

SITE PLAN



NOT FOR CONSTRUCTION

No.	Revision/Issue	Date

Firm Name and Address

TURNKEY TRACT
2770 MAIN ST #171
FRISCO, TX 75033
F-22283
nkcivilengineer4@gmail.com
214-483-1599

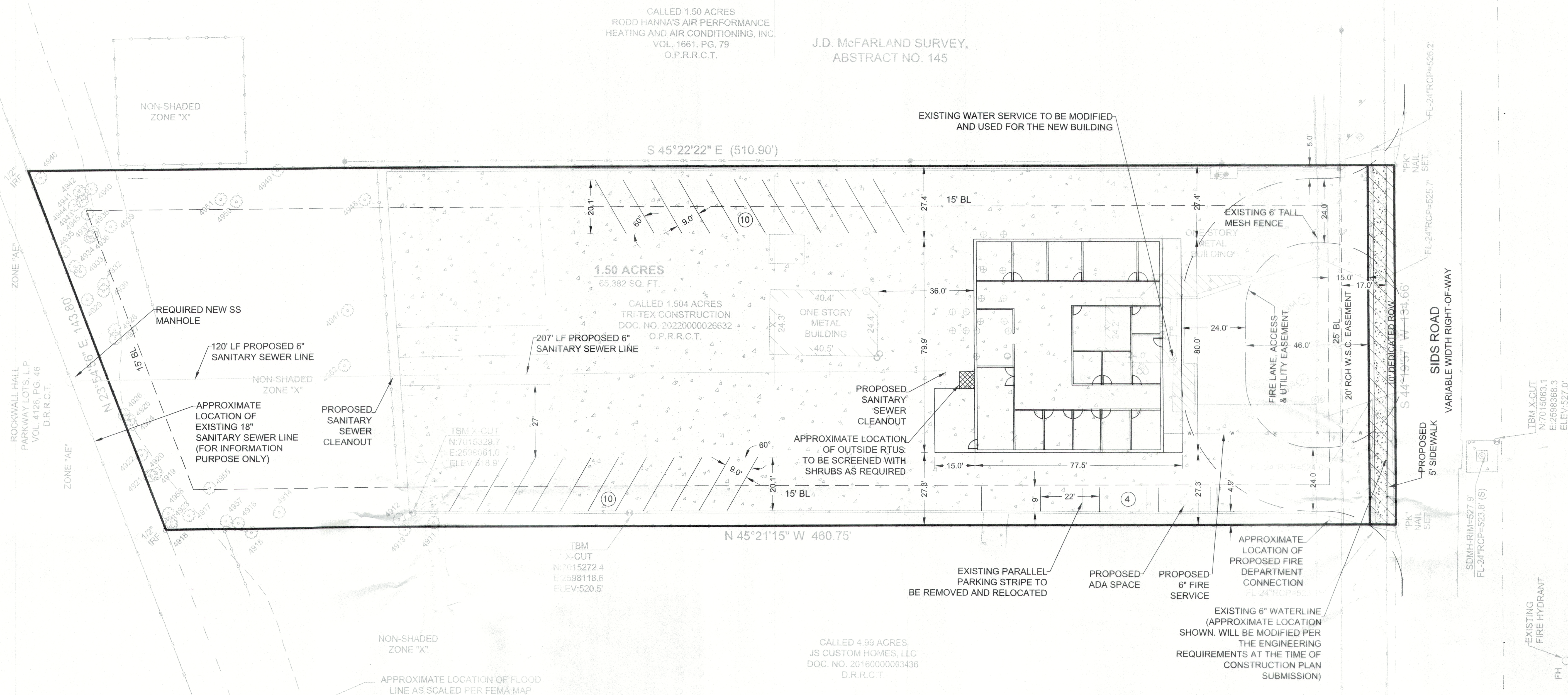
Project Name and Address

OFFICE BUILDING
955 SIDS ROAD
ROCKWALL, TEXAS 75032
SP2023-024

Project	Sheet
Date 08 / 14 / 2023	04
Scale	13

OWNER

TRI-TEX CONSTRUCTION INC
797 N GROVE RD
RICHARDSON, TEXAS 75081



LOT AREA 1.50 ACRES
65,382 SF
BUILDING COVERAGE: 5,600 SF

NOTE:

NO OUTSIDE STORAGE PROPOSED IN THIS PROJECT
POLY CARTS WILL BE USED FOR GARBAGE.

