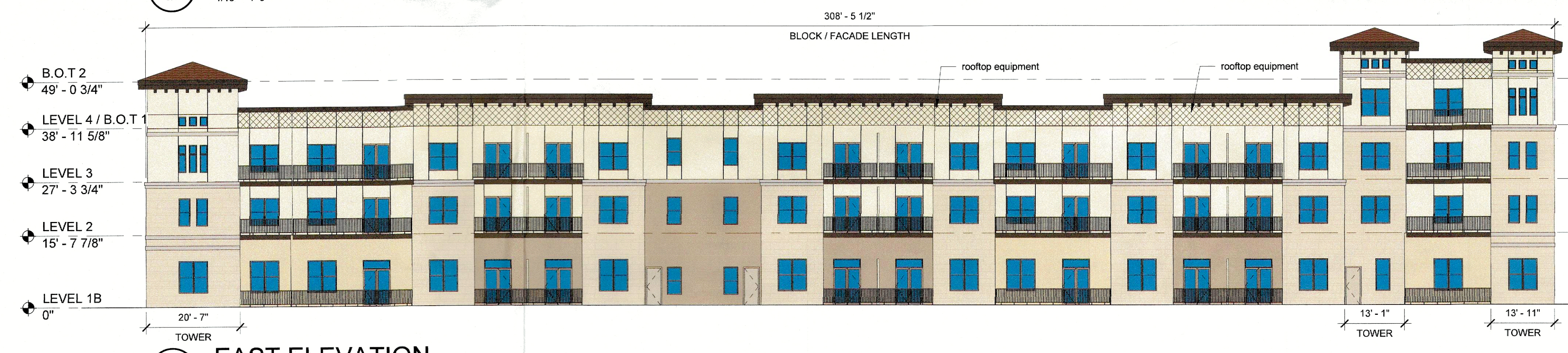
4 WEST ELEVATION
1/16" = 1'-0"

MATERIAL LEGEND

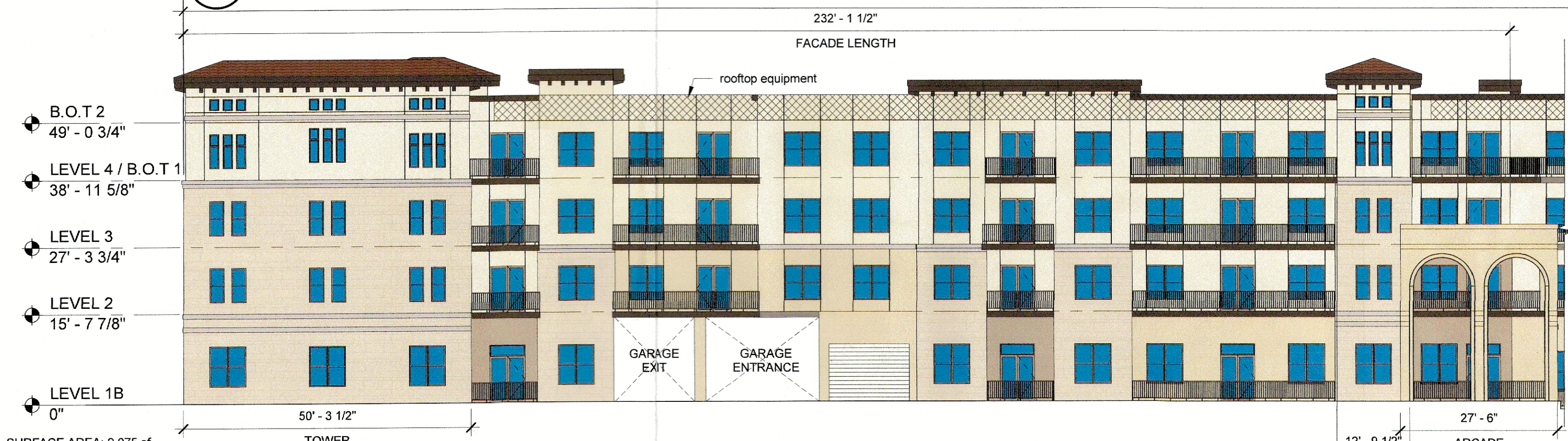
- BRICK - ACME - Shamrock
- BRICK - ACME - Galena
- STONE - Salado - White Limestone
- STUCCO - Sherwin Williams - Marshmallow
- TRIM - Sherwin Williams - Rockweed
- CONCRETE ROOF TILE - BORAL - Tejas Española - Casa Grande Blend