NOTE:

ALL EXISTING WATER AND SANITARY SEWER CONNECTIONS TO THE
EXISTING BUILDING WILL BE USED FOR THE PROPOSED BUILDING.

NOTE:

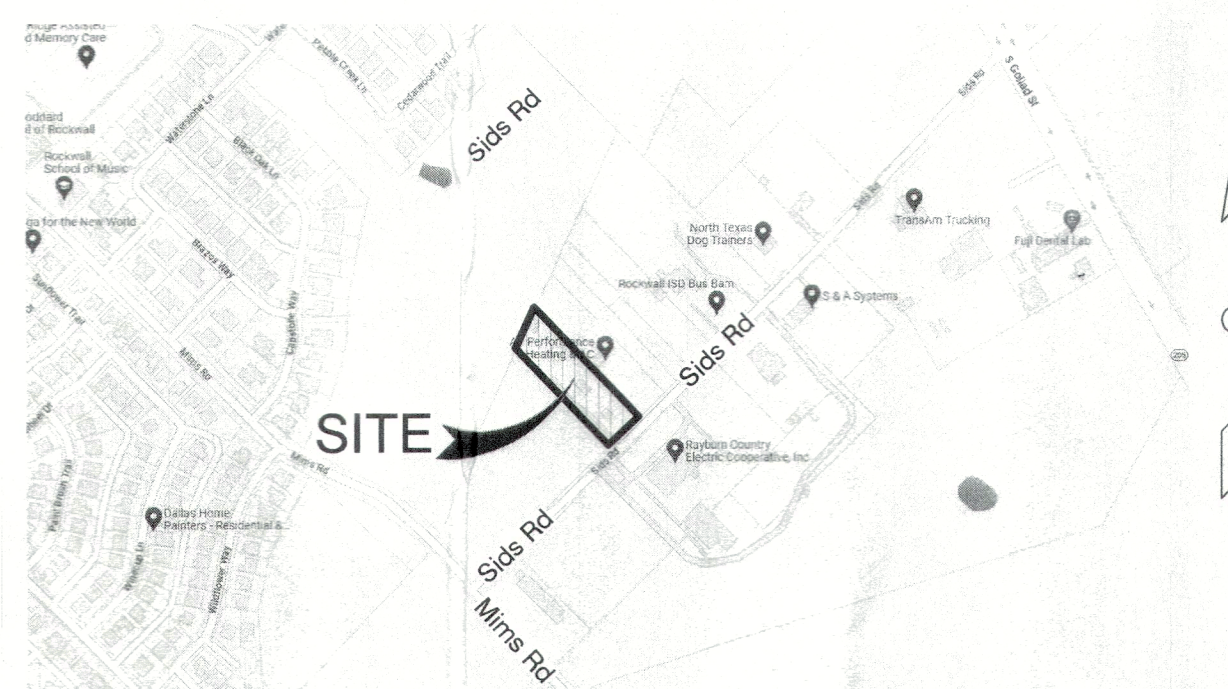
ALL PAD MOUNTED EQUIPMENT MUST BE SCREENED WITH FIVE (5)
GALLON EVERGREEN SHRUBS.

APPROVED:

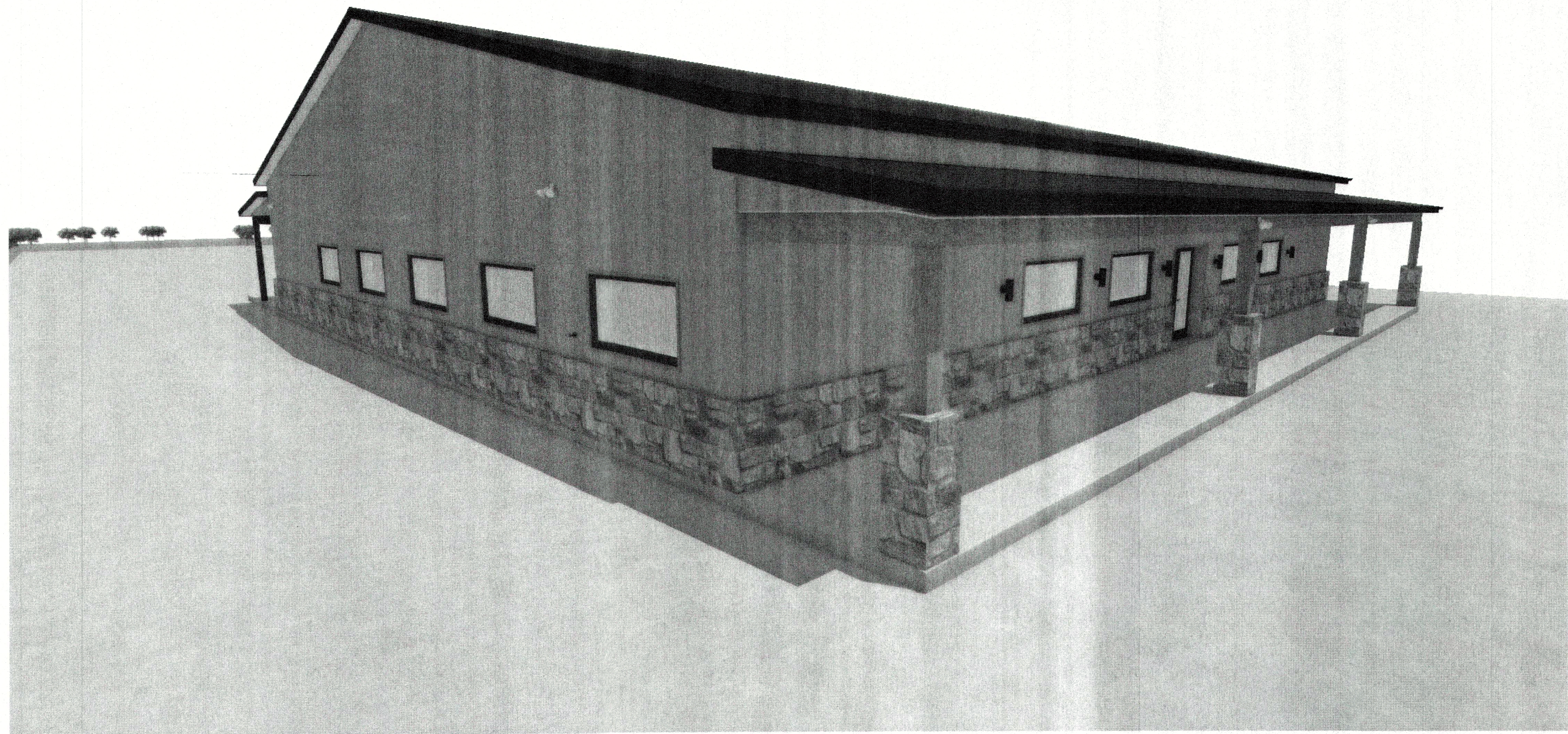
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A
DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
ON THE 15 DAY OF August 2023
WITNESS OUR HANDS, THIS 15 DAY OF August 2023
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

SITE DATA:

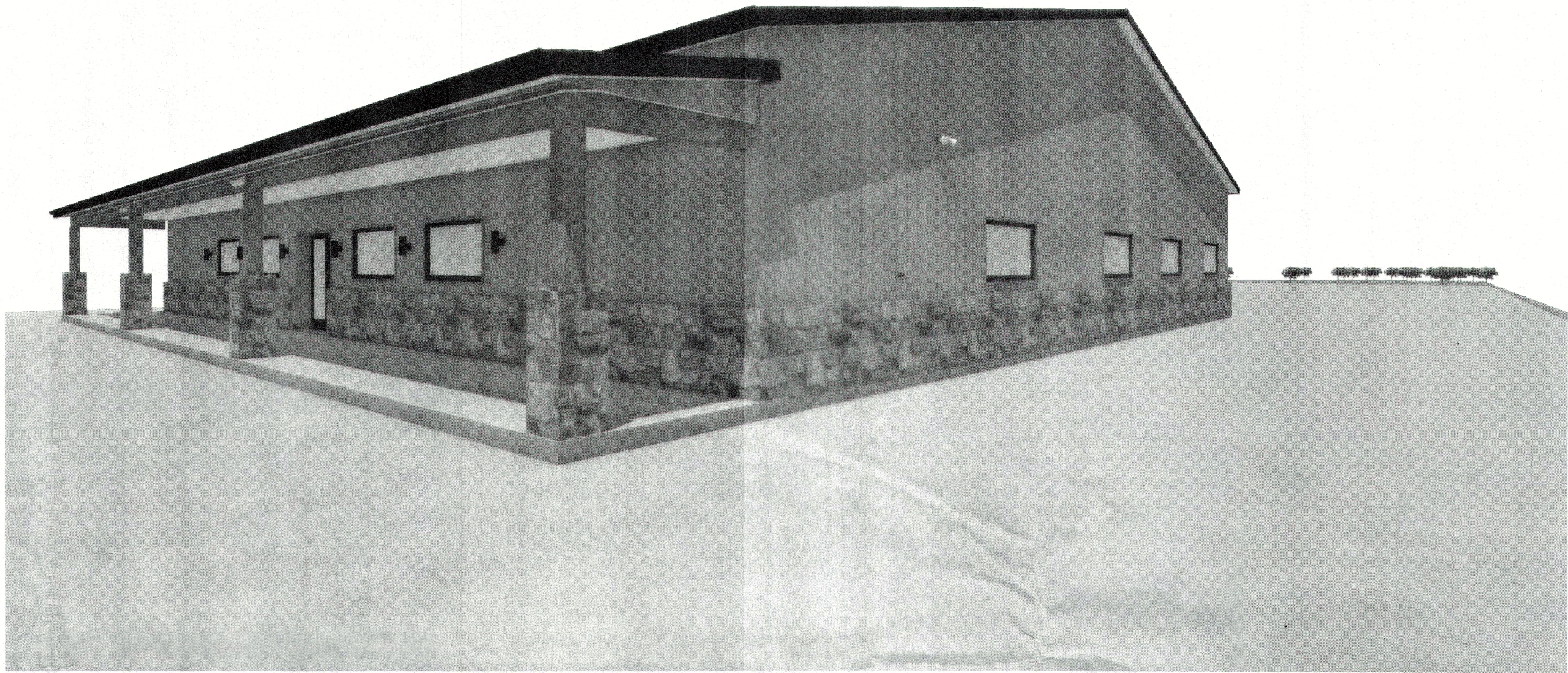
SITE AREA = 65,382 SF / 1.50 ACRE
PARKING REQUIRED = OFFICE: 1 PER 300 SF = 19 SPACES
PARKING PROVIDED = 24 SPACES
ADA SPACES PROVIDED = 1 SPACE