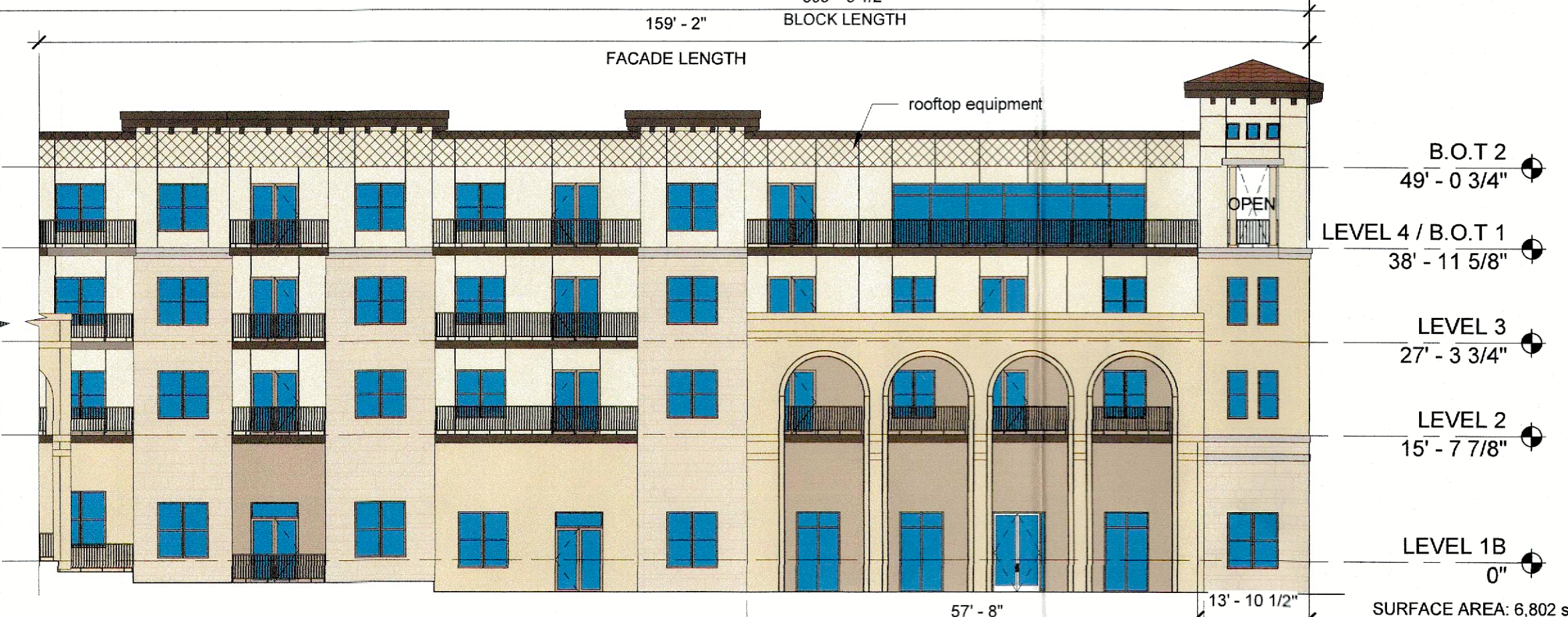
3 SOUTH ELEVATION
1/16" = 1'-0"



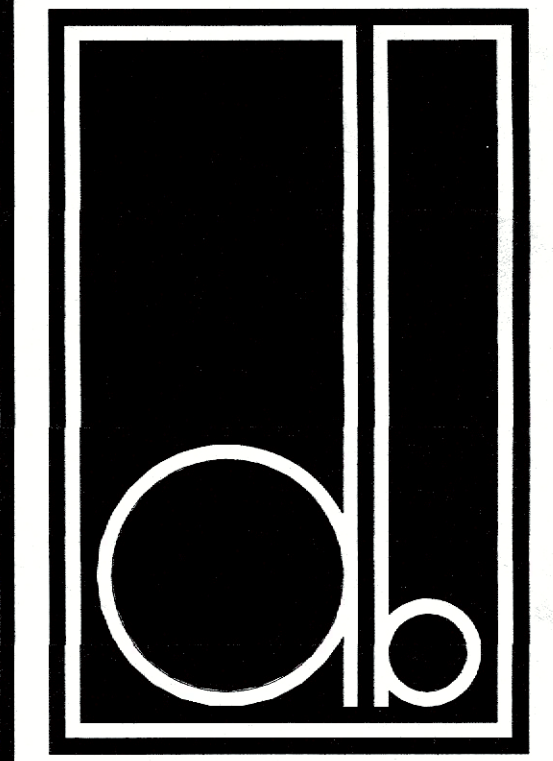
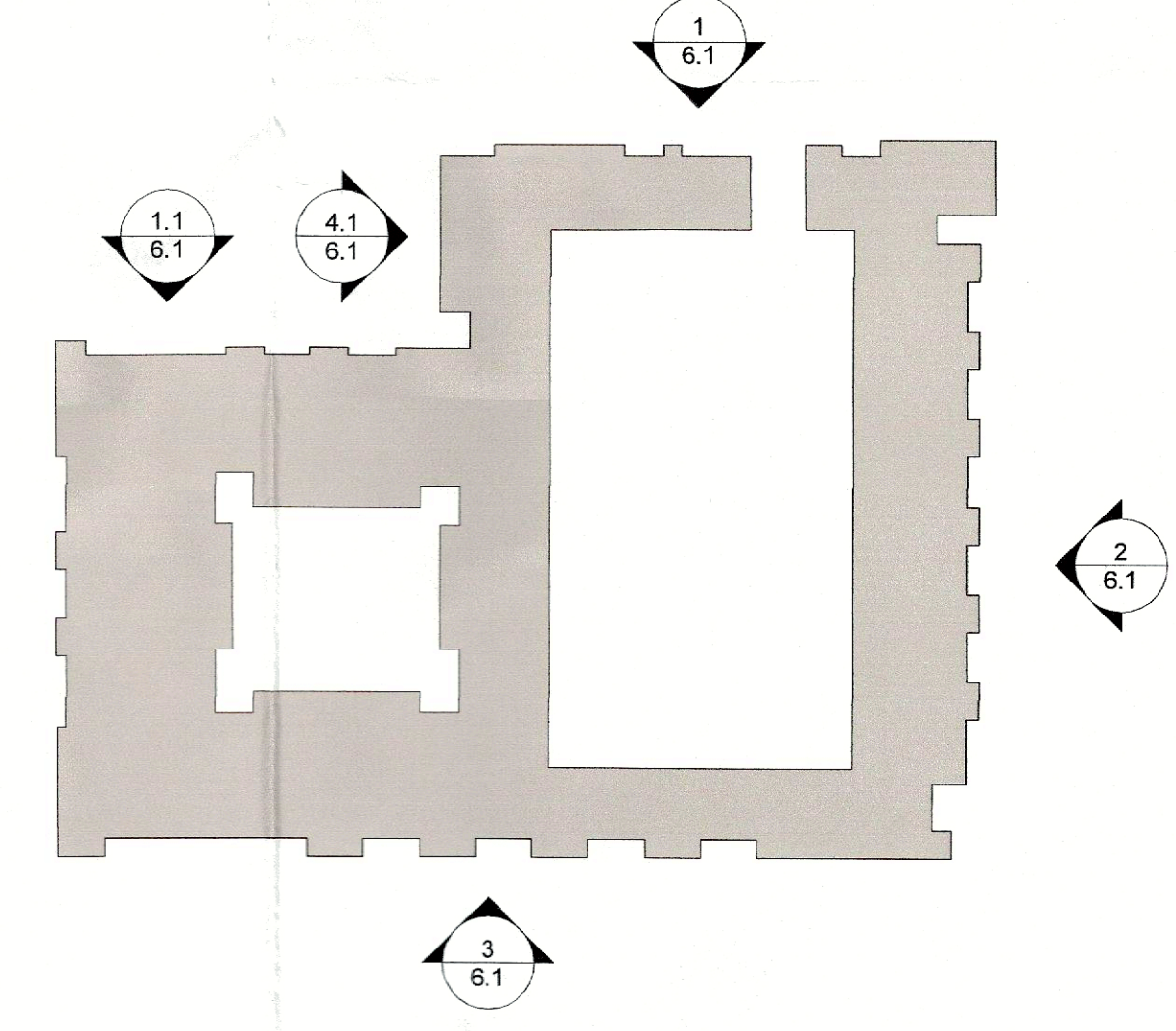
2 EAST ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"



1.1 NORTH ELEVATION
1/16" = 1'-0"



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HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
6.1 BUILDING ELEVATIONS

I hereby certify that the above and foregoing sit eplan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the 14 day of March, 2023.

WITNESS OUR HAND, this 14 day of March, 2023.

PLANNING AND ZONING CHAIRMAN SIGNATURE: [Signature]

PLANNING DIRECTOR'S SIGNATURE: [Signature]

CASE NUMBER:
SP2023-008