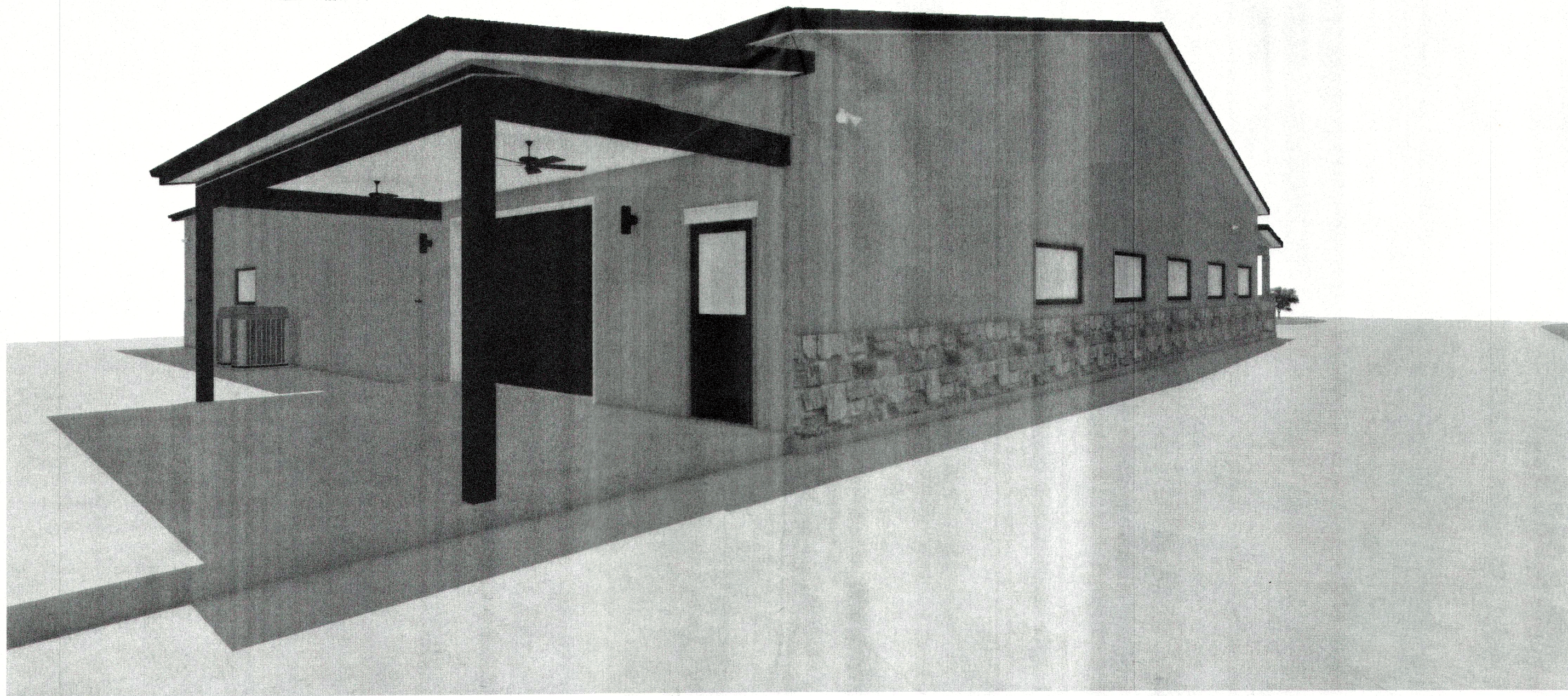
VICINITY MAP



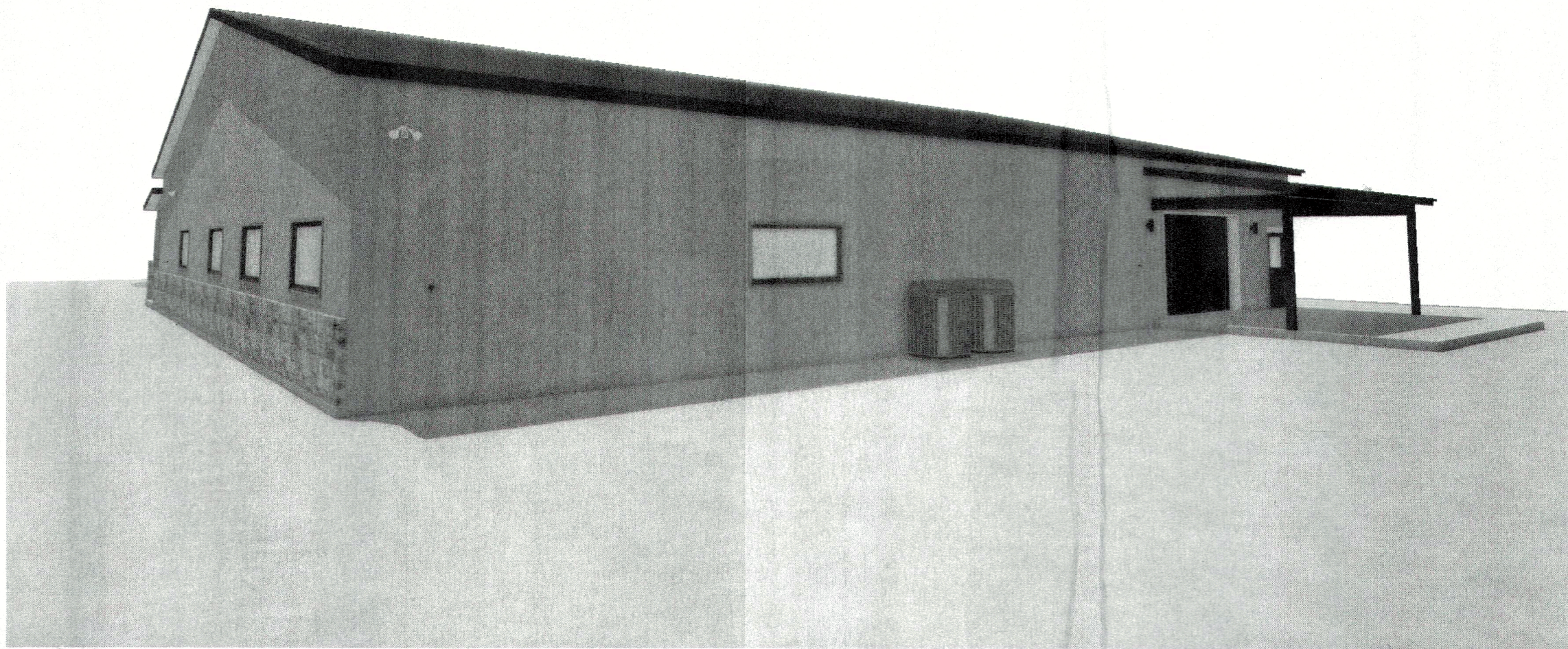
FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/9/2023	A.J.H.	BID/REVIEW PLANS
REV 02	8/9/2023	A.J.H.	EXTENDED MAINSLOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES
REV 03	8/14/2023	A.J.H.	UPDATED TREE AND SIDEWALK LOCATION PER CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.

[Signature]
Chairman of Planning & Zoning Commission

[Signature]
Director of Planning & Zoning

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST -2D ELECTRONIC CAD FILE AVAILABLE (.DWG, .DXF) UPON REQUEST -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO	
To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.	BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.
MIN. CODE RECOMMENDATIONS: ELECTRICAL SYSTEM CODE: SEC.2701 MECHANICAL SYSTEM CODE: SEC.2801 PLUMBING SYSTEM CODE: SEC.2901 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)	

GENERAL NOTES:
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES, CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table	
Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	SITE PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	FRAMING PLAN - 1F
9	ELECTRICAL PLAN
10	CABINET PLAN

REV 03

PLANS PREPARED BY:
AARON HAMILTON
ABIDE HOME DESIGNS
ROYSE CITY, TX / 972-593-0454
AARON@ABIDEHOMEDESIGNS.COM

PROJECT
OVERVIEW

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082

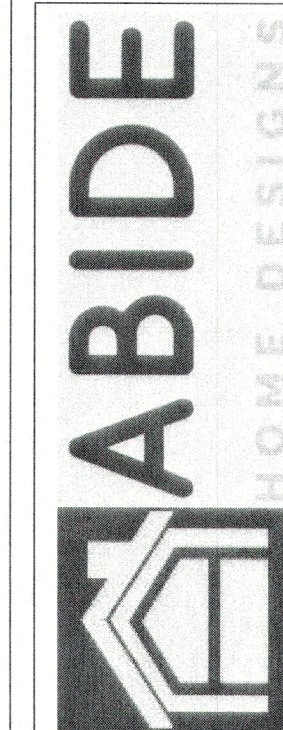


DATE:
8/14/2023

SCALE:
1/4"=1'

SHEET:
1

ELEVATIONS

TRI-TEX CONSTRUCTION
INC.
955 SIDS RD
ROCKWALL, TX 75082

DATE:

8/14/2023

SCALE:

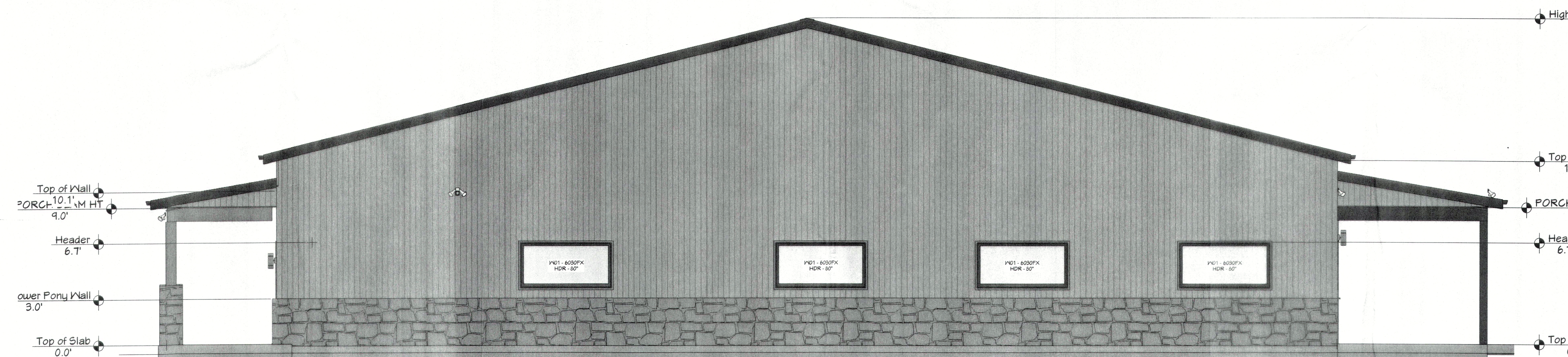
1/4"=1'

SHEET:

2



Exterior Elevation Front

MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 429 SF
STONE PONY WALL: 245 SF

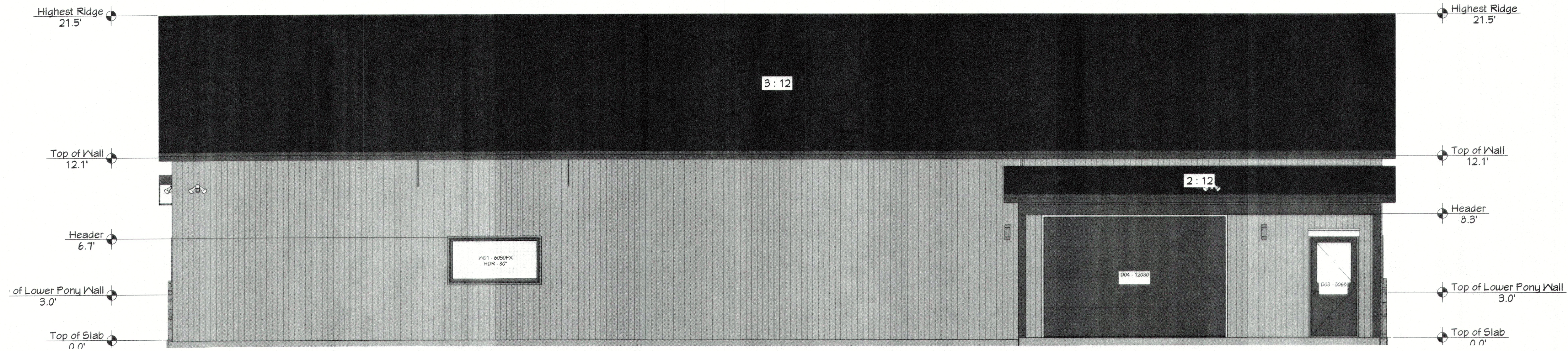
Exterior Elevation Right

MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
R PANEL: 884 SF
STONE PONY WALL: 212 SFAPPROVED:
I hereby certify that the above and foregoing site plan for
development in the City of Rockwall, Texas, was approved by the
Planning & Zoning Commission on the 15 day of Aug 2023.

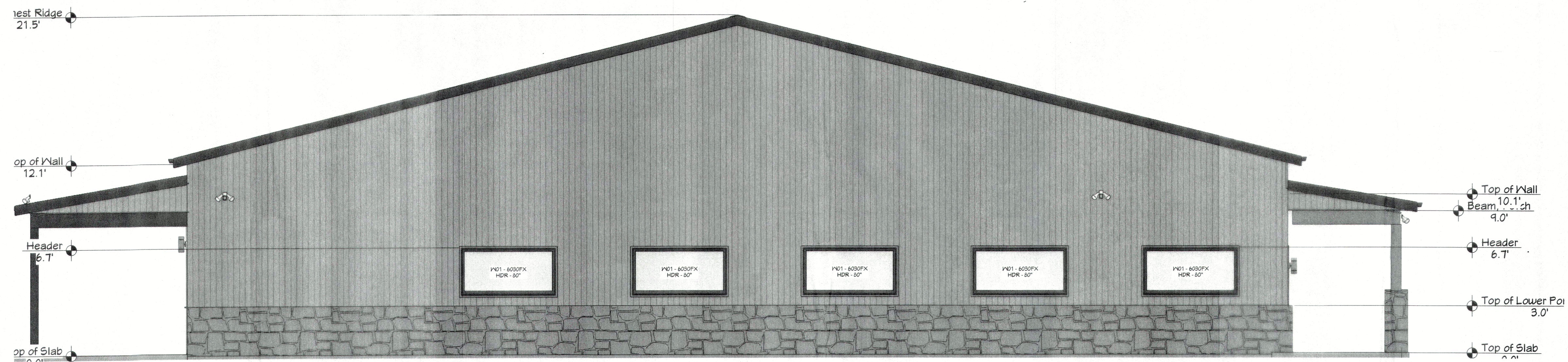
Aaron Hamilton, Chairman

Aaron Hamilton, Director of Planning & Zoning

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	



Exterior Elevation Back
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 1017 SF



Exterior Elevation Left
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 866 SF
 STONE PONY WALL: 212 SF

APPROVED:
 I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.
 [Signature] [Signature]
 Chairman Director of Planning & Zoning

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2006 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS. 2006 IBC AND 2006 IMC SHALL BE USED.

THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY WORK KNOWINGLY PERFORMED CONTRARY TO SUCH LAWS, ORDINANCES, OR REGULATIONS. THE CONTRACTOR SHALL ALSO PERFORM COORDINATION WITH ALL UTILITIES AND STATE SERVICE AUTHORITIES.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE GENERAL CONTRACTOR SHALL NOTIFY THIS OFFICE WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEEDING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.

WIND/SNOW LOAD DESIGN CRITERIA: 2006 IRC AND IBC

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 7" ABOVE SHOWER DRAINS.

INSULATE WASTE LINES FOR SOUND CONTROL.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

FLOOR FINISHES:	
1F OFFICES/COMMON SPACES:	VINYL TILE
1F BATHS:	TILE

ROOM AREA/CEILING SCHEDULE			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ. FT.)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	M ADA TLT	41	121 1/8"
1	OFFICE 7	195	121 1/8"
1	OFFICE 6	158	121 1/8"
1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	109 1/8"
1	OFFICE 7	131	121 1/8"
1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
1	WOMEN'S RESTROOM	57	121 1/8"
1	COMMON HALL 1	298	121 1/8"
1	STORAGE	101	121 1/8"
1	M TLT 2	26	121 1/8"
1	OFFICE 1	157	121 1/8"
1	OFFICE 2	157	121 1/8"
1	OFFICE 3	158	121 1/8"
1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	239	109 1/8"
TOTALS:		5933	

DOOR SCHEDULE

NUMBER	FLOOR	QTY	SIZE	EX/IN	SWING SIDE	DESCRIPTION	HEIGHT	WIDTH	DIVIDED LITES	DOOR PANELS	JAMB SIZE	3D PERSPECTIVE
D01	1	1	5468 L/R IN	IN	OUT	DOUBLE HINGED- 84 INTERIOR	80 "	64 "		1+1	3/4"x6 1/2"	
D02	1	11	3068 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		0+1	3/4"x4 1/2"	
D03	1	1	3068 L EX	EX	OUT	EXT. HINGED-GLASS PANEL	80 "	36 "	1	1+0	3/4"x11 1/2"	
D04	1	1	12080	EX	IN	GARAGE-MODERN STEEL - FLUSH	96 "	144 "		4	3/4"x11 1/2"	
D05	1	1	4068 L/R IN	IN	IN	DOUBLE HINGED- 84 INTERIOR	80 "	48 "		1+1	3/4"x4 1/2"	
D06	1	1	2668 R IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		0+1	3/4"x4 1/2"	
D08	1	1	6068 R EX	EX	IN	EXT. DOUBLE HINGED-GLASS PANEL	80 "	72 "	1	1+1	3/4"x11 1/2"	
D11	1	1	2668 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	30 "		1+0	3/4"x4 1/2"	
D12	1	8	3068 L IN	IN	OUT	HINGED- 84 INTERIOR	80 "	36 "		1+0	3/4"x4 1/2"	

WINDOW SCHEDULE

NUMBER	QTY	FLOOR	SIZE	DESCRIPTION	WIDTH	HEIGHT	TOP	DIVIDED LITES	3D PERSPECTIVE
W01	19	1	6030FX	FIXED GLASS	72 "	36 "	80"	1	
W02	7	1	5030FX	FIXED GLASS	60 "	36 "	80"	1	

APPROVED:
I hereby certify that the above and foregoing site plan for development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission on the 15 day of August, 2023.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

